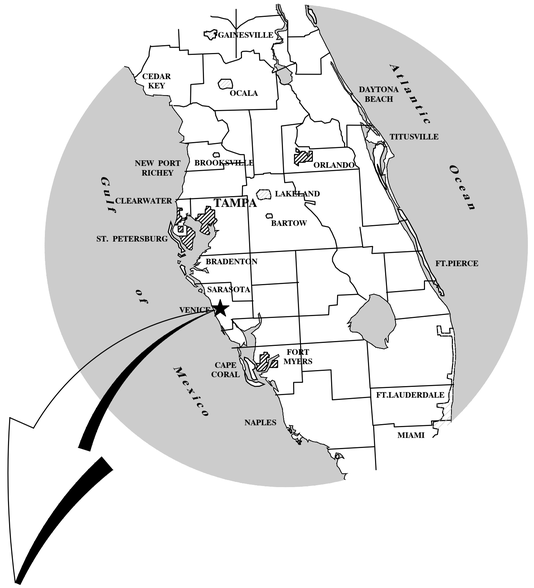
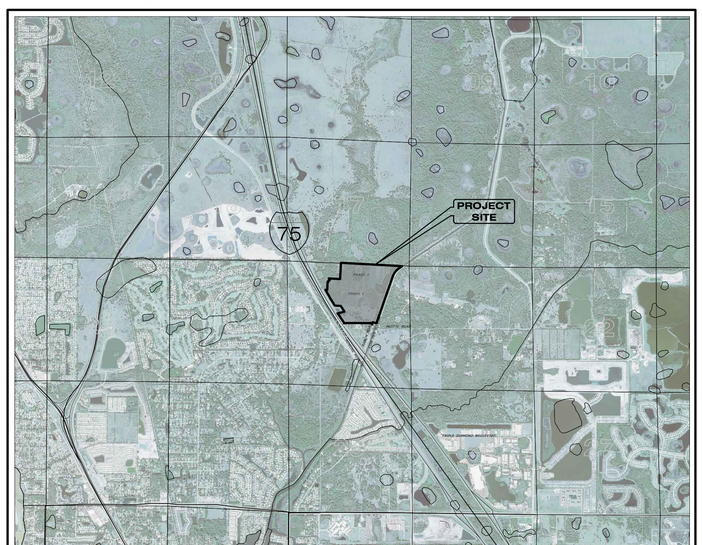
RUSTIC ROAD NORTH
PHASES 1 & 2

PRELIMINARY PLAT





VICINITY MAP
CITY OF VENICE, FLORIDA
SECTION 20, TOWNSHIP 38 SOUTH, RANGE 19 EAST

INDEX OF CONSTRUCTION PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2A	AERIAL SITE PLAN
2B	EXISTING SITE CONDITIONS & DEMOLITION PLAN
2C	PUD KEY MAP
3	MASTER SITE PLAN
4	PRELIMINARY PLAT NOTES
5-9	PRELIMINARY PLAT
10	MASTER DRAINAGE PLAN
11	MASTER WATER & SEWER KEY MAP
12	ADDRESS PLAN
L1-L19	LANDSCAPE PLANS

UTILITY INFORMATION		
UTILITY	SOURCE	OWNERSHIP
POTABLE WATER	CITY OF VENICE	CITY OF VENICE
WASTEWATER	CITY OF VENICE	CITY OF VENICE

PREPARED FOR:

JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.
1316 West Swann Ave
Tampa, Florida 33606
Phone: (813) 362-1137

Digitally signed by Jordan A. Schrader
Date: 2021.08.31 15:34:26-04'00'

JORDAN A. SCHRADER, LICENSE No. 74798, STATE OF FLORIDA, PROFESSIONAL ENGINEER

The above named Professional Engineer shall be responsible for the adjacent listed sheets, SHEETS 1 - 17, in accordance with Rule 61G15-23.004, F.A.C.

PREPARED BY:

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

Digitally signed by John Delvitto
Date: 2021.08.31 15:34:42-04'00'

REGISTERED LANDSCAPE ARCHITECT, JOHN A. DEL VITTO, LA6667327, STATE OF FLORIDA

The above named Registered Landscape Architect shall be responsible for the adjacent listed sheets, SHEETS 18 - 36, in accordance with Rule 61G10-11.011, F.A.C.

PERMIT / FILE NOS.	
CITY OF VENICE PROJECT NO.	
CITY OF VENICE UTILITIES PROJECT NO.	
SWFWMD ERP/APPLICATION ID NO.	
WATER DEP	
SEWER DEP	
RECLAIMED WATER DEP	
PARCEL ID NO.	0361-00-1001, 0361-00-1002, 0361-00-1003, 0361-00-1004

CALL 48 HOURS BEFORE YOU DIG
IT'S THE LAW! DIAL 811
811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

UTILITY CONTACT INFORMATION

CITY OF VENICE UTILITIES DEPT.
JAVIER VARGAS
200 N WARFIELD AVE
VENICE, FL 34285
941-480-3333 EXT: 7316

FRONTIER COMMUNICATIONS
TONI CANNON
3712 W WALNUT ST
TAMPA, FL 33607
813-875-1014

SARASOTA COUNTY TRAFFIC
MARK RICHMOND
PO BOX 8
SARASOTA, FL 34230-0008
941-861-0942

FLORIDA POWER & LIGHT
JOEL BRAY
CONTACT BY PHONE
386-586-6403

COMCAST
LEONARD MAXWELL-NEWBOLD
2601 SW 145TH AVE
MIRAMAR, FL 33027
754-221-1254

TECO-PEOPLES GAS-SARASOTA
JOAN DOMNING
8416 PALM RIVER RD
TAMPA, FL 33619
813-275-3783

DATE	SHEET NO.	BY
08-31-2021	3,9,12	TKW
07-12-2021	2B	TKW
06-03-2021	4-9, 10A, 10B, 10C, L10-L16 and L18	TKW
04-22-2021	1-12, L1-L8 & L10-L18	TKW
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

RUSTIC ROAD NORTH
PHASES 1 & 2

This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE: 08/31/2021
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

DATE:	JOB NO.
08-31-2021	JEN-RU-008

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

STREET & DRAINAGE	WATER & SANITARY SEWER
DESIGNED BY: FERREIRA	DESIGNED BY: WINTER
DRAWN BY: WINTER	DRAWN BY: WINTER

FILE: CV

SHEET 1 OF 12

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\CV.DWG-COVER SHEET 2021/08/31 3:13 PM CLD ENGINEER01

N

400 200 0 200 400

SCALE: 1" = 200'

DATE OF PHOTOGRAPH: 2017

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\ASP.DWG-AERIAL SITE PLAN 2021/08/31 3:15 PM TIM WINTER

DATE	DESCRIPTION	BY
04-22-2021	REMOVED EXISTING	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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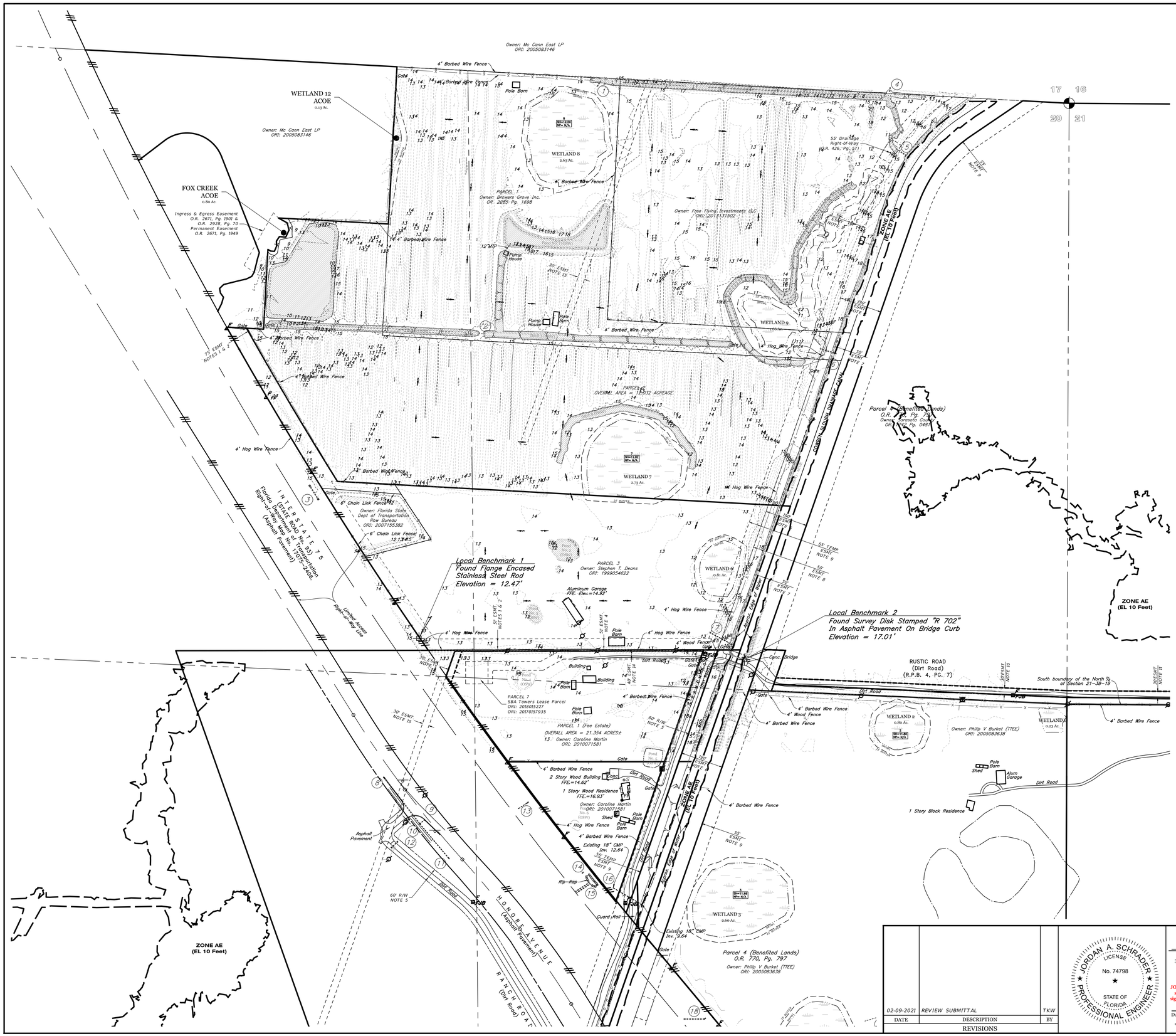
DATE:

JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

AERIAL SITE PLAN

JOB NO. JEN-RU-008	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN FERREIRA	
DRAWN WINTER	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE ASP	**SHEET 2A OF 12 SHEETS**



400 200 0 200 400

SCALE: 1" = 200'

Existing Site Plan is based on Boundary & Topographic Survey by GeoPoint Surveying, Inc., dated March 6 2021.

Bearings shown hereon are based on the Northerly Line of Section 20, Township 38 South, Range 19 East, Sarasota County, Florida, having a Grid bearing of N.86°53'19"W. The Grid Bearings as shown hereon refer to the State Plane Coordinate System, North America Horizontal Datum of 1983 (NAD 83–2011 Adjustment) for the West Zone of Florida.

Elevations shown hereon are based on the North American Vertical Datum of 1988 (NAVD 88) based on National Geodetic Survey Benchmark "I75 8.3 A31 RM 1", having a published elevation of 38.41 feet (NAVD 88).

The subject parcel lies in Flood Zone "X", according to Flood Insurance Rate Map, Map No. 12115C0245F, Community No. 125144 & 125154, Sarasota County, Florida, dated November 4, 2016 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from DFIRM database information supplied by the FEMA Map Service Center (https://msc.fema.gov).

DEMOLITION NOTES:

1. *Structures: Remove all vertical structures, concrete surfaces, asphalt surfaces, and subsurface infrastructure within project limits.*
2. *Fences: Remove all fences within area of construction and clearing & grubbing activities. Any fence removal outside the construction activity shall be coordinated with the owner or the owners representative.*
3. *Utilities: Remove all poles, wires and underground utilities within area of construction. Any utility removal outside the construction activity shall be coordinated with the owner or the owners representative.*
4. *Wells: All existing wells shall be abandoned by a Florida-Licensed Water Well contractor in accordance with rule 40d-3.531(2) F.A.C.*

Existing Storm Structure Data

1. Control Structure
   Top Elev. = 15.14
   36" CMP
   Inv. SW = 11.83
   Inv. NE = 11.70
2. 12" CMP
   Inv. W = 9.95
   Inv. E = 9.66
3. 18" RCP
   Inv. NW = 13.60
   Inv. SE = 13.54
4. 24" HDP
   Inv. N = 10.76
   Inv. S = 6.46
5. 36" CMP
   Inv. NW = 5.32
   Inv. SE = 1.90
6. 36" CMP
   Inv. W = 2.68
   Inv. E = 2.54
7. GTI
   Top Elev. = 12.87
   Inv. = 10.83
   Inv. 12" CMP SE = 7.93
8. Curb Inlet
   Top Elev. = 16.30
   Grate Elev. = 15.64
   Inv. 36" = 9.48
9. Curb Inlet
   Top Elev. = 17.77
   Grate Elev. = 17.07
   Inv. 18" = 12.26
10. GTI
    Top Elev. = 16.94
    Inv. 18" NE = 12.08
    Inv. 24" SE = 10.52
    Inv. 36" NW = 9.49
11. GTI
    Top Elev. = 18.38
    Inv. 24" NW = 13.27
12. 14"x23" RCP
    Inv. MES SW = 10.69
    Inv. MES NE = 10.53
13. Conc. Headwall
    Top Elev. = 13.82
    Inv. = 12.46
14. Conc. Headwall
    Top Elev. = 15.74
    Inv. 15" CMP = 14.37
15. Conc. Headwall
    Top Elev. = 13.75
    Inv. = 10.30
16. 18" CMP
    Inv. NW = 12.64
    Inv. SE = 9.64
17. 14"x23" RCP
    Inv. MES SW = 10.57
    Inv. MES NE = 10.57
18. Conc. Headwall
    Top Elev. = 15.79
    Inv. = 14.45
19. Conc. Headwall
    Top Elev. = 14.98
    Inv. = 12.73
20. 8" PVC
    Inv. W = 11.40
    Inv. E = 9.95
21. 8" CPP
    Inv. S = 11.18
    Inv. N = 11.13
22. 12" CPP
    Inv. S = 11.56
    Inv. N = 11.41
23. 18" CPP
    Inv. N = 10.88
    Inv. S = 10.66
24. 18" CPP
    Inv. S = 11.20
    Inv. N = 11.15
25. 12" CPP
    Inv. E = 11.66
    Inv. W = 11.41
26. 18" CPP
    Inv. W = 10.94
    Inv. E = 10.73
27. 30" CMP
    Inv. N = 4.06
    Inv. S = 2.82

EASEMENT NOTES:

1. Ingress & Egress Easement
   2671, Pg. 1901 &
   O.R. 2928, Pg. 70
2. Permanent Easement
   O.R. 2671, Pg. 1949
3. 30' Road & Utility
   Easement Reserved
   1154, Pg. 1217)
   1891, Pg. 2128)
   2050, Pg. 131)
4. LESS & EXCEPT
   Non-Exclusive Access
   & Utility Easement
   ORI: 2018015227
   & 20170157935
5. Realignment of Rustic Road
   per O.R. 770, Pg. 797
6. 190' Permanent
   Easement
   O.R. 418, Pg. 852
7. 50' Ingress/Egress, and
   Utility Easement
   ORI: 2013131502
   (O.R. 2278, Pg. 536)
8. 50' Ingress/Egress, and
   Utility Easement
   (O.R. 2285, Pg. 1698,
   O.R. 2278, Pg. 536,
   ORI: 2011025987, and
   ORI: 2011025988)
9. 55' Temporary Easement
   per O.R. 418, Pg. 855
10. 30' Access &
    Utility Easement
    (O.R. 1308, Pg. 1190)
11. 30' Non-Exclusive
    Perpetual Easement
    (O.R. 985, Pg. 683)
12. 30' Non-Exclusive
    Perpetual Easement
    (O.R. 1317, Pg. 931,
    O.R. 1317, Pg. 932 &
    O.R. 1350, Pg. 1591)
13. Access Right-of-Way
    per O.R. 1308, Pg. 1187 and
    per O.R. 1308, Pg. 1192
14. Non-Exclusive Access &
    Utility Easement
    ORI: 2018015227
    & 20170157935
15. 30' Access &
    Utility Easement
    (O.R. 985, Pg. 681)

DATE	DESCRIPTION	BY
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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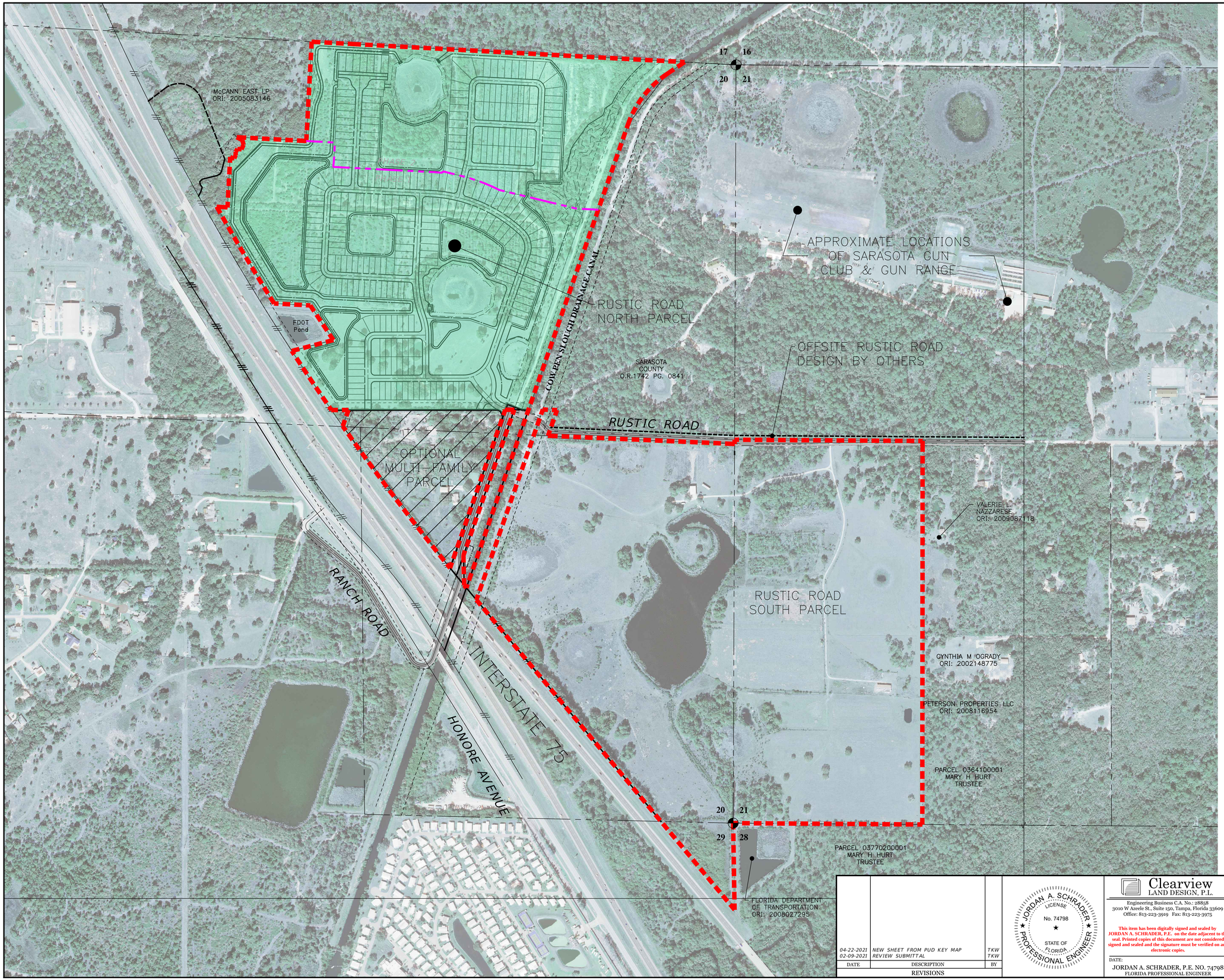
DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

EXISTING SITE CONDITIONS & DEMOLITION PLAN

JOB NO. JEN-RU-008	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN FERREIRA	
DRAWN WINTER	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE EXSITE	**SHEET 2B OF 12 SHEETS**

P:\RUSTIC ROAD\NORTH-SF\DRAWINGS\PRELIMINARY PLAT\EXSITE.DWG-2B EXISTING SITE CONDITIONS & DEMOLITION PLAN 2021/08/31 3:13 PM CLD ENGINEERO



600 300 0 300 600

SCALE: 1" = 300'

LEGEND

EXISTING	PROPOSED	
SWFWL		SWFWMD WETLAND LINE
25' O.S.		25' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)		WETLAND AREA
		PUD BOUNDARY
		RUSTIC ROAD NORTH PRELIMINARY PLAT BOUNDARY
		PHASE LINE

OWNER MUST DISCLOSE PROXIMITY OF GUN RANGE TO POTENTIAL BUYERS.

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PUD KEY MAP\PUD KEY MAP.DWG-2C PUD KEY MAP 2021/08/31 3:14 PM CLD ENGINEERO

DATE	DESCRIPTION	BY
04-22-2021	NEW SHEET FROM PUD KEY MAP	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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DATE:
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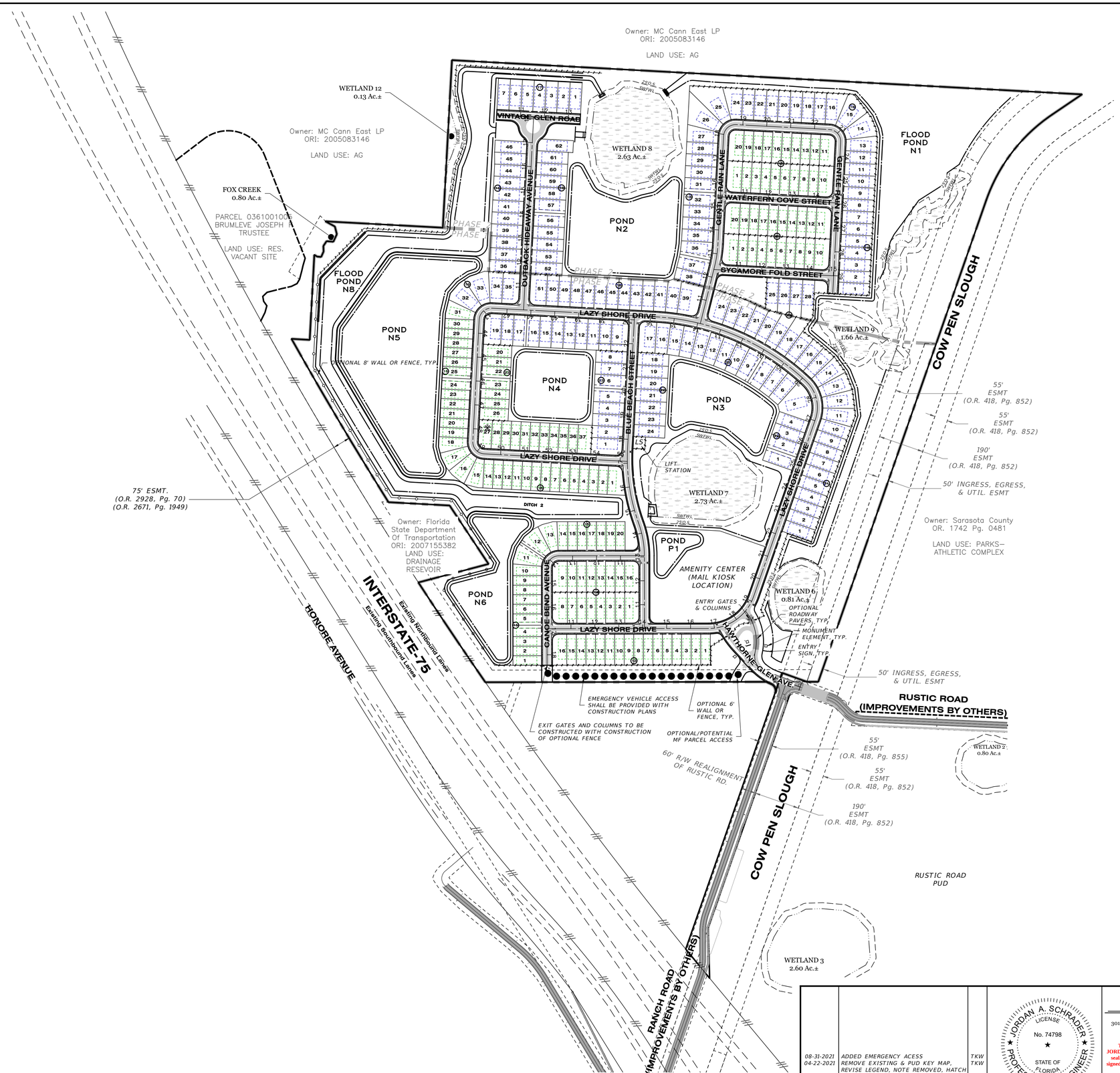
FLORIDA PROFESSIONAL ENGINEER

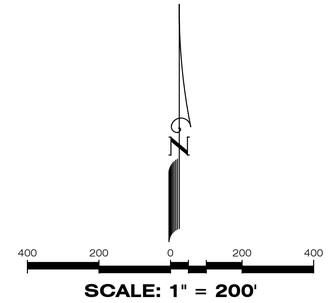
PUD KEY MAP

RUSTIC ROAD NORTH
PHASES 1 & 2

JOB NO.	JEN-RU-008
DESIGN	FERREIRA
DRAWN	WINTER
DATE	08-31-2021
FILE	PUD KEY MAP
PREPARED FOR:	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET 2C OF 12 SHEETS





LEGEND

EXISTING	PROPOSED	
		PROPOSED SIDEWALK/PATH BY BUILDER (5' WIDE UNLESS OTHERWISE NOTED)
		PROPOSED SIDEWALK BY DEVELOPER (5' WIDE, 4" THICK)
SWFWL		SWFWMD WETLAND LINE
25' BUFFER		25' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)		WETLAND AREA
10		WETLAND/HYDROPERIOD ID
SH=65.00 NP=63.50		WETLAND HYDROPERIOD DATA
		WETLAND AREAS
		PROJECT BOUNDARY
		PAD FOR 50' WIDE LOT
		PAD FOR 40' WIDE LOT
		EMERGENCY VEHICLE ACCESS

NORTH PARCEL LOT SUMMARY

PHASE	40' WIDE LOT	50' WIDE LOT	TOTALS
1	101	84	185
2	40	71	111
TOTALS	**141**	**155**	**296**

DATE	DESCRIPTION	BY
08-31-2021	ADDED EMERGENCY ACESS	TKW
04-22-2021	REMOVE EXISTING & PUD KEY MAP, REVISE LEGEND, NOTE REMOVED, HATCH	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

MASTER SITE PLAN

JOB NO. JEN-RU-008
DESIGN FERREIRA
DRAWN WINTER
DATE 08-31-2021
FILE MSP

RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET 3 OF 12 SHEETS

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\MSP.DWG-3 MASTER SITE PLAN 2021/08/31 3:14 PM CLD ENGINEERO

PRELIMINARY PLAT/SITE PLAN NOTES:

1. Owner/Developer: Jen Tampa 1, LLC
c/o Banyan Land & Capital
1316 West Swann Ave.
Tampa, FL. 33606
(813) 362-1137
Matt O'Brien
matt.obrien@banyanland.net

2. Engineer: Clearview Land Design, P.L.
3010 W. Azeele St., Suite 150
Tampa, Florida 33609
(813) 223-3919
Jordan A. Schrader, P.E.
jordan.schrader@clearviewland.com

3. Environmental: Steinbaum and Associates, Inc.
Ecological Consultants
P.O. Box 15437
Sarasota, FL 34277
(941) 921-2707
Michele L. Steinbaum, President
michele@steinbaumecological.com

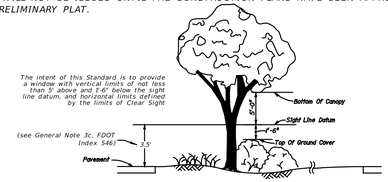
4. Surveyor: GeoPoint Surveying, Inc.
213 Hobbs Street
Tampa, FL 33619
(813) 248-8888
David Williams, P.S.M, R.P.L.S.
davidw@geopointsurvey.com

5. Geotechnical Engineer: Native Geoscience, Inc.
2014 Edgewater Dr.,#246
Orlando, FL 32804
(407) 342-1443
John C. Diehl, P.G.
cdiehl@nativegoe.com

6. CHARACTER & INTENDED USE: 296 UNIT SINGLE FAMILY RESIDENTIAL SUBDIVISION
7. Existing Zoning: PUD, Existing Land Use: Vacant/Agricultural
8. Future Land Use Classification: PUD
9. Water service to be provided by City of Venice.
10. Sanitary Sewer system to be provided by City of Venice.
11. Electrical power to be provided by FPL.
12. Telephone service to be provided by Verizon.
13. Cable/Internet service to be provided by Comcast.
14. Street lighting to be provided by FPL.
15. Refuse and recyclables to be picked up curbside by the City of Venice.
16. All work conducted in the City of Venice Right-of-Way (ROW) will require issuance of a ROW permit.
17. All work conducted in Sarasota County and/or FDOT ROW shall require a copy of the issued permits.
18. Recreation areas, conservation areas, and detention ponds will be owned and maintained by the CDD unless otherwise noted.
19. Detention ponds to be within tracts dedicated to the Community Development District for maintenance unless otherwise noted.
20. Contours shown are based on North American Vertical Datum (NAVD88).
21. Proposed rights-of-way for local streets shall be a minimum of forty (40) feet.
22. All roadway standards to comply with the Manual of Uniform Minimum Standards, State of Florida.
23. Signing & Pavement Markings:
23.a. Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
23.b. All onsite parking spaces shall be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
23.c. All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
24. Utility Notes:
24.a. All utility construction shall comply with the City of Venice Standards.
24.b. All onsite water and wastewater facilities shall be dedicated to the City of Venice.
24.c. All utility lines shall be installed underground.
24.d. DEP water, wastewater, and City of Venice Utilities Sewer Construction permits are required.
24.e. Sanitary sewer construction shall be in accordance with the City of Venice Standards.
24.f. Water distribution construction shall be in accordance with the City of Venice Utility Code.
24.g. The Contractor shall contact "Sunshine State" One Call, FPL, and all other utility companies prior to any work onsite or offsite.
24.h. Reuse water is not included in this project.
25. The site appears to lie within Flood Zone "A" and "X", according to Federal Emergency Management Agency (FEMA) - Flood Insurance Rate Map (FIRM) No. 12115C0245F revised November 4, 2016.
26. Sidewalks will be provided on both sides of all roads including non-lot areas. Unless otherwise shown, all sidewalks shall be five (5) feet wide, 4" thick concrete, and 3000 p.s.i., fiber-reinforced. Sidewalks shall be constructed on a compacted non-yielding subgrade, and 6" in thickness is required where sidewalk is crossed by a driveway.
27. Buffering for all retention/detention areas along road right-of-ways to have trees selected from tree list at the rate of one tree per 50 L.F.
28. This project will comply with the City of Venice Tree Ordinance.
29. All construction work, including road, drainage and utilities, shall be constructed in accordance with City of Venice design standards and tested in compliance with the applicable Testing Specifications for construction of roads, storm drainage and utilities.
30. If during construction activities any evidence of historic resources, including but not limited to aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop and the Florida Department of Historic Resources (State Historic Preservation Officer) and City of Venice shall be notified within two working days of the resources found on the site. In the event that unmarked human remains are encountered during permitted activities, all work must stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statue.
31. The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
32. All clear-site areas shall be kept free of any signage, plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
33. No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-way Use Permit.
34. Fugitive dust emissions shall be controlled by sprinkling as necessary.
35. On-site burning shall not be employed without approval from the Fire Marshal.
36. The soil erosion and sediment control devices shall be installed prior to construction, maintained throughout construction and until the site is permanently stabilized.
37. All driveway cuts shall be installed to local streets.
38. The CDD will be responsible for maintenance of underdrain system if present.
39. Maintenance of sidewalk shall be the responsibility of the CDD or an entity other than the City of Venice.
40. All structures, including buffer walls, retaining walls, signage, etc…require building permits.
41. Standard Fire Protection Notes:
41.a. Fire hydrants shall be installed and in service prior to the accumulation of combustibles.
41.b. Per the National Fire Protection Association, NFPA-1, 16.4.3.1.3: Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to construction work.
41.c. Per NFPA-1, 18.3.4.1: Clearances of 7 1/2 feet in front of and to the sides of the fire hydrant with a 4-foot clearance to the rear must be maintained at all times.
41.d. Gated entries require a Siren Operating System or a 3M Opticom system for emergency access.
41.e. Installation of fuel tanks requires review and approval by the Fire Marshal and the issuance of separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
42. Stormwater Management
42.a. This development provides a master stormwater management system. Each lot within this subdivision shall have a maximum impervious area of 80% per lot. Drainage easements for storm piping along side lots are based on pipe sizing and subject to City of Venice Engineering Dept approval.
42.b. Detention ponds to be within tracts dedicated to the Community Development District for maintenance unless otherwise noted.
43. CITY OF VENICE REQUIRED NOTES:
43.a. ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE ISSUANCE OF A RIGHT-OF-WAY USE PERMIT.
43.b. ALL WORK CONDUCTED IN CITY OF VENICE, SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
43.c. TREE REMOVAL PERMIT MUST BE OBTAINED FROM CITY OF VENICE NATURAL RESOURCES DEPARTMENT.
43.d. POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
43.e. ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS 1, II OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521.
43.f. CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACTS INFORMATION.
43.g. ALL UTILITIES WHETHER PUBLIC OR PRIVATE SHALL MEET CITY OF VENICE STANDARDS.
43.h. CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION
44. CONSTRUCTION PLAN APPROVAL FOR THIS PRELIMINARY PLAT WILL NOT BE ISSUED UNTIL THE CONSTRUCTION PLANS HAVE BEEN APPROVED FOR THE RUSTIC ROAD IMPROVEMENTS ADJACENT TO THIS PRELIMINARY PLAT.

