

VICINITY MAP CITY OF VENICE, FLORIDA SECTION 20, 21, & 29, TOWNSHIP 38 SOUTH, RANGE 19 EAST



| PERMIT /                             | FILE NOS.                  |
|--------------------------------------|----------------------------|
| CITY OF VENICE PROJECT NO.           |                            |
| CITY OF VENICE UTILITIES PROJECT NO. |                            |
| SWFWMD ERP/APPLICATION ID NO.        |                            |
| WATER DEP                            |                            |
| SEWER DEP                            |                            |
| RECLAIMED WATER DEP                  |                            |
| PARCEL ID NO.                        | 0362-00-1010, 0364-04-0002 |
|                                      |                            |
|                                      |                            |
|                                      |                            |

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# RUSTIC ROAD SOUTH PHASES 1 & 2 PRELIMINARY PLAT

INDEX OF CONSTRUCTION PLANS

| SHEET NO.  | DESCRIPTION                                |
|------------|--|
| 1          | COVER SHEET                                |
| <b>2A</b>  | AERIAL SITE PLAN                           |
| 2 <b>B</b> | EXISTING SITE CONDITIONS & DEMOLITION PLAN |
| 2C         | PUD KEY MAP                                |
| 3          | MASTER SITE PLAN                           |
| 4          | PRELIMINARY PLAT NOTES                     |
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|            | I  |

| UTILITY       | INFORMATION    | 1              |
|---------------|----------------|----------------|
| UTILITY       | SOURCE         | OWNERSHIP      |
| POTABLE WATER | CITY OF VENICE | CITY OF VENICE |
| WASTEWATER    | CITY OF VENICE | CITY OF VENICE |

UTILITY CONTACT INFORMATION

CITY OF VENICE UTILITIES DEPT. JAVIER VARGAS 200 N WARFIELD AVE VENICE, FL 34285 941-480-3333 EXT: 7316

FRONTIER COMMUNICATIONS TONI CANNON 3712 W WALNUT ST TAMPA, FL 33607 813-875-1014

SARASOTA COUNTY TRAFFIC MARK RICHMOND PO BOX 8 SARASOTA, FL 34230-0008 941-861-0942

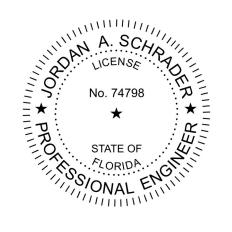
FLORIDA POWER & LIGHT JOEL BRAY CONTACT BY PHONE 386-586-6403

COMCAST LEONARD MAXWELL-NEWBOLD 2601 SW 145TH AVE MIRAMAR, FL 33027 754-221-1254

TECO-PEOPLES GAS-SARASOTA JOAN DOMNING 8416 PALM RIVER RD TAMPA, FL 33619 813-275-3783

PREPARED FOR:

# JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.



The above named Professional Engineer shall be responsible \_\_\_\_\_\_ for the adjacent listed sheets, SHEETS 1-18, in accordance with Rule 61G15-23.004, F.A.C.



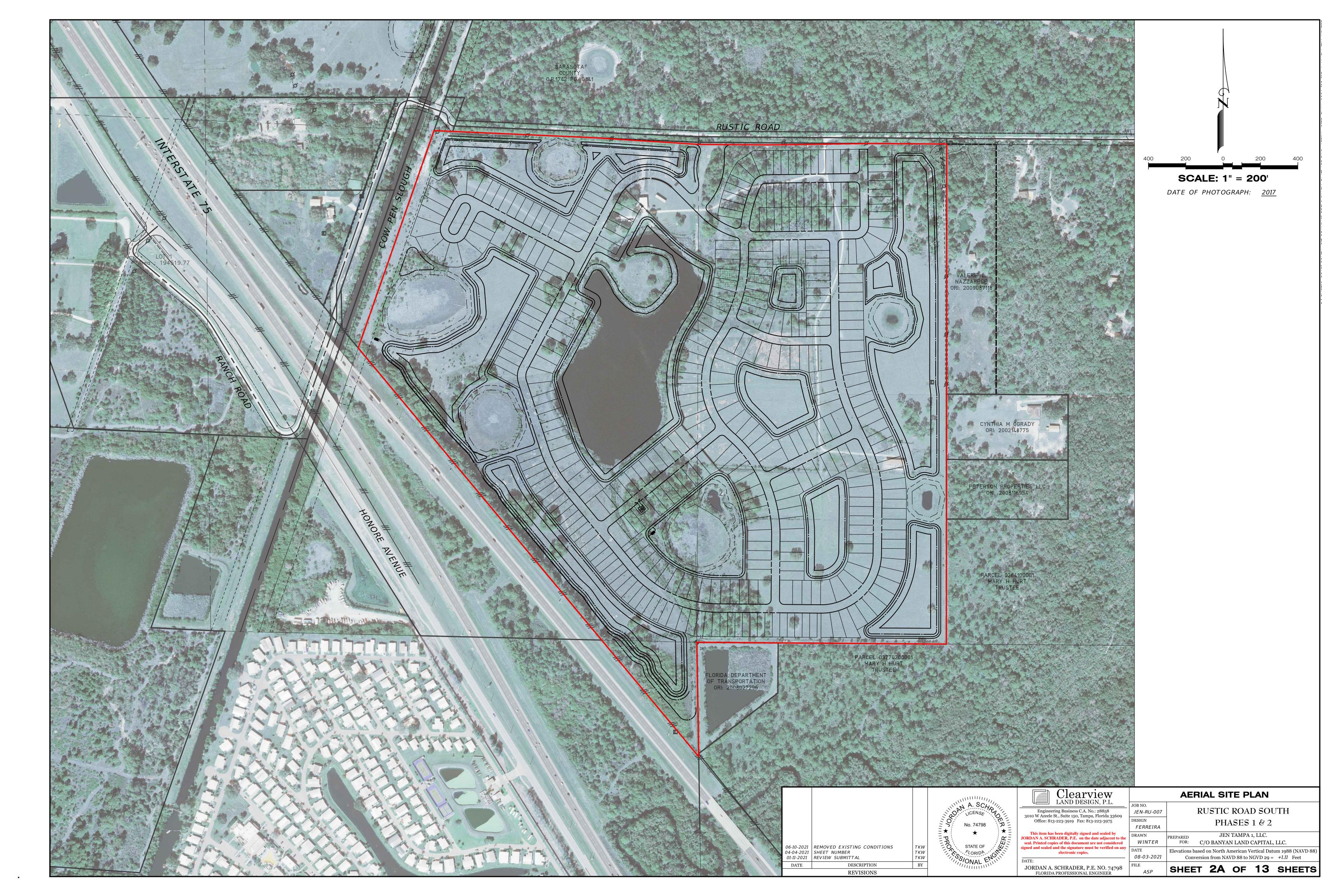
The above named Registered Landscape Architect shall be responsible for the adjacent listed sheets, SHEETS 19-36, in accordance with Rule 61G10-11.011, F.A.C.

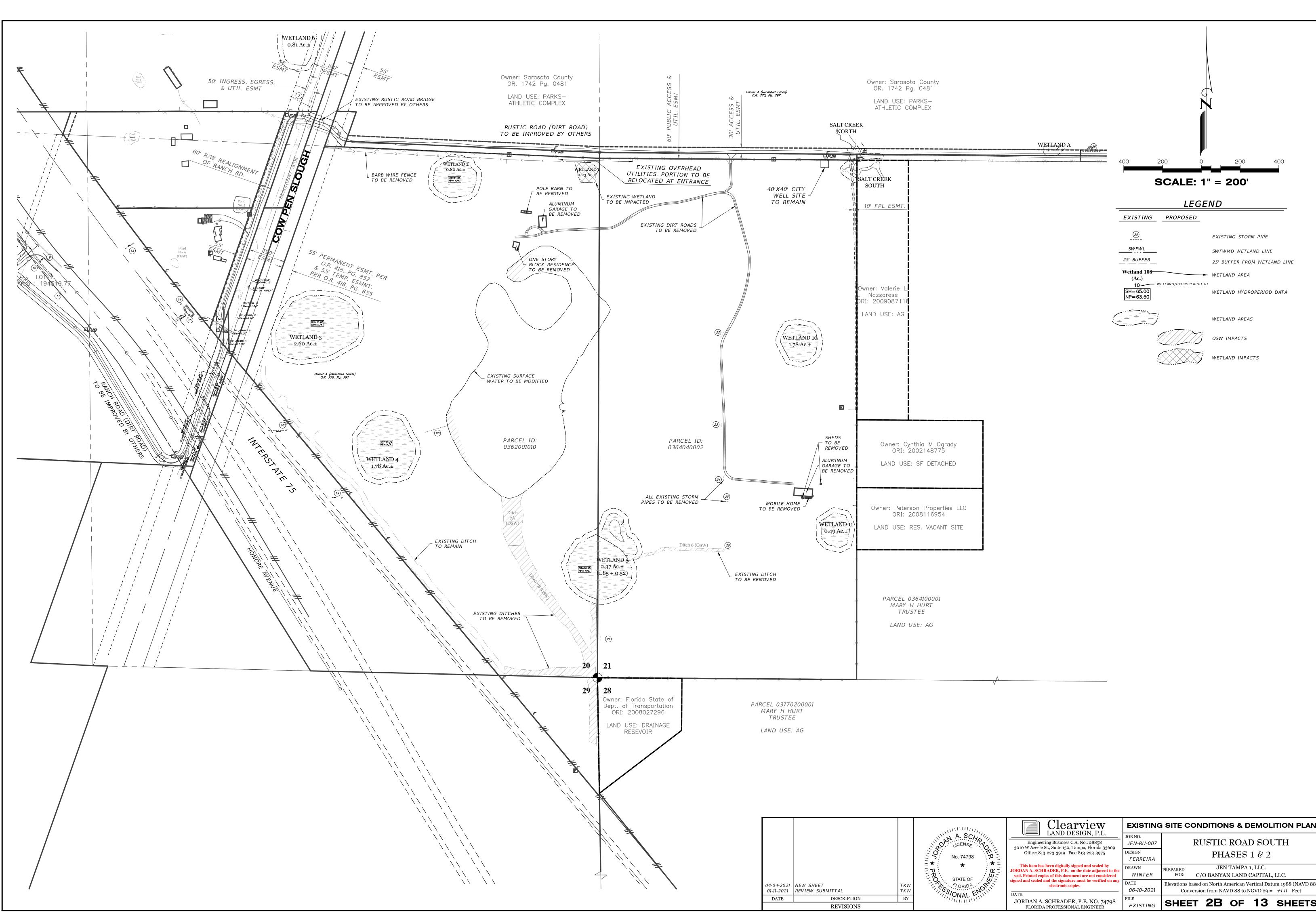
1316 West Swann Ave Tampa, Florida 33606 Phone: (813) 362-1137



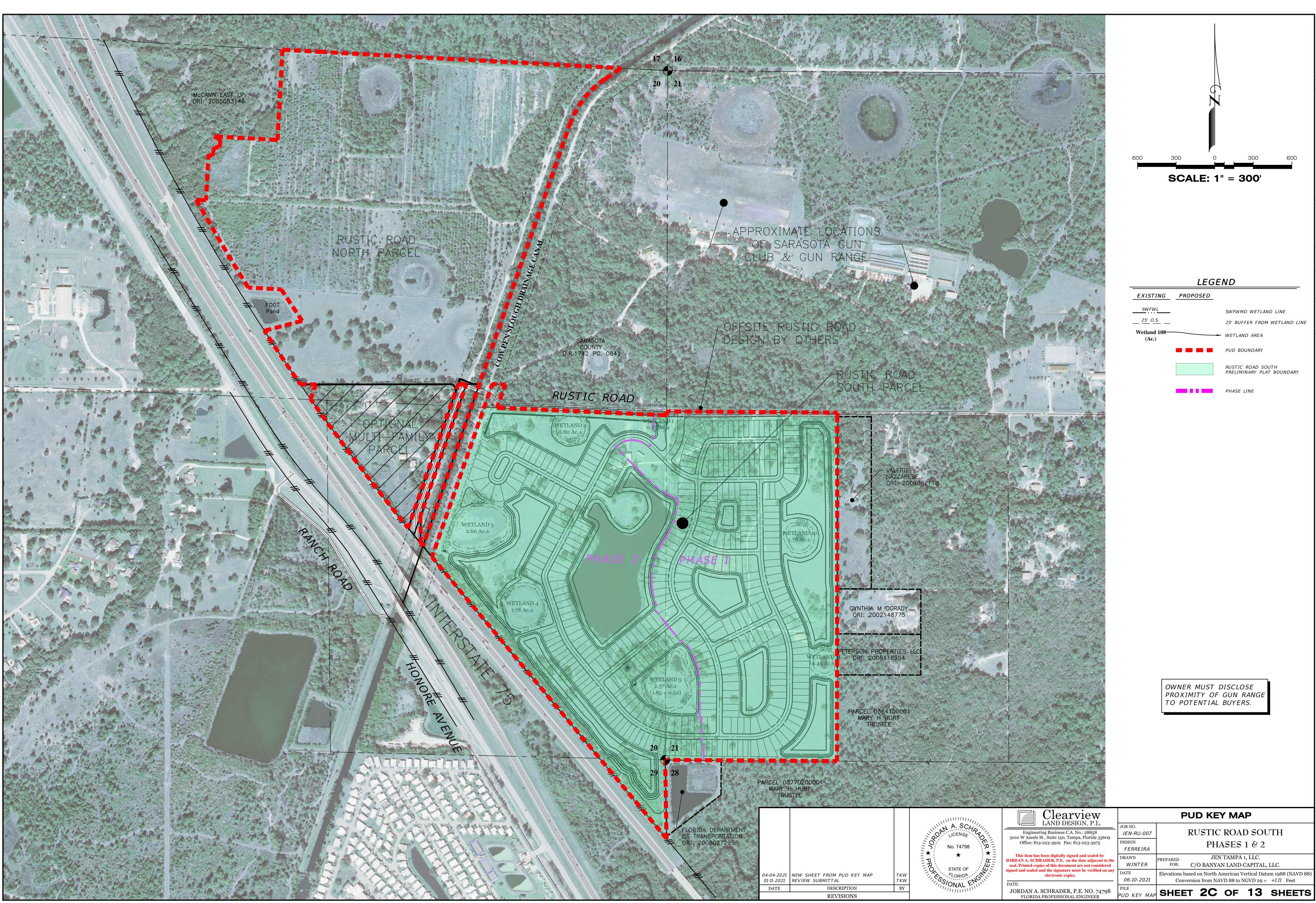
Engineering Business C.A. No.: 28858 3010 W Azeele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975