INTERSECTION CLEAR SIGHT REQUIREMENTS:

1. Local Intersections shall remain unobstructed per "Typical Clear Sight Triangle Detail" and FDOT Index 546 "Window Detail" shown below.



PICTORIAL WINDOW DETAIL

NORTH - DEVELOPED AREAS & OPEN SPACE

AREAS (Ac.)		%
ROW	11.55	9%
Lots	44.36	34%
Amenity Area	3.85	3%
Detention Ponds	13.10	10%
Floodplain Ponds	16.60	13%
Wetlands	8.76	7%
Open Space (includes ponds & Wetlands)	69.37	54%
Impervious Area (Not inluding Amenity)	35.00	27%
TOTAL SITE	**129.13**	

NORTH PARCEL SITE DATA TABLE

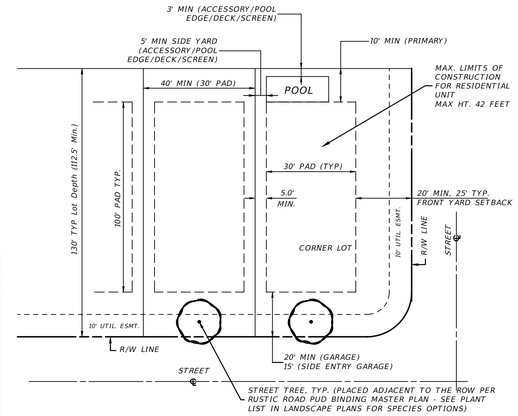
UPLANDS	WETLANDS /OSWS	TOTAL ACREAGE	LOTS	GROSS DENSITY	NET DENSITY
Phase 1					
71.41	9.13	80.54	185	2.30	2.59
Phase 2					
41.38	7.21	48.59	111	2.28	2.68
TOTAL					
112.76	16.37	129.13	296	2.29	2.63

NORTH & SOUTH PARCELS APPROVED LAND USE ZONING TABLE

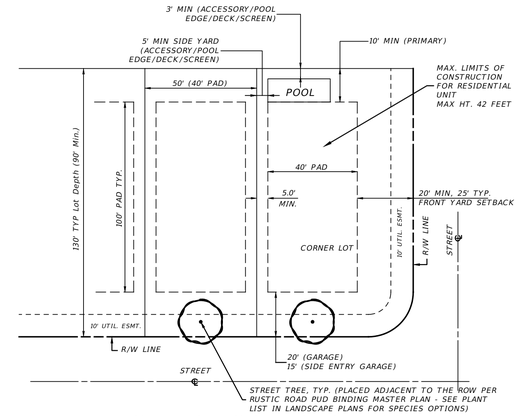
LAND USE	PUD REZONE		PRELIMINARY PLAT RUSTIC ROAD NORTH PHASES 1 & 2		PRELIMINARY PLAT RUSTIC ROAD SOUTH PHASES 1 & 2	
	AREA (AC.)	%	AREA (AC.)	%	AREA (AC.)	%
RESIDENTIAL	117.50	37.0%	44.36	*34.4%*	62.19	*36.7%*
AMENITY AREA	5.00	1.6%	3.85	*3.0%*	2.29	*1.4%*
ROAD ROW	35.70	11.2%	11.55	*8.9%*	14.92	*8.8%*
WETLANDS	*16.00*	*5%*	*8.76*	*6.8%*	*10.13*	*6%*
CONSERVATION						
LAKES	*62.70*	*19.7%*	*29.70*	*23.0%*	*46.09*	*27.2%*
OTHER OPEN SPACE	*81.00*	*25.5%*	*30.91*	*23.9%*	*33.79*	*19.9%*
TOTAL OPEN SPACE	159.70	50.2%	69.37	53.7%	90.01	53.1%
TOTAL AREA	**317.90**		**129.13**		**169.41**	
LOT TYPE						
SINGLE FAMILY DETACHED			296		400	
SINGLE FAMILY ATTACHED (PAIRED VILLAS)						
MULTI FAMILY						
LOT TOTAL	**1,000**		**296**		**400**	
DU/AC	**3.15**		**2.29**		**2.36**	

NORTH PARCEL ONSITE WETLANDS

TYPE	ID	PHASE 1	PHASE 2	Total Acres
OSW	Ditch 1		1.13	1.16
OSW	Ditch 2	0.62		0.62
OSW	Ditch 3	0.96	0.06	1.02
OSW	Ditch 4	1.74	1.42	3.16
OSW	Ditch 8	0.65		0.65
OSW	Ditch 9	0.28	0.72	1.00
OSW	Pond 1		1.02	1.02
OSW	Pond 2	0.25		0.25
OSW	Pond 3	0.08		0.08
OSW	Lake 1	2.43		2.43
TOTALS		**4.25**	**3.33**	**7.61**
Wetland	6	0.81		0.81
Wetland	7	2.73		2.73
Wetland	8		2.63	2.63
Wetland	9	0.54	1.12	1.66
Wetland	12		0.13	0.13
Wetland	Fox Creek	0.80		0.80
Wetland				
Wetland				
TOTALS		**4.88**	**3.88**	**8.76**
TOTAL OSWs & WETLANDS		**9.13**	**7.21**	**16.37**



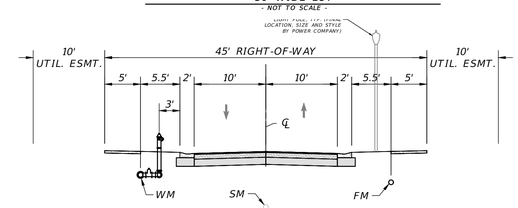
TYPICAL DETACHED SINGLE FAMILY LOT DETAILS
40' WIDE LOT
- NOT TO SCALE -



TYPICAL DETACHED SINGLE FAMILY LOT DETAILS
50' WIDE LOT
- NOT TO SCALE -

TYPICAL SINGLE FAMILY DETACHED MINIMUM LOT STANDARDS:

1. LOT AREA MIN	4,500 SF
2. LOT WIDTH MIN	-- FT
3. FRONT SETBACK MIN (Measured to Sidewalk)	20 FT (FLG)/15 FT (SLG)
4. SIDE SETBACK MIN (Principal Structure)	5 FT
5. SIDE SETBACK MIN (Pool Deck, Screen Enclosure)	5 FT Pool
6. REAR SETBACK MIN (Principal Structure)	10 FT
7. REAR SETBACK MIN (Pool Deck, Screen Enclosure)	3 FT



TYPICAL ROAD SECTION
45' RIGHT-OF-WAY
SCALE: 1" = 10'

NORTH PARCEL INFRASTRUCTURE IMPROVEMENTS

LINEAR FEET OF POTABLE WATER (12")	=	426	LF
LINEAR FEET OF POTABLE WATER (8")	=	10,755	LF
LINEAR FEET OF RECLAIM MAIN (6")	=		LF
LINEAR FEET OF SANITARY SEWER MAIN	=	9,842	LF
LINEAR FEET OF FORCE MAIN	=	1,607	LF
NUMBER OF MANHOLES	=	42	EA

CITY OF VENICE TO PROVIDE POTABLE WATER, SOLID WASTE SERVICES AND SANITARY SEWER TO THE PROJECT

RESIDENT & VISITOR PARKING REQUIREMENTS

REQUIRED				
	Units	Required Spaces per Unit		Total Required Spaces
SF Resident	296	2		592
				0
TOTALS				592
PROVIDED				
	Units	Vehicles in Garage	Off-Street (Vehicles in Driveway)	Total Provided Spaces
SF Resident	296	2	2	1184
TOTALS				1184

RUSTIC ROAD NORTH PARCEL PRELIMINARY PLAT LEGAL DESCRIPTION

DESCRIPTION: A parcel of land lying in Section 20, Township 38 South, Range 19 East, Sarasota County, Florida and being more particularly described as follows:

COMMENCE at the Northeast corner of said Section 20, run thence along the North boundary of the Northeast 1/4 of said Section 20, N.86°53'19"W., 363.80 feet to a point on the Centerline of the Sarasota West Coast Watershed right-of-way (Cow Pen Slough Canal) for a **POINT OF BEGINNING**; thence along said Centerline of the Sarasota West Coast Watershed right-of-way (Cow Pen Slough Canal), the following three (3) courses: 1) S.55°53'18"W., 151.49 feet to a point of curvature; 2) Southwesterly, 458.71 feet along the arc of a curve to the left having a radius of 716.78 feet and a central angle of 36°40'00" (chord bearing S.37°33'18"W., 450.92 feet) to a point of tangency; 3) S.19°13'18"W., 2132.79 feet; thence S.89°55'13"W., 47.68 feet; thence N.70°08'25"W., 110.02 feet; thence S.19°13'17"W., 89.44 feet to a point of cusp; thence Northwesterly, 45.53 feet along the arc of a curve to the left having a radius of 30.00 feet and a central angle of 86°57'07" (chord bearing N.24°15'17"W., 41.28 feet) to a point of reverse curvature; thence Northwesterly, 21.80 feet along the arc of a curve to the right having a radius of 230.00 feet and a central angle of 05°25'52" (chord bearing N.65°00'54"W., 21.79 feet); thence S.89°55'13"W., 1174.23 feet to a point on a curve on the Northeasterly boundary of the Limited Access Right-of-Way for INTERSTATE HIGHWAY No. 75; thence along said Northeasterly boundary of the Limited Access Right-of-Way for INTERSTATE HIGHWAY No. 75, Northwesterly, 502.45 feet along the arc of a curve to the right having a radius of 17975.40 feet and a central angle of 01°36'05" (chord bearing N.33°52'00"W., 502.43 feet); thence N.75°14'10"E., 303.36 feet; thence N.33°38'05"W., 293.63 feet; thence N.86°52'51"W., 255.98 feet to a point on a curve; thence along a line lying 75.00 feet Northeasterly of and parallel with the aforesaid Northeasterly boundary of the Limited Access Right-of-Way for INTERSTATE HIGHWAY No. 75, Northwesterly, 794.26 feet along the arc of a curve to the right having a radius of 16231.54 feet and a central angle of 02°48'13" (chord bearing N.30°40'51"W., 794.18 feet); thence S.86°53'17"E., 76.08 feet; thence N.03°07'06"E., 355.81 feet to a point on the approximate Centerline of an Existing Creek; thence along said approximate Centerline of an Existing Creek, the following nine (9) courses: 1) S.58°29'06"E., 13.77 feet; 2) S.85°20'56"E., 16.86 feet; 3) N.24°00'29"E., 24.84 feet; 4) N.02°14'26"W., 23.12 feet; 5) N.33°37'06"E., 24.04 feet; 6) S.85°35'59"E., 28.42 feet; 7) N.25°13'10"E., 34.71 feet; 8) N.14°43'07"W., 33.21 feet; 9) N.60°57'05"W., 44.57 feet; thence S.86°53'19"E., 491.06 feet; thence N.03°06'41"E., 701.81 feet to a point on the North boundary of the Northwest 1/4 of the aforesaid Section 20; thence along said North boundary of the Northwest 1/4 of Section 20, S.86°53'24"E., 316.84 feet to the North 1/4 corner of said Section 20; thence along the aforesaid North boundary of the Northeast 1/4 of Section 20, S.86°53'19"E., 2320.62 feet to the **POINT OF BEGINNING.**

Containing 129.092 acres, more or less.

DATE	DESCRIPTION	BY
06-03-2021	FRONT SB, REMOVED SIGHT TRI.	TKW
04-22-2021	NOTE 44, PARKING TABLE, LOT DETAILS STREET LIGHT IN TYP. SECTION	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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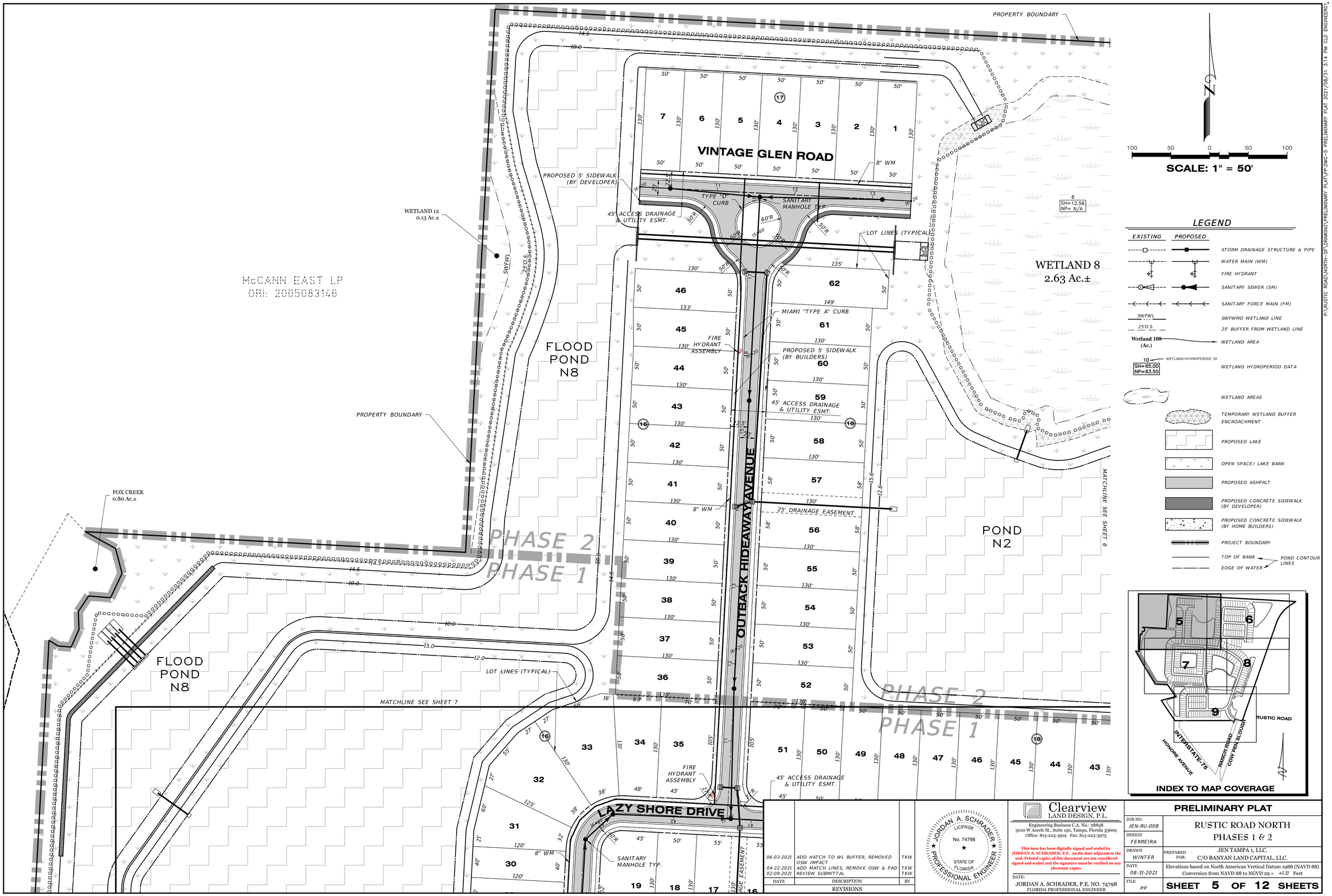
DATE: JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

PRELIMINARY PLAT NOTES

RUSTIC ROAD NORTH
PHASES 1 & 2

JOB NO. JEN-RU-008	
DESIGN FERREIRA	
DRAWN WINTER	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE GN-PP	SHEET 4 OF 12 SHEETS

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\GN-PP.DWG-4 PRELIMINARY PLAT NOTES 2021/08/31 3:14 PM CLD ENGINEERO



DATE	DESCRIPTION	BY
06-03-2021	ADD HATCH TO WL BUFFER, REMOVED OSW IMPACT	TKW
04-22-2021	ADD MATCH LINES, REMOVE OSW & PAD	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

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PRELIMINARY PLAT

JOB NO. JEN-RU-008	RUSTIC ROAD NORTH PHASES 1 & 2
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DRAWN WINTER	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PP	SHEET 5 OF 12 SHEETS

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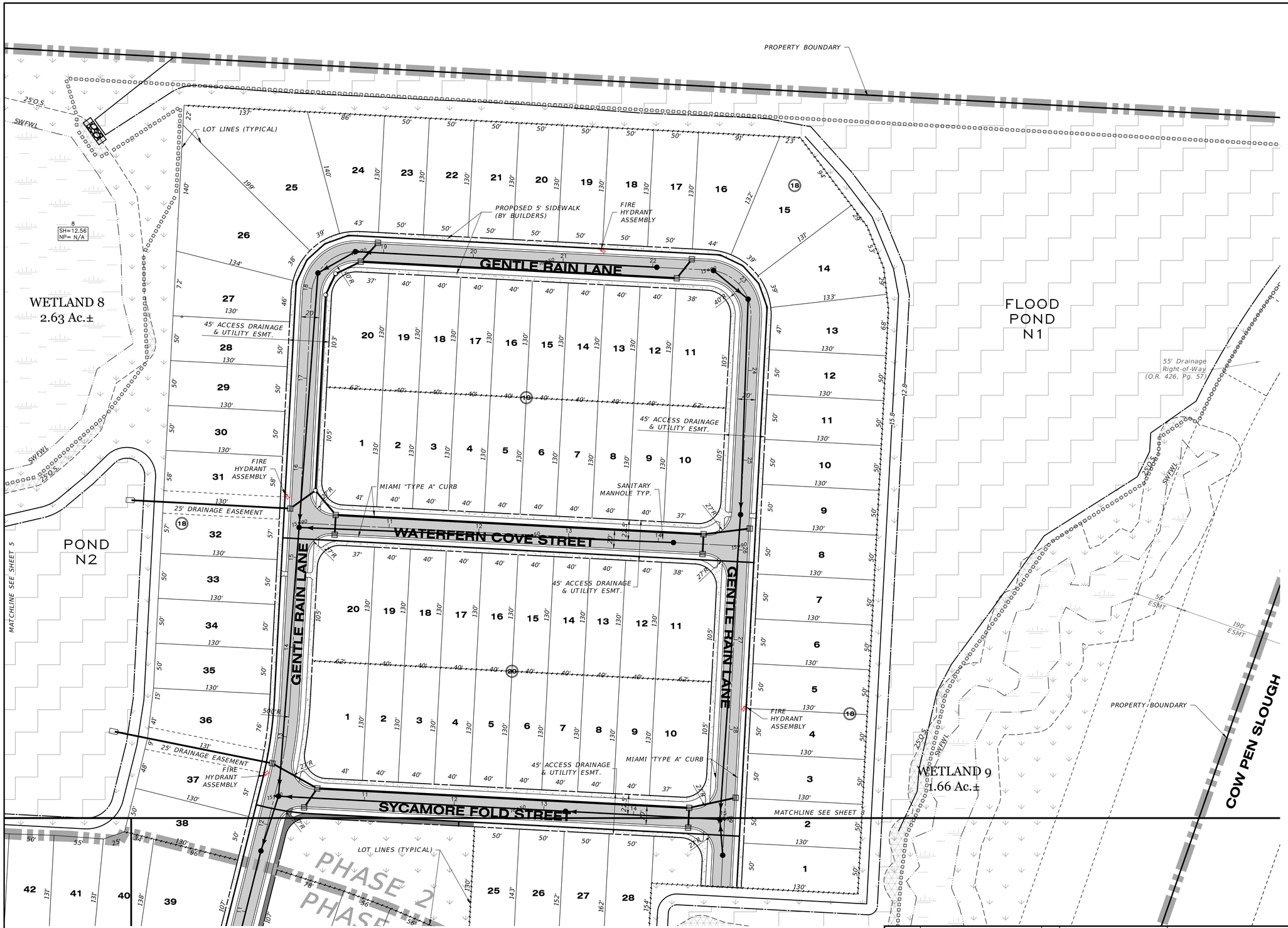
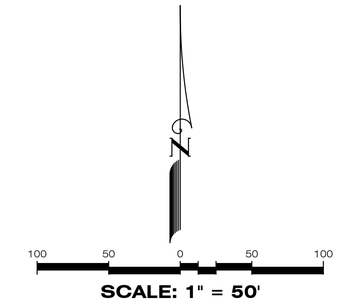
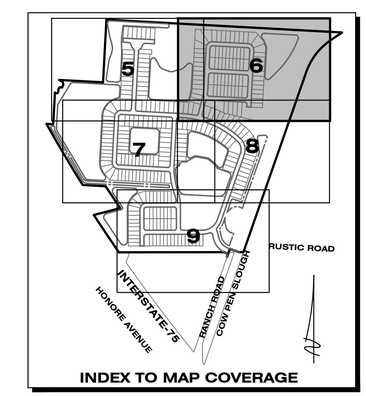




LEGEND

EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE & PIPE
		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
SWFWL		SWFWMD WETLAND LINE
25'O.S.		25' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)		WETLAND AREA
10 SH=65.00 NP=63.50		WETLAND/HYDROPERIOD ID; WETLAND HYDROPERIOD DATA
		WETLAND AREAS
		TEMPORARY WETLAND BUFFER ENCROACHMENT
		PROPOSED LAKE
		OPEN SPACE/ LAKE BANK
		PROPOSED ASHPALT
		PROPOSED CONCRETE SIDEWALK (BY DEVELOPER)
		PROPOSED CONCRETE SIDEWALK (BY HOME BUILDERS)
		PROJECT BOUNDARY
		TOP OF BANK / EDGE OF WATER — POND CONTOUR LINES



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FLORIDA PROFESSIONAL ENGINEER

PRELIMINARY PLAT

JOB NO. JEN-RU-008
DESIGN FERREIRA
DRAWN WINTER
DATE 08-31-2021
FILE PP

RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET 6 OF 12 SHEETS

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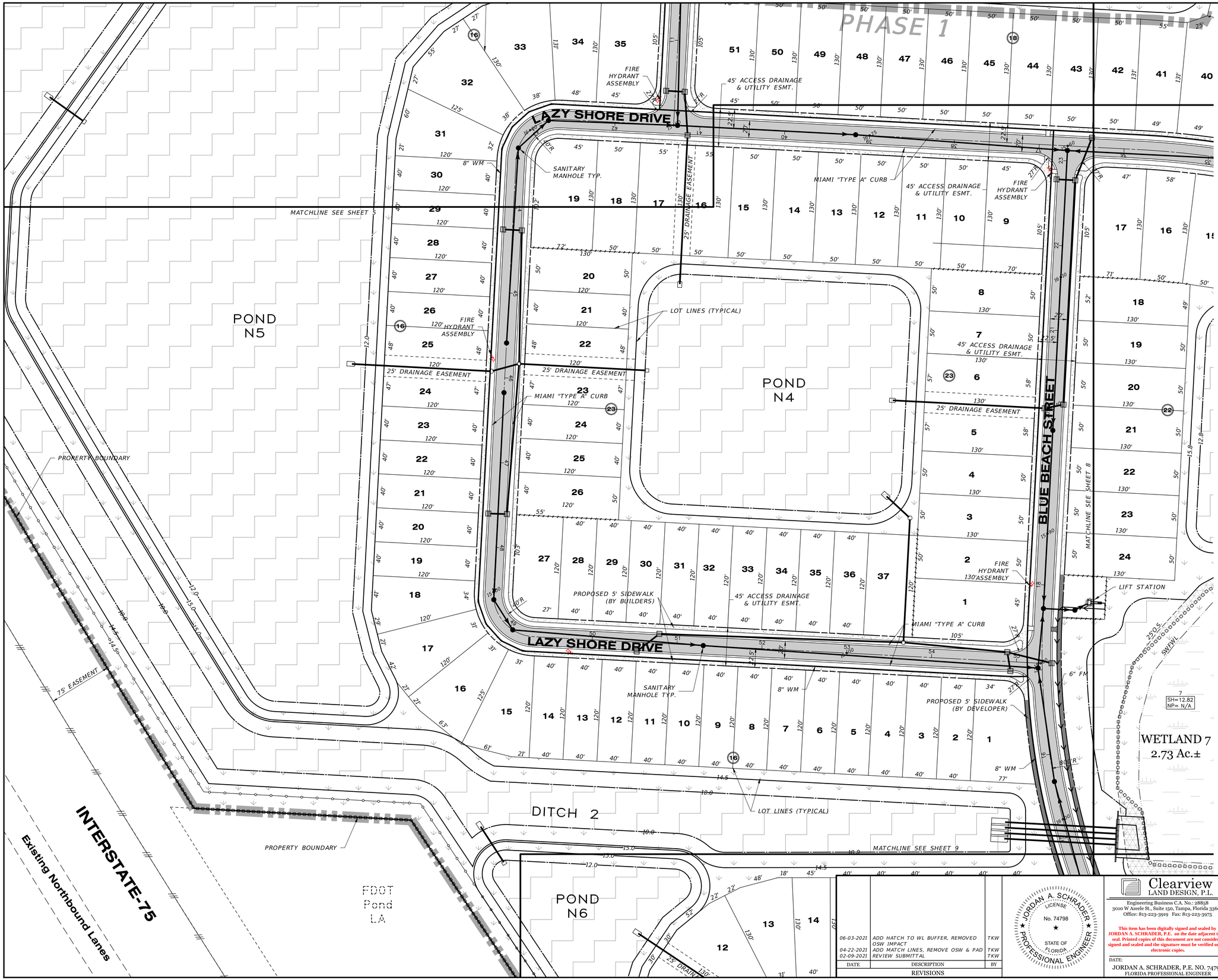

N

100 50 0 50 100

SCALE: 1" = 50'

LEGEND

EXISTING	PROPOSED	
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		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
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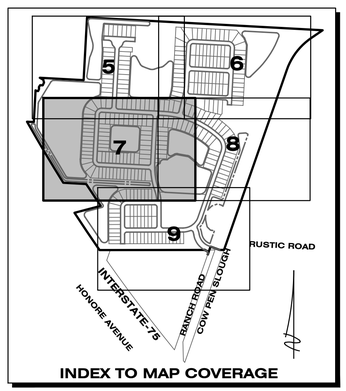

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REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

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FLORIDA PROFESSIONAL ENGINEER

PRELIMINARY PLAT

JOB NO. JEN-RU-008

DESIGN FERREIRA

DRAWN WINTER

DATE 08-31-2021

FILE PP

RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
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SHEET 7 OF 12 SHEETS

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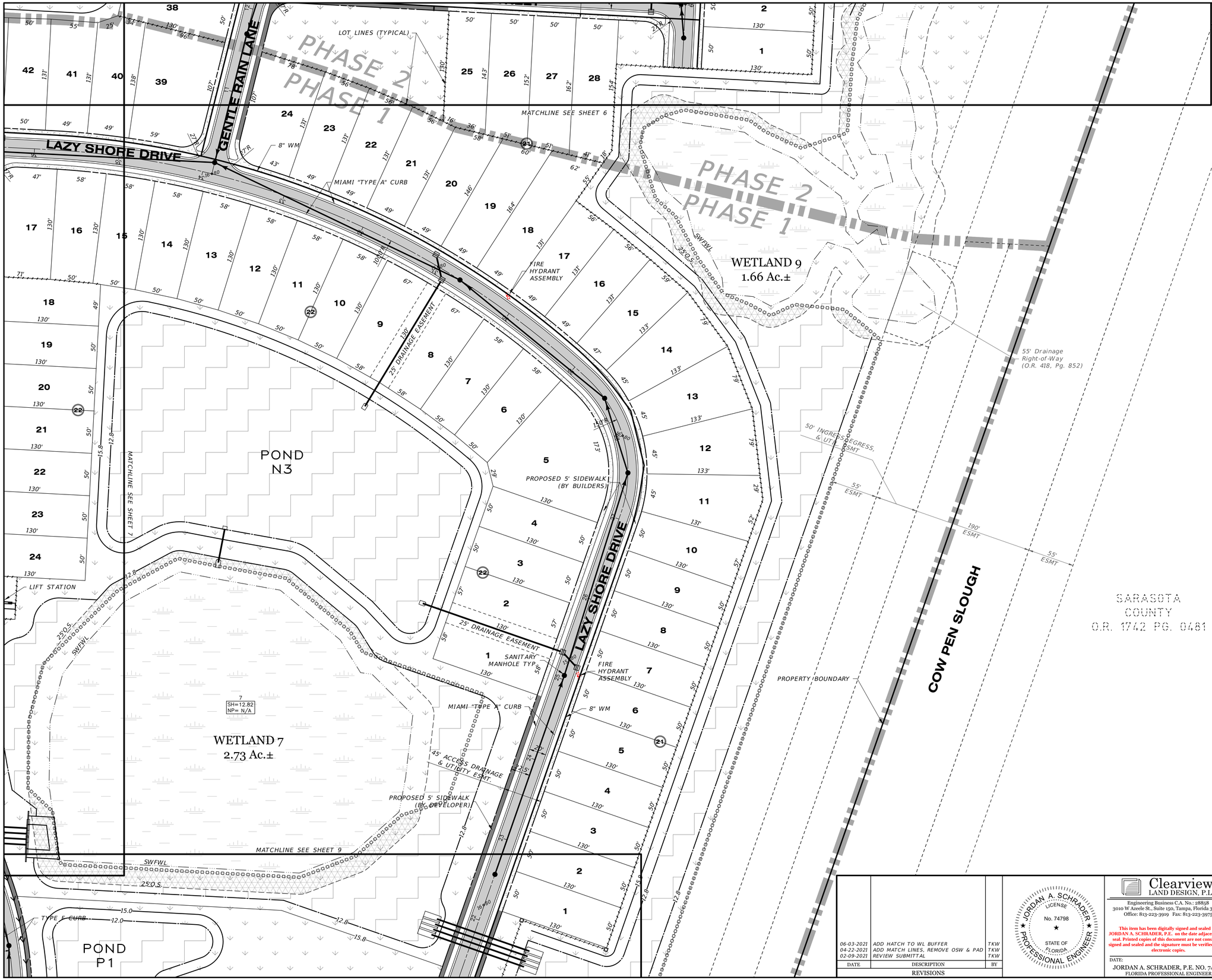

N

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SCALE: 1" = 50'

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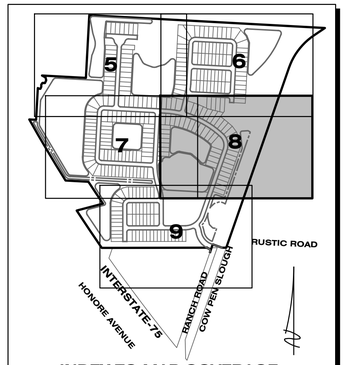


INDEX TO MAP COVERAGE

DATE	DESCRIPTION	BY
06-03-2021	ADD HATCH TO WL BUFFER	TKW
04-22-2021	ADD MATCH LINES, REMOVE OSW & PAD	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

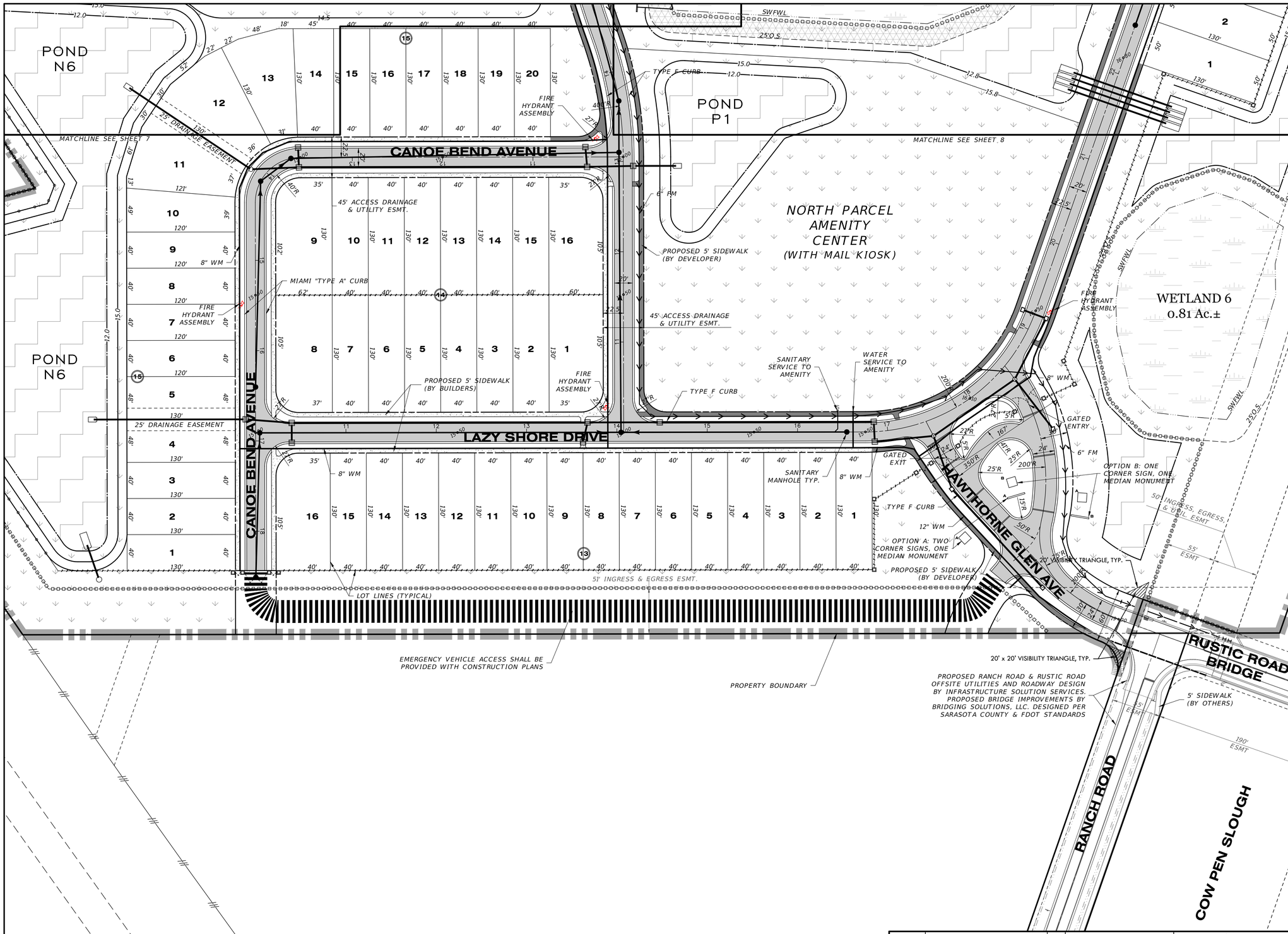
DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

PRELIMINARY PLAT

RUSTIC ROAD NORTH
PHASES 1 & 2

JOB NO.	JEN-RU-008
DESIGN	FERREIRA
DRAWN	WINTER
DATE	08-31-2021
FILE	PP
PREPARED FOR:	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

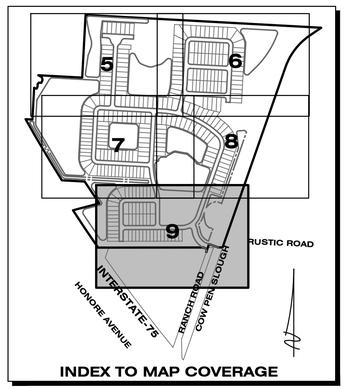
P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\PP.DWG-8 PRELIMINARY PLAT 2021/08/31 3:14 PM CLD ENGINEERO



SCALE: 1" = 50'

LEGEND

EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE & PIPE
		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
SWFWL		SWFWMD WETLAND LINE
25'O.S.		25' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)		WETLAND AREA
10		WETLAND/HYDROPERIOD ID
SH=65.00 NP=63.50		WETLAND HYDROPERIOD DATA
		WETLAND AREAS
		TEMPORARY WETLAND BUFFER ENCROACHMENT
		PROPOSED LAKE
		OPEN SPACE/ LAKE BANK
		PROPOSED ASHPALT
		PROPOSED CONCRETE SIDEWALK (BY DEVELOPER)
		PROPOSED CONCRETE SIDEWALK (BY HOME BUILDERS)
		PROJECT BOUNDARY
		TOP OF BANK / EDGE OF WATER — POND CONTOUR LINES



INDEX TO MAP COVERAGE

DATE	DESCRIPTION	BY
08-31-2021	ADDED EMERGENCY ACESS	TKW
06-03-2021	ADD HATCH TO WL BUFFER, ADD NOTE	TKW
04-22-2021	ADD MATCH LINES, REMOVE OSW & PAD	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

PRELIMINARY PLAT

JOB NO. JEN-RU-008
DESIGN FERREIRA
DRAWN WINTER

RUSTIC ROAD NORTH
PHASES 1 & 2

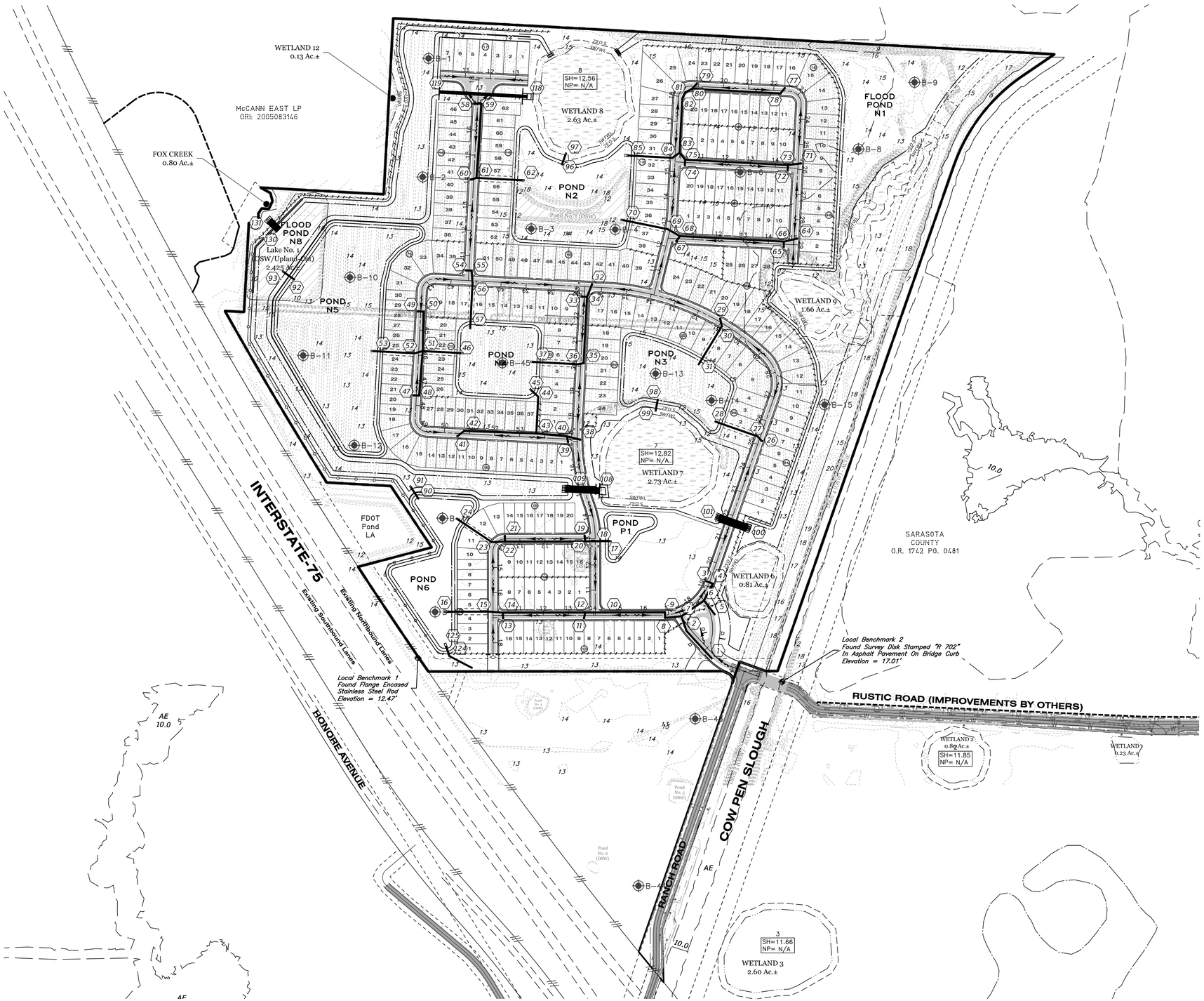
PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

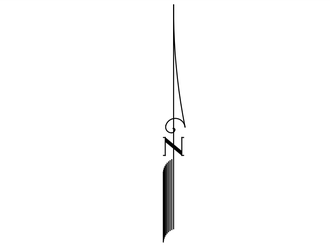
DATE 08-31-2021
Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

FILE PP

SHEET 9 OF 12 SHEETS

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\PP.DWG-9 PRELIMINARY PLAT 2021/08/31 3:14 PM CLD ENGINEERO





LEGEND

EXISTING	PROPOSED	
	12	STORM DRAINAGE STRUCTURE & PIPE PIPE SIZE IN INCHES
10	10	STRUCTURE NO.
+ 62.9	65.00 / 65x00	SPOT ELEVATION / PROPOSED PROFILE GRADE ELEVATION
63	65.00	CONTOUR
		DIRECTION OF SURFACE FLOW
ZONE A		FEMA FLOOD ZONE BOUNDARY
62.0		BASE FLOOD ELEVATION (FT)
SWFWL		SWFWMD WETLAND LINE
30' BUFFER		30' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)		WETLAND AREA
10		WETLAND/HYDROPERIOD ID
SH=65.00 NP=63.50		WETLAND HYDROPERIOD DATA
		WETLAND AREAS
		PROPOSED OSW IMPACTS
B-#		POND BORING LOCATION (MAX DEPTH OF SUITABLE FILL FROM EXISTING GRADE)

NOTES:
1. Elevations Refer to the National American Vertical Datum 1988 (NAVD 88).
2. The site appears to lie within Flood Zones "A" and "X" according to Federal Emergency Management Agency (FEMA) - Flood Insurance Rate Map (FIRM) Community-Panel No. 12115C0245F revised November 4, 2016.

STREET & DRAINAGE CONSTRUCTION NOTES:

1. Prior to construction, the Contractor shall obtain from the Engineer or Owner a copy of all pertinent permits related to this project. It is the Contractor's responsibility to assure that all construction activities are in compliance with the conditions of all permits and approvals. Contractor is also responsible for having his dewatering plan approved by SWFWMD.
2. All construction, materials and workmanship are to be in accordance with City of Venice Subdivision Regulations and DOT Specifications, latest editions.
3. Grass and mulch, or solid sod, all areas in existing rights-of-way disturbed by construction. In the proposed rights-of-way a 2' wide area behind the back of curb to be solid sodded. The remainder of the proposed rights-of-way to be seeded and mulched if the slope is steeper than 6:1.
4. In accordance with the Underground Facility Damage Prevention and Safety Act (Chapter 556, F.S.) the Contractor shall call the Sunshine State One Call of Florida (SSCOF) at 1-800-432-4770 forty eight (48) hours in advance of any excavation.
5. Prior to curb inlet construction, the Engineer shall lay out the back of the curb in the vicinity of the respective inlet for alignment and grade, and the Contractor shall construct the inlet allowing for an 18" concrete throat between the back of the curb and the face of the inlet. The top of the inlet shall be constructed to an elevation of 3/8" above the top of curb (these dimensions apply to the concrete valley gutter type section only). Any inlets constructed incorrectly by deviating from this sequence of inlet construction shall be the sole responsibility of the Contractor and no additional payment shall be made or allowed for removing and/or correcting the inlet.
6. Fill obtained through excavation of streets and detention ponds shall be placed on lots and adjacent land in accordance with the Master Drainage and Grading Plan as directed by the Engineer unless otherwise noted.
7. Sod/Seed & Mulch shall be placed in accordance with applicable City/County standards as well as in accordance with standard and specific conditions in the SWFWMD permit, if applicable. At a minimum this shall include sodding of all pond embankments of a slope 5:1 or steeper to the NW line, as well as seeding and mulching of the balance of the pond tracts (including pond berms, excluding the area below NW), sodding at a minimum of 2' from the back of curb and any project area with a slope of 5:1 or steeper.
8. Roadway underdrain has been located on these plans to meet the minimum standards of City of Venice. Prior to curb construction, the Geotechnical Engineer shall review the predesign borings and, along with their field inspection, make a recommendation regarding additional underdrain requirements.
9. Site clearing shall be performed per the approved construction plans and in accordance with the City of Venice Natural Resources regulations. Installation and maintenance of the required barricading and erosion control shall be the responsibility of the site development contractor unless otherwise designated.
10. Prior to beginning construction, Contractor shall expose all existing utility inverts to which a tie-in is proposed and have Engineer verify the elevation and adequacy of these inverts.
11. All subsurface construction shall comply with the "Trench Safety Act." The Contractor shall ensure that the method of trench protection and construction is in compliance with the Occupational Safety and Health Administration (OSHA) regulations.
12. Siltation accumulations greater than the lesser of 12 inches or one-half the depth of the siltation barrier shall be immediately removed and placed in upland areas.
13. During land alteration and construction activities, it shall be unlawful to remove vegetation by grubbing or to place soil deposits, debris, solvents, construction material, machinery or other equipment of any kind within the dripline of a tree to remain on the site unless otherwise approved by the City.
14. All erosion control installation and installation coordination shall be the responsibility of the Contractor. Clearview Land Design, if contracted by the Owner, will take the alignment of the proposed erosion control and shall limit its responsibility and coordination at that point. Be advised that the construction approval and maintenance of the erosion control shall be the sole responsibility of the Site Contractor.

DATE	DESCRIPTION	BY
04-22-2021	FEMA, EXISTING REMOVED, HATCHING, LEGEND REVISED, EROS REMOVED	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

MASTER DRAINAGE PLAN

JOB NO. JEN-RU-008

RUSTIC ROAD NORTH
PHASES 1 & 2

DESIGN FERREIRA

DRAWN WINTER

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

DATE 08-31-2021

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

FILE MD

SHEET 10 OF 12 SHEETS

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\MD.DWG-10 MASTER DRAINAGE PLAN 2021/08/31 3:14 PM CLD ENGINEERO

STORM STRUCTURE DATA

STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT ELEV. UPPER END	INVERT ELEV. LOWER END	FALL IN FEET	
90	CONTROL STRUCTURE	14.50	RCP	24	56	0.20	7.20	7.09	0.11	REFER TO CONTROL STRUCTURE DETAILS
91	MES									FDOT INDEX NO. 430.021
92	CONTROL STRUCTURE	14.50	RCP	24	56	0.20	7.20	7.09	0.11	REFER TO CONTROL STRUCTURE DETAILS
93	MES									FDOT INDEX NO. 430.021
96	CONTROL STRUCTURE	14.50	RCP	24	48	0.20	7.20	7.10	0.10	REFER TO CONTROL STRUCTURE DETAILS
97	MES									FDOT INDEX NO. 430.021
98	CONTROL STRUCTURE	14.50	RCP	24	48	0.20	7.20	7.10	0.10	REFER TO CONTROL STRUCTURE DETAILS
99	MES									FDOT INDEX NO. 430.021
100	MES	12.80	RCP	54	113	0.12	6.80	6.66	0.14	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 430.021
101	MES									FDOT INDEX NO. 430.021
108	ENDWALL	12.80	RCP	54	130	0.12	6.80	6.64	0.16	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 430.030
109	MES									FDOT INDEX NO. 430.021
118	MES	12.60	RCP	42	375	0.12	6.60	6.15	0.45	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 430.021
119	MES									FDOT INDEX NO. 430.021
130	CONTROL STRUCTURE	14.00	RCP	48	48	0.12	6.00	5.94	0.06	TYPE 'J' STRUCTURE BOTTOM REFER TO CONTROL STRUCTURE DETAILS
131	MES									FDOT INDEX NO. 430.021

DATE	DESCRIPTION	BY
06-03-2021	NEW SHEET	TKW
02-09-2021	REVIEW SUBMITTAL	BGS

REVISIONS

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

DRAINAGE STRUCTURE DATA

JOB NO. JEN-RU-008
DESIGN FERREIRA
DRAWN WINTER
DATE 08-31-2021
FILE ST

RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\ST.DWG-TOM DRAINAGE STRUCTURE DATA 2021/08/31 3:15 PM CLD ENGINEERO

STORM STRUCTURE DATA

STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT ELEV. UPPER END	INVERT ELEV. LOWER END	FALL IN FEET	
1	THROAT INLET	17.53	RCP	18	148	1.20	12.93	11.15	1.78	
2	THROAT INLET	16.13	RCP	18	63	0.40	9.49	9.24	0.25	
7	MES									FDOT INDEX NO. 430.021
3	THROAT INLET	15.90	RCP	18	27	0.20	11.30	11.25	0.05	
4	THROAT INLET	15.90	RCP	24	95	0.20	10.75	10.56	0.19	
6	MES									FDOT INDEX NO. 430.021
5	THROAT INLET	16.30	RCP	18	70	0.92	9.80	9.16	0.64	
6	MANHOLE	15.65	RCP	24	109	0.20	8.66	8.44	0.22	FDOT INDEX NO. 425.001
7	MANHOLE	15.55	RCP	24	65	0.20	8.44	8.31	0.13	FDOT INDEX NO. 425.001
8	VALLEY GUTTER INLET	15.10	RCP	24	22	0.20	8.31	8.26	0.04	
9	VALLEY GUTTER INLET	15.10	RCP	24	236	0.20	8.26	7.79	0.47	
10	VALLEY GUTTER INLET	15.05	RCP	36	80	0.22	6.79	6.62	0.18	TYPE 'J' STRUCTURE BOTTOM
12	MES									FDOT INDEX NO. 430.021
11	VALLEY GUTTER INLET	14.80	RCP	18	22	0.20	10.20	10.16	0.04	
12	VALLEY GUTTER INLET	14.80	RCP	36	327	0.20	6.62	5.96	0.65	TYPE 'J' STRUCTURE BOTTOM
14	MES									FDOT INDEX NO. 430.021
13	VALLEY GUTTER INLET	14.60	RCP	18	22	0.20	10.00	9.96	0.04	
14	VALLEY GUTTER INLET	14.60	RCP	42	51	0.22	5.46	5.35	0.11	TYPE 'J' STRUCTURE BOTTOM
15	VALLEY GUTTER INLET	14.68	RCP	48	167	0.20	4.85	4.52	0.33	TYPE 'J' STRUCTURE BOTTOM
16	MES									FDOT INDEX NO. 430.021
17	MANHOLE	12.00	RCP	24	46	0.10	8.00	7.95	0.05	FDOT INDEX NO. 425.001
18	VALLEY GUTTER INLET	14.70	RCP	24	51	0.20	7.95	7.85	0.10	
20	MES									FDOT INDEX NO. 430.021
19	VALLEY GUTTER INLET	14.60	RCP	18	22	0.20	10.00	9.96	0.04	
20	VALLEY GUTTER INLET	14.60	RCP	24	319	0.20	7.85	7.21	0.64	
22	MES									FDOT INDEX NO. 430.021
21	VALLEY GUTTER INLET	14.60	RCP	18	22	0.20	10.00	9.96	0.04	
22	VALLEY GUTTER INLET	14.60	RCP	24	53	0.20	9.46	9.35	0.11	
23	MANHOLE	15.10	RCP	30	161	0.20	8.85	8.53	0.32	FDOT INDEX NO. 425.001
24	MES									FDOT INDEX NO. 430.021
26	VALLEY GUTTER INLET	15.40	RCP	24	25	0.20	10.30	10.25	0.05	
27	VALLEY GUTTER INLET	15.40	RCP	24	173	0.20	8.75	8.40	0.35	
28	MES									FDOT INDEX NO. 430.021

STORM STRUCTURE DATA

STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT ELEV. UPPER END	INVERT ELEV. LOWER END	FALL IN FEET	
29	VALLEY GUTTER INLET	15.40	RCP	24	30	0.20	10.30	10.24	0.06	
30	VALLEY GUTTER INLET	15.40	RCP	24	173	0.24	9.14	8.72	0.42	
31	MES									FDOT INDEX NO. 430.021
32	VALLEY GUTTER INLET	14.70	RCP	18	53	0.20	10.10	9.99	0.11	
34	MES									FDOT INDEX NO. 430.021
33	VALLEY GUTTER INLET	14.60	RCP	18	22	0.20	10.00	9.96	0.04	
34	VALLEY GUTTER INLET	14.60	RCP	24	264	0.20	8.26	7.74	0.53	
35	VALLEY GUTTER INLET	14.60	RCP	30	23	0.20	7.24	7.19	0.05	
36	VALLEY GUTTER INLET	14.60	RCP	36	178	0.20	5.69	5.33	0.36	TYPE 'J' STRUCTURE BOTTOM
37	MES									FDOT INDEX NO. 430.021
38	VALLEY GUTTER INLET	14.72	RCP	18	53	0.20	9.00	8.89	0.11	
40	MES									FDOT INDEX NO. 430.021
39	VALLEY GUTTER INLET	14.60	RCP	18	23	0.20	10.00	9.95	0.05	
40	VALLEY GUTTER INLET	14.60	RCP	24	122	0.20	8.39	8.15	0.24	
43	MES									FDOT INDEX NO. 430.021
41	VALLEY GUTTER INLET	14.55	RCP	18	34	0.20	9.95	9.88	0.07	
42	VALLEY GUTTER INLET	14.55	RCP	24	287	0.20	8.18	7.61	0.57	
43	MANHOLE	15.30	RCP	30	147	0.20	7.11	6.81	0.29	FDOT INDEX NO. 425.001
44	MANHOLE	15.20	RCP	30	35	0.20	6.81	6.74	0.07	FDOT INDEX NO. 425.001
45	MES									FDOT INDEX NO. 430.021
46	CONTROL STRUCTURE	12.00	RCP	24	150	0.20	8.00	7.70	0.30	REFER TO CONTROL STRUCTURE DETAILS
51	MES									FDOT INDEX NO. 430.021
47	VALLEY GUTTER INLET	14.60	RCP	18	22	0.20	10.00	9.96	0.04	
48	VALLEY GUTTER INLET	14.60	RCP	24	177	0.20	8.26	7.90	0.35	
51	MES									FDOT INDEX NO. 430.021
49	VALLEY GUTTER INLET	14.60	RCP	18	22	0.20	10.00	9.96	0.04	
50	VALLEY GUTTER INLET	14.60	RCP	24	157	0.22	8.26	7.91	0.35	
51	MANHOLE	15.40	RCP	24	33	0.20	6.70	6.63	0.07	FDOT INDEX NO. 425.001
52	MANHOLE	15.43	RCP	24	163	0.20	6.63	6.31	0.33	FDOT INDEX NO. 425.001
53	MES									FDOT INDEX NO. 430.021
54	VALLEY GUTTER INLET	14.75	RCP	18	22	0.20	10.15	10.11	0.04	
55	VALLEY GUTTER INLET	14.75	RCP	18	51	0.20	8.61	8.50	0.10	
56	VALLEY GUTTER INLET	14.80	RCP	24	174	0.20	8.00	7.66	0.35	
57	MES									FDOT INDEX NO. 430.021

STORM STRUCTURE DATA

STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT ELEV. UPPER END	INVERT ELEV. LOWER END	FALL IN FEET	
58	VALLEY GUTTER INLET	15.20	RCP	18	29	0.20	8.10	8.04	0.06	
59	VALLEY GUTTER INLET	15.20	RCP	24	296	0.20	7.54	6.95	0.59	
61	MES									FDOT INDEX NO. 430.021
60	VALLEY GUTTER INLET	15.20	RCP	18	23	0.20	10.60	10.55	0.05	
61	VALLEY GUTTER INLET	15.20	RCP	36	180	0.20	5.95	5.59	0.36	TYPE 'J' STRUCTURE BOTTOM
62	MES									FDOT INDEX NO. 430.021
64	VALLEY GUTTER INLET	15.27	RCP	18	52	0.20	10.67	10.57	0.10	
66	MES									FDOT INDEX NO. 430.021
65	VALLEY GUTTER INLET	15.20	RCP	18	22	0.20	10.60	10.56	0.04	
66	VALLEY GUTTER INLET	15.20	RCP	30	414	0.20	8.06	7.23	0.83	
68	MES									FDOT INDEX NO. 430.021
67	VALLEY GUTTER INLET	15.20	RCP	18	25	0.20	10.60	10.55	0.05	
68	VALLEY GUTTER INLET	15.20	RCP	24	57	0.20	7.73	7.61	0.11	
69	VALLEY GUTTER INLET	15.20	RCP	36	178	0.20	6.61	6.26	0.36	TYPE 'J' STRUCTURE BOTTOM
70	MES									FDOT INDEX NO. 430.021
71	VALLEY GUTTER INLET	15.27	RCP	18	26	0.20	10.67	10.62	0.05	
73	MES									FDOT INDEX NO. 430.021
72	VALLEY GUTTER INLET	15.20	RCP	18	22	0.20	10.60	10.56	0.04	
73	VALLEY GUTTER INLET	15.20	RCP	30	410	0.20	8.36	7.54	0.82	
75	MES									FDOT INDEX NO. 430.021
74	VALLEY GUTTER INLET	15.20	RCP	18	22	0.20	10.60	10.56	0.04	
75	VALLEY GUTTER INLET	15.20	RCP	30	35	0.20	7.54	7.47	0.07	
83	MES									FDOT INDEX NO. 430.021
77	VALLEY GUTTER INLET	15.20	RCP	24	28	0.20	10.10	10.04	0.06	
78	VALLEY GUTTER INLET	15.20	RCP	30	384	0.20	8.94	8.18	0.77	
80	MES									FDOT INDEX NO. 430.021
79	VALLEY GUTTER INLET	15.20	RCP	24	22	0.20	10.10	10.06	0.04	
80	VALLEY GUTTER INLET	15.20	RCP	36	31	0.20	7.68	7.61	0.06	TYPE 'J' STRUCTURE BOTTOM
81	MANHOLE	15.69	RCP	36	26	0.20	7.61	7.56	0.05	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001
82	MANHOLE	15.81	RCP	36	218	0.20	7.56	7.13	0.44	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001
83	MANHOLE	15.77	RCP	42	34	0.20	6.47	6.40	0.07	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001
84	VALLEY GUTTER INLET	15.30	RCP	48	176	0.20	5.90	5.55	0.35	TYPE 'J' STRUCTURE BOTTOM
85	MES									FDOT INDEX NO. 430.021

DATE	DESCRIPTION	BY
06-03-2021	NEW SHEET	TKW
02-09-2021	REVIEW SUBMITTAL	BGS

REVISIONS

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
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Office: 813-223-3919 Fax: 813-223-3975

This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

DRAINAGE STRUCTURE DATA

JOB NO. JEN-RU-008
DESIGN FERREIRA
DRAWN WINTER
DATE 08-31-2021
FILE ST

RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

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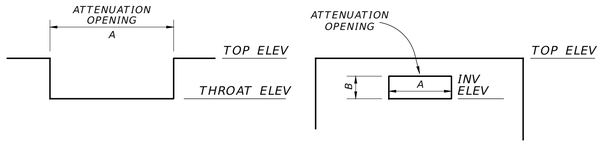
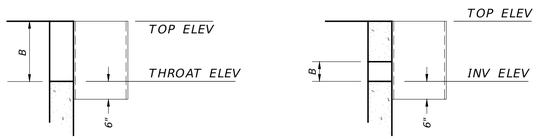


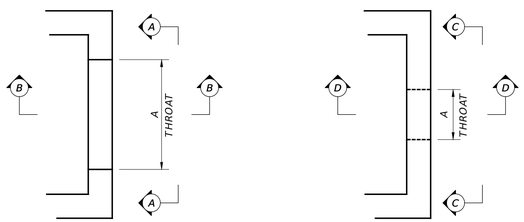
SECTION "A-A"

SECTION "C-C"



SECTION "B-B"

SECTION "D-D"



PLAN

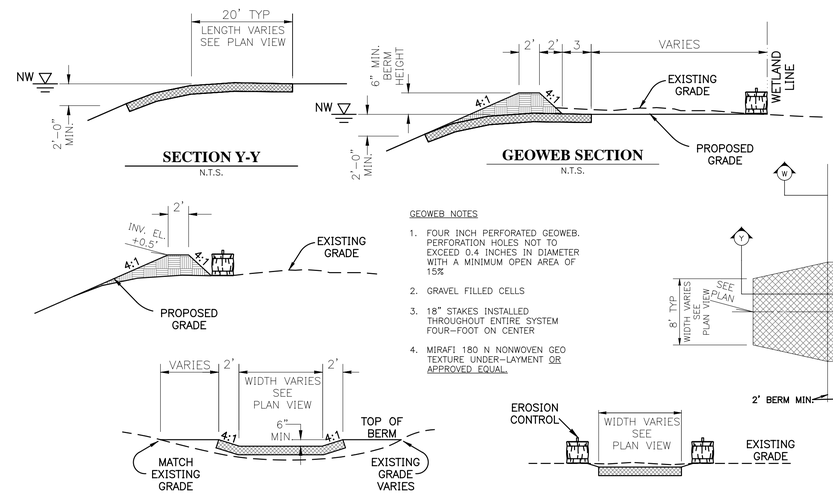
PLAN

TYPE "CS-1" OPENING

TYPE "CS-2" OPENING

CONTROL STRUCTURE DATA															
				DISCHARGE PIPE			ATTENUATION AND TREATMENT CONTROLS								
								ATTENUATION OPENING			TREATMENT OPENING				
STR NO	FDOT BOX TYPE	TOP EL (FT)	BOTT EL (FT)	TYPE	SIZE (IN)	INV EL (FT)	STR TYPE	A	B	EL (FT)	C	D	F	EL (FT)	REMARKS
90	D	14.50	5.20	RCP	36	6.20	CS-2				5'-0"	0'-9"		12.00	POND N6 OUTFALL
92	D	14.50	5.70	RCP	30	6.70	CS-2				6'-2"	0'-4"		12.00	POND N5 OUTFALL
96	D	14.50	5.70	RCP	30	6.70	CS-2				3'-9"	1'-0"		12.60	POND N2 OUTFALL
98	C	14.50	6.20	RCP	24	7.20	CS-2				2'-0"	0'-4"		12.80	POND N3 OUTFALL
130	D	14.00	5.00	RCP	48	6.00	CS-1	2'-0"	4'-0"					10.00	FLOODPLAIN N8 OUTFALL (X 4)
130B	D	14.00	5.00	RCP	48	6.00	CS-1	2'-0"	4'-0"					10.00	
130C	D	14.00	5.00	RCP	48	6.00	CS-1	2'-0"	4'-0"					10.00	
130D	D	14.00	5.00	RCP	48	6.00	CS-1	2'-0"	4'-0"					10.00	

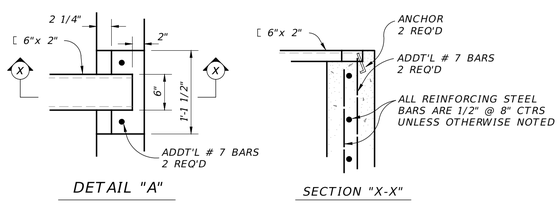
NOTES:
1. This drawing is not to scale.
2. Contractor shall submit shop drawings to the Engineer for approval prior to constructing control structures.