|  |  |  | RU                                       | STIC ROAD SOUTH<br>PHASES 1 & 2   |  |
|--|--|--|--|---|--|
|  |  | This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.         DATE:       JORDAN A. SCHRADER, P.E. NO. 74798         08/30/2021       FLORIDA PROFESSIONAL ENGINEER |  |   |  |
| 06-10-2021   | 2A, L2, L8, L10, L17, L18                                    | TKW  |  | JOB NO.<br>JEN-RU-007<br>North American Vertical Datum 1988 (NAVD 88)<br>om NAVD 88 to NGVD 29 = +1.11 Feet |  |
| 05-14-2021<br>05-14-2021<br>04-04-2021<br>01-11-2021 | 3-11,11A,11B,11C, L1-L17<br>1-13, L1-L17<br>REVIEW SUBMITTAL | TKW<br>TKW<br>TKW  | STREET & DRAINA<br>DESIGNED BY: FERREIRA | GE WATER & SANITARY SEWER<br>DESIGNED BY: WINTER  |  |
| DATE   | SHEET NO.  | BY   | DRAWN BY: WINTER                         | DRAWN BY: WINTER  |  |
|  | REVISIONS  |  | FILE: CV                                 | SHEET 1 OF 13   |  |

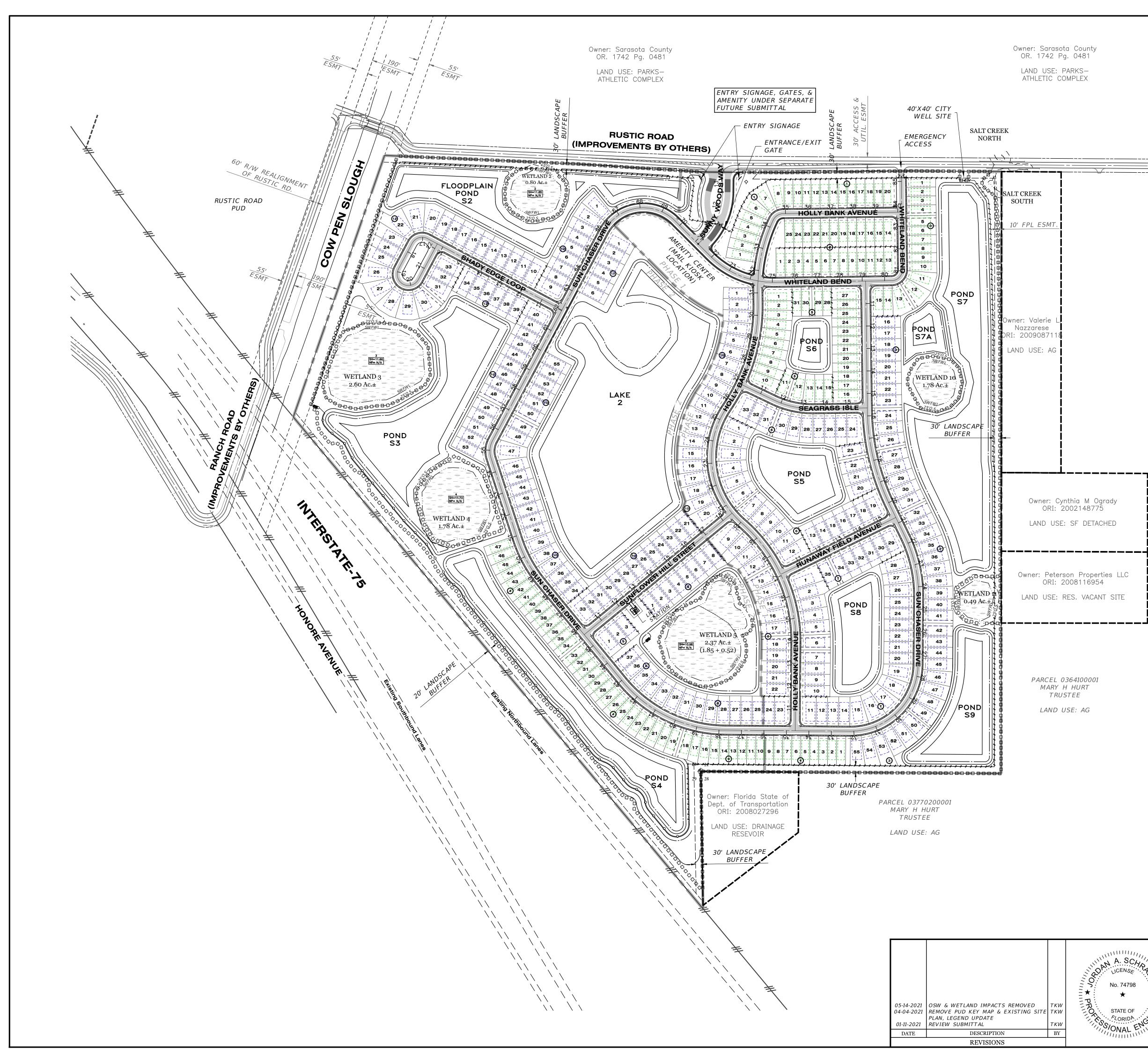


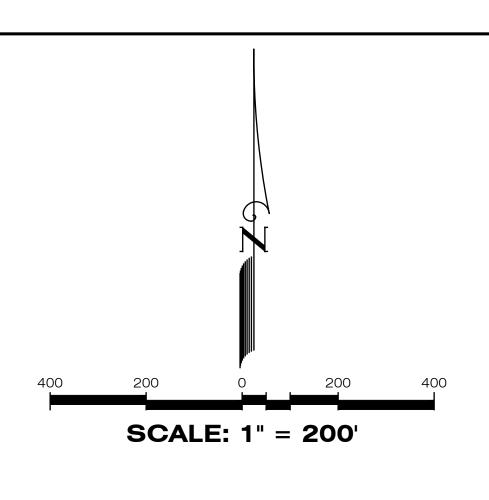


|             | <b>Clearview</b><br>LAND DESIGN, P.L.   | EXISTING              | SITE CONDITIONS & DEMOLITION PLAN   |
|-------------|---|-----------------------|---|
| LICENSE 7   | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609  | JOB NO.<br>JEN-RU-007 | RUSTIC ROAD SOUTH   |
| ♦ No. 74798 | Office: 813-223-3919 Fax: 813-223-3975  | DESIGN<br>FERREIRA    | PHASES 1 & 2  |
| STATE OF    | This item has been digitally signed and sealed by<br>JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>WINTER       | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| CORIDA.     | signed and sealed and the signature must be verified on any<br>electronic copies.   | DATE<br>06-10-2021    | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD $29 = +1.11$ Feet |
|             | JORDAN A. SCHRADER, P.E. NO. 74798<br>FLORIDA PROFESSIONAL ENGINEER   | FILE<br>EXISTING      | SHEET 2B OF 13 SHEETS   |



| <b>Clearview</b><br>LAND DESIGN, P.L.   |                              | PUD KEY MAP   |
|---|------------------------------|---|
| Engineering Business C.A. No.: 28858<br>V Azeele St., Suite 150, Tampa, Florida 33609   | JOB NO.<br><i>JEN-RU-007</i> | RUSTIC ROAD SOUTH   |
| ffice: 813-223-3919 Fax: 813-223-3975   | DESIGN<br>FERREIRA           | PHASES 1 & 2  |
| item has been digitally signed and sealed by<br>A. SCHRADER, P.E. on the date adjacent to the<br>inted copies of this document are not considered | DRAWN<br>WINTER              | PREPAREDJEN TAMPA 1, LLC.FOR:C/O BANYAN LAND CAPITAL, LLC.  |
| l sealed and the signature must be verified on any<br>electronic copies.  | DATE<br>06-10-2021           | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD 29 = +1.11 Feet |
| DAN A. SCHRADER, P.E. NO. 74798<br>Lorida professional engineer   | FILE<br>PUD KEY MAP          | SHEET 2C OF 13 SHEETS   |





## LEGEND

PROPOSED SIDEWALK/PATH BY BUILDER

(5' WIDE UNLESS OTHERWISE NOTED)

PROPOSED SIDEWALK BY DEVELOPER

(5' WIDE, 4" THICK)

WETLAND AREA

WETLAND AREAS

PROJECT BOUNDARY

PAD FOR 50' WIDE LOT

SWFWMD WETLAND LINE

25' BUFFER FROM WETLAND LINE

WETLAND HYDROPERIOD DATA

·□·□·□·□·□·□·□·□· STAKED EROSION CONTROL

EXISTING PROPOSED

10 ----- WETLAND/HYDROPERIOD ID

SWFWL

\_\_\_\_\_\_BUFFER\_\_\_\_

(Ac.)

SH=65.00 NP=63.50

PHASE

1

2

TOTALS

Wetland 108-

|  | PAD FOR 40' WIDE LOT |
|--|----------------------|
|  |                      |
|  |                      |
|  |                      |
|  |                      |
|  |                      |
|  |                      |
|  |                      |
|  |                      |
|  |                      |
|  |                      |

SOUTH PARCEL LOT SUMMARY

100

38

138

40' WIDE LOT 50' WIDE LOT TOTALS

144

118

262

244

156

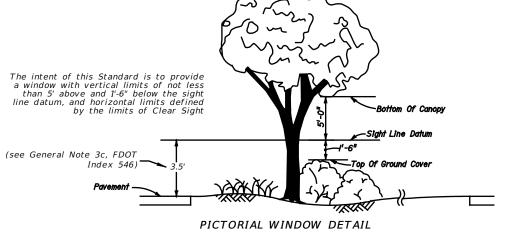
400

|               | <b>Clearview</b><br>LAND DESIGN, P.L.   |                              | MASTER SITE PLAN  |
|---------------|---|------------------------------|---|
| LICENSE .     | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609  | JOB NO.<br><i>JEN-RU-007</i> | RUSTIC ROAD SOUTH   |
| No. 74798 ₩ = | Office: 813-223-3919 Fax: 813-223-3975  | DESIGN<br>FERREIRA           | PHASES 1 & 2  |
| ★ AHA         | This item has been digitally signed and sealed by<br>JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>WINTER              | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| SIATE OF      | signed and sealed and the signature must be verified on any<br>electronic copies.   | DATE<br>08-03-2021           | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD $29 = +1.11$ Feet |
|               | JORDAN A. SCHRADER, P.E. NO. 74798<br>FLORIDA PROFESSIONAL ENGINEER   | FILE<br>MSP                  | SHEET 3 OF 13 SHEETS  |