GEOWEB NOTES

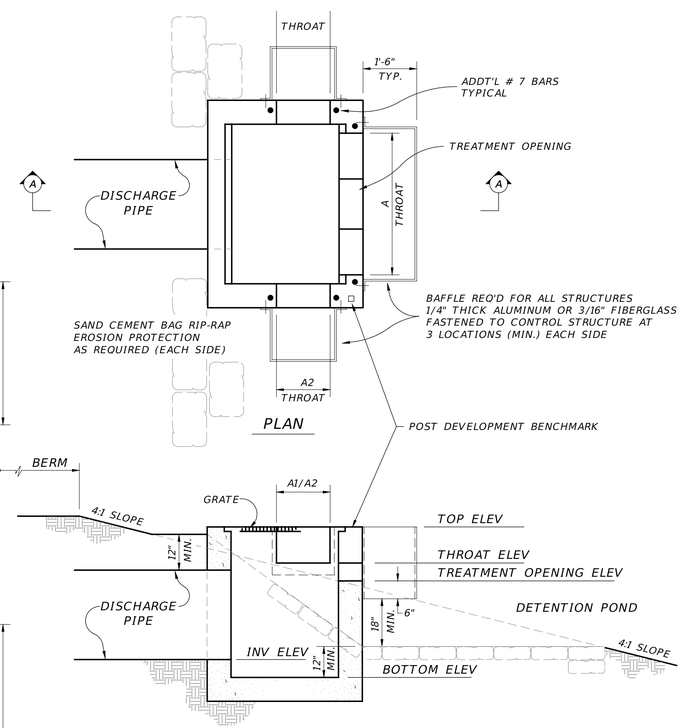
1. FOUR INCH PERFORATED GEOWEB. PERFORATION HOLES NOT TO EXCEED 0.4 INCHES IN DIAMETER WITH A MINIMUM OPEN AREA OF 15%
2. GRAVEL FILLED CELLS
3. 18" STAKES INSTALLED THROUGHOUT ENTIRE SYSTEM FOUR-FOOT ON CENTER
4. MIRAFI 180 N NONWOVEN GEO TEXTURE UNDER-LAYMENT OR APPROVED EQUAL.

GEOWEB TYPICAL DETAIL
N.T.S.



DETAIL "A"

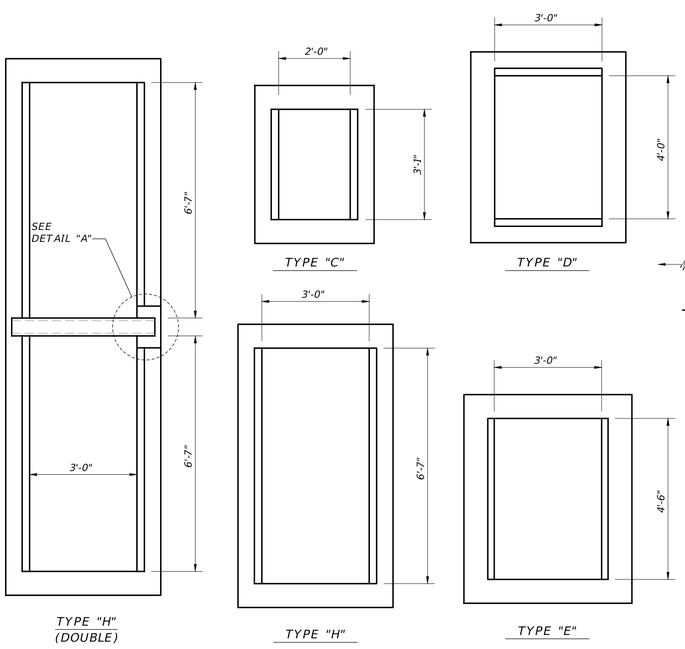
SECTION "X-X"

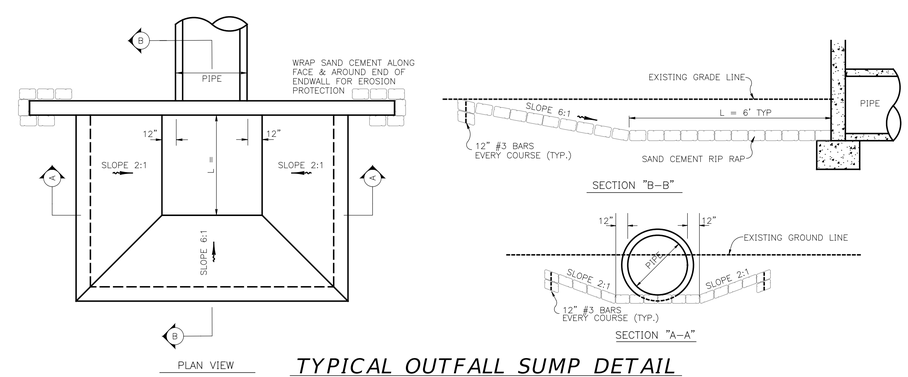


PLAN

SECTION "A-A"
DETENTION POND

TYPICAL CONTROL STRUCTURE





TYPICAL OUTFALL SUMP DETAIL
N.T.S.

DATE	DESCRIPTION	BY
06-03-2021	NEW SHEET	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

CONTROL STRUCTURE DATA

JOB NO. JEN-RU-008

RUSTIC ROAD NORTH PHASES 1 & 2

DESIGN FERREIRA

DRAWN WINTER

PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.

DATE 08-31-2021

Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

FILE CSTR

SHEET 10C OF 12 SHEETS

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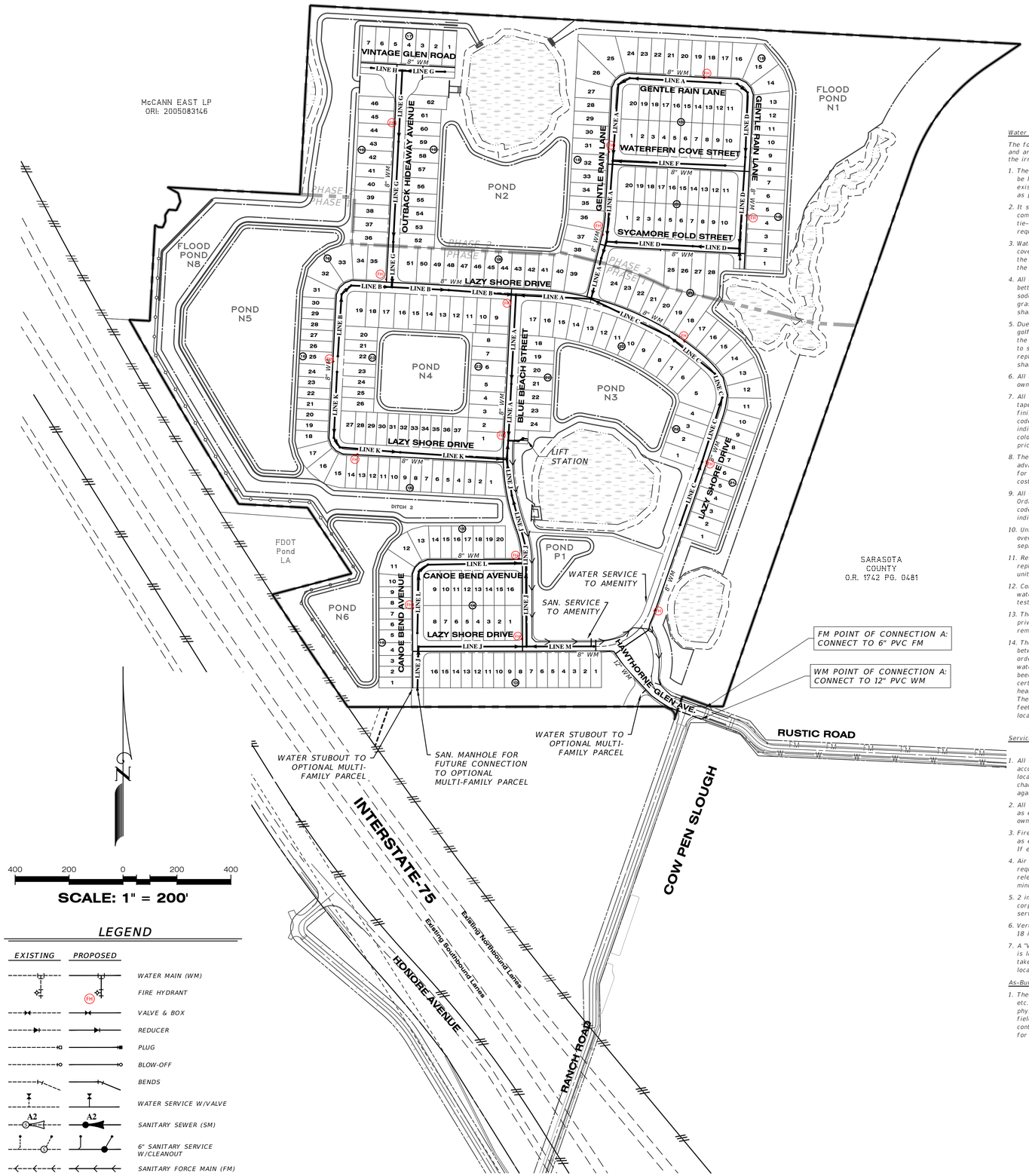

LEGEND

EXISTING	PROPOSED	
		WATER MAIN (WM)
	FH	FIRE HYDRANT
		VALVE & BOX
		REDUCER
		PLUG
		BLOW-OFF
		BENDS
		WATER SERVICE W/VALVE
A2	A2	SANITARY SEWER (SM)
		6" SANITARY SERVICE W/CLEANOUT
		SANITARY FORCE MAIN (FM)

Water Distribution General Notes

The following notes are intended as a supplement to the project specifications and are not intended to supersede the project specifications. It is assumed the irrigation mains are or will convey reuse waters.

1. *The Contractor shall investigate and verify before starting work. He shall be liable for any expense resulting from damage to same. Any conflicts with existing utilities shall be brought to the attention of the engineer as soon as possible.*
2. *It shall be the responsibility of the contractor to notify the county, utility companies and the engineer 48 hours prior to any work at site. Water main tie-- ins requiring water service to be shut off shall be made when required by the City of Venice.*
3. *Water main installation shall be constructed with a minimum of 3 feet of cover below proposed grade or to the elevations and depths as indicated on the plans within 0.25 ft. Cost to relay main, if necessary, shall be borne by the contractor.*
4. *All disturbed areas in existing lawns shall be replaced with sod equal to or better than existing and of the same type. Swale slopes and bottom shall be sodded to eliminate erosion. Restoration due to erosion occurring prior to grass rooting, shall be the responsibility of the contractor. The contractor shall water as necessary all sodded areas until grass roots.*
5. *Due to the proximity of existing drainage structures, roadway pavement, golf cart paths, curbs, culverts, residential structures, mailboxes, etc., to the contractor shall use excavating methods which shall prevent any damage to same unless removal is required. The cost of any damage and the replacement of all private property damaged by the contractor's operations shall be borne by the contractor.*
6. *All existing salvageable pipe fittings, etc, shall remain the property of the owner and be stored on site at the direction of the engineer.*
7. *All PVC water mains shall be blue in color. Color-coded plastic-coated metal tape 3" wide with the word "water main" shall be placed 18 inches below finished ground and above DIP and PVC water main. Also attach a color--coded continuous number 12 insulated wire on top of the pipe and as indicated on the details for valves, hydrants, blowoffs, etc. The cost for color tape and copper tracing wire shall be included in the water main unit prices.*
8. *The contractor shall coordinate holding of poles with utility companies in advance so unnecessary delays of project shall not be incurred. The cost for the holding of the power poles shall be included in the water main unit cost items contained in the proposal.*
9. *All Construction shall meet the minimum requirements of City of Venice Ordinance #99-058 and #99-063 (uniform water, wastewater & reuse system code), latest revision, and exceed the requirements of that ordinance where indicated on these construction drawings or in the project specifications.*
10. *Unless otherwise noted proposed water mains shall be adjusted to go over storm crossings wherever possible. Modifications to material and separation may be made to increase cover as approved by the EOR.*
11. *Restoration of all existing roadways to City of Venice standards and the replacement of existing culverts and driveways etc., shall be included in the unit bid price of the water main items.*
12. *Connections to existing water lines will not be permitted until all new water lines have successfully completed all pressure and bacteriological testing.*
13. *The contractor shall notify City of Venice utilities department or the private utility regarding the disposition of any fittings, etc., that are to be removed.*
14. *The contractor shall provide and utilize a metered jumper assembly between the existing potable water source piping and the new water main in order to provide backflow prevention while filling and flushing the new water main. Final tie--in shall be completed only after the new system has been flushed clean, pressure tested, disinfected, bacteriologically cleared, certified complete by the engineer, and a release is obtained from the health department. Engineer's representative to be present at final tie--in. The length of pipe required for final tie--in shall be limited to less than 20 feet. All work shall be completed in accordance with health department and local government rules and regulations.*

Service Details

1. *All meter boxes have been calculated for location and shall be staked accordingly in the field. Boxes found not constructed to the proposed location shall be removed and relocated by the contractor at no additional charge. Those boxes shown in clusters shall be placed in a neat row and against each other.*
2. *All existing and proposed valve boxes shall be adjusted to finished grades as established in the field. No additional compensation shall be made by the owner.*
3. *Fire hydrants shall be constructed with "ground line" set to finished grades as established in the field. Normal bury is 3 feet of cover for water lines. If extensions are required, the cost shall be included in the price bid.*
4. *Air release taps shall be installed in water mains at high points where required. These locations shall be located on the record drawings. No air releases shall be located on water services. Air Release Valves shall be minimized throughout the water system.*
5. *2 inches or smaller diameter services shall include the service saddle, corporation stop, variable length P.E. 3406 -- A.S.T.M. 2737 copper tube size service pipe, curb stop and meter box of the size for meter indicated.*
6. *Vertical clearance between water and storm/reuse/wastewater lines shall be 18 inches minimum.*
7. *A "V" or "Y" shall be stamped into curb where water service or water valve is located in accordance with county code. A measurement from edge of curb taken by the contractor, shall be shown on the record plans for reference in locating the service or the valve.*

As-Builts

1. *The contractor shall locate valves, services, hydrants, air release valves, etc. By using a two (2) point swing measurement from permanent physical features that can readily be found on the drawing and in the field. These measurements shall be shown on the "as--built" drawing by the contractor and presented to the engineer at each partial payment application for permanent recording.*
2. *The contractor shall furnish "as-- built" top of pipe elevations of all water mains every 100', all fittings and all changes in grade.*
3. *Record drawings, if prepared by the contractor or contractors surveyor. Draft copies of the record drawings shall be submitted to the engineer prior to finalizing the drawings. Once acceptable to the engineer, the contractor/surveyor will provide 9 sets of signed and sealed finalized drawings within 7 days of bacteriological clearance testing for submittal to the county. Once the drawings are approved by the county, contractor/surveyor is responsible to provide the engineer of record one set of Mylars and a digital copy of record drawings in AutoCAD 14 format. Record information shall be on unique layer(s), using text shape file that comes with standard AutoCAD. As-builts shall include a GIS submittal per COV standards*

Joint Restraining

1. *The contractor shall provide all joint restraining as required. See restrained joint tables.*
2. *Design criteria: 150 p.s.i. test pressure times 2 safety factor (300 p.s.i.) for water hammer with assumed soil bearing capacity of 1000 lbs. Per square foot.*
3. *Completely coat exposed tie--bars or other uncoated steel after installation with two coats of porter tarset maxi--build 7080 at 8 mils d.f.t. each (coat) used in accordance with manufacturer's recommendations.*

Wastewater Collection General Notes

The following notes are intended as a supplement to the project specifications and are not intended to supersede the specifications.

1. *Elevations shown on the plans for flowlines of proposed wastewater mains shall be adhered to. In most cases the design grades are critical, and adjustments caused by misalignment or improper grades are impractical. Cost to relay main, if necessary, shall be borne by the contractor.*
2. *The contractor shall investigate and verify or have verified the location of existing utilities and any other subsurface facilities before starting work. He shall be liable for any expense resulting from damage to same. Any conflicts with existing utilities shall be brought to the attention of the engineer as soon as possible.*
3. *It shall be the responsibility of the contractor to notify the county, utility companies and the engineer 48 hours prior to any work at site and 48 hours prior to any testing. Please note that all scheduling for any inspections, testing, start of construction etc. shall be coordinated with Veronica Ford, vford@scgov.net and 941-861-6625.*
4. *The contractor shall coordinate holding of poles with utility companies in advance so unnecessary delays of project shall not be incurred. The cost for the holding of the power poles shall be included in the wastewater main unit cost items contained in the proposal.*
5. *All disturbed areas in existing lawns shall be replaced with sod equal to or better than existing and of the same type. Swale slopes and bottoms shall be sodded to eliminate erosion. Restoration due to erosion occurring prior to grass rooting, shall be the responsibility of the contractor. The contractor shall water as necessary all sodded areas until grass roots.*
6. *Due to the proximity of existing drainage structures, roadway pavement, golf cart paths, curbs, culverts, residential structures, mailboxes, etc., the contractor shall use excavating methods which shall prevent any damage to same unless removal is required. The cost of any damage and the replacement of all private property damaged by the contractor's operations shall be borne by the contractor.*
7. *For painting and surface finishing requirements, refer to appropriate division of the project specifications.*
8. *Pipe and fittings for P.V.C. gravity pipe shall meet the requirements of A.S.T.M. specification D-3034 (SDR 26).*
9. *Force mains shall be restrained joint in accordance with the water main details unless otherwise specified.*
10. *All PVC force mains shall be green in color. Color-coded plastic-coated metal tape 3" wide with the word "force main" shall be placed 18 inches below Finished ground and above force main. Also attach a color Coded continuous number 12 insulated wire on top of the pipe and as indicated on the details for valves, hydrants, blow offs, etc. The cost for color tape and copper tracing wire shall be included in the force main unit prices.*

Sewer Testing

1. *Testing shall be in conformance with City of Venice "Standard Details, General Notes, and Testing Requirements" Manual, or the specifications, whichever is stricter.*
2. *The contractor shall include in his cost for the various items contained in the bid schedule, the additional costs involved with limping the newly laid sewer pipe, exfiltration or infiltration testing and pipe deflection tests, all as outlined in the Sarasota county "uniform water, wastewater and reuse systems code". Please note lamping of sewer lines is not allowed.*
3. *The contractor shall have the new sewer system TV. Inspected as per the City of Venice "Standard Details, General Notes, and Testing Requirements" Manual.*

As-Builts:

1. *The contractor shall locate manholes, services, etc. By using a two (2) point swing measurement from permanent physical features that can readily be found on the drawing and in the field. These measurements shall be shown on the as-built drawing by the contractor.*
2. *The contractor shall furnish "as-built" stationing of sewer wyes using each downstream manhole as sta. 0+000.*
3. *Top of pipe elevations for all force mains are required at a maximum interval of every 100' and at every fitting or change in grade.*
4. *Record drawings, if prepared by the contractor or contractors' surveyor. Draft copies of the record drawings shall be submitted to the engineer prior to finalizing the drawings. Once acceptable to the engineer the contractor/surveyor will provide 9 sets of signed and sealed finalized drawings for submittal to the county. Once approved by the county, contractor/surveyor is responsible to provide the engineer of record one set of Mylars and a digital copy of record drawings in AutoCAD 14 format, record information shall be on unique layer(s), using text shape file that comes with standard AutoCAD.*

Sanitary Manhole Notes

1. *Lift holes through precast structures are not permitted. All openings shall be sealed and waterproofed as specified and directed by the engineer.*
2. *Manholes shall comply with ASTM. specification C-478, Latest revision, "precast reinforced concrete manhole sections", except as exceeded by the details and specifications.*
3. *Cement shall be Type II.*
4. *Concrete shall be 4000 PSI. 6 28-day minimum strength, unless otherwise noted.*
5. *Mortar shall be 2 parts clean sand and one (1) part cement with no more than ¼ part hydrated lime.*
6. *Mortar joints shall be full and struck flush.*
7. *Drop construction shall be provided for a wastewater pipe entering a manhole at an elevation of twenty-four inches (24") or more above the discharge channel flow line.*
8. *No steps shall be used.*
9. *Provide six (6) inch minimum base slab lip as shown in detail. For manhole depths greater than 13', contractor shall submit buoyancy calculations. Based on the calculations, additional concrete ballast or a base slab lip in excess of 6" may be required.*
10. *Having the rubber gasket seal integrally poured into manhole sections at a non--plan position shall be cause for that section to be rejected. It is important for manufacturers of precast manholes to be informed by the contractor of the rejection possibility.*
11. *Manhole ring and cover shall be as specified.*
12. *Manhole rings and covers shall be adjusted to conform with finished surfaces including slope if any (using beveled adjustment rings). All adjustments shall be included in the price bid. No additional compensation shall be made by the owner. Manholes in grassed areas shall be set 0.1 above finished ground.*

Clean -Out Notes

1. *Cleanouts are required on all services.*
2. *Clean-outs shall be adjusted to conform with finished surfaces. All adjustments shall be included in the price bid. No additional compensation shall be made by the owner.*

Sanitary Sewer Service Notes

1. *A "S", "V" or "M" shall be stamped in curb where sewer service, valve or manhole is in accordance with the County Code. A measurement from the edge of curb, taken by the contractor, shall be shown on the "as built" plans for reference in location service, valve, or manhole.*
2. *On uncurbed streets, the location for each installed service valve or manhole shall be marked by using and aluminum disc ladled sewer as supplied by national band and tag Co. The horizontal distance to the service, valve or Manhole is to be engraved on the tag and the tag shall be mounted in the pavement, within 6" from the edge.*
3. *Metallic identification tape shall extend from the wye connection to the end of the service and terminate twelve inches (12") above ground at the location stake. In addition, the contractor shall bury a two-foot, (2') foot long #3 rebar at the end of the service parallel to the surface for electronic location purposes. Cost of tape and rebar to be included in the cost for service pipe installation.*
4. *Where service wye connection exceeds either fee in dept, the wye and service pipe shall be encased in concrete. When the service pipe grad is 10% or greater, the encasement shall extend from the wye to a point where the service pipe grade is less than 10% as shown. Concrete shall be 3000 PSI at 28 days, minimum 6" thick.*
5. *Where a house or other connection terminates, the contractor shall provide and install 2" x 4' stake with a minimum of four (4) feet above ground and two (2) feet below ground. The top twelve inches (12'O are to be painted green.*

Notes:

1. *Trench Width shall be approximately equal to the pipe dia. + 2 feet or as per AWWA and the manufacturers recommendations.*
2. *Provide sheeting and shoring as necessary in accordance with OSHA standards.*
3. *Backfill materials shall be approved by the engineer where the pipe is undercut.*
4. *Water, sewer, and reuse mains to be installed with a minimum 36 inches of cover.*
5. *For County R/W, refer to land development regulations for roadway replacement, pavement overlay and density requirements,*
6. *For state R/W, refer to F.D.O.T regulations for roadway replacement, pavement overlay and density requirements.*

Sanitary Service General Notes

1. *Location of clean-out to be marked at curb or edge of asphalt with brass disc with number of feet. Refer to the general section 6.15.1 for specification on disc in uniform water, wastewater and reuse system code.*
2. *The wastewater service lateral shall not be deeper than 5 feet from finished (final) grade, top back of curb, or edge of pavement.*
3. *When the wastewater service lateral cleanout is in paved areas (Concrete or Asphalt) a poured in place concrete pad and valve box and cover shall be used as shown in sewer drawing detail no. 10*
4. *Precast 24 inches square by 6 inches thick concrete pad with 2-#4 rebar continuous each way required at all unpaved areas.*

DATE	DESCRIPTION	BY
04-22-2021	REMOVE PADS & OSW	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER LICENSE No. 74798 STATE OF FLORIDA PROFESSIONAL ENGINEER

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

MASTER WATER & SEWER PLAN

RUSTIC ROAD NORTH
PHASES 1 & 2

JOB NO. JEN-RU-008	
DESIGN FERREIRA	
DRAWN WINTER	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE WS	SHEET 11 OF 12 SHEETS

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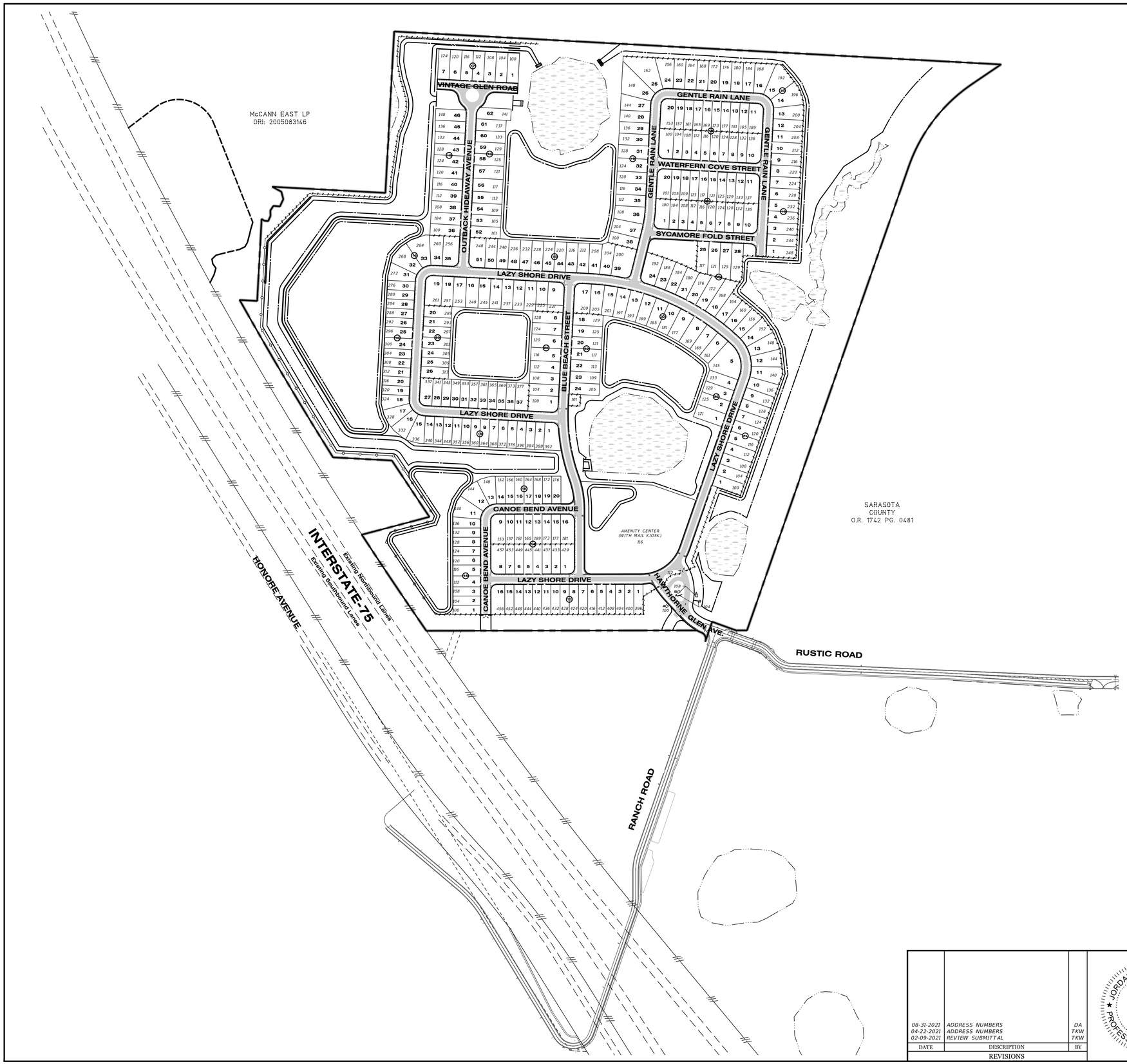