| 1. Owner/Developer:  | Jen Tampa 1, LLC<br>c/o Banyan Land & Capital<br>1316 West Swann Ave.<br>Tampa, FL. 33606<br>(813) 362-1137<br>Matt O'Brien<br>matt.obrien@banyanland.net  | 3. Environmental:  | Steinbaum and Associates, Inc.<br>Ecological Consultants<br>P.O. Box 15437<br>Sarasota, FL 34277<br>(941) 921-2707<br>Michele L. Steinbaum, President<br>michele@steinbaumecological.com |
|--|--|--|--|
| 2. Engineer:   | Clearview Land Design, P.L.<br>3010 W. Azeele St., Suite 150<br>Tampa, Florida 33609<br>(813) 223-3919   | 4. Surveyor:   | GeoPoint Surveying, Inc.<br>213 Hobbs Street<br>Tampa, FL 33619<br>(813) 248-8888<br>David Williams, P.S.M, R.P.L.S.<br>davidw@geopointsurvey.com  |
|  | Jordan A. Schrader, P.E.<br>jordan.schrader@clearviewland.com  | 5. Geotechnical Engineer:  | Native Geoscience, Inc.<br>2014 Edgewater Dr.,#246<br>Orlando, FL 32804<br>(407) 342-1443<br>John C. Diehl, P.G.<br>cdiehl@nativegoe.com   |
| 7. Existing Zoning: <u>PU</u>  | DED USE: 400 UNIT SINGLE FAMILY RESIL<br><u>D</u> , Existing Land Use: Vacant/Agricultural   | DENTIAL SUBDIVISION  |  |
|  | provided by City of Venice.  |  |  |
| 11. Electrical power to b  |  |  |  |
| 13. Cable/Internet servic  | be provided by Verizon.<br>Te to be provided by Comcast.   |  |  |
| -  | es to be picked up curbside by the City  |  |  |
| 17. All work conducted i   | n the City of Venice Right-of-Way (ROW)<br>n Sarasota County and/or FDOT ROW sha   | Il require a copy of the issued  | permits.   |
|  | nservation areas, and detention ponds will<br>be within tracts dedicated to the Commun.  | -  |  |
|  | based on North American Vertical Datum<br>ay for local streets shall be a minimum o  | . ,  |  |
| 22. All roadway standard<br>23. Signing & Pavement   | Is to comply with the Manual of Uniform<br>Markings:   | Minimum Standards, State of Flo  | prida.   |
| 23.a. Handicap parking   | spaces will be properly signed and strip<br>or other applicable standards.   | ed in accordance with Florida S  | tatute 316, the Manual on Uniform Traff  |
| 23.b. All onsite parking   | spaces shall be striped and signed in ac<br>spaces, directional arrows, and stop bars  |  |  |
| responsibility to  | properly sign and stripe in accordance wi<br>s must be applied for, approved, and per  | ith applicable standards.  |  |
| plan. Approval o   | f this site plan does not constitute appro   | -  | Sait from any unmatery approved site   |
| -  | iction shall comply with the City of Venic   |  |  |
| 24.c. All utility lines sl   | and wastewater facilities shall be dedicate<br>hall be installed underground.  | -  |  |
| 24.e. Sanitary sewer co  | water, and City of Venice Utilities Sewer<br>onstruction shall be in accordance with th  | e City of Venice Standards.  |  |
| 24.g. The Contractor si  | n construction shall be in accordance with<br>hall contact "Sunshine State" One Call, FPI  |  |  |
| 25. The site appears to  | ot included in this project.<br>lie within Flood Zone "A" and "X", accordi   |  | ement Agency (FEMA) - Flood Insuranc   |
| 26. Sidewalks will be pro<br>feet wide, 4" thick c<br>and 6" in thickness i  | s 12115C0243F and 12115C0245F revised No<br>ovided on both sides of all roads including<br>oncrete, and 3000 p.s.i., fiber-reinforced.<br>s required where sidewalk is crossed by  | g non-lot areas. Unless otherwis<br>Sidewalks shall be constructed<br>a driveway.  | on a compacted non-yielding subgrade,  |
| L.F.   | ention/detention areas along road right-of-  | -  | om tree list at the rate of one tree pe  |
| <ol> <li>All construction work<br/>tested in compliance</li> <li>If during construction<br/>prehistoric stone toon<br/>immediate stop and<br/>notified within two w</li> </ol> | nply with the City of Venice Tree Ordinar<br>r, including road, drainage and utilities, sh<br>with the applicable Testing Specifications<br>n activities any evidence of historic resou<br>ls, bone or shell tools, historic trash pits,<br>the Florida Department of Historic Resoun<br>rorking days of the resources found on th<br>ivities, all work must stop immediately ar | hall be constructed in accordance<br>s for construction of roads, stor<br>urces, including but not limited t<br>, or historic building foundation,<br>rces (State Historic Preservation<br>the site. In the event that unman | m drainage and utilities.<br>to aboriginal or historic pottery,<br>are discovered, work shall come to an<br>Officer) and City of Venice shall be<br>rked human remains are encountered   |
| Florida Statue.<br>31. The architect/engine<br>32. All clear-site areas s  | er certifies that the site has been design<br>hall be kept free of any signage, planting   | ed in accordance with the Ameri<br>gs, trees, etc. in excess of three  | icans with Disabilities Act.<br>e-and-a-half (3-1/2) feet in height.   |
| Use Permit.  | or landscaping shall be installed in any (   |  | nout issuance of appropriate Right-of-w  |
| 35. On-site burning shall  | ns shall be controlled by sprinkling as ne<br>not be employed without approval from a<br>sediment control devices shall be installe  | the Fire Marshal.  | ned throughout construction and until t  |
| site is permanently s  | stabilized.  | a prior to construction, manual  | nea throughout construction and until th   |
| 38. The CDD will be res  | all be installed to local streets.<br>ponsible for maintenance of underdrain sy<br>valk shall be the responsibility of the CD  |  | ity of Vanias  |
| 40. All structures, includ   | valk shall be the responsibility of the CDI<br>ing buffer walls, retaining walls, signage,   | -  | ty of venice.  |
| -  | all be installed and in service prior to the   |  |  |
| 41.b. Per the National   | Fire Protection Association, NFPA-1, 16.4.3.1<br>. completed, and in service prior to const  | 1.3: Where underground water m   | ains and hydrants are to be provided,  |
|  | .1: Clearances of 7 1/2 feet in front of an  |  | ant with a 4-foot clearance to the rear  |
| 41.d. Gated entries req  | quire a Siren Operating System or a 3M C<br>el tanks requires review and approval by   |  |  |
|  | loes not constitute approval of the location   |  |  |
| 42.a. This development   | provides a master stormwater manageme<br>of 80% per lot. Drainage easements for  | -  |  |
| of Venice Enginee  | ering Dept approval.<br>to be within tracts dedicated to the Com   |  |  |
| 43. CITY OF VENICE REG   |  |  |  |
| 43.b. ALL WORK CONDU   | CTED IN THE CHT OF VENICE MONTOFWA<br>CTED IN CITY OF VENICE, SARASOTA COUNT<br>RMIT MUST BE OBTAINED FROM CITY OF VE  | TY AND/OR FDOT ROW SHALL REQ   | UIRE A COPY OF THE ISSUED PERMITS.   |
| 43.d. POST DEVELOPME   | NT RUNOFF DOES NOT EXCEED PRE-DEVELOF<br>BACKFLOW ASSEMBLIES SHALL BE INSTALLE   | PMENT RUNOFF VOLUME OR RATE  | FOR A 24-HOUR, 25-YEAR STORM EVENT.  |
| COMPETENCY ISSU  | IED BY THE STATE FIRE MARSHALL AS PER I<br>TE MUST BE POSTED WITH 24-HOUR CONTA  | F.S. 633.521.  |  |
| 43.g. ALL UTILITIES WH   | ETHER PUBLIC OR PRIVATE SHALL MEET CIT<br>WORKS SOLID WASTE DIVISION (941-486-242  | Y OF VENICE STANDARDS.   | OCATION AND LAYOUT PRIOR TO  |
| CONSTRUCTION   | APPROVAL FOR THIS PRELIMINARY PLAT WIL   |  |  |
|  | D IMPROVEMENTS ADJACENT TO THIS PRELI  |  |  |
|  |  | (-   |  |

INTERSECTION CLEAR SIGHT REQUIREMENTS:

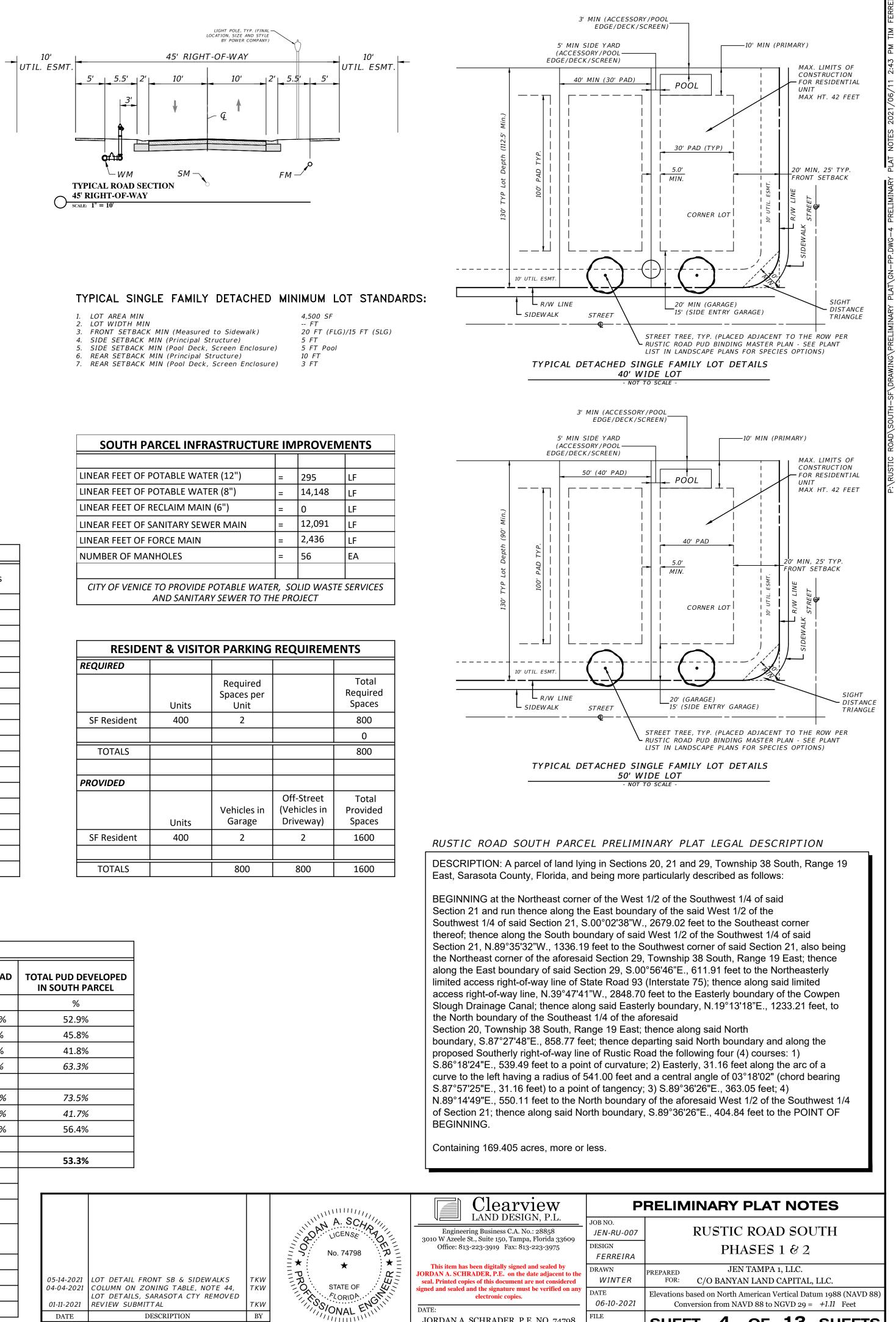
1. Local Intersections shall remain unobstructed per "Typical Clear Sight Triangle Detail" and FDOT Index 546 "Window Detail" shown to the right.



| SOUTH - DEVELOPED AREAS & OPEN SPACE      |        |     |  |
|---|--------|-----|--|
| AREAS (Ac.)                               |        | %   |  |
| ROW                                       | 14.92  | 9%  |  |
| LOTS                                      | 62.19  | 37% |  |
| AMENITY                                   | 2.29   | 1%  |  |
| PONDS (at Normal Water)                   | 46.09  | 27% |  |
| WETLANDS                                  | 10.13  | 6%  |  |
| OPEN SPACE (Including Ponds and Wetlands) | 90.01  | 53% |  |
|   |        |     |  |
| TOTAL SITE                                | 169.41 |     |  |

|         | S       | SOUTH PARCEL SITE | DATA TAE | BLE           |             |  |  |
|---------|---------|-------------------|----------|---------------|-------------|--|--|
|         |         |                   |          |               |             |  |  |
|         |         | Phase 1           |          |               |             |  |  |
| UPLANDS | WETLAND | TOTAL ACREAGE     | LOTS     | GROSS DENSITY | NET DENSITY |  |  |
| 76.88   | 2.55    | 79.43             | 244      | 3.07          | 3.17        |  |  |
|         |         |                   |          |               |             |  |  |
|         |         | Phase 2           |          |               |             |  |  |
| UPLANDS | WETLAND | TOTAL ACREAGE     | LOTS     | GROSS DENSITY | NET DENSITY |  |  |
| 82.40   | 7.58    | 89.98             | 156      | 1.73          | 1.89        |  |  |
|         |         |                   |          |               |             |  |  |
|         |         |                   |          |               |             |  |  |
|         |         | TOTAL             |          | -             |             |  |  |
| UPLANDS | WETLAND | TOTAL ACREAGE     | LOTS     | GROSS DENSITY | NET DENSITY |  |  |
| 159.28  | 10.13   | 169.41            | 400      | 2.36          | 2.51        |  |  |

|         | SOUTH PARC       | EL ONSITE WE | TLANDS      |        |
|---------|------------------|--------------|-------------|--------|
| TYPE    | ID               | PH           | Total Acres |        |
|         |                  | 1            | 2           |        |
| OSW     | Ditch SC         | 0.005        |             | 0.005  |
| OSW     | Ditch 6          | 0.122        | 0.032       | 0.154  |
| OSW     | Ditch 7A         |              | 0.565       | 0.565  |
| OSW     | Ditch 7B         |              | 3.239       | 3.239  |
| OSW     | Lake No. 2       |              | 12.860      | 12.860 |
|         |                  |              |             |        |
|         | TOTALS           | 0.127        | 16.696      | 16.823 |
|         |                  |              |             |        |
| Wetland | 1                | 0.200        | 0.029       | 0.229  |
| Wetland | 10               | 1.780        |             | 1.780  |
| Wetland | 11               | 0.489        |             | 0.489  |
| Wetland | 2                |              | 0.802       | 0.802  |
| Wetland | 3                |              | 2.600       | 2.600  |
| Wetland | 4                |              | 1.780       | 1.780  |
| Wetland | 5                |              | 2.370       | 2.370  |
| Wetland | SALT CREEK SOUTH | 0.079        |             | 0.079  |



igned and sealed and the signature must be verified on any

electronic copies.