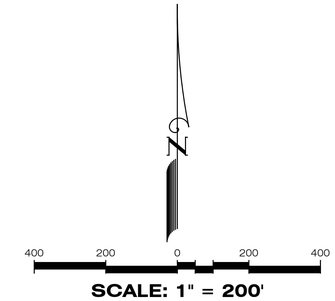

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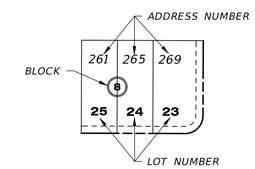

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DATE	DESCRIPTION	BY
08-31-2021	ADDRESS NUMBERS	DA
04-22-2021	ADDRESS NUMBERS	TKW
02-09-2021	REVIEW SUBMITTAL	TKW

REVISIONS

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

ADDRESS PLAN

JOB NO. JEN-RU-008

DESIGN FERREIRA

DRAWN WINTER

DATE 08-31-2021

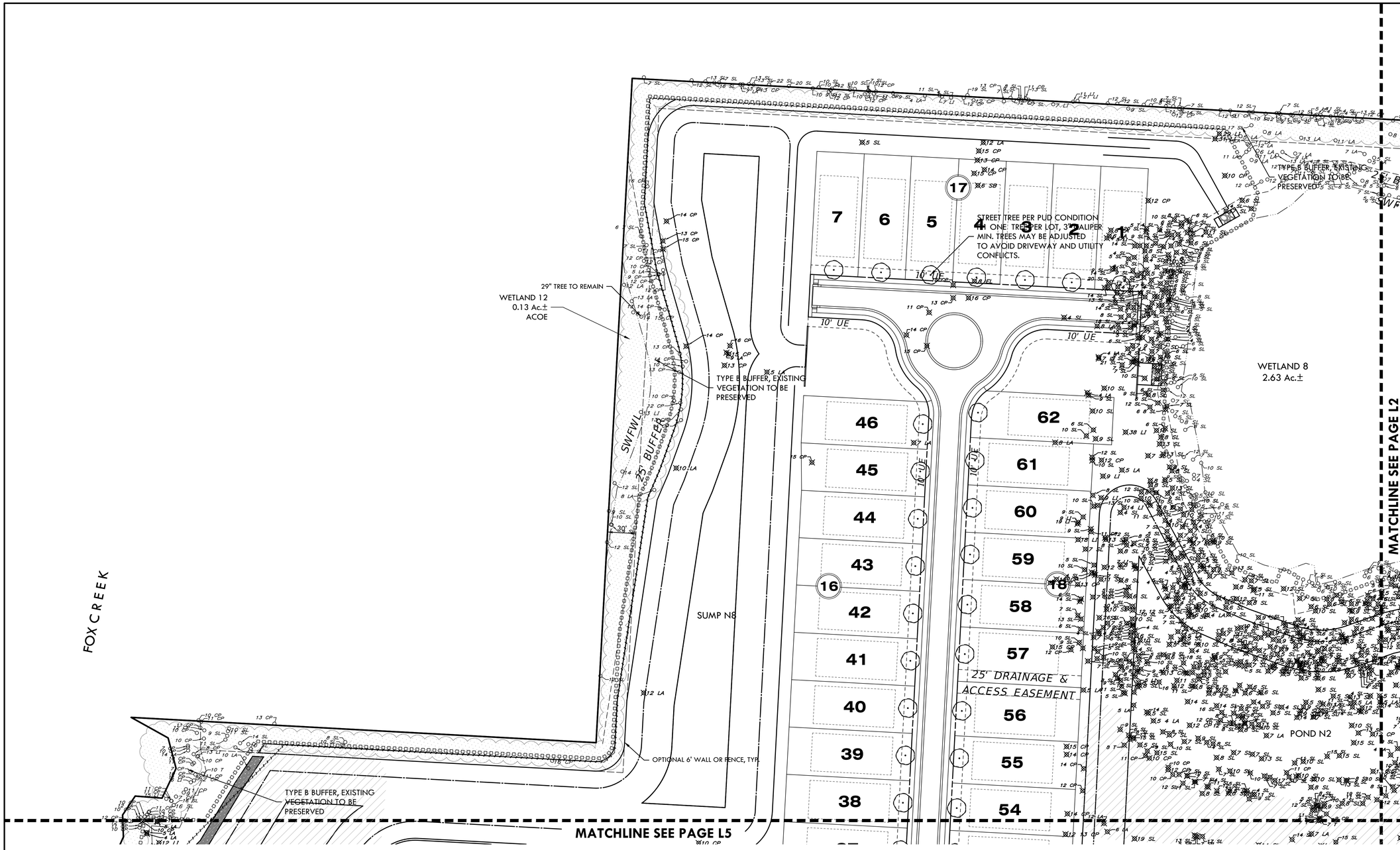
FILE ADDRESS PLAN

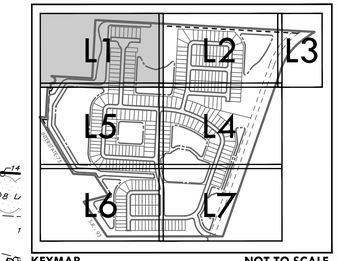
RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET 12 OF 12 SHEETS





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- TREE TO REMAIN
- TREE TO BE REMOVED

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
MY	MYRTLE OAK
NP	NORFOLK PINE
P	LONGLEAF PINE
PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

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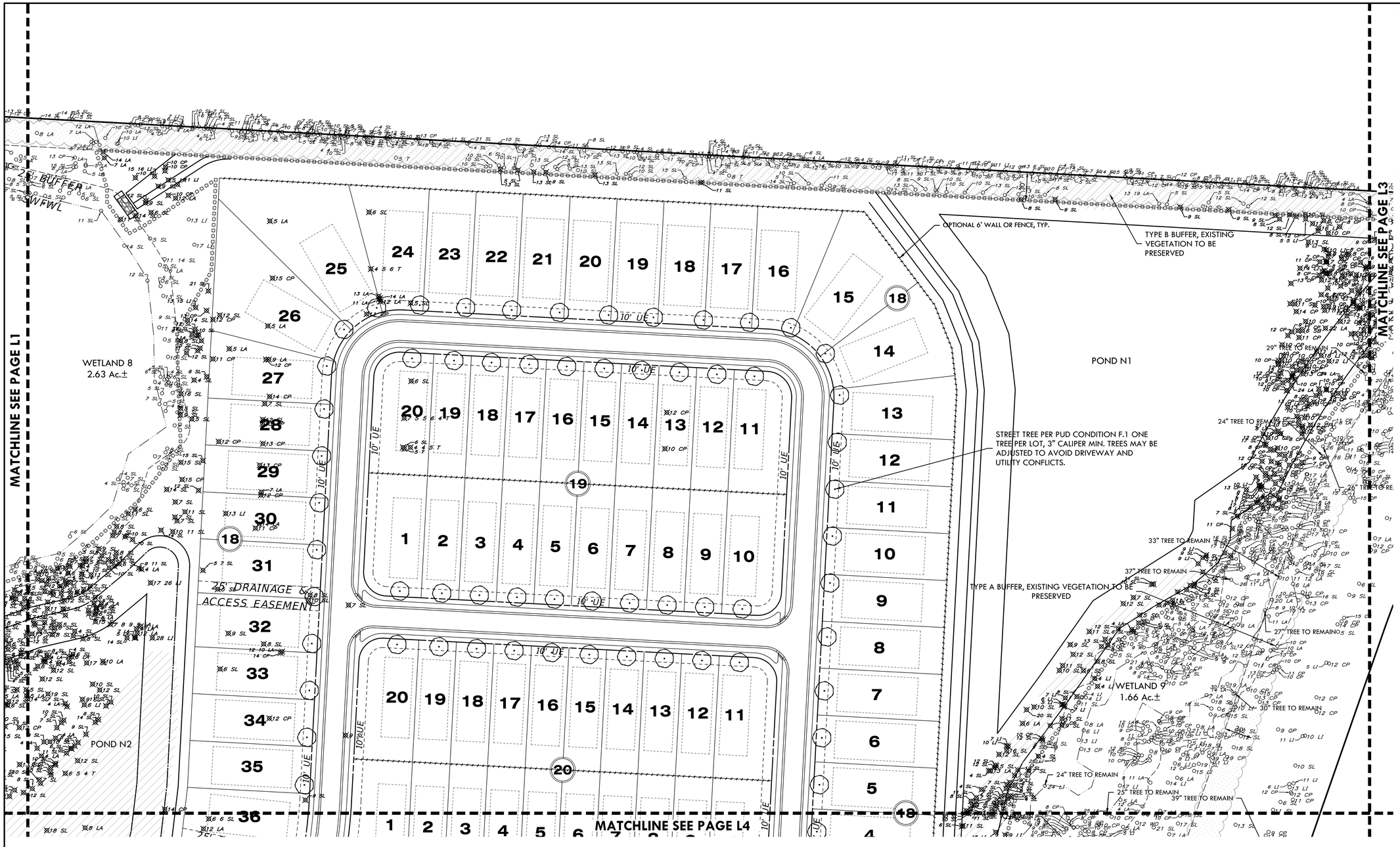
DATE:

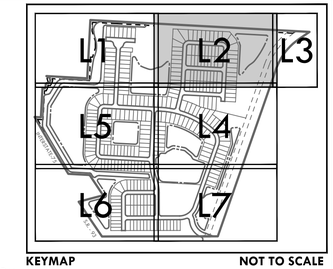
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L1 OF L19 SHEETS

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\TRP.DWG-L1 TREE REMOVAL PLAN 2021/08/31 3:15 PM CLD ENGINEERG





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- LI TREE TO REMAIN
- LI TREE TO BE REMOVED
- NORMAL WATER

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
MY	MYRTLE OAK
NP	NORFOLK PINE
P	LONGLEAF PINE
PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

P:\RUSTIC ROAD\NORTH-SF\DRAWINGS\PRELIMINARY PLAT\TRP.DWG-L2 TREE REMOVAL PLAN 2021/08/31 3:15 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

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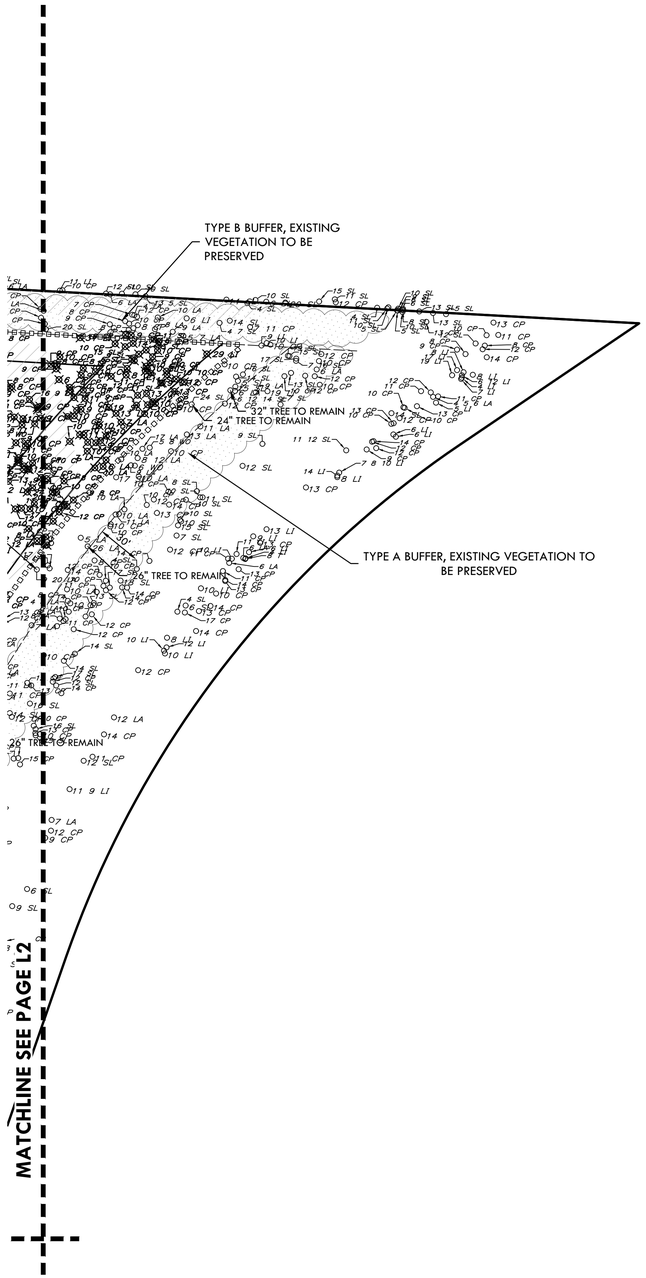
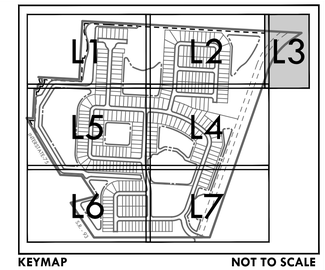
DATE:
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L2 OF L19 SHEETS





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- LI TREE TO REMAIN
- LI TREE TO BE REMOVED
- NORMAL WATER

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
MY	MYRTLE OAK
NP	NORFOLK PINE
P	LONGLEAF PINE
PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\TRP.DWG-L3 TREE REMOVAL PLAN 2021/08/31 3:15 PM CLD ENGINEERG

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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02-09-2021	REVIEW SUBMITTAL	INI

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FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009

DESIGN JD

RUSTIC ROAD NORTH
PHASES 1 & 2

DRAWN NG

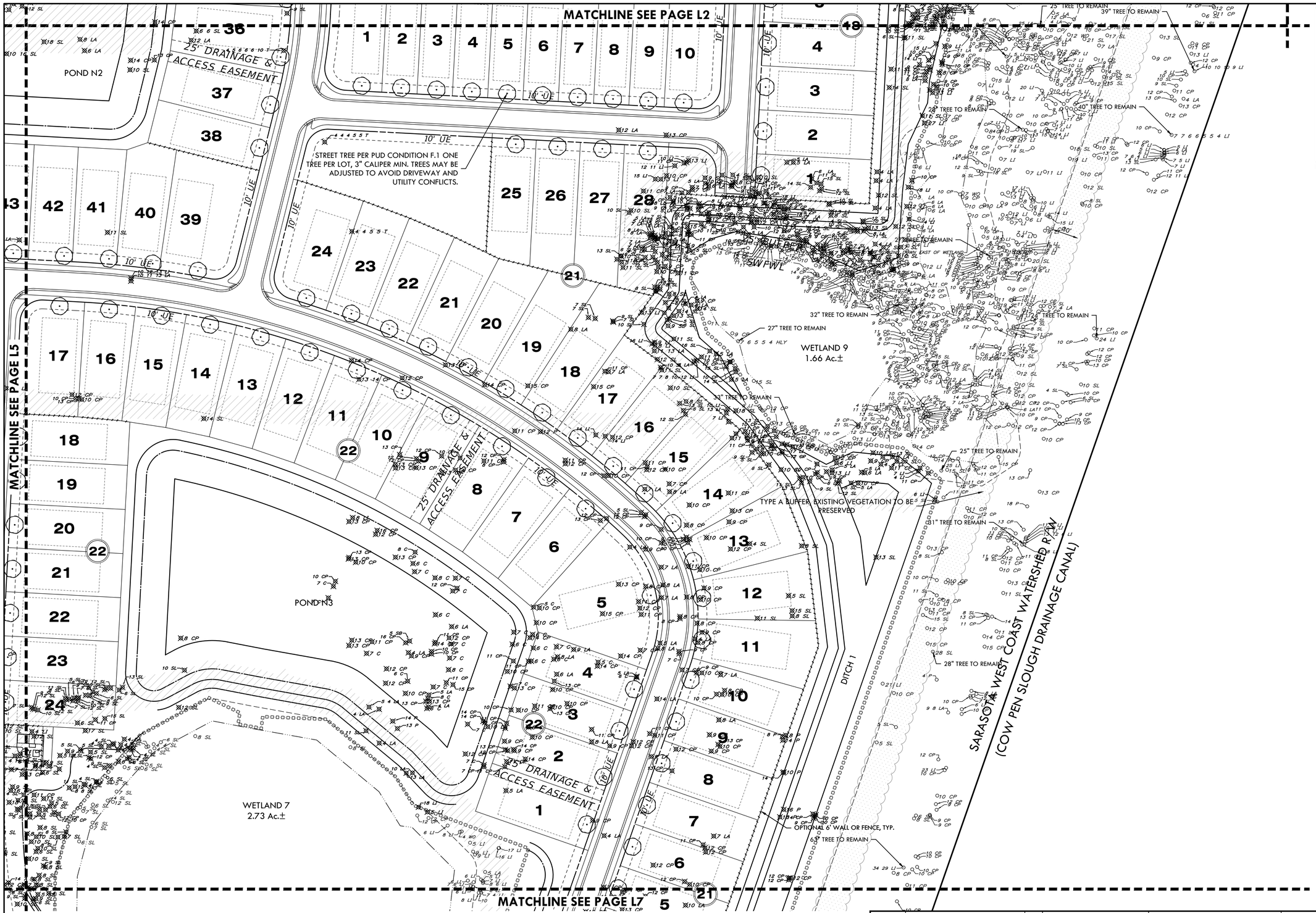
PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

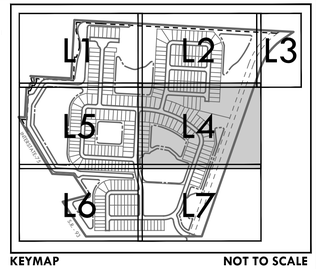
DATE 08-31-2021

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

FILE TRP

SHEET L3 OF L19 SHEETS





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- LI TREE TO REMAIN
- LI TREE TO BE REMOVED
- NORMAL WATER

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
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P	LONGLEAF PINE
PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

P:\RUSTIC ROAD\NORTH-SF\DRAWINGS\PRELIMINARY PLAT\TRP.DWG-L4 TREE REMOVAL PLAN 2021/08/31 3:16 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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02-09-2021	REVIEW SUBMITTAL	INI

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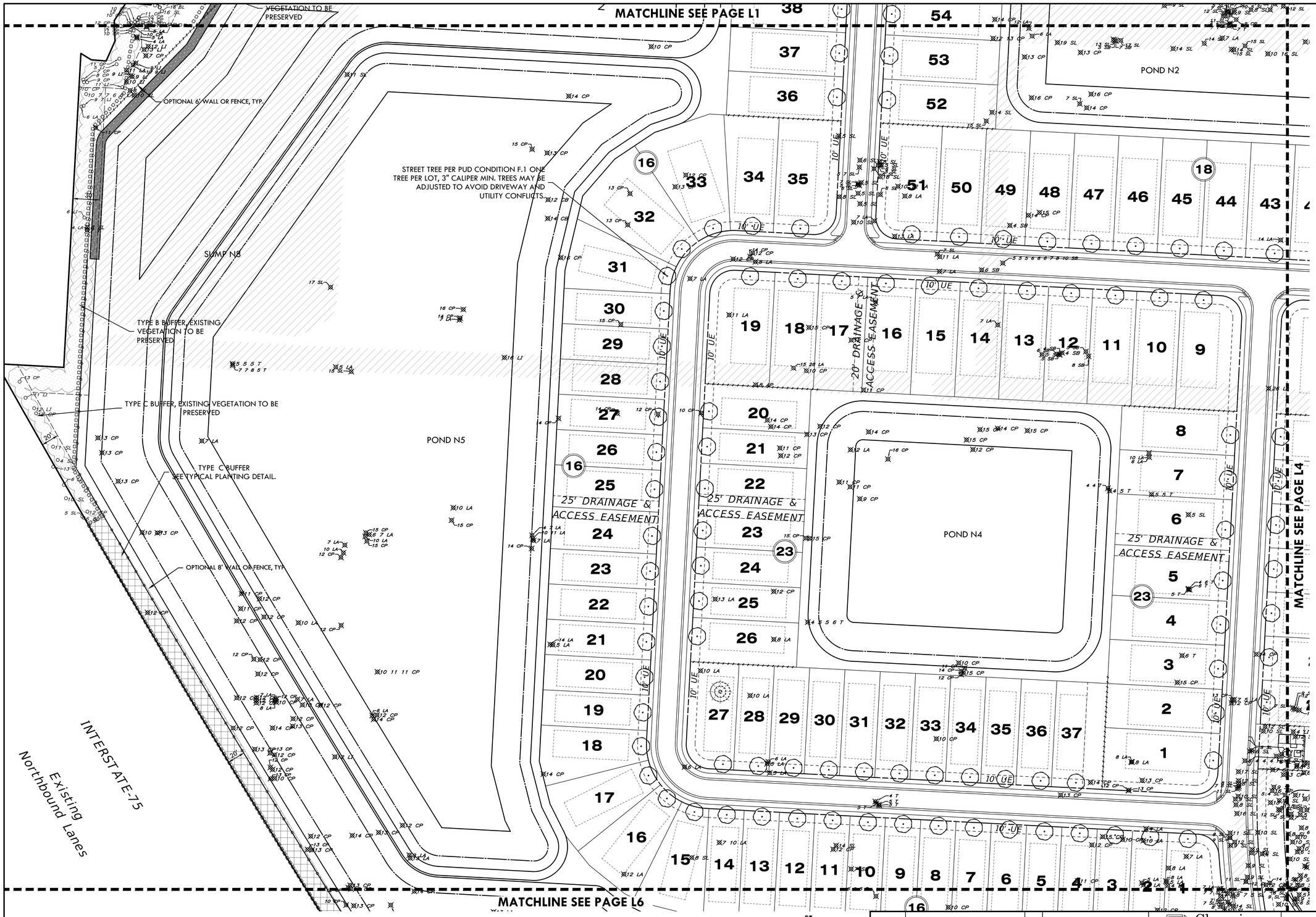
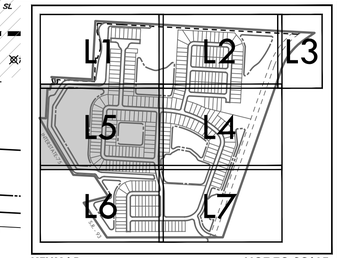
DATE:

JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO.	JEN-RU-009
	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN	JD
DRAWN	NG
PREPARED FOR:	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE	08-31-2021
	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE	TRP
	SHEET L4 OF L19 SHEETS





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- LI TREE TO REMAIN
- LI TREE TO BE REMOVED
- NORMAL WATER

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
MY	MYRTLE OAK
NP	NORFOLK PINE
P	LONGLEAF PINE
PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

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DATE	DESCRIPTION	BY
04-19-2021	CITY COMMENTS	AA
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REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

DATE:
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FLORIDA REGISTERED LANDSCAPE ARCHITECT

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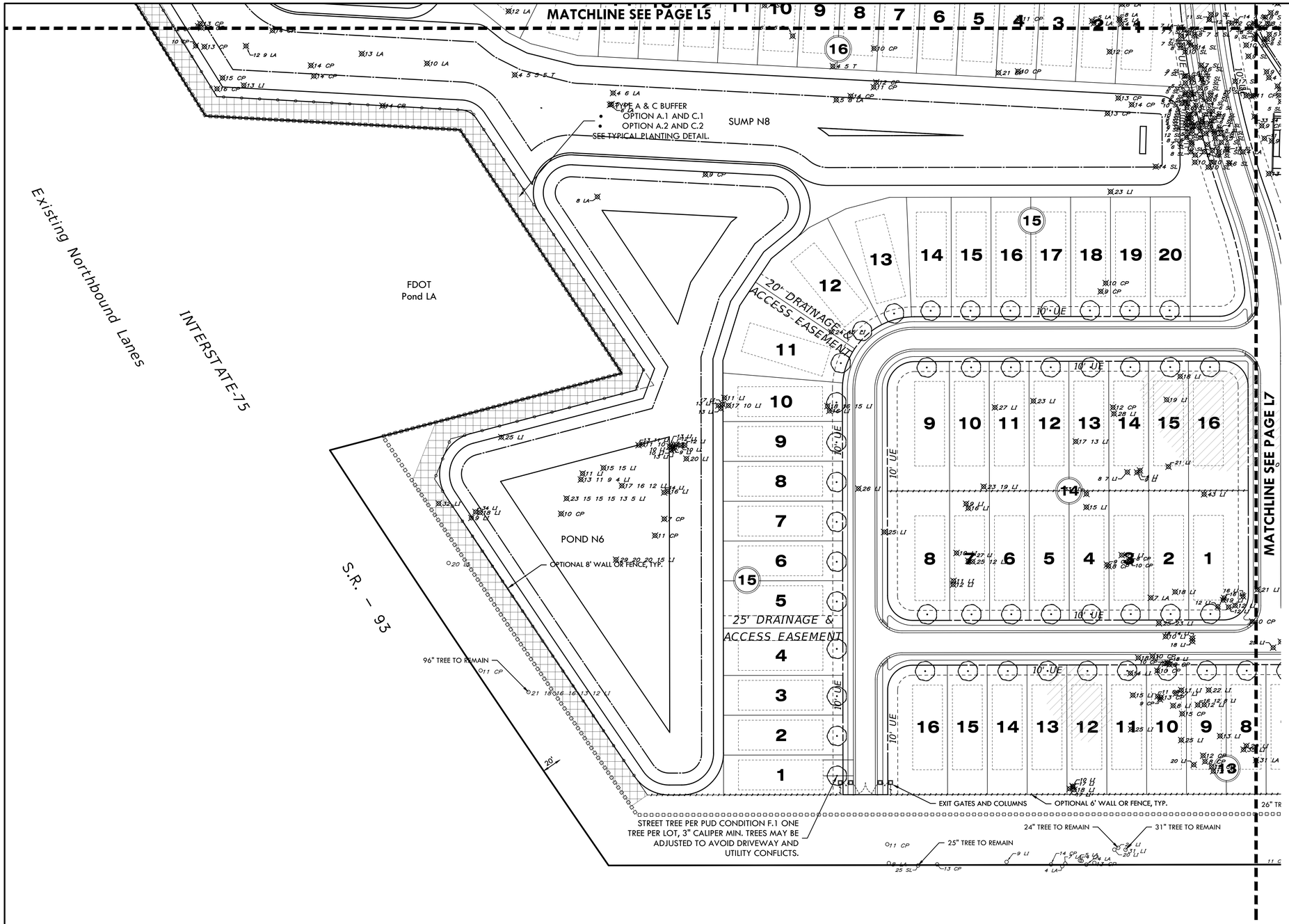
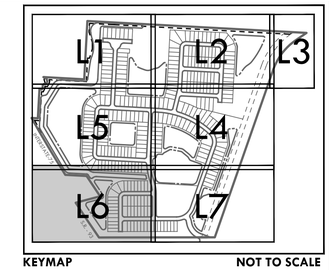
TREE REMOVAL PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L5 OF L19 SHEETS

P:\RUSTIC ROAD\NORTH-SF\DRAWINGS\PRELIMINARY PLAT\TRP.DWG-L5 TREE REMOVAL PLAN 2021/08/31 3:16 PM CLD ENGINEERO





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- LI TREE TO REMAIN
- LI TREE TO BE REMOVED
- NORMAL WATER

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
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PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\TRP.DWG-L6 TREE REMOVAL PLAN 2021/08/31 3:16 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

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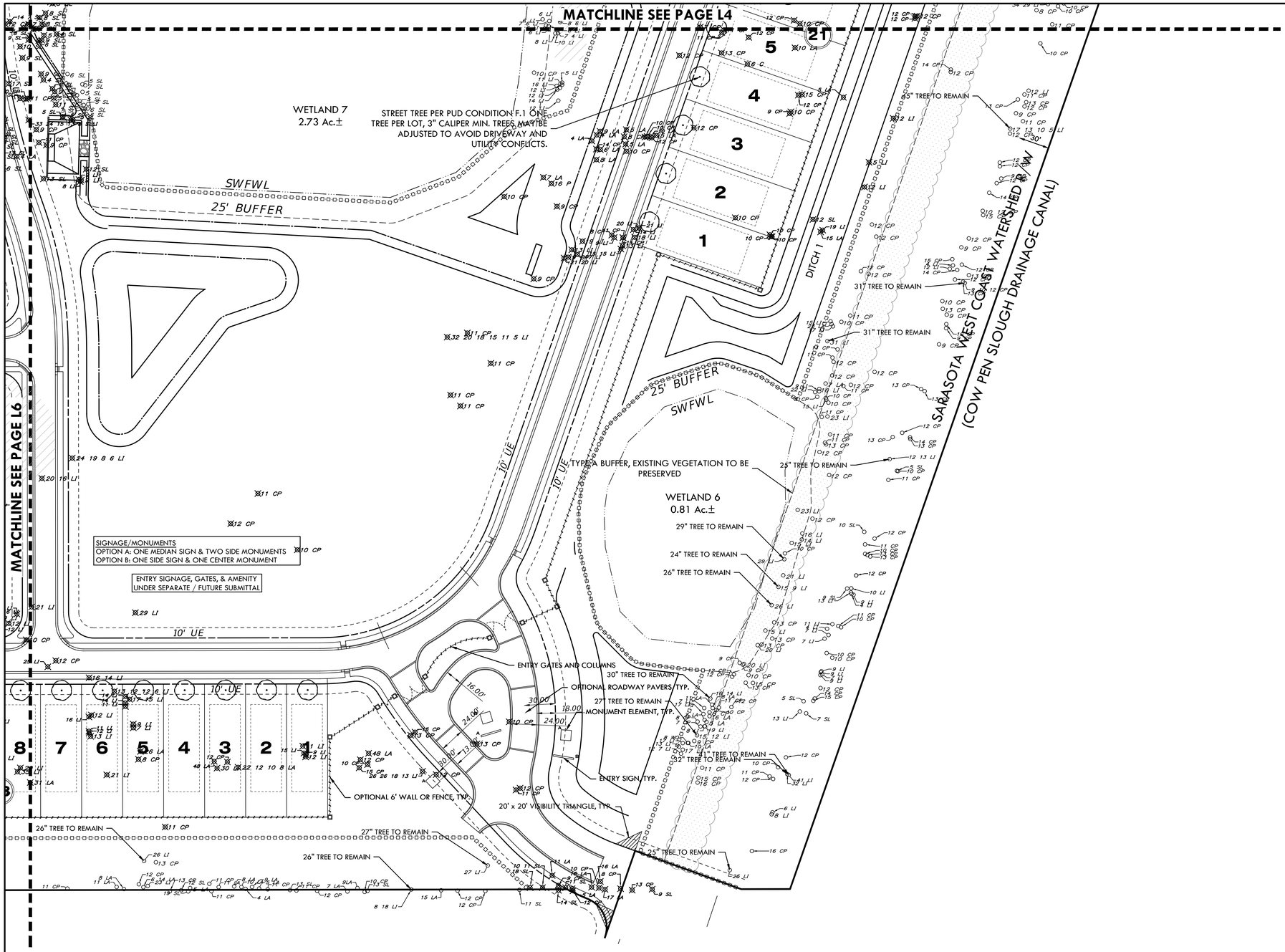
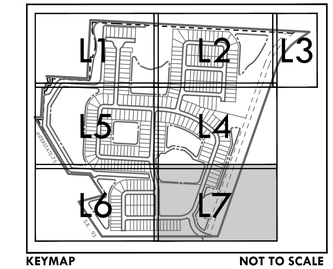
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L6 OF L19 SHEETS





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND CONSERVATION AREA SETBACK LINE
- STAKED EROSION CONTROL (SEE GRADING PLAN)
- PROPERTY LINE
- ROOT PRUNING
- LI — TREE TO REMAIN
- LI — TREE TO BE REMOVED
- NORMAL WATER

TREE LEGEND

AP	AUSTRALIAN PINE
BC/BCH	BLACK CHERRY
C	CYPRESS
CB	CHINA BERRY
CL	CHERRY LAUREL
CM	CAMPHOR
CO	COCONUT PALM
CP	CABBAGE PALM (SABAL PALM)
EL	ELM
F	FIG (STRANGLER FIG)
FW	FIDDLEWOOD
H	HICKORY
LA	LAUREL OAK (DIAMOND OAK)
LB	LOBLOLLY BAY
LI	LIVE OAK
M	MAGNOLIA
MB	MARLBERRY
MG	SOUTHERN MAGNOLIA
MH	MAHOGANY
MY	MYRTLE OAK
NP	NORFOLK PINE
P	LONGLEAF PINE
PC	PECAN
PE	PERSIMMON
PM	ROYAL PALM
PNK	PUNK TREE
PT	PAPER TREE
QP	QUEEN PALM
RB	RED BAY
RM	RED MAPLE
SB	SWEET BAY MAGNOLIA
SC	SYCAMORE
SG	SWEET GUM
SL	SLASH PINE (YELLOW PINE)
SP	SAND PINE (SCRUB PINE)
T	TALLOW WOOD
TO	TURKEY OAK
WO	WATER OAK
WP	WASHINGTON PALM
WX	WAX MYRTLE

P:\RUSTIC ROAD\NORTH-SF\DRAWINGS\PRELIMINARY PLAT\TRP.DWG-L7 TREE REMOVAL PLAN 2021/08/31 3:16 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

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NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

Clearview LAND DESIGN, P.L.
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This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE:
JOHN DEL VITTO R.L.A #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	**SHEET L7 OF L19 SHEETS**

BEST MANAGEMENT PRACTICES

A. THE FOLLOWING BEST MANAGEMENT PRACTICES SHALL BE APPLICABLE TO ALL TREE PERMITS, UNLESS SPECIFIED OTHERWISE HEREIN. THESE STANDARD BEST MANAGEMENT PRACTICES SHALL ALSO BE APPLICABLE TO ALL ACTIVITIES THAT AFFECT PROTECTED, HERITAGE, AND VENETIAN TREES, TREES LOCATED WITHIN A TPZ AND CRPZ, AND REGARDLESS OF WHETHER A TREE PERMIT IS REQUIRED FOR THE PROPOSED ACTIVITY.