JORDAN A. SCHRADER, P.E. NO. 74798

FLORIDA PROFESSIONAL ENGINEER

EN

DATE

DATE

FILE

06-10-2021

GN-PP

Elevations based on North American Vertical Datum 1988 (NAVD 88)

Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET 4 OF 13 SHEETS

| NT & VISITC | OR PARKING                     | R   |
|-------------|--------------------------------|---|
|             |                                |   |
| Units       | Required<br>Spaces per<br>Unit |   |
| 400         | 2                              |   |
|             |                                |   |
|             |                                |   |
|             |                                |   |
|             |                                |   |
| Units       | Vehicles in<br>Garage          |   |
| 400         | 2                              |   |
|             |                                |   |
|             | 800                            |   |
|             | Units<br>400<br>Units          | UnitsSpaces per<br>Unit40024002114001UnitsVehicles in<br>Garage400211 |

they

| r    | SOUTH PARCEL APPROVED LAND USE ZONING TABLE |            |       |  |       |  |
|------|---|------------|-------|--|-------|--|
| val  | LAND USE                                    | PUD REZONE |       | PRELIMINARY PLAT RUSTIC ROAD<br>SOUTH PHASES 1 & 2 |       | TOTAL PUD DEVELOPED<br>IN SOUTH PARCEL |
|      |   | AREA (AC.) | %     | AREA (AC.)   | %     | %                                      |
| City | RESIDENTIAL                                 | 117.50     | 37.0% | 62.19  | 36.7% | 52.9%                                  |
|      | AMENITY AREA                                | 5.00       | 1.6%  | 2.29   | 1.4%  | 45.8%                                  |
|      | ROAD ROW                                    | 35.70      | 11.2% | 14.92  | 8.8%  | 41.8%                                  |
|      | WETLANDS                                    | 16.00      | 5%    | 10.13  | 6.0%  | 63.3%                                  |
|      | CONSERVATION                                |            |       |  |       |  |
| DF   | LAKES                                       | 62.70      | 19.7% | 46.09  | 27.2% | 73.5%                                  |
|      | OTHER OPEN SPACE                            | 81.00      | 25.5% | 33.79  | 19.9% | 41.7%                                  |
|      | TOTAL OPEN SPACE                            | 159.70     | 50.2% | 90.01  | 53.1% | 56.4%                                  |
| Ð    | TOTAL AREA                                  | 317.90     |       | 169.41   |       | 53.3%                                  |
|      | LOT TYPE                                    |            |       |  |       |  |
|      | SINGLE FAMILY DETACHED                      |            |       | 400  |       |  |
|      | SINGLE FAMILY ATTACHED<br>(PAIRED VILLAS)   |            |       |  |       |  |
|      | MULTI FAMILY                                |            |       |  |       |  |
|      |   |            |       |  |       |  |

400

2.36

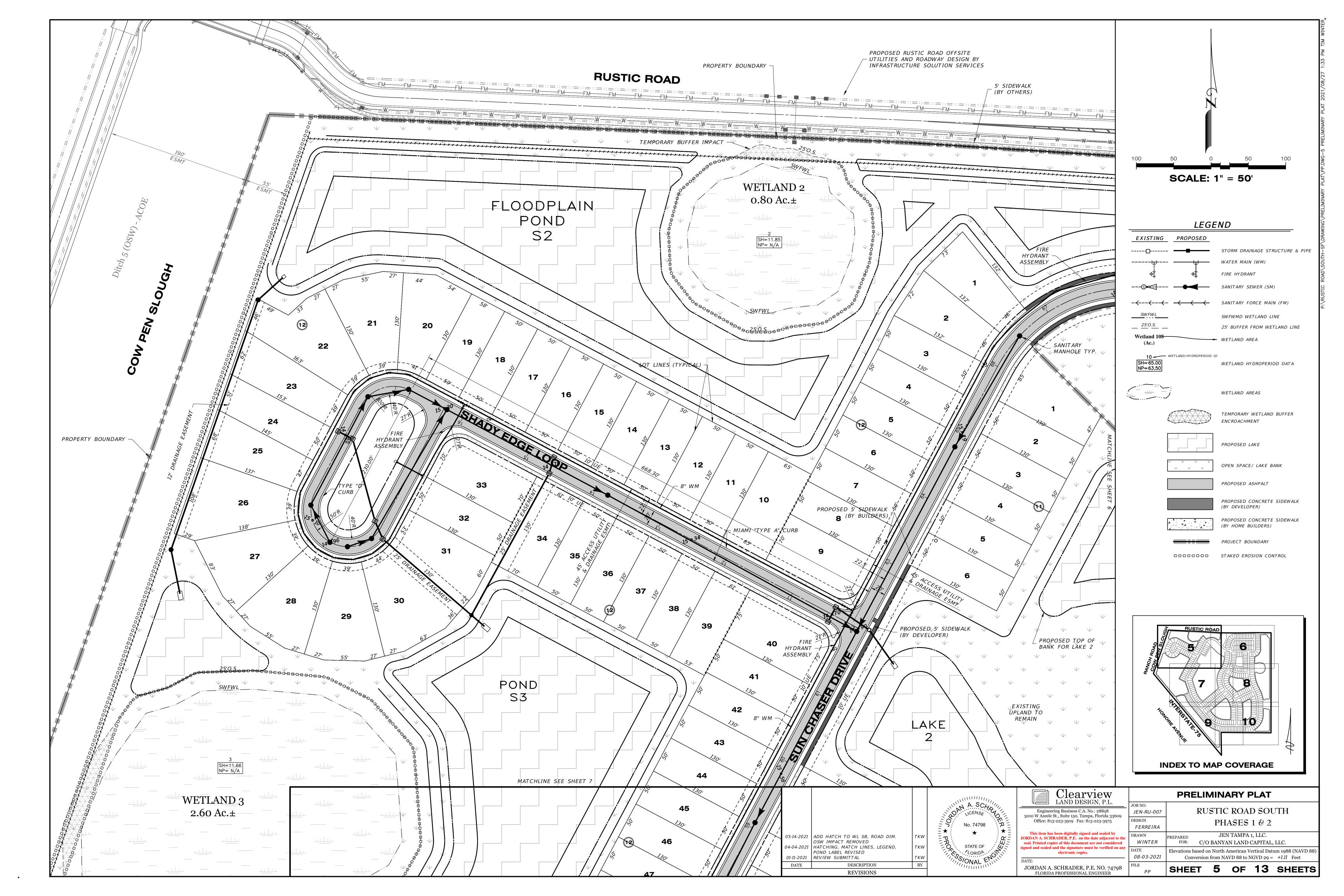
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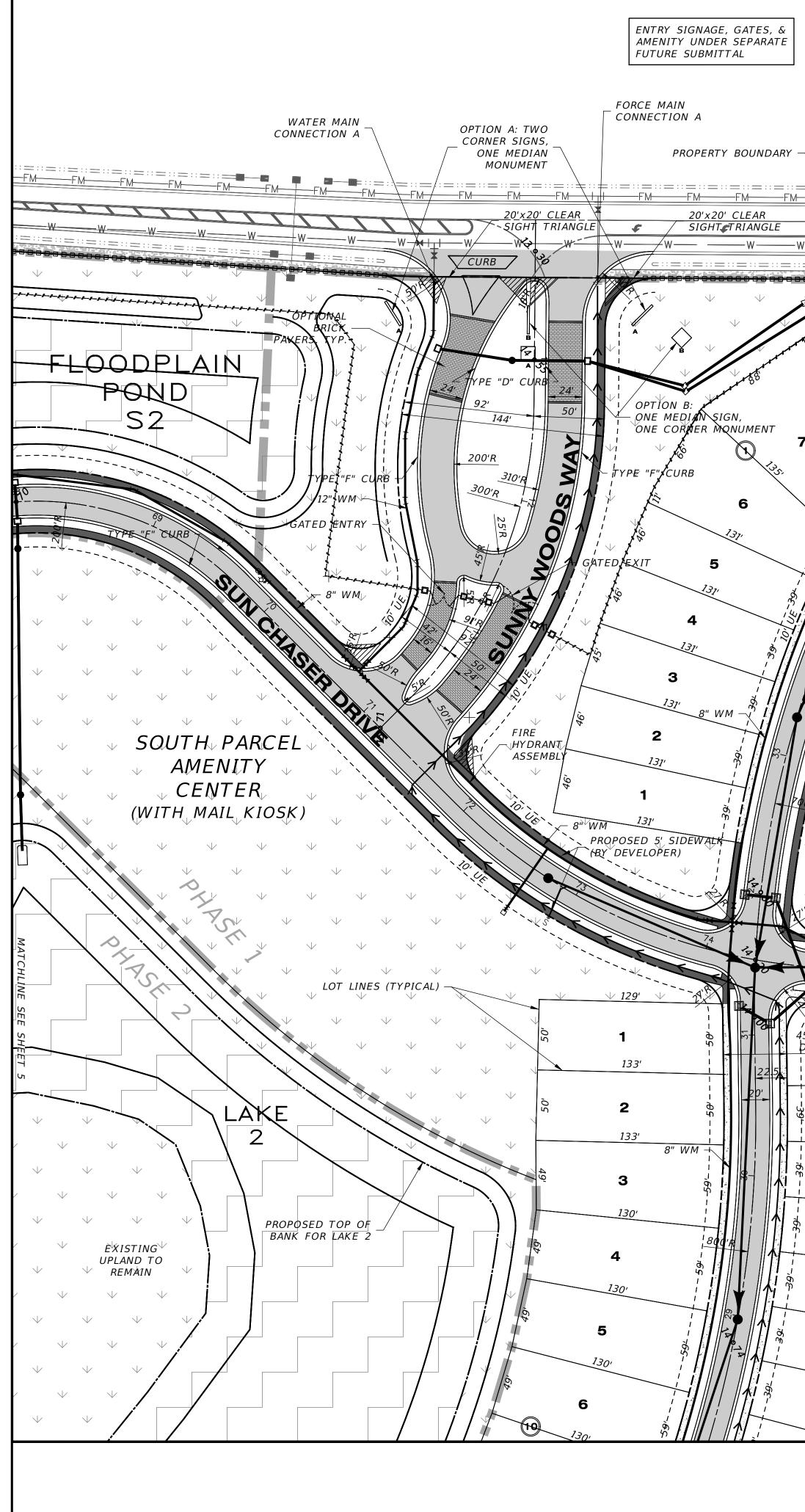
3.15

LOT TOTAL

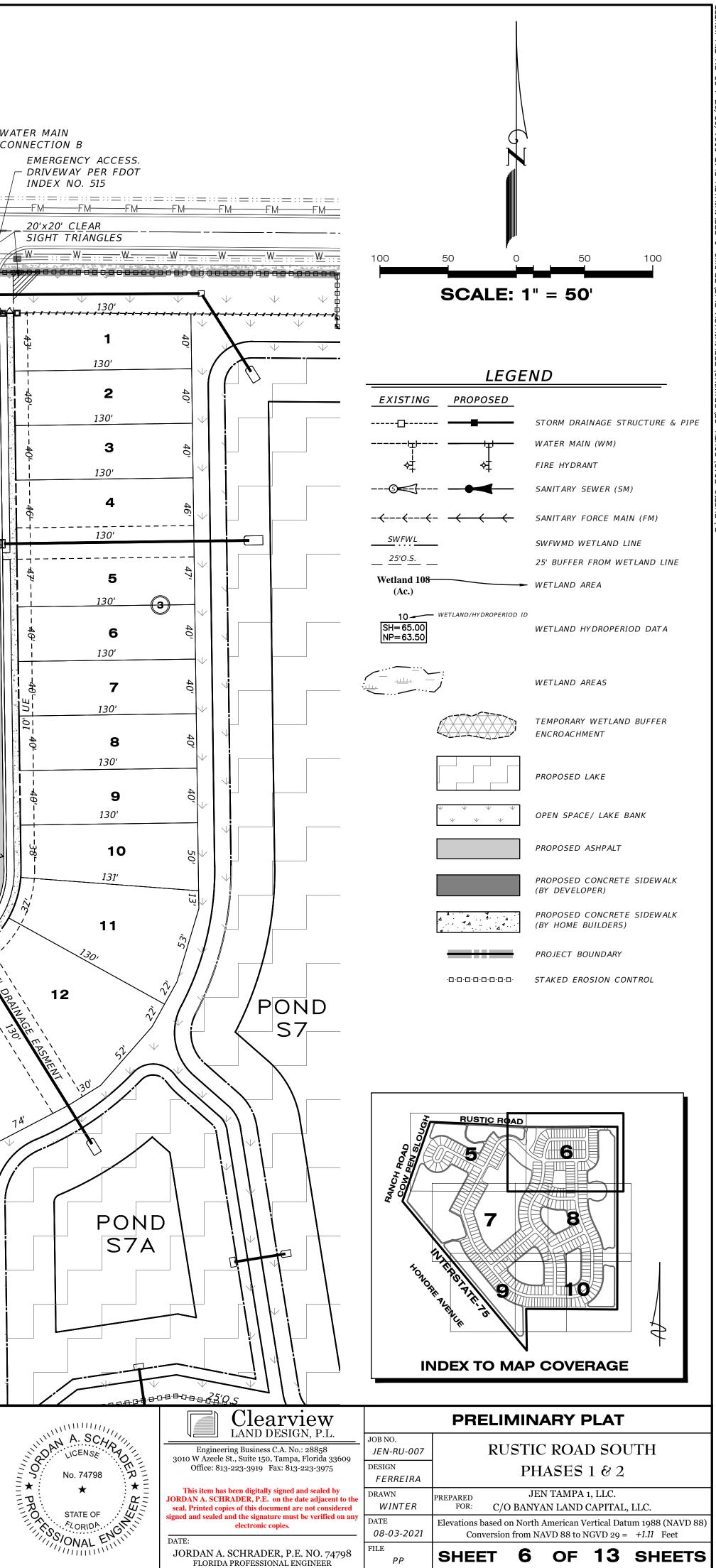
DU/AC

| 05-14-2021               | LOT DETAIL FRONT SB & SIDEWALKS   | TKW                |
|--------------------------|---|--------------------|
| 04-04-2021<br>01-11-2021 | COLUMN ON ZONING TABLE, NOTE 44,<br>LOT DETAILS, SARASOTA CTY REMOVED<br>REVIEW SUBMITTAL | тк <i>w</i><br>ткw |
| DATE                     | DESCRIPTION   | BY                 |
|                          | REVISIONS   |                    |

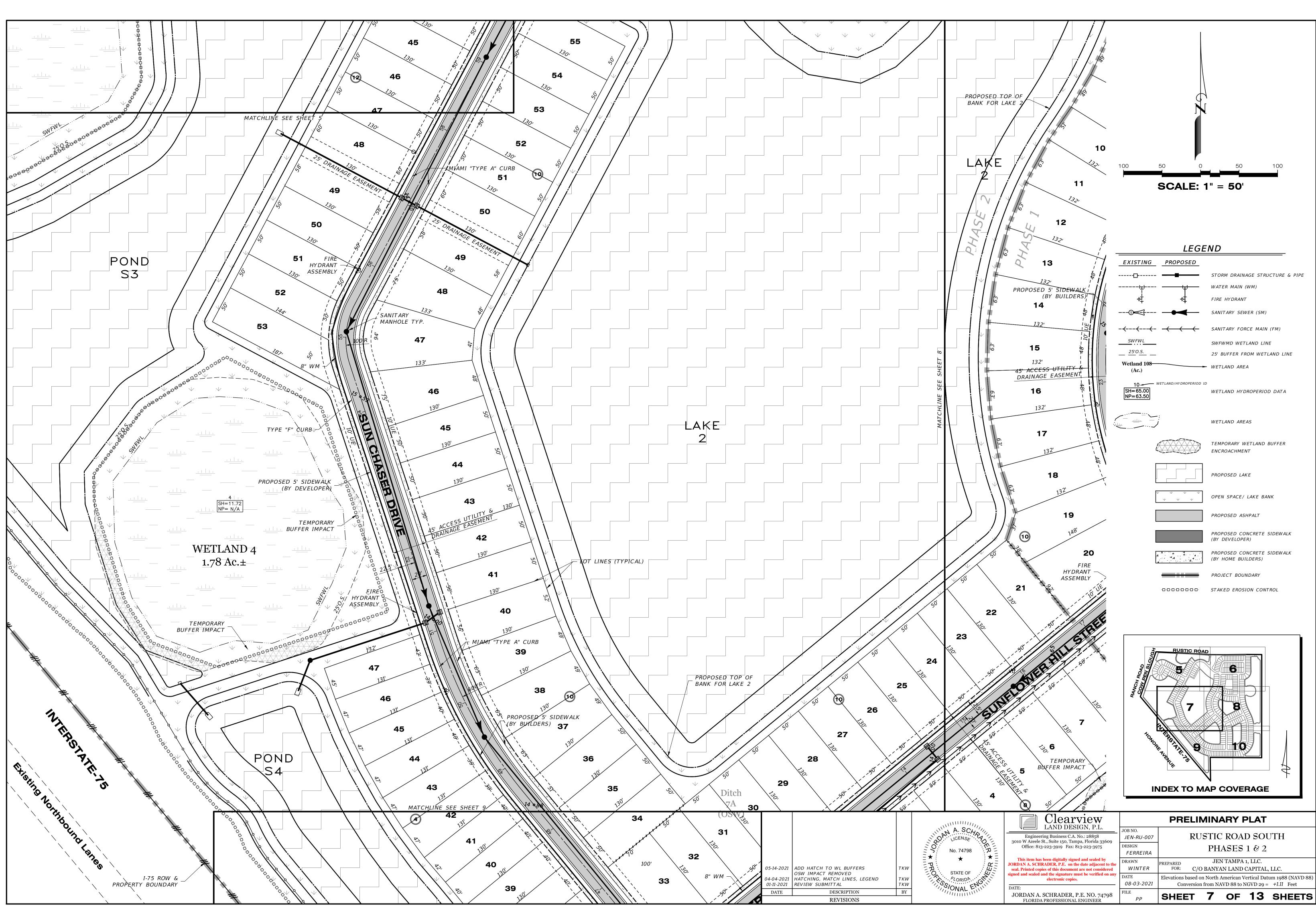


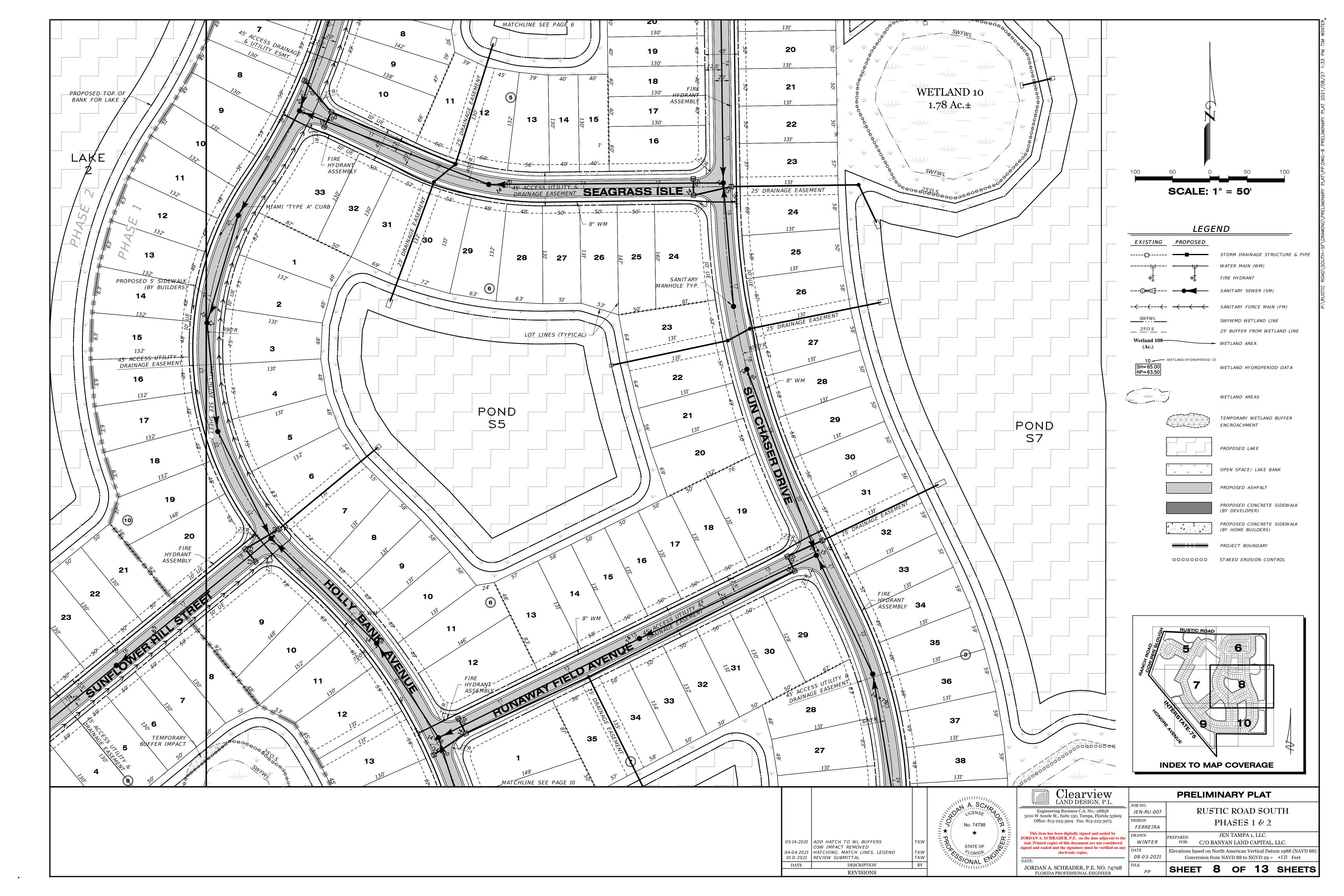


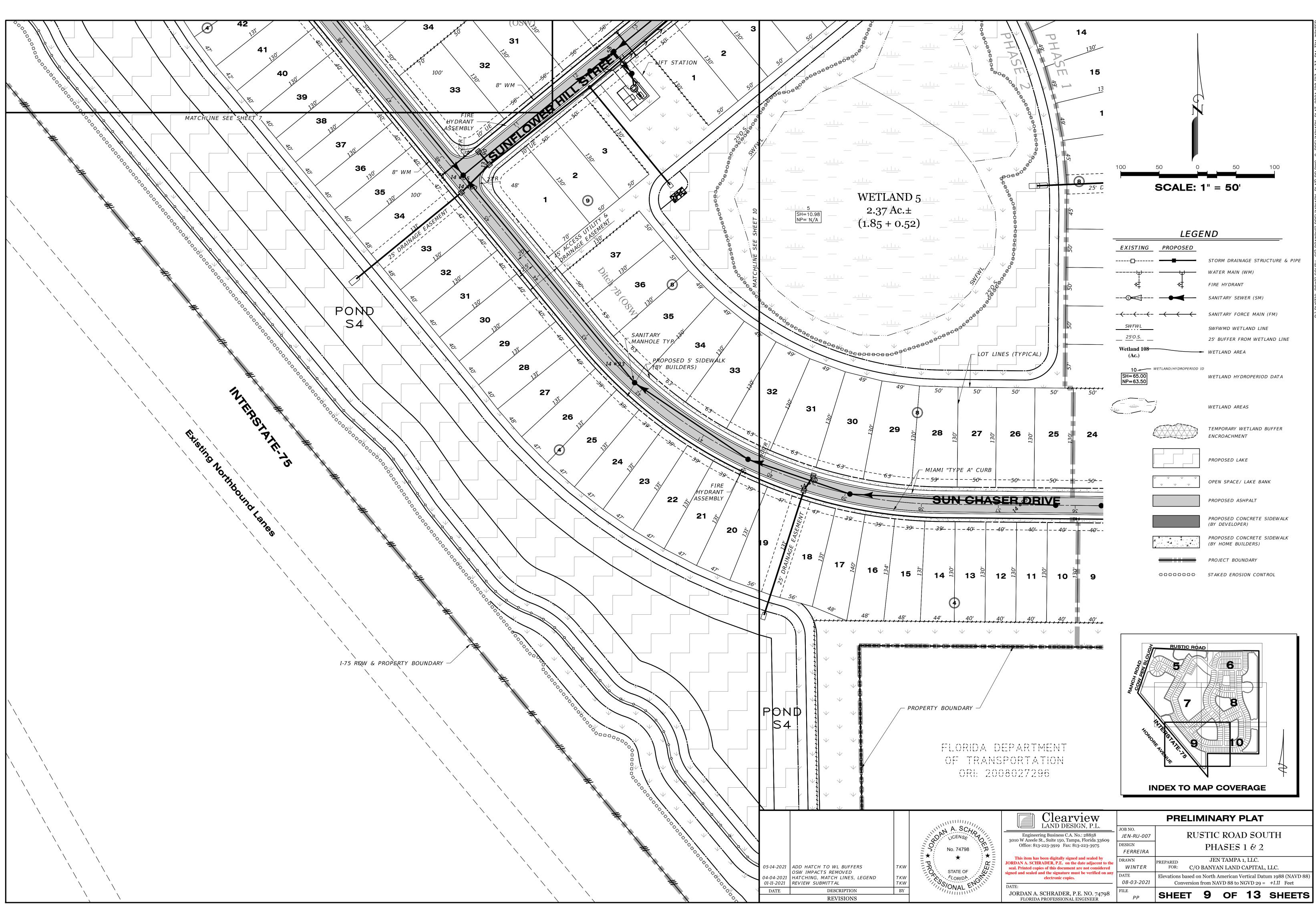
| RUSTIC ROAD           FM         FM | UTI | OPOSED RUSTIC ROAD OFFSITE<br>ILITIES AND ROADWAY DESIGN E<br>FRASTRUCTURE SOLUTION SERVIC  |  | ::   | WA<br>CO<br>FM |
|--|-----|---|--|--|----------------|
|  |     | $14 \qquad [3] \\ 15 \qquad [3] \\ 16 \qquad [3] $ | $45' \text{ ACCESS DRAINAGE}_{\& UTILITY ESMT.}$ $40' 40' 40' 40' 40'$                 | 60'<br>130<br>20<br>30<br>14<br>8" WM<br>130<br>14<br>8" WM<br>130<br>14<br>130<br>14<br>130<br>14<br>130<br>14<br>130<br>14<br>130<br>14<br>130<br>14<br>130<br>130<br>130<br>130<br>130<br>130<br>130<br>130 |                |
| 10     10     10     10     10       12     10     10     10     10     10       130'     31     30     10     10       130'     31     30     10     10       130'     31     30     10     10       130'     31     30     10     10       130'     31     30     10     10       131'     10     10     48'     48'       131'     10     10     10     10       6     10     10     10     10       7     10     10     10     10       131'     10     10     10     10       6     10     10     10     10       131'     10     10     10     10       131'     10     10     10     10       6     10     10     10     10       131'     10     10     10     10       131'     10     10     10     10       7     10     10     10     10       131'     10     10     10     10       131'     10     10     10     10   | 40' | $ \begin{array}{c ccccccccccccccccccccccccccccccccccc$  | 79<br>79<br>79<br>79<br>79<br>70<br>70<br>70<br>70<br>70<br>70<br>70<br>70<br>70<br>70 | ري 14<br>44'<br>32<br>16<br>131'<br>17<br>131'<br>18<br>131'<br>3<br>19  | 13             |