B. PRIOR TO COMMENCING WORK AND THROUGHOUT THE DURATION OF THE AUTHORIZED ACTIVITY, THE OWNER, DEVELOPER, CONTRACTOR OR AGENT SHALL CLEARLY MARK WITH RED FLAGGING ALL TREES PROPOSED TO BE REMOVED AND SHALL ERECT BARRICADES AROUND ALL TREES TO BE PROTECTED. THE BARRICADES MUST REMAIN IN PLACE AND BE IN GOOD CONDITION FOR THE DURATION OF THE AUTHORIZED ACTIVITY. PROTECTIVE BARRICADES FOR PROTECTED TREES SHALL BE INSTALLED NO CLOSER THAN THE OUTER EDGE OF THE DESIGNATED TPZ OF THE TREE. BARRICADES SHALL BE PLACED NO CLOSER THAN THREE FEET FROM THE TRUNK OF PALMS. BARRICADES SHALL BE CONSTRUCTED IN A POST AND RAIL CONFIGURATION OR WITH ORANGE BARRIER FENCING AND BE NO LESS THAN FOUR FEET IN HEIGHT. THE UPRIGHT POSTS SHALL BE A MINIMUM OF A TWO BY TWO-INCH WOODEN STAKE. POSTS SHALL BE IMPLANTED DEEP ENOUGH INTO THE GROUND TO BE STABLE AND EXTEND A MINIMUM HEIGHT OF FOUR FEET ABOVE THE GROUND. A MINIMUM OF A ONE FOUR-INCH BY ONE INCH BY EIGHT FEET IN LENGTH WOODEN BOARD SHALL BE USED TO CONNECT THE UPRIGHT POSTS. THE MAXIMUM DISTANCE ALLOWED BETWEEN UPRIGHT POSTS IS EIGHT FEET. SILT BARRIERS, HAY OR STRAW BALES, OR SIMILARLY EFFECTIVE EROSION CONTROL BARRIERS MAY BE SUBSTITUTED AND REQUIRED IN ANY AREA WHERE EROSION OR SILTATION MAY CAUSE DAMAGE TO TPZ UPON APPROVAL BY THE CITY ARBORIST. BARRICADES THAT RESULT IN GREATER PROTECTION MAY BE SUBSTITUTED WITH THE APPROVAL OF THE CITY ARBORIST. IN ALL CASES, THE BARRIERS MUST REMAIN IN PLACE UNTIL THE FINAL FINISH GRADE IS ESTABLISHED AT THE END OF THE PROJECT OR PROJECT PHASE. DAMAGE TO PROTECTION BARRIERS AND ENCROACHMENTS INTO THE TPZ WILL BE SUBJECT TO SUBSECTION 118-5(C), AND ARTICLE VII SIGNS, SHALL BE POSTED AT 50-FOOT INTERVALS FOR SINGLE TREES OR TREE CLUSTERS OF 20 TREES OR LESS AND 100-FOOT INTERVALS FOR AREAS OF MORE THAN 20 TREES THAT CLEARLY STATE POTENTIAL FINES AND "TREE PROTECTION AREA, KEEP OUT".

C. THROUGHOUT THE DURATION OF THE AUTHORIZED ACTIVITY, THE OWNER, DEVELOPER, CONTRACTOR OR AGENT SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF DEBRIS, FILL, WASTE MATERIALS SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL WITHIN ANY TPZ.

D. NO DAMAGING ATTACHMENT ROPES OR WIRES (OTHER THAN SUPPORTIVE MEASURES FOR A TREE), SIGNS, POSTERS, HANDBILLS, TREE PERMITS OR OTHER OBJECTS MAY BE FASTENED TO ANY TREE EXCEPT PURSUANT TO AUTHORIZATION UNDER THE PROVISIONS OF THIS CHAPTER. NO GASEOUS, LIQUID, EQUIPMENT EXHAUST OR SOLID SUBSTANCE WHICH MAY BE HARMFUL TO TREES SHALL COME INTO CONTACT WITH ANY PORTION OF THE TREE.

E. WHERE ELEVATION CHANGES ARE PROPOSED WITHIN THE TPZ, THE APPLICANT WILL BE REQUIRED TO JUSTIFY THE NEED FOR THE ELEVATION CHANGE AND INSTALL RETAINING WALLS AND/OR DRAIN TILES UNLESS THE APPLICANT DEMONSTRATES THAT SUCH PROTECTION WOULD BE IMPRACTICAL. WHERE ELEVATION CHANGES ARE PROPOSED WITHIN THE TPZ OF ANY VENETIAN OR HERITAGE TREE, THE APPLICANT WILL BE REQUIRED TO INSTALL RETAINING WALLS AND/OR DRAIN TILES UNLESS THE APPLICANT DEMONSTRATES SUCH PROTECTION WOULD BE IMPRACTICAL. THESE ROOT PROTECTION MEASURES SHALL BE IN PLACE PRIOR TO THE DEPOSITION OF FILL, OR EXCAVATION OF SOIL WITHIN THE TPZ. TREE SPECIES' TOLERANCES FOR GRADE CHANGES, SIZE AND AGE WILL BE CONSIDERED WHEN LOCATING TREE WELLS AND RETAINING WALLS. TREE WELLS OR RETAINING WALLS WILL BE REQUIRED AS APPLICABLE WHEN GRADE CHANGES OF MORE THAN SIX INCHES ARE NEEDED WITHIN MORE THAN 20 PERCENT OF THE TPZ. TREE WELL AND RETAINING WALL DISTANCES FROM THE FACE OF THE TRUNK RANGE FROM 0.75 FEET FOR EACH ONE-INCH DBH FOR A CONSTRUCTION TOLERANT SPECIES TO 1½ FEET FOR EACH ONE-INCH DBH OF MATURE OR LESS TOLERANT SPECIES. THE APPLICANT WILL BE REQUIRED TO PRESENT A REPORT BEARING THE SIGNATURE OF A CERTIFIED ARBORIST OR PROFESSIONAL LANDSCAPE ARCHITECT WITH A STATEMENT OF MINIMAL IMPACT DESIGN. THE APPLICANT MAY ALSO REQUEST A PRE-APPLICATION MEETING WITH THE CITY ARBORIST BEFORE SUBMITTING A DESIGN. RETAINING WALLS SHALL BE BUILT WITH POSTS OR PILINGS, SHALLOW AND SMALL FOOTERS OR FOOTERS OF STONE OR SAND TO LESSEN THE IMPACT OF CUT OR COMPACTED ROOTS. IN CASES WHERE GRADE CHANGES CAN BE ACCOMPLISHED WITH LESS THAN 20 PERCENT OF THE CRZ BEING IMPACTED, THE CHANGE SHOULD BE AS GRADUAL AND AS FAR FROM THE TRUNK FACE AS POSSIBLE WITH NO MORE THAN SIX INCHES OF FILL OVER 20 PERCENT OF THE TPZ. UNDER NO CIRCUMSTANCES WILL FILL BE ALLOWED OVER THE ROOT PLATE.

F. THE CITY ARBORIST MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THIS CHAPTER.

G. THE CITY ARBORIST MAY ALLOW CERTAIN ACTIVITIES TO BE CONDUCTED WITHIN THE BARRICADED TPZ, UPON A DETERMINATION THAT THE TREE WILL NOT BE ADVERSELY AFFECTED, SUCH AS DRIVEWAYS, SWIMMING POOL DECKS, AND PATIO PAVERS.

H. IF TEMPORARY EQUIPMENT OR VEHICLE ACCESS INTO THE TPZ IS REQUIRED FOR CONSTRUCTION ACTIVITY, STEPS MUST BE TAKEN TO PROTECT THE TPZ FROM COMPACTION AND DAMAGE. FOR SHORT-TERM TEMPORARY ACCESS OF THREE WEEKS OR LESS, A SIX TO 12-INCH LAYER OF ORGANIC MULCH IN THE AREA OF ENCROACHMENT SHALL BE INSTALLED AND MAINTAINED. FOR LONGER PERIODS THE APPLICANT WILL BE REQUIRED TO INSTALL AND MAINTAIN A FOUR-INCH LAYER OF MULCH AND PLACE THREE-QUARTER-INCH PLYWOOD ON THE MULCH LAYER TO CREATE A PATH FOR EQUIPMENT OR VEHICLES. UNDER NO CIRCUMSTANCES SHOULD THESE ACCESS PATHS BE PLACED ON OR WHERE THEY MAY IMPACT THE ROOT PLATE. THE CITY ARBORIST SHALL BE INFORMED AND APPROVE OF ANY ALTERATIONS TO THE ORIGINAL APPROVED TREE PROTECTION PLAN. VIOLATIONS WILL BE SUBJECT TO FINES AND PENALTIES AS ESTABLISHED IN THE SCHEDULE OF FEES AND CHARGES PER SECTION 118-5.

I. THE USE OF POSTS, PILINGS OR A SIMILAR SYSTEM SHALL BE USED AS THE CONSTRUCTION METHOD FOR STRUCTURES WITHIN THE TPZ. CONTINUOUS FOOTERS AND STEM WALLS SHALL NOT BE INSTALLED WITHIN THE TPZ UNLESS APPROVED BY THE DIRECTOR AND/OR DIRECTOR'S DESIGNEE. THESE POSTS OR PILINGS SHALL BE ENGINEERED ONLY AS LARGE AS NECESSARY TO SUPPORT THE PROPOSED STRUCTURE. ALL EFFORTS SHALL BE MADE TO REDUCE THE IMPACT TO LARGE ROOTS AND IN NO CIRCUMSTANCES SHOULD THE STRUCTURE ENCROACH ON THE ROOT PLATE OF A TREE.

J. NO TRENCHES ARE PERMITTED WITHIN THE TPZ WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST. WITH APPROVAL OF THE CITY ARBORIST, HAND DUG TRENCHES MAY BE ALLOWED AND ROOTS PRUNED CLEANLY AS DIRECTED IN "ANSI A (300) PART 8, ROOT MANAGEMENT STANDARD." ALL EFFORTS SHOULD BE MADE TO BYPASS THE TPZ WITH UNDERGROUND UTILITIES AND IRRIGATION LINES UNLESS TUNNELING METHODS ARE USED A MINIMUM OF 36 INCHES BELOW THE EXISTING GRADE.

K. SOIL VOLUMES—REQUIRED SOIL VOLUMES FOR TREES.

K.1. LARGE CANOPY TREES, TALLER THAN 45 FEET IN HEIGHT:
- K.1.1. MINIMUM OPEN SOIL SPACE 300 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 900 CUBIC FEET TO A DEPTH NOT TO EXCEED 36 INCHES.
- K.1.2. NO CLOSER THAN FOUR FEET FROM ANY PAVEMENT OR CURBING.
- K.1.3. MINIMUM PLANTING SPACE WIDTH IS EIGHT FEET.
- K.1.4. MINIMUM UNCOMPACTED SOIL DEPTH 36 INCHES.

K.2. MEDIUM CANOPY TREES, FROM 25 TO 45 FEET IN HEIGHT:
- K.2.1. MINIMUM OPEN SOIL SPACE 200 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 500 CUBIC FEET TO A DEPTH NOT TO EXCEED 36 INCHES.
- K.2.2. NO CLOSER THAN 36 INCHES FROM ANY PAVEMENT OR CURBING.
- K.2.3. MINIMUM PLANTING SPACE WIDTH IS SIX FEET.
- K.2.4. MINIMUM UNCOMPACTED SOIL DEPTH 30 INCHES.

K.3. SMALL UNDERSTORY TREES, LESS THAN 25 FEET IN HEIGHT:
- K.3.1. MINIMUM OPEN SOIL SPACE 100 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 200 CUBIC FEET TO A DEPTH NOT TO EXCEED 36 INCHES.
- K.3.2. NO CLOSER THAN 24 INCHES FROM ANY PAVEMENT OR CURBING.
- K.3.3. MINIMUM PLANTING SPACE WIDTH IS FOUR FEET.
- K.3.4. MINIMUM UNCOMPACTED SOIL DEPTH 24 INCHES.

K.4. EXCEPTIONS TO THE SPACE REQUIREMENTS FOR SOME INDIVIDUAL SPECIES MAY BE GRANTED BY THE CITY ARBORIST.

L. THE FOLLOWING ARE METHODS TO ACHIEVE SOIL VOLUME REQUIREMENTS FOR STREET TREES IN OR NEAR SIDEWALKS, WITHIN PLAZAS AND PARKING LOTS:

L.1. STRUCTURAL SOIL UNDER PAVEMENT. CU STRUCTURAL SOIL™ IS AN AGGREGATE SOIL DEVELOPED AND PATENTED BY CORNELL UNIVERSITY. CONSISTING OF A COMBINATION OF STONE AND SOIL PLUS ADDITIVES. THIS PRODUCT OR AN APPROVED EQUIVALENT PROVIDES A HIGHLY COMPACTABLE MATERIAL THAT ALLOWS FOR ROOT GROWTH AND MAY BE USED UNDER PAVEMENT TO PROVIDE THE REQUIRED SOIL VOLUME FOR ROOT SPACE.

L.2. SUSPENDED PAVEMENT. MODULAR SOIL CELL SYSTEMS DESIGNED TO BE ASSEMBLED AND PLACED UNDER PAVEMENT MAY BE USED TO PROVIDE ROOT SPACE. THESE SYSTEMS ARE DESIGNED TO SUPPORT THE PAVEMENT WEIGHT WHILE PROVIDING UNCOMPACTED SOIL VOLUME FOR TREE ROOTS.

L.3. OTHER SOIL VOLUME SYSTEM DESIGNS MAY BE APPROVED BY THE DIRECTOR AND/OR DIRECTOR'S DESIGNEE.

NOTE: NO CONSTRUCTION ENCROACHMENT WITHIN TREE BARRICADE OR EROSION CONTROL AREAS.

ALL TREES SHOULD BE BARRICADED MEETING THE SPECIFICATIONS AS ILLUSTRATED ON THE ATTACHED DIAGRAM.

PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.

PROTECTIVE BARRIERS MUST BE ERECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION AND CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.

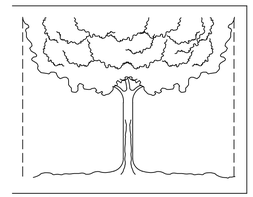

Fig. A

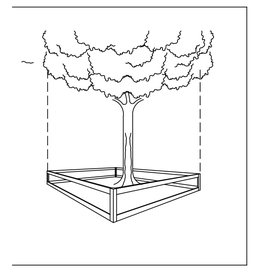

Fig. B

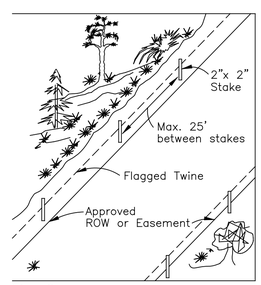

Fig. C

1. TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 4 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, IS PLACED AROUND THE TREE AT THE DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE.

2. THE DRIPLINE OF A TREE IS THE IMAGINARY, VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND. FIG. A.

BARRIER SPECIFICATIONS FOR TREES:
FOUR CORNER UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER CONNECTED BY HORIZONTAL MEMBERS OF NO LESS THAN 1" X 4" LUMBER; OR UPRIGHT STAKES SPACED AT 5' INTERVALS OF NO LESS 2" X 2" LUMBER CONNECTED BY SILT SCREEN FABRIC OR MATERIAL OF COMPARABLE DURABILITY. FIG. B.

1. NATURAL AREAS - TO RESTRICT ACCESS INTO AREAS WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED, A PHYSICAL STRUCTURE NOT LESS THAN 4 FEET IN HEIGHT IS PLACED ALONG THE PERIMETER OF SUCH AREAS.

BARRIER SPECIFICATIONS FOR NATURAL AREAS:
UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS OF 5-10'. FIG. C. OTHER METHODS OF DEMARCATION WILL BE CONSIDERED DEPENDING UPON THE CHARACTERISTICS OF THE SITE.

WHY A BARRIER

1. TO PROTECT ALL ABOVE GROUND PORTIONS OF TREES AND OTHER SIGNIFICANT VEGETATION FROM MECHANICAL DAMAGE.
2. TO PROTECT ROOT SYSTEMS FROM COMPACTION.
3. TO PROVIDE AWARENESS OF PROTECTED AREAS TO EQUIPMENT OPERATORS.

WHY IT WORKS

A TREE'S CHANCE OF SURVIVAL IS GREATLY ENHANCED IF NO CONSTRUCTION MATERIAL, HEAVY EQUIPMENT OR STOCKPILING OF SOIL IS ALLOWED INSIDE THE BARRIER; ONLY HAND LABOR.

NOTES:
1. JOG FENCE AS NECESSARY TO MINIMIZE IMPACT TO PRESERVED TREES. AT ALL LOCATIONS WHERE IT IS LOCATED NEAR PRESERVED TREES, FLOAT FENCE OVER EXISTING TREE ROOTS. PLACE SO FACE OF FENCE IS MIN. 18" FROM TREE TRUNK. DO NOT LOCATE POSTS OR FOOTERS WITHIN CRITICAL ROOT ZONE.
2. TREES BY NATURE ARE IRREGULAR IN BOTH SHAPE AND SIZE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE SIZE IS DETERMINED AT DIAMETER AT BREAST HEIGHT. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT LOCATION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN. SEE THE FIGURE 1 BELOW.
3. DEAD AND/OR HAZARDOUS TREES REMAINING AFTER CLEARING WILL BE EVALUATED AND MAY BE REMOVED IF NECESSARY.

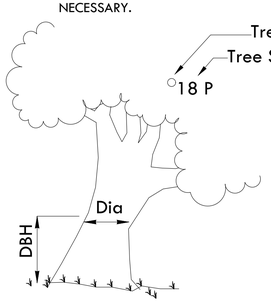

Figure 1

TREE REMOVAL AND REPLACEMENT NOTES

1. UNLESS OTHERWISE EXEMPT FROM THIS CHAPTER, A TREE PERMIT IS REQUIRED FOR ALL DEVELOPMENT AND ANY CHANGES TO PROPERTY INVOLVING THE REMOVAL OF PROTECTED TREES AND THE PRUNING OF HERITAGE TREES, VENETIAN TREES, AND CANOPY ROAD TREES. TREE PERMITS SHALL BE DISPLAYED AND LOCATED ON THE SUBJECT PROPERTY VISIBLE FROM THE ADJOINING ROAD OR EASEMENT PROVIDING ACCESS TO THE PROPERTY AND BE ACCESSIBLE BY CITY STAFF AT ALL TIMES FOR THE DURATION OF THE PERMIT.

2. THE COMPLETED APPLICATION ALONG WITH THE APPLICABLE FEE, AND ANY OTHER INFORMATION DEEMED APPROPRIATE BY THE DEVELOPMENT SERVICES DIRECTOR OR HIS DESIGNEE TO EFFECTUATE THE REVIEW OF THE APPLICATION CONSISTENT WITH THE REQUIREMENTS AND STANDARDS OF THIS CHAPTER.

3. TREE PROTECTION AND REPLACEMENT PLANS SHALL INCLUDE:
   - 3.1. A COMPLETE TREE SURVEY AND INVENTORY OF PROTECTED TREES WITHIN THE SUBJECT PROPERTY OR PROJECT AREA FOR ALL DEVELOPMENT THAT IS NOT EXEMPT PURSUANT TO SECTION 118-7. THE SURVEY SHALL SHOW ALL PROTECTED TREES MEASURED FOUR-INCH DBH OR GREATER ON THE SUBJECT PROPERTY.
   - 3.2. AN INVENTORY OF IDENTIFIED TREES BY TYPE AND SIZE (IN DBH).
   - 3.3. A COPY OF THE SITE PLAN, SHOWING PROPOSED BUILDINGS, GRADING, STREETS, ACCESS WAYS, SIDEWALKS, HARDSCAPE, AND PROPOSED AND EXISTING UTILITIES.
   - 3.4. METHODS FOR TREE PROTECTION INCLUDING FENCING AND RETAINING WALLS.

4. PRUNING OR TRIMMING OF TREES TO REMAIN ON SITE SHALL BE IN ACCORDANCE WITH ANSI 300A, 2001 AS AMENDED.

5. CREDIT FOR REPLACEMENT WILL BE GIVEN FOR TREES PLANTED IN ACCORDANCE WITH THE LANDSCAPE REQUIREMENTS.

6. INVASIVE OR EXOTIC SPECIES LOCATED WITHIN A PROJECT AREA SHALL BE REMOVED.

7. PRIOR TO CLEARING AND GRUBBING, AND REMOVAL OF ANY TREE, PRESERVED AREAS SHALL BE CLEARLY MARKED WITH 3' HT. MIN. BARRIERS TO CREATE A PROTECTED ZONE DURING CONSTRUCTION. THE BARRIER SHALL ENCOMPASS THE TREE'S DRIPLINE.

8. WHERE NEEDED TO PROTECT PRESERVED TREES FROM EROSION, SILT BARRIERS, HAY BALES OR OTHER EROSION CONTROL SHALL BE REQUIRED.

9. TREES OUTSIDE OF GENERAL CONSTRUCTION ZONE TO BE PROTECTED WITH SILT FENCE BARRIER OR METHOD AS DESCRIBED IN CIVIL ENGINEERING PLANS.

10. TREES WITHIN GENERAL CONSTRUCTION ZONE TO BE PROTECTED WITH FENCE AND SILT FENCE BARRIER AS SHOWN IN DETAIL THIS SHEET.

11. NO STORAGE, MOVEMENT, OR CLEANING OF EQUIPMENT, MATERIAL OR DEBRIS SHALL BE PLACED WITHIN THE PROTECTED ZONE.

12. NO EXCAVATION SHALL OCCUR WITHIN PROTECTED ZONE.

13. NO FIRE BURNING SHALL BE ALLOWED WITHIN 30' OF THE PROTECTED ZONE.

14. WHEN TUNNELING OR TRENCHING FOR UTILITIES IS ALLOWED IN PROTECTED ZONES, IT SHALL BE DONE IN ACCORDANCE WITH THE "TREE AND PROTECTION FOR BUILDERS AND DEVELOPERS, AS AMENDED AND PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. TRENCHING SHALL OCCUR NO CLOSER TO THE TREE'S TRUNK THAN 2/3 OF THE DRIP LINE RADIUS.

TREE CREDITS	
NATIVE TREES < 24" DBH (1:1 CREDIT)	19,579"
NATIVE TREES > 24" W/ MORE THAN ^ TRUNKS (1.5:1 CREDIT)	204"
NATIVE TREES > 24" (2:1 CREDIT)	2,560"
TOTAL RETAINED CREDIT INCHES =	**22,343"**

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04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT
JOHN A. DEL VITTO
LA6667327
STATE OF FLORIDA

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This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE:
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L8 OF L19 SHEETS

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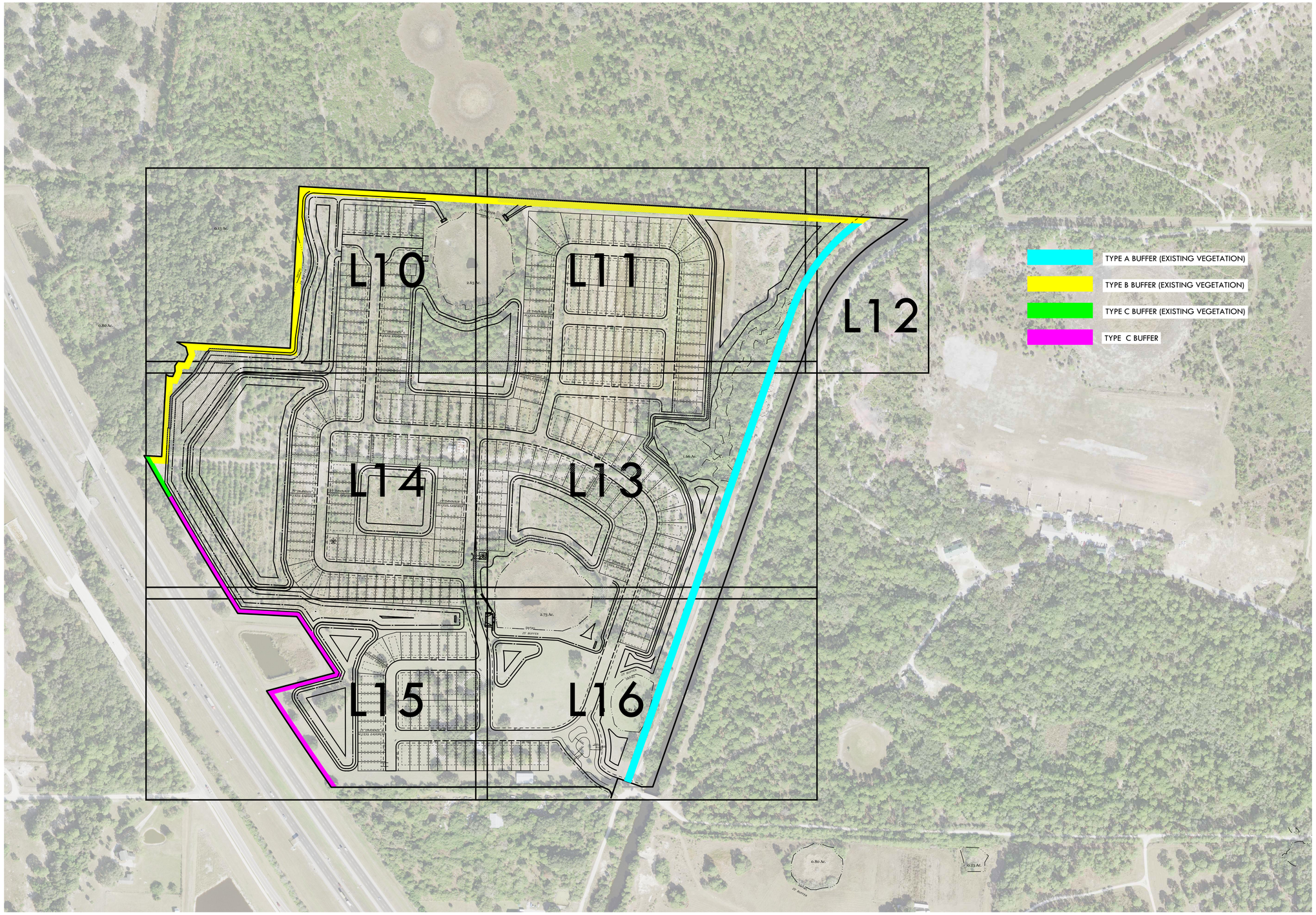

400' 200' 0 200' 400'

SCALE: 1" = 200'

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BUFFER KEY SHEET

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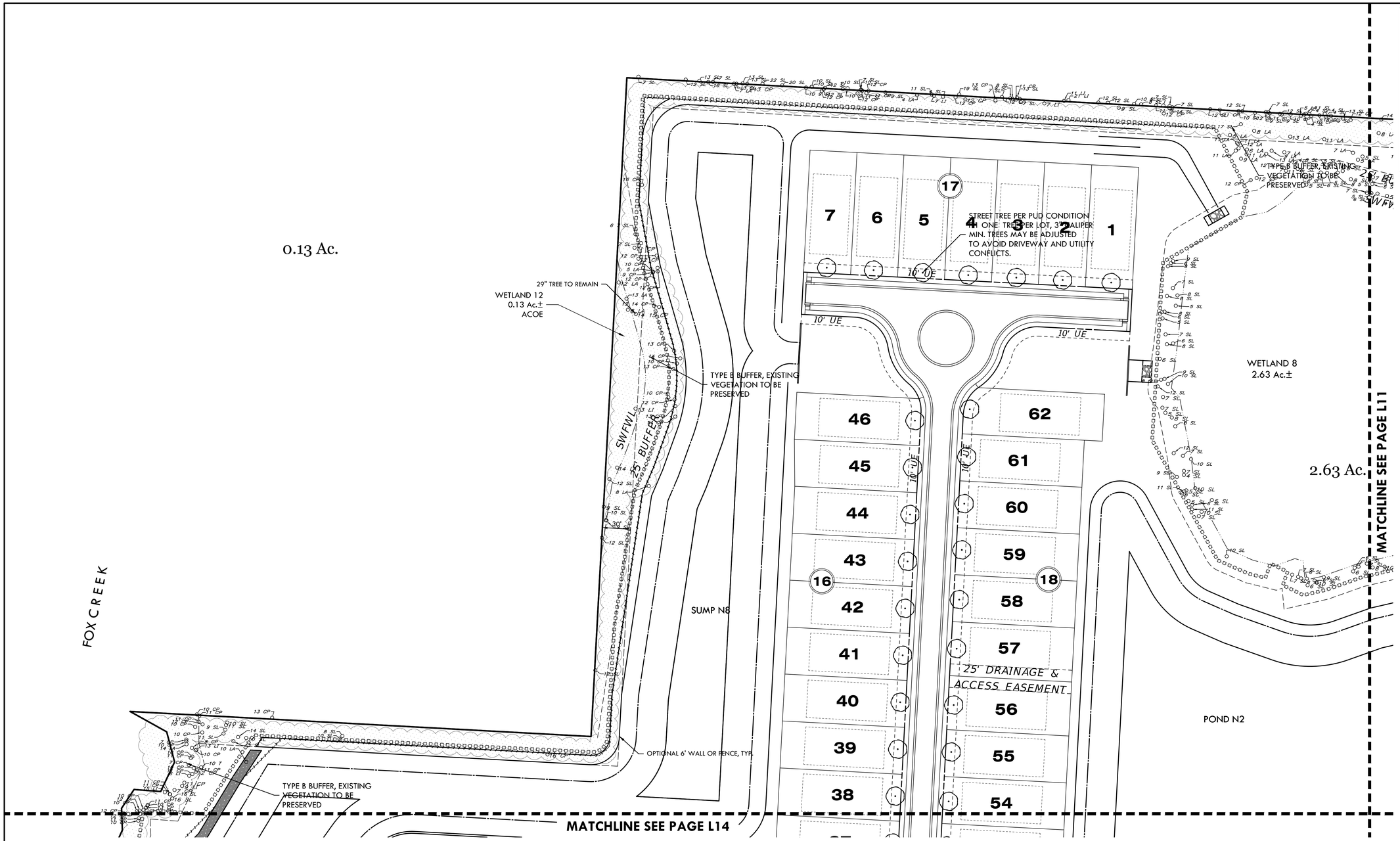
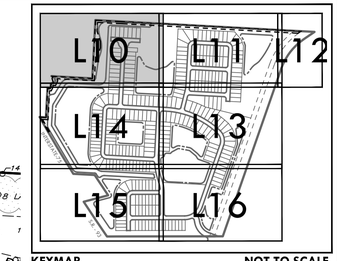
FILE PLP-BUFFERS AERIAL	SHEET L9 OF L19 SHEETS

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP-BUFFERS AERIAL.DWG-L9 BUFFER KEY SHEET 2021/08/31 3:16 PM CLD ENGINEERO





KEYMAP NOT TO SCALE

LEGEND

- WETLAND LINE
- WETLAND BUFFER
- PROPERTY (PARCEL) BOUNDARY
- BUFFER - TYPE A, B & C (EXISTING VEGITATION)
- BUFFER - TYPE A
- BUFFER - TYPE B
- BUFFER - TYPE C
- LI EXISTING TREE TO REMAIN
- PROPOSED STREET TREE (BY BUILDER)
- NORMAL WATER

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L10 2021/08/31 3:16 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY
05-24-2021	CITY COMMENTS	JD
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

Clearview LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

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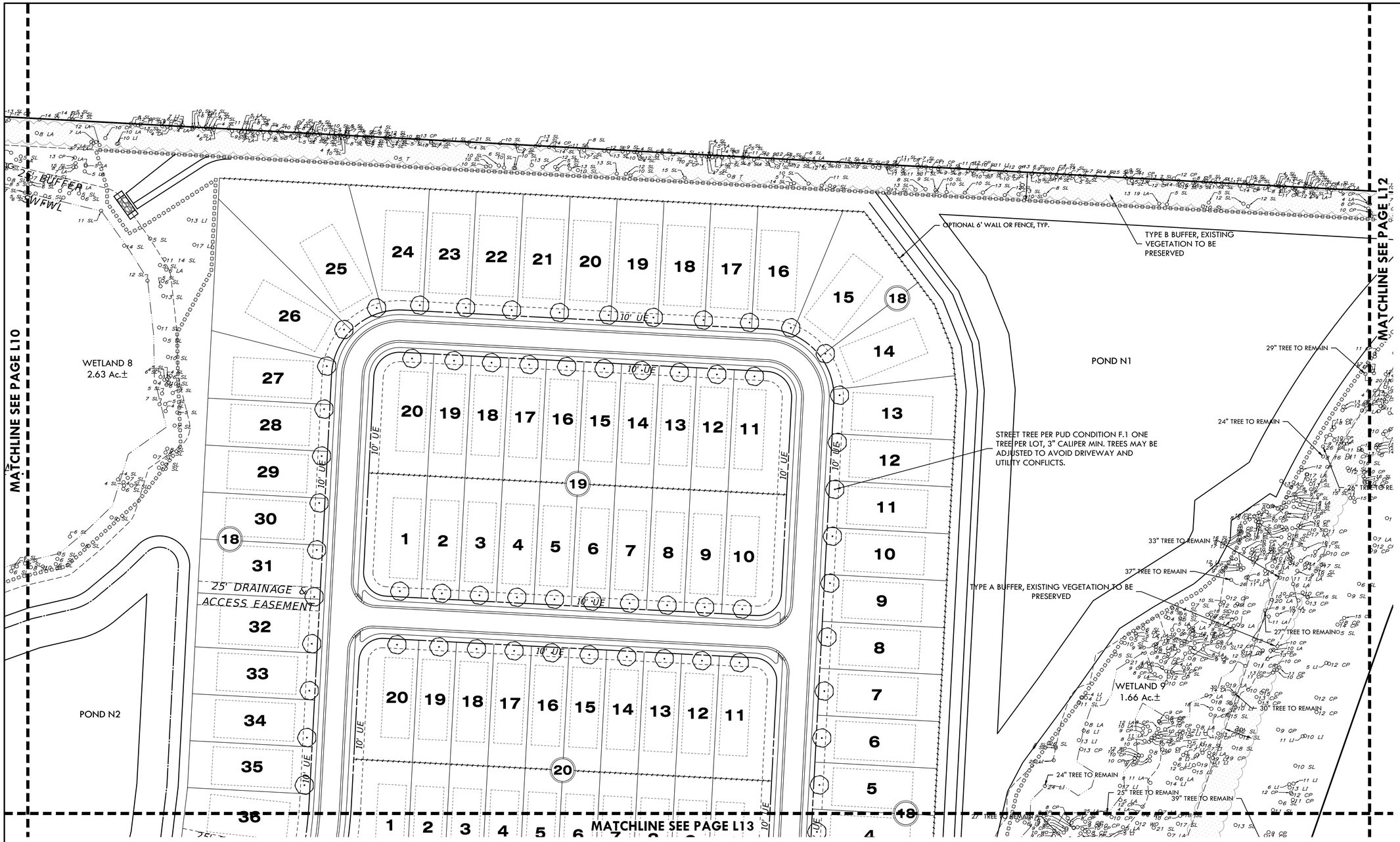
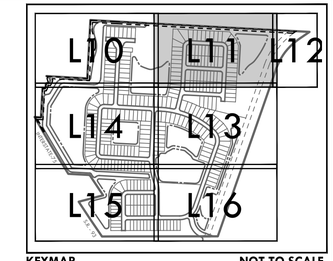
DATE:

JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	**SHEET L10 OF L19 SHEETS**





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- BUFFER - TYPE A, B & C (EXISTING VEGITATION)
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- BUFFER - TYPE C
- LI EXISTING TREE TO REMAIN
- PROPOSED STREET TREE (BY BUILDER)
- NORMAL WATER

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L11 2021/08/31 3:16 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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05-24-2021	CITY COMMENTS	JD
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

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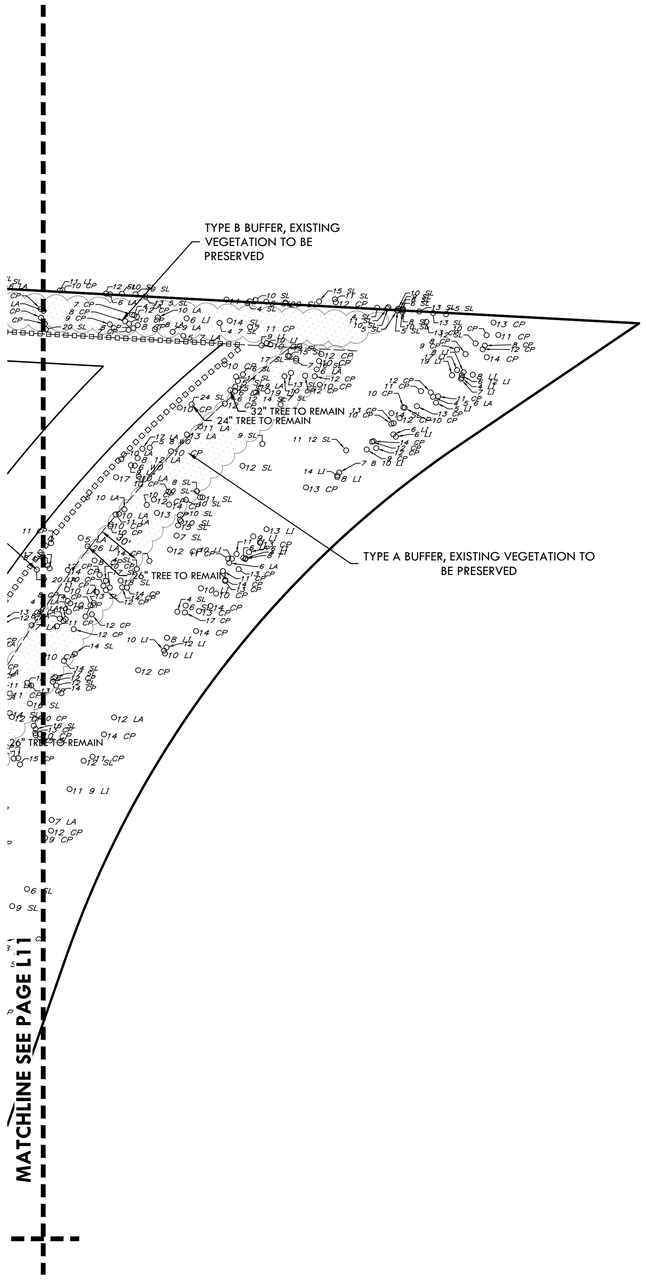
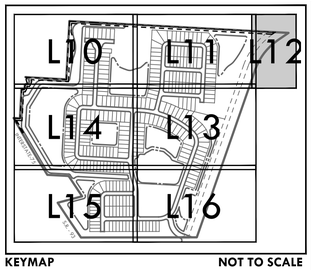
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	**SHEET L11 OF L19 SHEETS**





KEYMAP NOT TO SCALE

LEGEND

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- BUFFER - TYPE A, B & C (EXISTING VEGITATION)
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- NORMAL WATER

P:\RUSTIC ROAD\NORTH-SF\DRAWING\PRELIMINARY PLAT\PLP.DWG-L12 2021/08/31 3:17 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

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JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	**SHEET L12 OF L19 SHEETS**

MATCHLINE SEE PAGE L11

MATCHLINE SEE PAGE L14

MATCHLINE SEE PAGE L16

POND N2

POND N3

25' DRAINAGE & ACCESS EASEMENT

10' UE

STREET TREE PER PUD CONDITION F.1 ONE TREE PER LOT, 3" CALIPER MIN. TREES MAY BE ADJUSTED TO AVOID DRIVEWAY AND UTILITY CONFLICTS.

25' BUFFER

SWFWL

WETLAND 9
1.66 Ac.±
1.66 Ac.

WETLAND 7
2.73 Ac.±

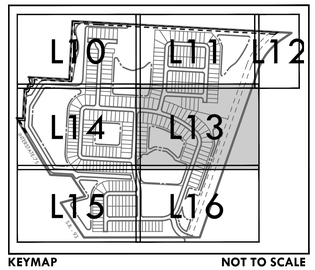
TYPE A BUFFER, EXISTING VEGETATION TO BE PRESERVED

OPTIONAL 6' WALL OR FENCE, TYP.

DITCH 1

SARASOTA WEST COAST WATERSHED RAW
(COW PEN SLOUGH DRAINAGE CANAL)

25" TREE TO REMAIN
39" TREE TO REMAIN
27" TREE TO REMAIN
28" TREE TO REMAIN
40" TREE TO REMAIN
27" TREE TO REMAIN
10 CM /LAYING DOWN EAST OF WETLAND
32" TREE TO REMAIN
24" TREE TO REMAIN
27" TREE TO REMAIN
33" TREE TO REMAIN
25" TREE TO REMAIN
31" TREE TO REMAIN
28" TREE TO REMAIN
53" TREE TO REMAIN



KEYMAP NOT TO SCALE

LEGEND

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- PROPERTY (PARCEL) BOUNDARY
- BUFFER - TYPE A, B & C (EXISTING VEGITATION)
- BUFFER - TYPE A
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- BUFFER - TYPE C
- LI EXISTING TREE TO REMAIN
- PROPOSED STREET TREE (BY BUILDER)
- NORMAL WATER

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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05-24-2021	CITY COMMENTS	JD
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

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JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009

DESIGN JD

DRAWN NG

DATE 08-31-2021

FILE PLP

RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET L13 OF L19 SHEETS

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L13 2021/08/31 3:17 PM CLD ENGINEERO

MATCHLINE SEE PAGE L10

VEGETATION TO BE PRESERVED

OPTIONAL 6' WALL OR FENCE, TYP.

SUMP N8

STREET TREE PER PUD CONDITION F.1 ONE TREE PER LOT, 3" CALIPER MIN. TREES MAY BE ADJUSTED TO AVOID DRIVEWAY AND UTILITY CONFLICTS.

TYPE B BUFFER, EXISTING VEGETATION TO BE PRESERVED

TYPE C BUFFER, EXISTING VEGETATION TO BE PRESERVED

TYPE C BUFFER SEE TYPICAL PLANTING DETAIL.

OPTIONAL 8' WALL OR FENCE, TYP.

POND N5

POND N4

POND N2

25' DRAINAGE & ACCESS EASEMENT

20' DRAINAGE & ACCESS EASEMENT

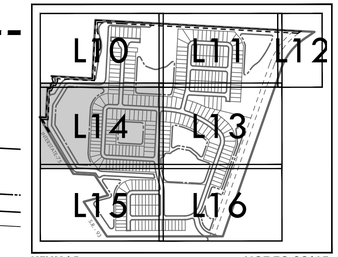
10' UE

INTERSTATE-75

Existing Northbound Lanes

MATCHLINE SEE PAGE L13

MATCHLINE SEE PAGE L15



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P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L14 2021/08/31 3:17 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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05-24-2021	CITY COMMENTS	JD
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVISIONS SUBMITTAL	IN1

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

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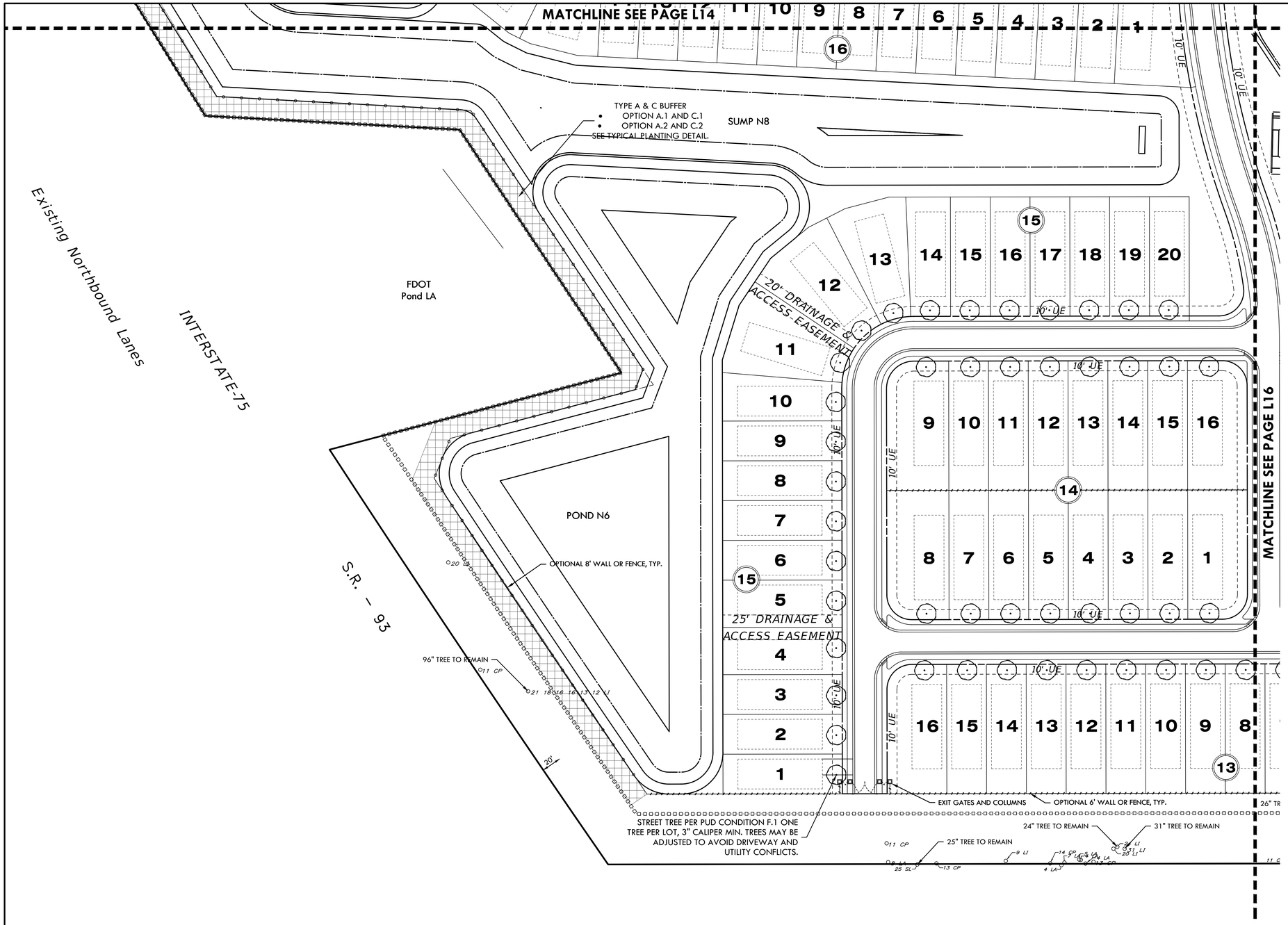
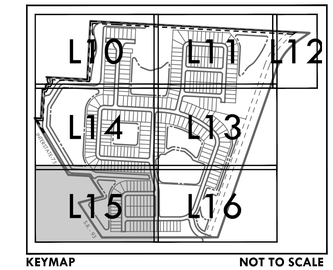
FLORIDA REGISTERED LANDSCAPE ARCHITECT

PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	SHEET L14 OF L19 SHEETS





KEYMAP NOT TO SCALE

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- EXISTING TREE TO REMAIN
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- NORMAL WATER

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L15 2021/08/31 3:17 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

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PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009

DESIGN JD

DRAWN NG

DATE 08-31-2021

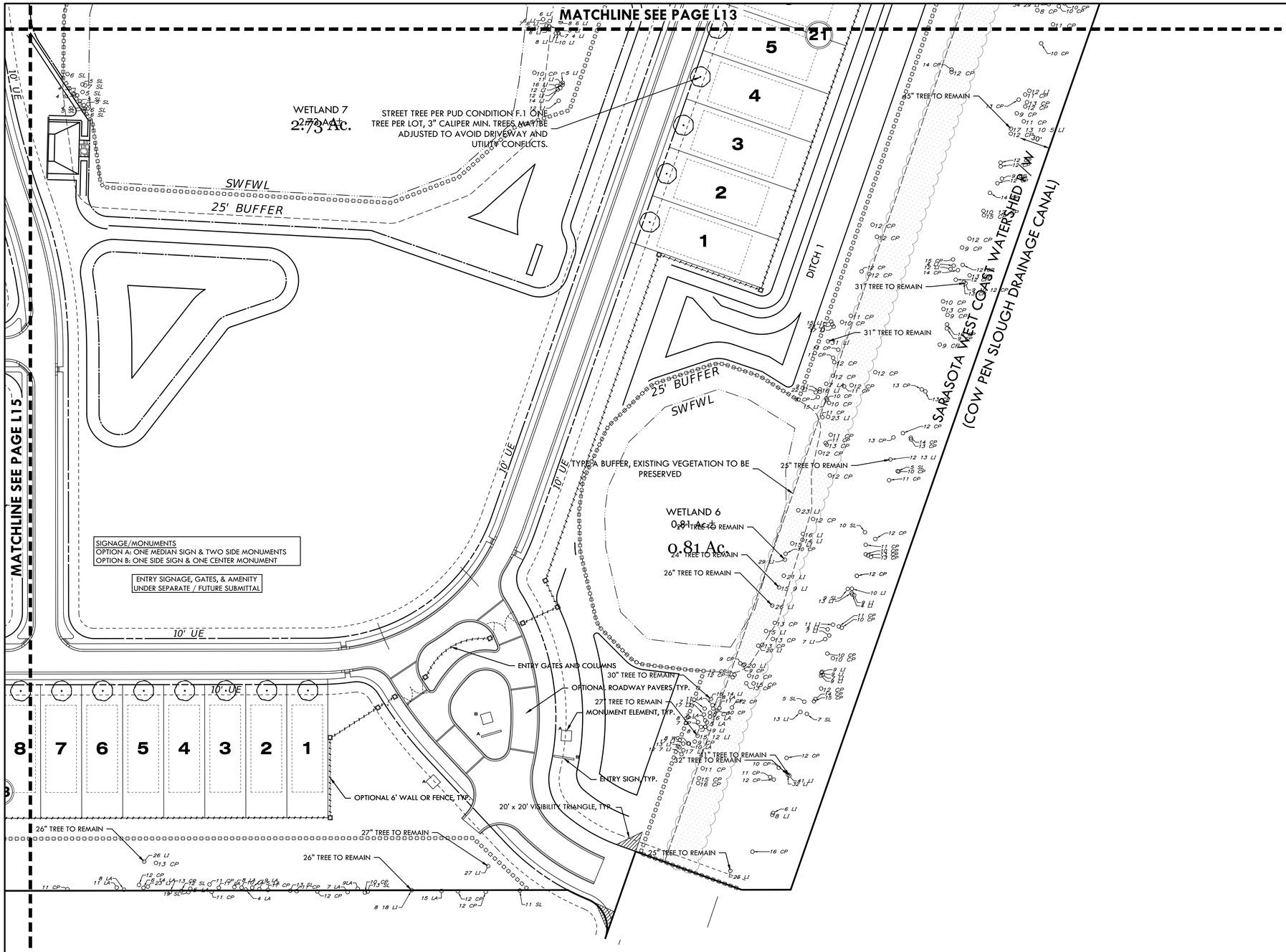
FILE PLP

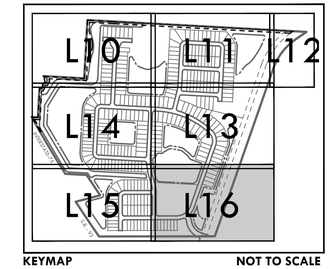
RUSTIC ROAD NORTH
PHASES 1 & 2

PREPARED FOR: JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET L15 OF L19 SHEETS





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P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L16 2021/08/31 3:17 PM CLD ENGINEERO

100' 50' 0 50' 100'

SCALE: 1" = 50'

N

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04-19-2021	CITY COMMENTS	AA
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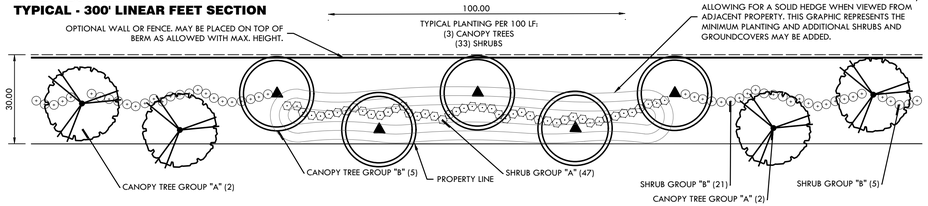
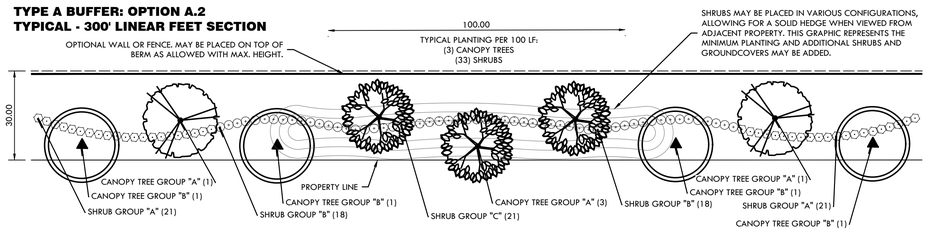
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	**SHEET L16 OF L19 SHEETS**

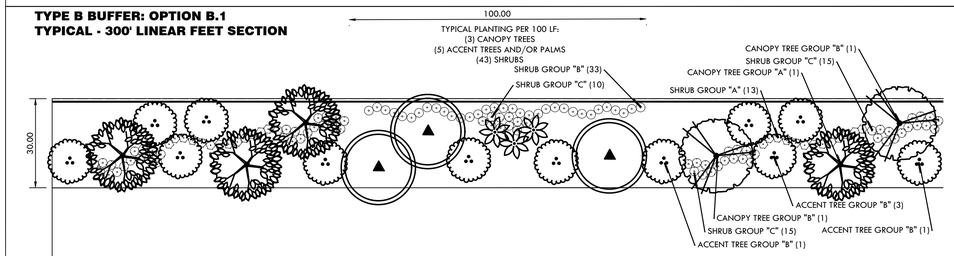
TYPE A BUFFER: OPTION A.1
TYPICAL - 300' LINEAR FEET SECTION



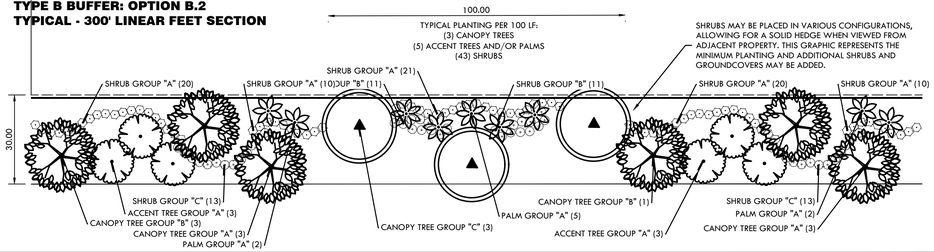
TYPE A BUFFER: OPTION A.2
TYPICAL - 300' LINEAR FEET SECTION



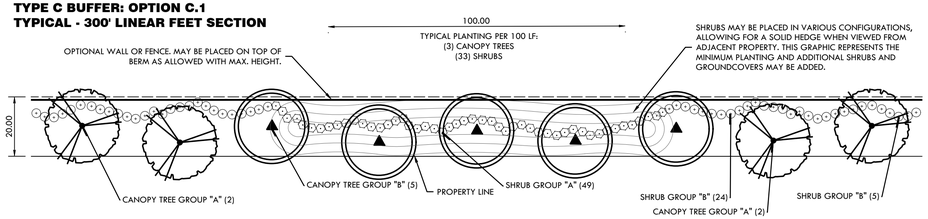
TYPE B BUFFER: OPTION B.1
TYPICAL - 300' LINEAR FEET SECTION



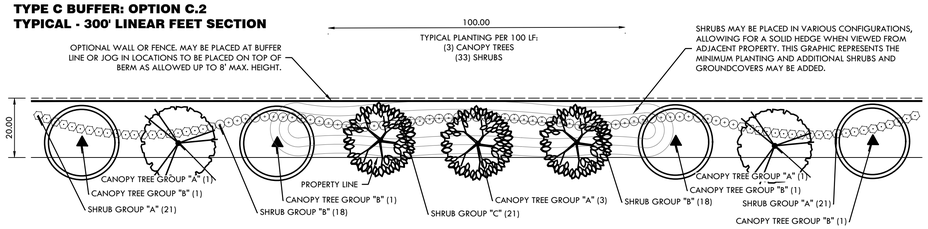
TYPE B BUFFER: OPTION B.2
TYPICAL - 300' LINEAR FEET SECTION



TYPE C BUFFER: OPTION C.1
TYPICAL - 300' LINEAR FEET SECTION



TYPE C BUFFER: OPTION C.2
TYPICAL - 300' LINEAR FEET SECTION



BUFFER NOTES:

TYPE A BUFFER:

1. Existing trees/vegetation shall remain where possible to satisfy required buffer plantings.
2. A fence or wall up to 8' in height may be added and is optional.
3. Where wall/fence is provided, plantings to be placed on outside of wall/fence between wall/fence and property line.
4. Fence/wall, where provided, may jog to be placed atop berm where co-located.
5. Where existing trees are retained in buffer, they may count toward tree requirement.
6. Where overhead utilities are present, trees may be substituted and planted in accordance with trees approved by the governing utility company.

TYPE B BUFFER:

1. Existing trees/vegetation shall remain where possible to satisfy required buffer plantings.
2. A fence or wall up to 8' in height may be added and is optional.
3. Where wall/fence is provided, plantings to be placed on outside of wall/fence between wall/fence and property line.
4. Fence/wall, where provided, may jog to be placed atop berm where co-located.
5. Where existing trees are retained in buffer, they may count toward tree requirement.
6. Where overhead utilities are present, trees may be substituted and planted in accordance with trees approved by the governing utility company.

TYPE C BUFFER:

1. Existing trees/vegetation shall remain where possible to satisfy required buffer plantings.
2. The height of berm may range between 0'-10' per approved zoning.
3. Where provided within 20' buffer, berm will typically be 33% slope max. for a 2.8' height berm with 3' flat planting space on top of berm.
4. No buffer shall be required where existing wetlands are to remain.
5. No berming to be proposed in areas where existing vegetation is being saved to meet buffering.
6. To extent possible, shrubs required for screening are to be placed on top of berm.
7. Along I-75, a fence or wall up to 8' in height may be added and is optional.
8. Fence/wall, where provided, may jog to be placed atop berm where co-located.
9. Existing vegetation may be utilized to meet buffering.