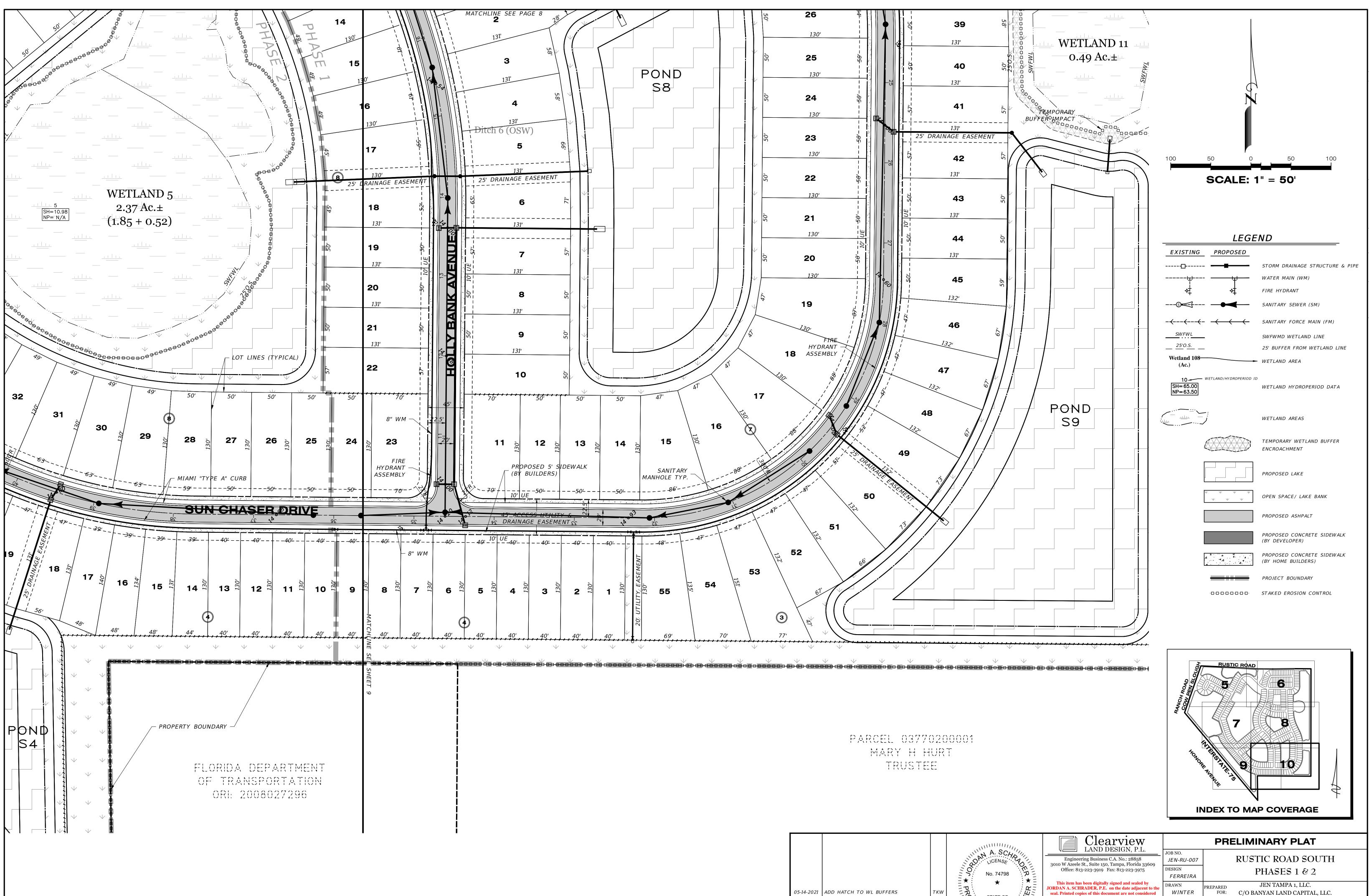


PP



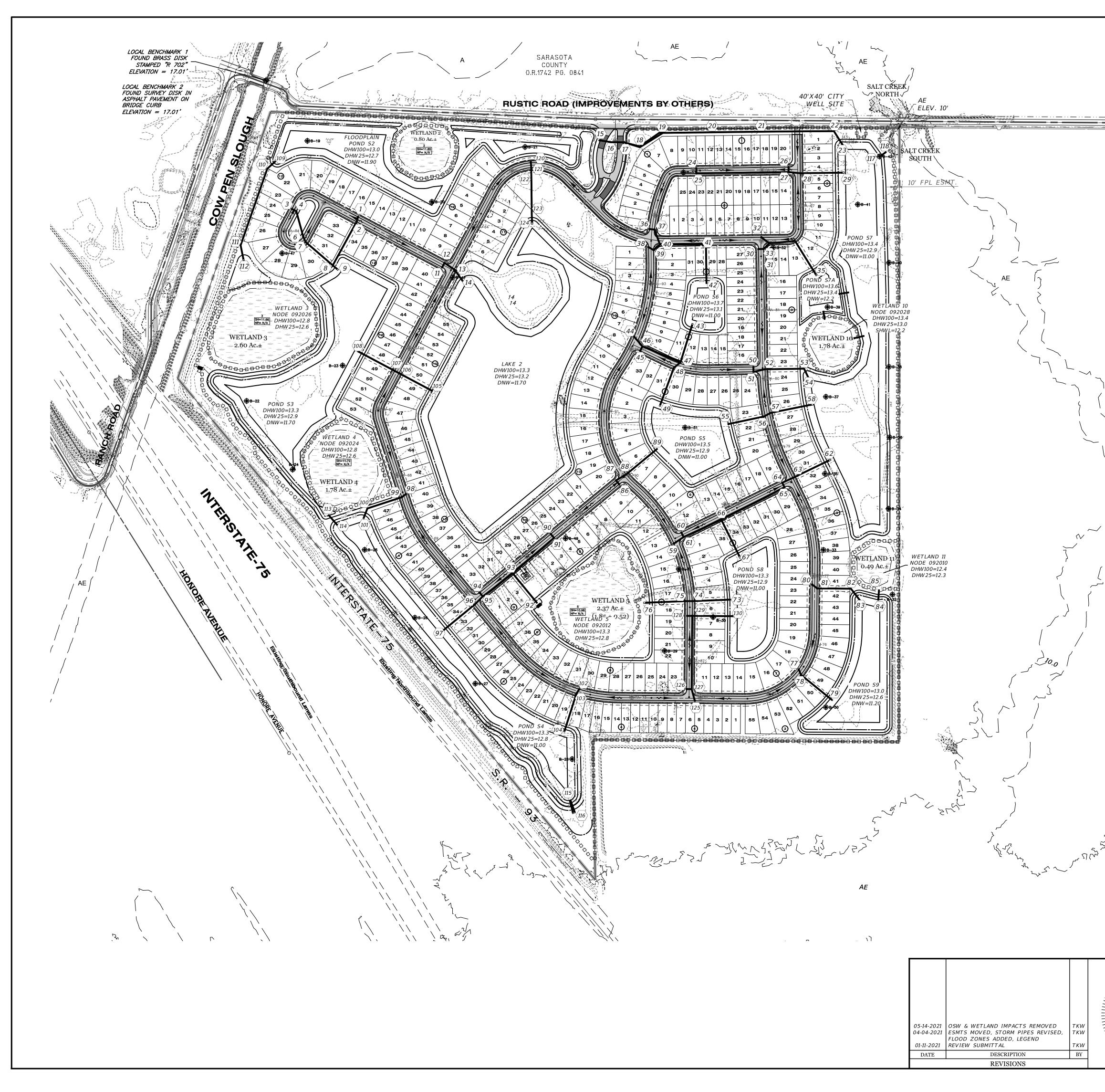




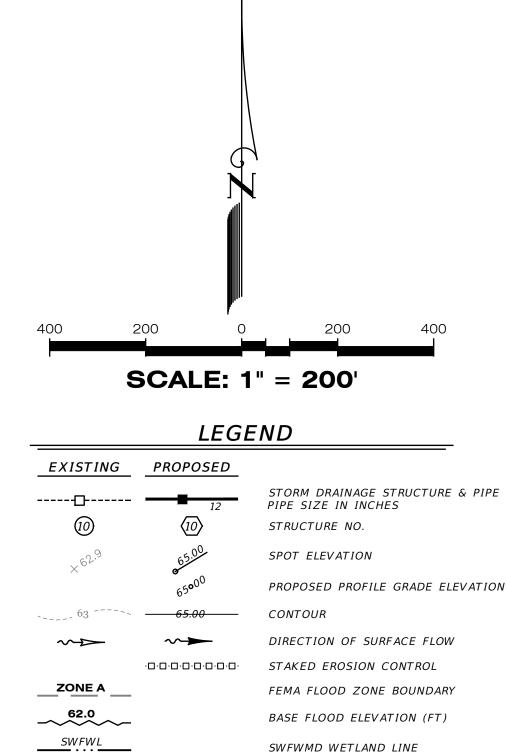


| 05-14-2021               | ADD HATCH TO WL BUFFERS<br>OSW IMPACTS REMOVED    | ткw        |
|--------------------------|---|------------|
| 04-04-2021<br>01-11-2021 | HATCHING, MATCH LINES, LEGEND<br>REVIEW SUBMITTAL | TKW<br>TKW |
| DATE                     | DESCRIPTION                                       | BY         |
|                          | REVISIONS   |            |

| A. SCAR<br>ICENSE<br>No. 74798<br>No. 74798<br>LAND DESIGN, P.<br>Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida<br>Office: 813-223-3919 Fax: 813-223-391 | Clearview  |                              | PRELIMINARY PLAT  |
|---|--|------------------------------|---|
|   | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609                       | JOB NO.<br><i>JEN-RU-007</i> | RUSTIC ROAD SOUTH   |
|   | Office: 813-223-3919 Fax: 813-223-3975   | DESIGN<br>FERREIRA           | PHASES 1 & 2  |
|   | JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>WINTER              | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| SONAL EN INT  | signed and sealed and the signature must be verified on any<br>electronic copies.                                | DATE<br>08-03-2021           | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD 29 = +1.11 Feet |
|   | JORDAN A. SCHRADER, P.E. NO. 74798<br>FLORIDA PROFESSIONAL ENGINEER  | FILE<br>PP                   | SHEET 10 OF 13 SHEETS   |



WETLAN



30' BUFFER FROM WETLAND LINE

WETLAND HYDROPERIOD DATA

- WETLAND AREA

WETLAND AREAS

ROAD AUGER LOCATION

POND BORING LOCATION

(MAX DEPTH OF SUITABLE FILL FROM EXISTING GRADE)

NOTES:

1. Elevations Refer to the National American Vertical Datum 1988 (NAVD 88). 2. The site appears to lie within Flood Zone "X" and, in the northeast corner, Flood Zone "AE" ELEV. 10. according to Federal Emergency Management Agency (FEMA) - Flood Insurance Rate Map (FIRM) Community-Panel No.'s 12115C0243F and 12115C0245F revised November 4, 2016.

🕀 RA-#

PB-#

#### STREET & DRAINAGE CONSTRUCTION NOTES:

(Ac.)

SH=65.00

NP=63.50

Wetland 108

10 \_\_\_\_\_ WETLAND/HYDROPERIOD ID

- 1. Prior to construction, the Contractor shall obtain from the Engineer or Owner a copy of all pertinent permits related to this project. It is the Contractor's responsibility to assure that all construction activities are in compliance with the conditions of all permits and approvals. Contractor is also responsible for having his dewatering plan approved by SWFWMD.
- All construction, materials and workmanship are to be in accordance with City of Venice Subdivision Regulations and DOT Specifications, latest editions.
   Grass and mulch, or solid sod, all areas in existing rights-of-way disturbed by construction. In the
- a. Grass and match, of solid soli, an areas in existing rights-or-way disturbed by construction. In the proposed rights-of-way a 2' wide area behind the back of curb to be solid sodded. The remainder of the proposed rights-of-way to be seeded and mulched if the slope is steeper than 6:1.
  4. In accordance with the Underground Facility Damage Prevention and Safety Act (Chapter 556, F.S.) the
- Contractor shall call the Sunshine State One Call of Florida (SSCOF) at 1-800-432-4770 forty eight (48) hours in advance of any excavation.
  Prior to curb inlet construction, the Engineer shall lay out the back of the curb in the vicinity of the respective inlet for alignment and grade, and the Contractor shall construct the inlet allowing for an 18"
- respective inlet for alignment and grade, and the Contractor shall construct the inlet allowing for an 18" concrete throat between the back of the curb and the face of the inlet. The top of the inlet shall be constructed to an elevation of 3/8" above the top of curb (these dimensions apply to the concrete valley gutter type section only). Any inlets constructed incorrectly by deviating from this sequence of inlet construction shall be the sole responsibility of the Contractor and no additional payment shall be made
- or allowed for removing and/or correcting the inlet. 6. Fill obtained through excavation of streets and detention ponds shall be placed on lots and adjacent land in accordance with the Master Drainage and Grading Plan as directed by the Engineer unless otherwise noted.
- 7. Sod/Seed & Mulch shall be placed in accordance with applicable City/County standards as well as in accordance with standard and specific conditions in the SWFWMD permit, if applicable. At a minimum this shall include sodding of all pond embankments of a slope 5:1 or steeper to the NW line, as well as seeding and mulching of the balance of the pond tracts (including pond berms, excluding the area below NW), sodding at a minimum of 2' from the back of curb and any project area with a slope of 5:1 or steeper.
- Roadway underdrain has been located on these plans to meet the minimum standards of City of Venice. Prior to curb construction, the Geotechnical Engineer shall review the predesign borings and, along with their field inspection, make a recommendation regarding additional underdrain requirements.
   Site clearing shall be performed per the approved construction plans and in accordance with the City of Venice Natural Resources regulations. Installation and maintenance of the required barricading and
- erosion control shall be the responsibility of the site development contractor unless otherwise designated.
  10. Prior to beginning construction, Contractor shall expose all existing utility inverts to which a tie-in is proposed and have Engineer verify the elevation and adequacy of these inverts.
  11. All subsurface construction shall comply with the "Trench Safety Act." The Contractor shall ensure that
- the method of trench protection and construction is in compliance with the Occupational Safety and Health Administration (OSHA) regulations. 12. Siltation accumulations greater than the lesser of 12 inches or one-half the depth of the siltation barrier
- shall be immediately removed and placed in upland areas. 13. During land alteration and construction activities, it shall be unlawful to remove vegetation by grubbing or to place soil deposits, debris, solvents, construction material, machinery or other equipment of any kind
- within the dripline of a tree to remain on the site unless otherwise approved by the City. 14. All erosion control installation and installation coordination shall be the responsibility of the Contractor. Clearview Land Design, if contracted by the Owner, will stake the alignment of the proposed erosion control and shall limit its responsibility and coordination at that point. Be advised that the construction

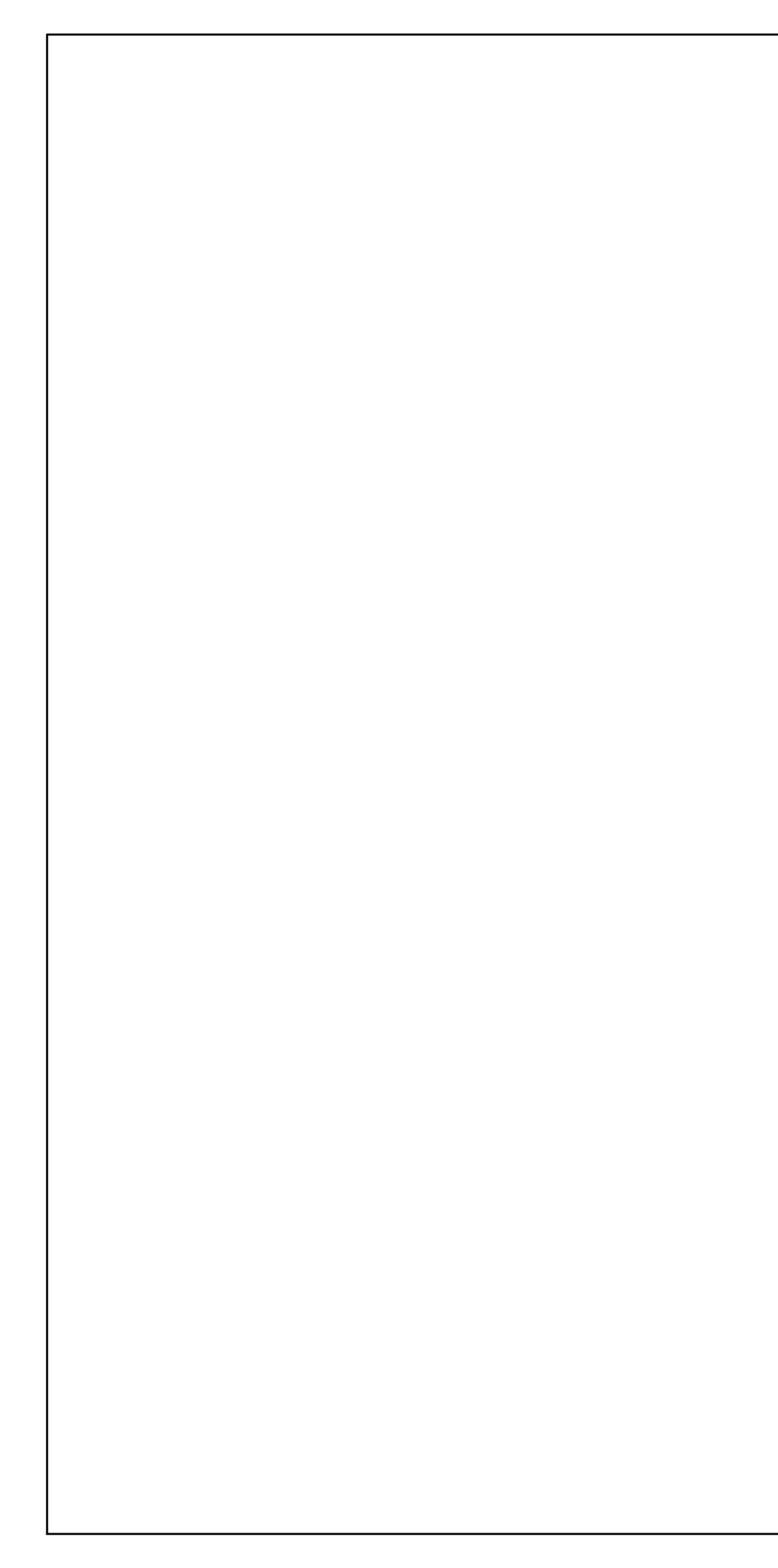
approval and maintenance of the erosion control shall be the sole responsibility of the Site Contractor.

| No. 74798<br>No. 74798<br>This<br>JORDAN<br>seal. Pri<br>signed and<br>DATE:<br>JORD | LAND DESIGN, P.L.   | N                            | ASTER DRAINAGE PLAN   |
|--|---|------------------------------|---|
|  | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609  | JOB NO.<br><i>JEN-RU-007</i> | RUSTIC ROAD SOUTH   |
|  | Office: 813-223-3919 Fax: 813-223-3975<br>This item has been digitally signed and sealed by<br>JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DESIGN<br>FERREIRA           | PHASES 1 & 2  |
|  |   | DRAWN<br>WINTER              | PREPAREDJEN TAMPA 1, LLC.FOR:C/O BANYAN LAND CAPITAL, LLC.  |
|  | signed and sealed and the signature must be verified on any<br>electronic copies.   | DATE<br>08-03-2021           | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD 29 = +1.11 Feet |
|  | JORDAN A. SCHRADER, P.E. NO. 74798<br>FLORIDA PROFESSIONAL ENGINEER   | FILE<br>MD                   | SHEET 11 OF 13 SHEETS   |