NOTE: BUFFERS A&B ARE SHOWN FOR REFERENCE ONLY. EXISTING VEGETATION WILL BE UTILIZED IN LIEU OF PLANTING BUFFERS AS SHOWN

CONCEPT_PLANT_SCHEDULE

EXISTING TREE
-

CANOPY TREE GROUP "A"
Canopy Trees with Spreading Crown
- `Shady Lady` Black Olive
- West Indian Mahogany
- Live Oak
- Royal Poinciana
- Red Maple

CANOPY TREE GROUP "B"
Deciduous Canopy Trees
- Sweet Gum
- Shumard Oak
- Pond Cypress
- American Elm
- Chinese Elm

CANOPY TREE GROUP "C"
Evergreen Canopy Tree, Full to Ground and Conifers
- Japanese Blueberry
- Southern Magnolia
- Southern Red Cedar
- South Florida Slash Pine
- Long Leaf Pine
- Bald Cypress

ACCENT TREE GROUP "A"
Evergreen Full to Ground UnderstoryTrees
- Spanish Stopper
- Little Gem Magnolia
- Dahoon Holly
-

ACCENT TREE GROUP "B"
Spreading Crown Multi-Trunk Understory Trees
- Silver Buttonwood
- Pineapple Guava
- Yaupon Holly
- Weeping Yaupon Holly
- Crape Myrtle
- Ligustrum
-

PALM GROUP "A"
Palmate Leaved Palms
- Sabal Palm
- Washington Palm
- Royal Palm
-

SHRUB GROUP "A"
Evergreen Hedge
- Florida Privet
- Florida Anise
- Simpson`s Stopper
- Wild Coffee
- Watler`s Viburnum
-

SHRUB GROUP "B"
Texture Accent Hedge
- Red Tip Cocoplum
- Silver Butonwood
- Pineapple Guava
- Texas Sage
- Awabuki Viburnum
-

SHRUB GROUP "C"
Color Accent Hedge
- Copperleaf
- Butterfly Bush
- Firebush
- Loropetalum
-

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT
JOHN A. DEL VITTO
LA6667327
STATE OF FLORIDA

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE:
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	SHEET L17 OF L19 SHEETS

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L17 2021/08/31 3:17 PM CLD ENGINEERO

CITY OF VENICE STANDARD LANDSCAPE NOTES:

1. This Landscape Plan is for permitting purposes only. Additional trees, shrubs, groundcovers, and landscape materials may be added for aesthetic or environmental benefits. Additional landscape shall comply with City of Venice requirements and standards.
2. No reference to engineering or survey shall be made from this Landscape Plan.
3. JEN TAMPA 1, LLC. and/or successors shall be responsible for maintenance of all landscaped areas.
4. All materials shall be Florida #1 or better quality as per most current publication of "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services.
5. Trees.
   - Trees utilized to meet requirements of the code shall be chosen from the Master Tree Species List provided in Section 118-13 of the City of Venice Land Development Regulations.
   - All replacement canopy trees shall be a minimum of 2.5" caliper measured no closer than six inches from the ground.
   - All replacement understory trees shall be a minimum of 1.5" caliper measured no closer than six inches from the ground.
   - Trees utilized to meet minimum landscape requirements shall be a minimum of ten feet in overall height and four feet in spread and a minimum of three inches in diameter measured six inches above the ground immediately after planting.
   - Trees shall be maintained in a clean condition over five feet of clear wood. (Exception to full to ground species where applicable)
   - At a minimum, 75 percent of replacement trees shall be large and medium sized canopy trees, unless canopy trees are not suitable, as reasonable determined by the director and/or director's designee in the area to be planted.
   - Where ten or more trees are to be planted, no single species shall constitute more than 50 percent of the total replacement planting.
   - No more than 25 of the required tree plantings may be of the Pinus (commonly referred to as pine) species.
6. Palms:
   - (Cabbage palm) Sabal Palmetto may be planted at a rate equivalent to three palms to one required tree ($2\frac{1}{2}$ tree inches). Other Florida-Friendly palm species may be proposed at the same three to one ratio for approval of the city arborist.
   - Palms shall not constitute more than 25 percent of the required tree inches. It is not the intent of this restriction to prevent the planting of additional palm trees in excess of the required tree inches.
7. Shrubs and hedge plants. Shrubs shall be a minimum of two feet in height when measured immediately after planting. Hedge plants, where required, shall be planted not more than three feet on center, and maintained so as to form a continuous, unbroken, solid visual screen within a maximum of one year after time of planting.
8. Vines shall be a minimum of 30 inches in height immediately after planting and may be used in conjunction with fences, screens or walls to meet physical barrier requirements as specified.
9. Ground covers in lieu of grass in whole or in part shall be planted in such a manner as to present a finished appearance and reasonably complete coverage and shall be used with a decorative mulch such as pine or cypress bark or other material of a similar nature.
10. Lawn grass. Grass areas shall be planted in species normally grown in permanent lawns in the city area. Grass areas may be sodded, plugged, sprigged or seeded; except that solid sod shall be used in swales or other areas subject to erosion. In areas where other than solid sod or grass seed is used, nurse grass seed shall be sown for immediate effect and protection until coverage is otherwise achieved.
11. Required planting materials shall be appropriate for the USDA Hardiness Zone for the specific location where they are to be planted.
12. Trees and shrubs shall be drought tolerant species.
13. Existing Vegetation.
    - The retention of "existing vegetation" shall be maximized within the proposed landscaping, parking and buffer areas. When retaining existing vegetation within the landscape buffer area, only clearing methods that do not disturb the root structure shall be allowed within the dripline of tree canopies.
    - Existing trees may be used to meet the landscape requirements. For the purpose of meeting requirements, existing palms shall not be considered trees.
14. Design, Installation and Establishment Standards.
    - All landscape shall be installed in accordance with Florida chapter, International Society of Arboriculture Standards for Planting and Florida Nursery Growers and Landscape Association.
    - Location of plants and design of landscaping, including maintenance, shall be according to sound landscape and horticultural principles.
    - Trees of species whose roots are known to cause damage to public roadways or other public works shall not be planted closer than six feet to such public works, unless the tree root system is completely contained within a barrier for which the minimum interior dimensions shall be five feet square and five feet deep, and for which the construction requirements shall be four-inch-thick concrete reinforced with #6 wire mesh (six by six by six) or equivalent. All trees shall be approved by the zoning administrator.
    - Tree and shrub installation and establishment shall follow the guidelines provided in the current edition of the ANSI A300 Planting Standards (American Standards Institute). All Container Stock requires root ball remediation and shearing at the time of installation.
    - All landscape buffer areas shall have non-compacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash, except where structural soils have been approved by the City of Venice. All compacted soil, contaminated soil or roadbase fill shall be removed. Under no circumstances shall soils with greater than five percent or less than 0.5 percent organic matter be accepted.
    - All new planting beds and trees shall be mulched with 2"-3" natural material mulch.
    - Remove mulch from canopies of shrubs and properly tuck in mulch along planting bed edges. Smooth all lines between turf and mulch to eliminate jagged edges.
    - Do not pile mulch around the base of tree trunks or shrubs. Provide a 3' diameter mulch ring around planted trees that are not contained within a planting bed.
15. Nuisance Landscape.
    - Harmful nuisance trees and shrubs shall be excluded from any landscaping plan and shall be removed from the developed portions of project.
    - Such species include those listed by Florida Exotic Pest Plant Council (FLEPPC).
    - Invasive species shall not be planted to fulfill landscape requirements.
16. Maintenance Responsibility.
    - The responsibility for maintenance of a required landscape buffer shall remain with the owner of the property, his or her successors, heirs, assignees or any consenting grantee.
    - All plantings shall be maintained in an attractive and healthy condition.
    - Maintenance shall include, but not be limited to, watering, mulching, fertilizing and pest management, mowing, weeding, removal of litter and dead plant material, and necessary pruning and trimming, which includes structural pruning as specified in ANSI A300 Part 1, current edition.
    - Buffers shall be kept free of nuisance and invasive species.
    - Landscaping and landscaped areas shall present a healthy, neat and orderly appearance, free from refuse and debris.
    - Dead or dying plant materials shall be promptly removed and replaced by materials meeting the requirements of this subdivision.
    - A water source shall be supplied within 50 feet of any planting requiring continuing watering.
    - Where nonnative or non-drought tolerant native vegetation is incorporated into the plan, irrigation systems shall meet the standards for water efficient landscapes.
17. Residential Lots.
    - For all single- and two-family residential uses on individually platted lots, a minimum of one third of the required front yard area shall be planted with lawn grass, ground cover or shrubs and hedge plants.
    - Per PUD Condition F.1, each lot shall plant one (1) street tree, placed within or adjacent to the right of way. Street trees to be 3" caliper minimum at time of installation.

PERMIT IRRIGATION NOTES:

1. Plants with similar water requirements shall be irrigated on the same zone. Installed trees and other vegetation shall be spaced and located to accommodate their mature size on the site and not interfere with irrigation spray patterns of coverage. No plants shall be planted under roof overhangs. When utilizing organic Mulch a minimum depth of three inches shall be applied in Plant Beds and around individual trees and palms.
2. Irrigation Systems shall be designed and installed for efficient and effective use of water to the Landscaped Area. Irrigation Systems shall have separate High and Low Water Use Zones for independent operation. Turfgrass areas, annual flowerbeds and vegetable gardens shall be irrigated on separate irrigation zones from tree, shrub, and groundcover beds. No water spray from Irrigation Systems shall be applied under roof overhangs.
3. Sprinklers and rotors for Turf areas shall be installed so as to minimize overspray onto paved surfaces, structures, and nonvegetated areas; minimize Runoff of irrigation water; and operate at their designed overlap pattern of 75 percent to 100 percent. (A pattern of 100 percent overlap would represent head-to-head coverage). Pop-up Sprinklers and rotors will not be mixed in the same zone.
4. Reclaimed or other nonpotable water source shall be used for irrigation if available. If the water supply for the Irrigation System is from a well, a Constant Pressure Flow Control device or Pressure Tank with adequate capacity shall be required to minimize pump "cycling".
5. Micro-irrigation systems that have low volume Emitters shall be required for tree, shrub and Ground Cover beds if permanent irrigation is provided for these areas. A "Y" type Filter shall be installed at the head end of such systems. In-line pressure regulators to reduce pressure to no more than 15 P.S.I. shall also be utilized.
6. A Rain Sensing Shutoff Device shall be required on automatic Irrigation Systems to avoid irrigation during periods of sufficient rainfall. Said equipment shall consist of an automatic sensing device or switch which will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred. It must be placed where it is exposed to unobstructed natural rainfall.
7. Where reuse water is available from, the developer shall be required to install reuse lines throughout the development.
8. All new construction/new buildings shall connect to available reuse lines (if applicable) prior to issuance of Temporary or permanent Certificate of Occupancy.

SIGHT VISIBILITY NOTES.

1. Where an access-way intersects a public right-of-way, all landscaping shall provide unobstructed cross-visibility at a level between 2.5 feet and ten feet within the areas of property on both sides of an access-way formed by the intersection of each side of the access-way and public right-of-way lines, with two sides of each triangle being ten feet in length from the point of intersection and the third side being a line connecting the ends of the two other sides; provided that trees having limbs and foliage trimmed in such a manner that no limbs or foliage extend into the cross-visibility area shall be allowed, provided they are located so as not to create a traffic hazard. No buffer, structure or landscaping, except required grass or ground cover, shall not be located closer than three feet to the edge of any access-way pavement.
2. When the subject property abuts the intersection of two or more public rights-of-way, the following shall apply: On a corner lot, in any district except CBD and ILW, no fence, wall, hedge or other planting or structure that will materially obstruct vision between a height of $2\frac{1}{2}$ and ten feet above the centerline grades of the intersecting streets shall be erected, placed or maintained within the triangular area formed by the right-of-way lines at such corner lots and a straight line joining the right-of-way lines at points which are 20 feet distant from the intersection of the right-of-way lines and measured along the right-of-way lines. Clear tree trunks, signposts, lampposts, fence posts (but not opaque fences) and the like are exempt from this requirement.

REQUIRED TREE MITIGATION

PROJECT AREA	104.21 AC
REQUIRED TREES	40 INCHES PER ACRE = 4,168"
REQUIRED TREES (HERITAGE TREES)(*)	635 INCHES(*)
REQUIRED MIN. TREES	4,803

NOTES

1. REFER TO TREE REMOVAL PLANS FOR DETAILS OF RETAINED TREE CREDIT.
2. RETAINED TREES COUNTED TOWARD REPLACEMENT CREDIT ARE NATIVE SPECIES.
3. WHERE PALMS ARE PLANTED IN LIEU OF ACCENT TREES AS ALLOWED BY PUD CONDITION E IN TYPE B BUFFERS, 3 PALMS SHALL EQUAL 2.5".
4. FUTURE PARK LANDSCAPE MAY BE ADDED TO AMENITY SITE WITH FINAL DESIGN.
5. ADDITIONAL TREES, SHRUBS, AND GROUNDCOVERS MAY BE ADDED TO ENHANCE LANDSCAPE AREAS.
6. HERITAGE TREE INCHES APPROXIMATE AND TO BE DETERMINED WITH FINAL ARBORIST REPORT.

TREE PLANTING SCHEDULE

SITE PLAN AREA	LANDSCAPE REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROVIDED
STREET TREES	1 TREE PER LOT PER PUD CONDITION F.1	295 LOTS X 1 PER LOT = 295 TREES	295 TREES @3" CAL = 885 INCHES
TYPE A BUFFER (EXISTING)	3 CANOPY TREES PER 100 LF PER PUD CONDITION E	2,663 LF ± = 79 CANOPY TREES	MET WITH EXISTING VEGETATION
TYPE B BUFFER (EXISTING)	3 CANOPY TREES + 5 ACCENT TREES PER 100 LF PER PUD CONDITION E	4,226 LF ± = 127 CANOPY TREES + 211 ACCENT TREES	MET WITH EXISTING VEGETATION
TYPE C BUFFER (SUPPLEMENT)	3 CANOPY TREES PER 100 LF PER PUD CONDITION E	1,952 LF ± = 59 CANOPY TREES	59 TREES @3" CAL = 177 INCHES
TYPE C BUFFER (EXISTING)	3 CANOPY TREES PER 100 LF PER PUD CONDITION E	160 LF ± = 5 CANOPY TREES	MET WITH EXISTING VEGETATION
		TOTAL PROVIDED CREDIT INCHES	1,062 INCHES
		TOTAL RETAINED CREDIT INCHES	13,996 INCHES
		TOTAL INCHES PROVIDED ON SITE	15,058 INCHES

TREE PLANTING LIST

TREE TYPE	SPECIES SELECTION	SPECIFICATION/SIZE
STREET TREE - Canopy Trees. Provided by Builder. 1 per Lot. Placed within right of way or behind walk. See plan. Locations to be adjusted for driveways and utilities.	Red Maple / Acer rubrum	3" caliper / 10' height x 4' spread
	Green Buttonwood, Standard / Conocarpus erectus	
	Japanese Blueberry / Elaeocarpus decipens	
	Southern Magnolia / Magnolia grandiflora	
	Live Oak / Quercus virginiana	
	American Elm / Ulmus americana	
	Chinese Elm / Ulmus parvifolia	
CANOPY TREE GROUP "A" Canopy Trees with Spreading Crown	'Shady Lady' Black Olive / Bucida buceras	3" caliper / 10' height x 4' spread
	West Indian Mahogany / Swietenia mahagoni	
	Live Oak / Quercus virginiana	
	Royal Poinciana / Delonix regia	
	Red Maple / Acer rubrum	
CANOPY TREE GROUP "B" Deciduous Canopy Trees	Red Maple / Acer rubrum	
	Sweetgum / Liquidambar styraciflua	
	Live Oak / Quercus shumardii	
	Bald Cypress / Taxodium distichum	
	Pond Cypress / Taxodium ascendens	
	American Elm / Ulmus americana	
	Chinese Elm / Ulmus parvifolia	
CANOPY TREE GROUP "C" Evergreen Canopy Tree, Full to Ground & Conifers	Japanese Blueberry / Elaeocarpus decipens	3" caliper / 10' height x 4' spread
	Bald Cypress / Taxodium distichum	
	Southern Magnolia / Magnolia grandiflora	
	Southern Red Cedar / Juniperus silicicola	
	South Florida Slash Pine / Pinus elliottii 'Densa'	
	Long Leaf Pine / Pinus palustrus	
ACCENT TREE GROUP "A" - Evergreen Full to Ground Understory Tree	Spanish Stopper / Eugenia foetida	$1\frac{1}{2}$" caliper / 5'-6' height x 2'-3' spread
	Little Gem Magnolia / Magnolia grandiflora 'Little Gem'	
	Dahoon Holly / Ilex cassine	
ACCENT TREE GROUP "B" - Spreading Crown, Multi-Trunk Understory Tree	Silver Buttonwood Tree/ Conocarpus erectus 'Sericeus'	$1\frac{1}{2}$"-2" caliper/ 5'-6' height x 3'-4' spread/Multi-trunk, Min. $\frac{1}{2}$" caliper per trunk, Equally sized trunks.
	Pineapple Guava Tree / Feijoa sellowiana	
	Yaupon Holly / Ilex vomitoria	
	Yaupon Holly / Ilex vomitoria 'Pendula'	
	Crape Myrtle / Lagerstroemia indica	
	Ligustrum Tree / Ligustrum japonicum	
PALM GROUP "A"	Sabal Palm / Sabal palmetto	10' CT Min. Staggered Heights in Groups.
	Mexican Fan Palm / Washingtonia robusta	
	Royal Palm / Roystonea regina	

BUFFERING / SCREENING SHRUBS

SHRUB TYPE	SPECIES SELECTION	SPECIFICATION/SIZE
SHRUB GROUP "A" - Evergreen Hedge	Florida Privet / Forestiera segregata	30" height - 36" max. spacing
	Florida Anise / Illicium floridanum	
	Simpson's Stopper / Myrcianthes fragrans	
	Wild Coffee / Psychotria nervosa	
	Walter's Viburnum / Viburnum obovatum	
SHRUB GROUP "B" - Texture Accent Hedge	'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'	30" height - 36" max. spacing
	Silver Buttonwood / Conocarpus erectus 'Sericeus'	
	Pineapple Guava Tree / Feijoa sellowiana	
	Texas Sage / Leucophyllum frutescens	
	'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'	
SHRUB GROUP "C" - Color Accent Hedge	Copperleaf / Acalypha wilkesiana	30" height - 36" max. spacing
	Butterfly Bush / Buddleia spp.	
	Firebush / Hamelia patens	
	Loropetalum / Loropetalum chinensis	
	Spartina Grass / Spartina bakeri	

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY
05-18-2021	PROJECT AREA & CALCULATIONS UPDATED	AA
04-19-2021	CITY COMMENTS	AA
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
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DATE:
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	**SHEET L18 OF L19 SHEETS**

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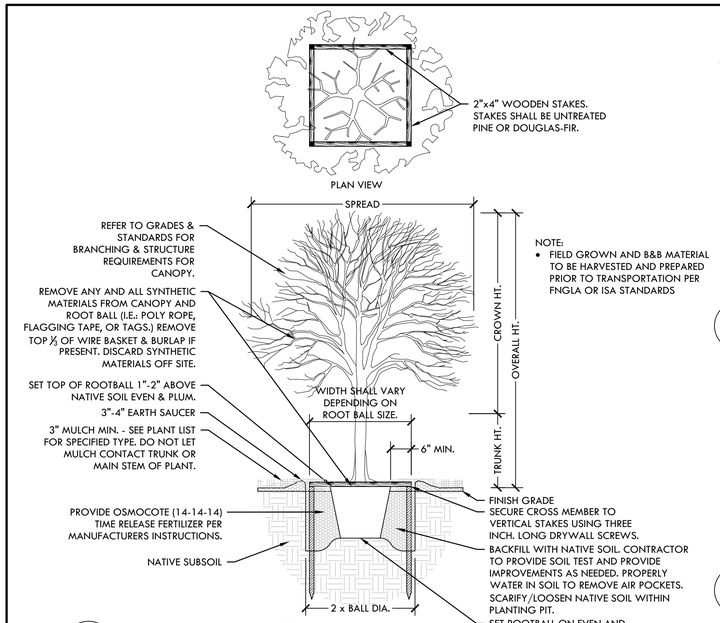
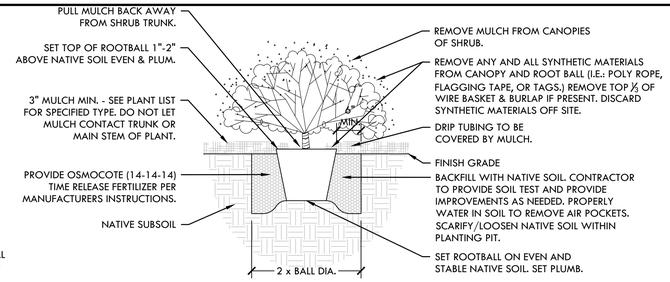


NOTE:
- FIELD GROWN AND B&B MATERIAL TO BE HARVESTED AND PREPARED PRIOR TO TRANSPORTATION PER FNGLA OR ISA STANDARDS

A TREE PLANTING DETAIL
SCALE: N.T.S.



D SHRUB PLANTING DETAIL
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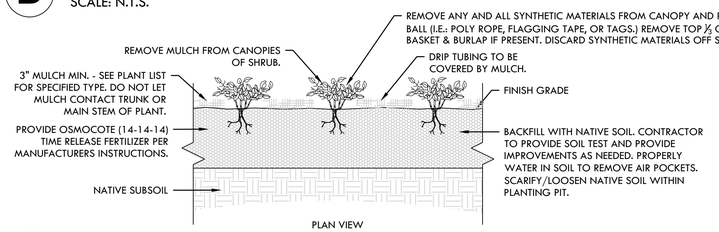
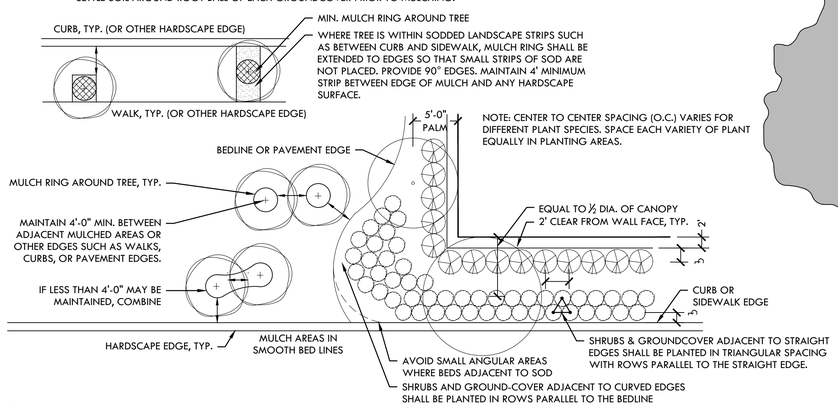


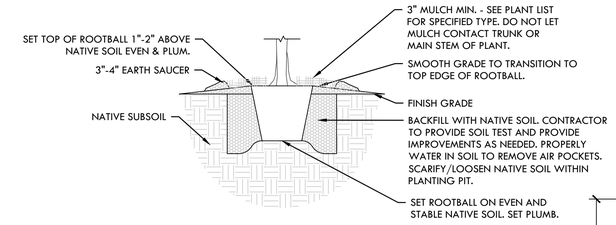
E GROUNDCOVER
SCALE: N.T.S.

NOTE:
- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
- SMALL ROOTS (¼" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT TIME OF PLANTING.
- SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

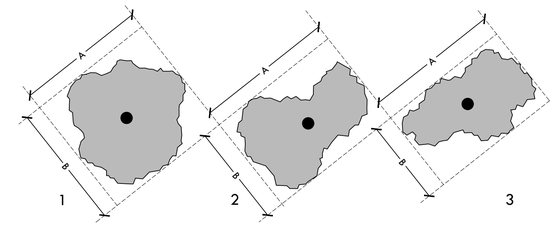


NOTE: CENTER TO CENTER SPACING (O.C.) VARIES FOR DIFFERENT PLANT SPECIES. SPACE EACH VARIETY OF PLANT EQUALLY IN PLANTING AREAS.

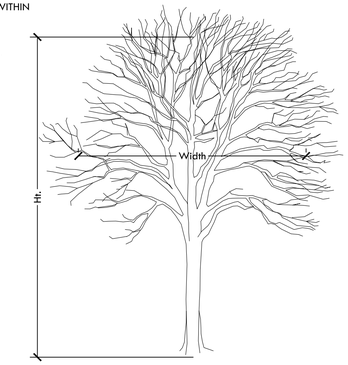
F PLANTING BED/TREE RING MULCH DETAIL
SCALE: N.T.S.



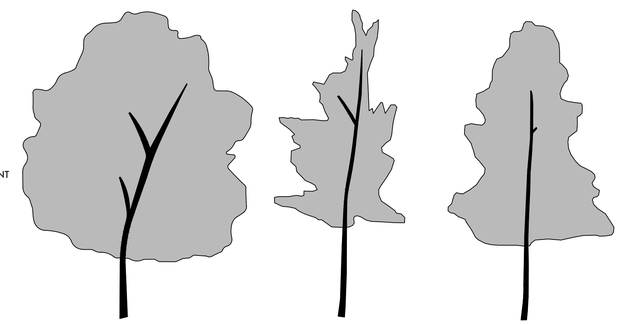
H FOR HEAVY CLAY & SLOW DRAINING SOILS
SCALE: N.T.S.



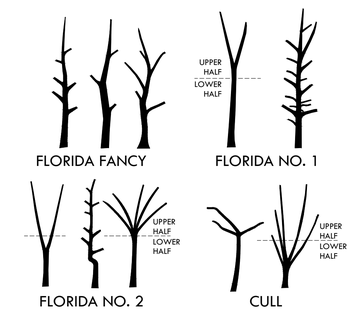
ABOVE: DIAGRAM 1 = ACCEPTABLE CANOPY WITHOUT LARGE GAPS IN ANY SIDE
DIAGRAMS 2 AND 3 REPRESENT LARGE GAPS OR ONE SIDED TREES AND WILL BE REJECTED



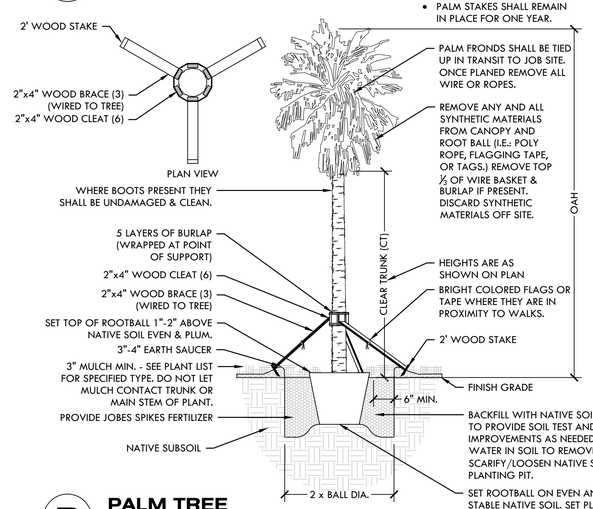
ABOVE: TREE MEASUREMENTS TO BULK OF TREE (AFTER ANY NECESSARY PRUNING) AND NOT TIP TO TIP OR EXTREME EXTENTS



ABOVE: FULL CANOPY WITH EVEN AND BALANCED DISTRIBUTION OF BRANCHING. SMALL GAPS AND INSCONSISTENCIES THAT ARE CHARACTERISTIC OF SPECIES GROWTH ACCEPTABLE. NO LARGE VOIDS.

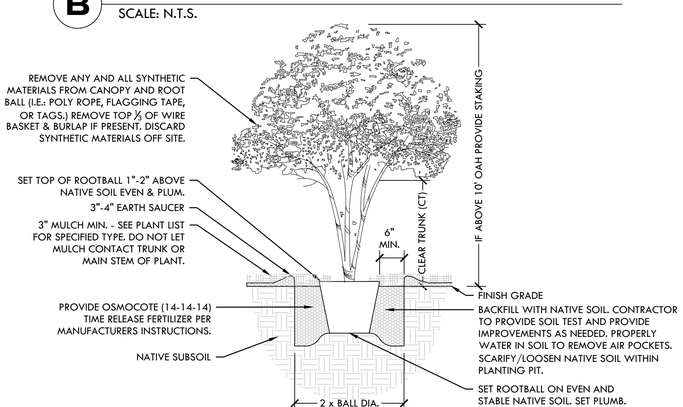


ABOVE: BRANCHING STRUCTURE IS EXPECTED TO BE FLORIDA FANCY OR FLORIDA #1 AS DEPICTED ABOVE. ALL OTHER TREES WILL BE REJECTED.

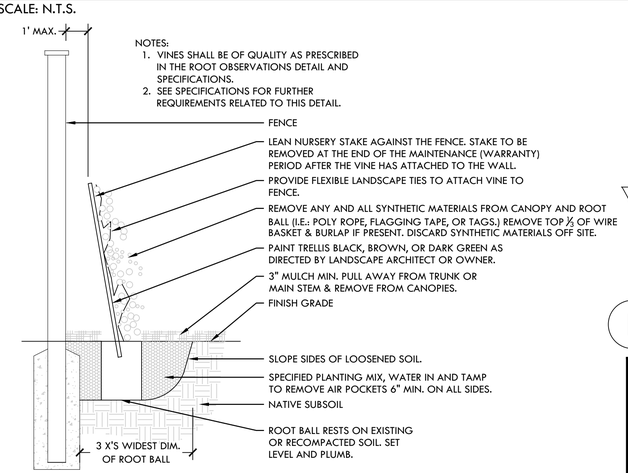


NOTE:
- PALM STAKES SHALL REMAIN IN PLACE FOR ONE YEAR.

B PALM TREE
SCALE: N.T.S.



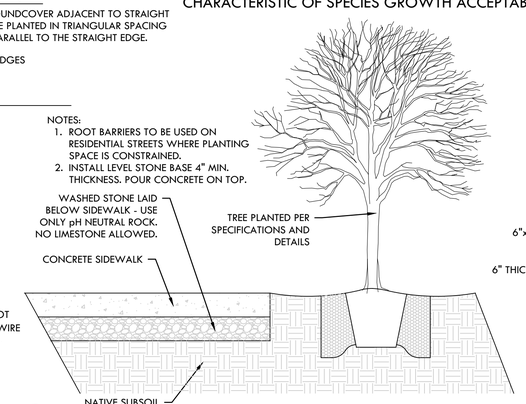
C MULTI-STEM TREE PLANTING DETAIL
SCALE: N.T.S.



NOTES:
1. VINES SHALL BE OF QUALITY AS PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

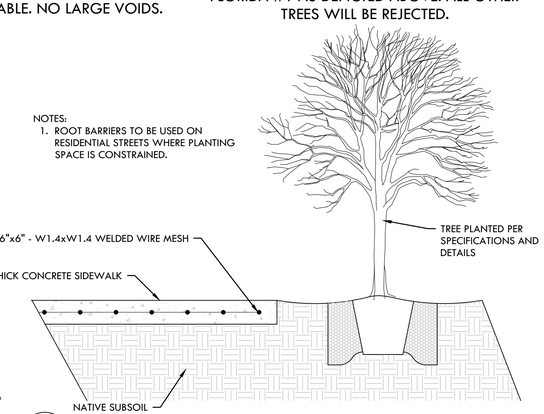
G VINE - UNMODIFIED SOIL
SCALE: N.T.S.

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION



NOTES:
1. ROOT BARRIERS TO BE USED ON RESIDENTIAL STREETS WHERE PLANTING SPACE IS CONSTRAINED.
2. INSTALL LEVEL STONE BASE 4" MIN. THICKNESS. POUR CONCRETE ON TOP.

I ROOT BARRIER TYPE A
SCALE: N.T.S.



NOTES:
1. ROOT BARRIERS TO BE USED ON RESIDENTIAL STREETS WHERE PLANTING SPACE IS CONSTRAINED.

J ROOT BARRIER TYPE B
SCALE: N.T.S.

DATE	DESCRIPTION	BY
02-09-2021	REVIEW SUBMITTAL	INI

REVISIONS

REGISTERED LANDSCAPE ARCHITECT JOHN A. DEL VITTO LA6667327 STATE OF FLORIDA

Clearview LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE:
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT

PERMIT LANDSCAPE PLAN

JOB NO. JEN-RU-009	RUSTIC ROAD NORTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 08-31-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	SHEET L19 OF L19 SHEETS

P:\RUSTIC ROAD\NORTH-SP\DRAWING\PRELIMINARY PLAT\PLP.DWG-L19 2021/08/31 3:17 PM CLD ENGINEERO