|                              | STORM STRUCTURE DATA   | STORM STRUCTURE DATA            |  | STORM STRUCTURE DATA   |  |
|------------------------------|--|---------------------------------|--|--|--|
| STRUCTURE                    | LINE STRUCTURE LOCATION & REMARKS  | STRUCTURE                       | LINE STRUCTURE LOCATION & REMARKS  | STRUCTURE LINE   | STRUCTURE LOCATION & REMA  |
| O. TYPE & SIZE TOP<br>ELEV   |  | NO. TYPE & SIZE TOP<br>ELEV     |  | NO. TYPE & SIZE TOP TYPE DIAM. LENGTH SLOPE UPPER LOWER<br>ELEV. IN. FEET % UPPER LOWER<br>END END   |  |
| VALLEY GUTTER 14.30          | END END FEET   | 36 VALLEY GUTTER 13.60          |  | 73         CONTROL<br>STRUCTURE         13.20         RCP         36         161         0.20         7.20         6.88  | 0.32 TYPE 'J' STRUCTURE BOTTOM<br>REFER TO CONTROL STRUCTURE DETAILS |
| INLET<br>VALLEY GUTTER 14.30 | RCP         24         217         0.20         9.20         8.77         0.43                                   | INLET<br>37 VALLEY GUTTER 13.60 | O         RCP         24         62         0.20         7.45         7.33         0.12  | TA         MANHOLE         14.15         RCP         36         32         0.20         4.68         4.61  | 0.06 TYPE 'J' STRUCTURE BOTTOM                                       |
| INLET                        |  | 40                              |  | 75         MANHOLE         14.15         RCP         36         175         0.20         4.61         4.26   | FDOT INDEX NO. 425.001       0.35     TYPE 'J' STRUCTURE BOTTOM      |
|                              |  |                                 |  | 76 MES   | FDOT INDEX NO. 425.001   |
| VALLEY GUTTER 14.30          | RCP         24         22         0.20         7.00         6.96         0.04                                    | 38 VALLEY GUTTER 13.60          | C         RCP         18         25         0.20         9.00         8.95         0.05  |  | FDOT INDEX NO. 430.021   |
| INLET<br>VALLEY GUTTER 14.30 | RCP         24         116         0.20         6.96         6.72         0.23                                   | INLET<br>39 VALLEY GUTTER 13.60 | N         RCP         24         36         0.20         8.45         8.38         0.07  | 77         VALLEY GUTTER         13.60         RCP         18         25         0.20         9.00         8.95  | 0.05   |
| INLET<br>VALLEY GUTTER 14.30 | RCP         24         25         0.20         6.72         6.67         0.05                                    | INLET40MANHOLE14.25             | 5 RCP 30 201 0.16 6.83 6.51 0.32   | INLET         INDEC         INDEC <th< td=""><td>0.34</td></th<>   | 0.34   |
| INLET<br>VALLEY GUTTER 14.30 | RCP         30         156         0.20         6.17         5.86         0.31                                   | 41 MANHOLE 14.84                | And  | INLET         INLET           79         MES   |  |
| INLET<br>MANHOLE 14.70       | RCP         30         22         0.20         5.86         5.82         0.04                                    | 42 MES                          | FDOT INDEX NO. 425.001   |  | FDOT INDEX NO. 430.021   |
| MES                          | FDOT INDEX NO. 425.001   |                                 | FDOT INDEX NO. 430.021   | 80         VALLEY GUTTER         13.60         RCP         18         36         0.20         9.00         8.93  | 0.07   |
|                              | FDOT INDEX NO. 430.021   | 43 MES 11.00                    | 0 RCP 30 165 0.10 6.50 6.34 0.17   | INLET         INLEY         INLEY <th< td=""><td>0.28</td></th<>   | 0.28   |
| VALLEY GUTTER 14.30          | RCP         18         31         0.20         9.70         9.64         0.06                                    | 47                              | FDOT INDEX NO. 430.021   | INLET         INDEC         INDEC <th< td=""><td>0.12</td></th<>   | 0.12   |
|                              | RCP         24         60         0.20         7.94         7.82         0.12                                    |                                 |  | 83 MES   | FDOT INDEX NO. 425.001   |
| INLET<br>THROAT INLET 14.95  | RCP         24         56         0.20         6.82         6.71         0.11                                    |                                 | RCP         18         55         0.20         9.10         8.99         0.11  |  | FDOT INDEX NO. 430.021   |
| MES                          |  | 46                              |  | 84         CONTROL<br>OTDUOTUDE         12.80         RCP         18         40         0.20         8.20         8.12   | 0.08   |
|                              | FDOT INDEX NO. 430.021   |                                 |  | STRUCTURE     85     MES     Image: Constraint of the second se | REFER TO CONTROL STRUCTURE DETAILS                                   |
| THROAT INLET 14.47           | RCP         18         60         0.20         9.50         9.38         0.12                                    |                                 | O         RCP         18         22         0.20         9.00         8.96         0.04  |  | FDOT INDEX NO. 430.021   |
| MANHOLE 15.30                | RCP         18         56         0.20         9.75         9.64         0.11                                    |                                 | 0 RCP 24 181 0.20 8.46 8.09 0.36   | 86         VALLEY GUTTER         13.45         RCP         18         22         0.20         8.85         8.81  | 0.04   |
| THROAT INLET 14.47           | RCP         18         71         0.20         9.64         9.50         0.14         FDOT INDEX NO. 425.001     | INLET47MANHOLE14.48             | 8 RCP 30 38 0.20 6.34 6.26 0.08  | INLET         INLEY         INLEY <th< td=""><td>0.10</td></th<>   | 0.10   |
| TYPE C 13.60                 | RCP         24         119         0.24         9.00         8.71         0.29                                   | 48 MANHOLE 14.42                | Image: Second | INLET         INLET <th< td=""><td>0.68</td></th<>   | 0.68   |
| TYPE C 13.60                 | RCP         24         214         0.20         8.71         8.28         0.43                                   | 49 MES                          | FDOT INDEX NO. 425.001   | INLET         89         MES         100 <td></td>   |  |
| TYPE C 13.60                 | RCP         24         215         0.20         8.28         7.85         0.43                                   |                                 | FDOT INDEX NO. 430.021   |  | FDOT INDEX NO. 430.021   |
| TYPE C 13.50                 | RCP         30         316         0.20         7.35         6.72         0.63                                   |                                 | No.         No. <td>90         VALLEY GUTTER         13.60         RCP         18         22         0.20         9.00         8.96</td> <td>0.04</td>   | 90         VALLEY GUTTER         13.60         RCP         18         22         0.20         9.00         8.96  | 0.04   |
| TYPE E 13.50                 | RCP         30         66         0.20         5.97         5.84         0.13                                    | INLET51VALLEY GUTTER13.60       | O         RCP         24         55         0.20         8.44         8.33         0.11  | INLET         INLEY GUTTER         13.60         RCP         24         238         0.20         7.46         6.98   | 0.48   |
| MES                          |  | INLET52VALLEY GUTTER13.75       | 5         RCP         30         165         0.20         6.33         6.00         0.33   | 93 INLET   |  |
|                              | FDOT INDEX NO. 430.021   | INLET53MANHOLE14.50             | O         RCP         30         56         0.20         6.00         5.89         0.11  |  |  |
|                              | RCP         18         22         0.20         9.48         9.44         0.04                                    | 54 MES                          | FDOT INDEX NO. 425.001   | 92         MES         11.00         RCP         36         163         0.16         6.00         5.74   | 0.26 TYPE 'J' STRUCTURE BOTTOM                                       |
| INLET<br>VALLEY GUTTER 14.08 | RCP         24         404         0.20         7.94         7.13         0.81                                   |                                 | FDOT INDEX NO. 430.021   | 93         MANHOLE         14.36         RCP         36         166         0.20         5.74         5.41   |  |
| INLET                        |  | 55 CONTROL 13.40                | D         RCP         36         166         0.16         6.40         6.13         0.27         TYPE 'J' STRUCTURE BOTTOM   | 95   | FDOT INDEX NO. 425.001   |
|                              |  | STRUCTURE<br>56 MANHOLE 14.68   | B     RCP     36     33     0.16     3.73     3.68     0.05     TYPE 'J' STRUCTURE BOTTOM  |  |  |
|                              | RCP         18         22         0.20         9.00         8.96         0.04                                    | 57 MANHOLE 14.65                | STRUCTURE         BOTTINDEX NO. 425.001           5         RCP         36         178         0.16         3.68         3.40         0.28         TYPE 'J' STRUCTURE BOTTOM   | 94         VALLEY GUTTER         13.50         RCP         18         22         0.20         8.90         8.86  | 0.04   |
|                              | RCP         30         51         0.20         5.13         5.02         0.10                                    | 58 MES                          | FDOT INDEX NO. 425.001   | INLET         Second state   | 0.10 TYPE 'J' STRUCTURE BOTTOM                                       |
| INLET<br>VALLEY GUTTER 13.80 | RCP         36         180         0.20         4.52         4.16         0.36         TYPE 'J' STRUCTURE BOTTOM |                                 | FDOT INDEX NO. 430.021   |  | 0.35 TYPE 'J' STRUCTURE BOTTOM                                       |
| INLET MES                    | FDOT INDEX NO. 430.021   |                                 | RCP         18         50         0.20         9.10         9.00         0.10  | INLET         97         MES         97         100 <th100< th=""> <th100< th=""> <th100< th=""></th100<></th100<></th100<>  | FDOT INDEX NO. 430.021   |
|                              |  | INLET 61                        |  |  |  |
| VALLEY GUTTER 13.60<br>INLET | RCP         18         22         0.20         9.00         8.96         0.04                                    |                                 |  | 98 VALLEY GUTTER 13.60 RCP 18 25 0.20 9.00 8.95<br>INLET   | 0.05   |
|                              | RCP         24         35         0.20         7.46         7.39         0.07                                    | 60 VALLEY GUTTER 13.60<br>INLET | RCP         18         22         0.20         9.00         8.96         0.04  | INLET         INLET <th< td=""><td>0.30</td></th<>   | 0.30   |
|                              |  |                                 | RCP         24         182         0.20         7.66         7.29         0.36   | INLET         MANHOLE         14.50         RCP         24         40         0.20         6.65         6.57   | 0.08<br>FDOT INDEX NO. 425.001                                       |
|                              |  | 66                              |  | 101 MES  | FDOT INDEX NO. 425.001<br>FDOT INDEX NO. 430.021                     |
|                              | RCP         18         44         0.20         7.98         7.89         0.09                                    |                                 |  |  | 1 DOT INDEA NO. 430.021  |
| INLET<br>MANHOLE 14.28       | RCP         30         112         0.20         6.89         6.67         0.22         EDOT_INDEX_NO425_001      | 62 MES 11.00                    | O         RCP         36         172         0.20         6.50         6.16         0.34         TYPE 'J' STRUCTURE BOTTOM<br>FDOT INDEX NO. 430.021   | 102         VALLEY GUTTER         13.60         RCP         24         23         0.20         8.50         8.45   | 0.05   |
| MANHOLE 14.49                | RCP         30         169         0.20         6.17         5.83         0.34         EDOT_INDEX_NO_425.001     |                                 | 5         RCP         36         52         0.20         6.16         6.05         0.10         TYPE 'J' STRUCTURE BOTTOM  | 103 VALLEY GUTTER 13.60 RCP 24 170 0.24 7.20 6.80  | 0.41   |
| MES                          | FDOT INDEX NO. 425.001   | INLET64VALLEY GUTTER13.60       | RCP         36         31         0.20         6.05         5.99         0.06         TYPE 'J' STRUCTURE BOTTOM  | INLET         INLET           104         MES  |  |
|                              | FDOT INDEX NO. 430.021   | INLET<br>65 VALLEY GUTTER 13.60 | RCP         36         313         0.20         5.99         5.36         0.63         TYPE 'J' STRUCTURE BOTTOM   |  | FDOT INDEX NO. 430.021   |
|                              |  | INLET66MANHOLE14.48             | B         RCP         36         175         0.20         5.36         5.01         0.35         TYPE 'J' STRUCTURE BOTTOM<br>EDOT INDEX NO. 425 001   |  |  |
|                              |  | 67 MES                          | FDOT INDEX NO. 425.001   |  |  |

| 01-11-2021 | REVIEW SUBMITTAL | BGS |
|------------|------------------|-----|
| DATE       | DESCRIPTION      | BY  |
|            | REVISIONS        |     |

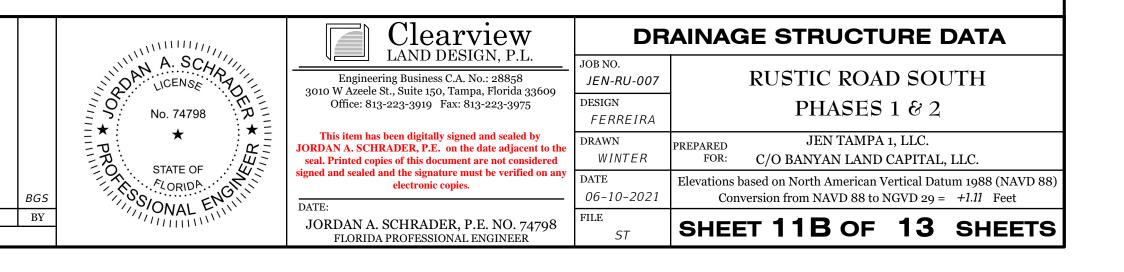
|           | <b>Clearview</b><br>LAND DESIGN, P.L.   | DR                    | AINAGE STRUCTURE DATA   |
|-----------|---|-----------------------|---|
| LICENSE S | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609  | JOB NO.<br>JEN-RU-007 | RUSTIC ROAD SOUTH   |
| No. 74798 | No. 74798   | DESIGN<br>FERREIRA    | PHASES 1 & 2  |
| STATE OF  | This item has been digitally signed and sealed by<br>JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>WINTER       | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| SONAL EN  | electronic copies.  | DATE<br>06-10-2021    | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD $29 = +1.11$ Feet |
|           | JORDAN A. SCHRADER, P.E. NO. 74798<br>FLORIDA PROFESSIONAL ENGINEER   | FILE<br>ST            | SHEET 11A OF 13 SHEETS  |

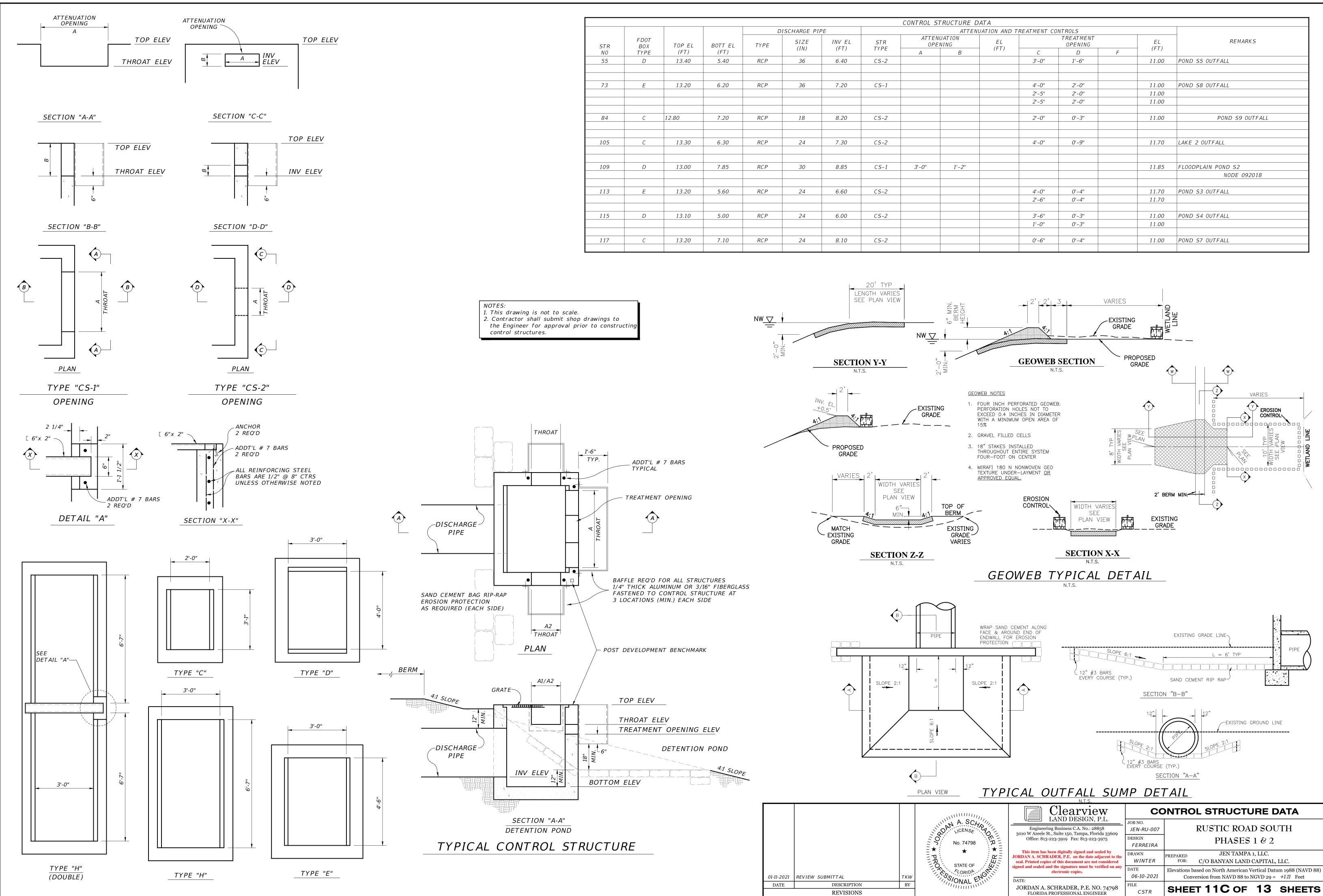


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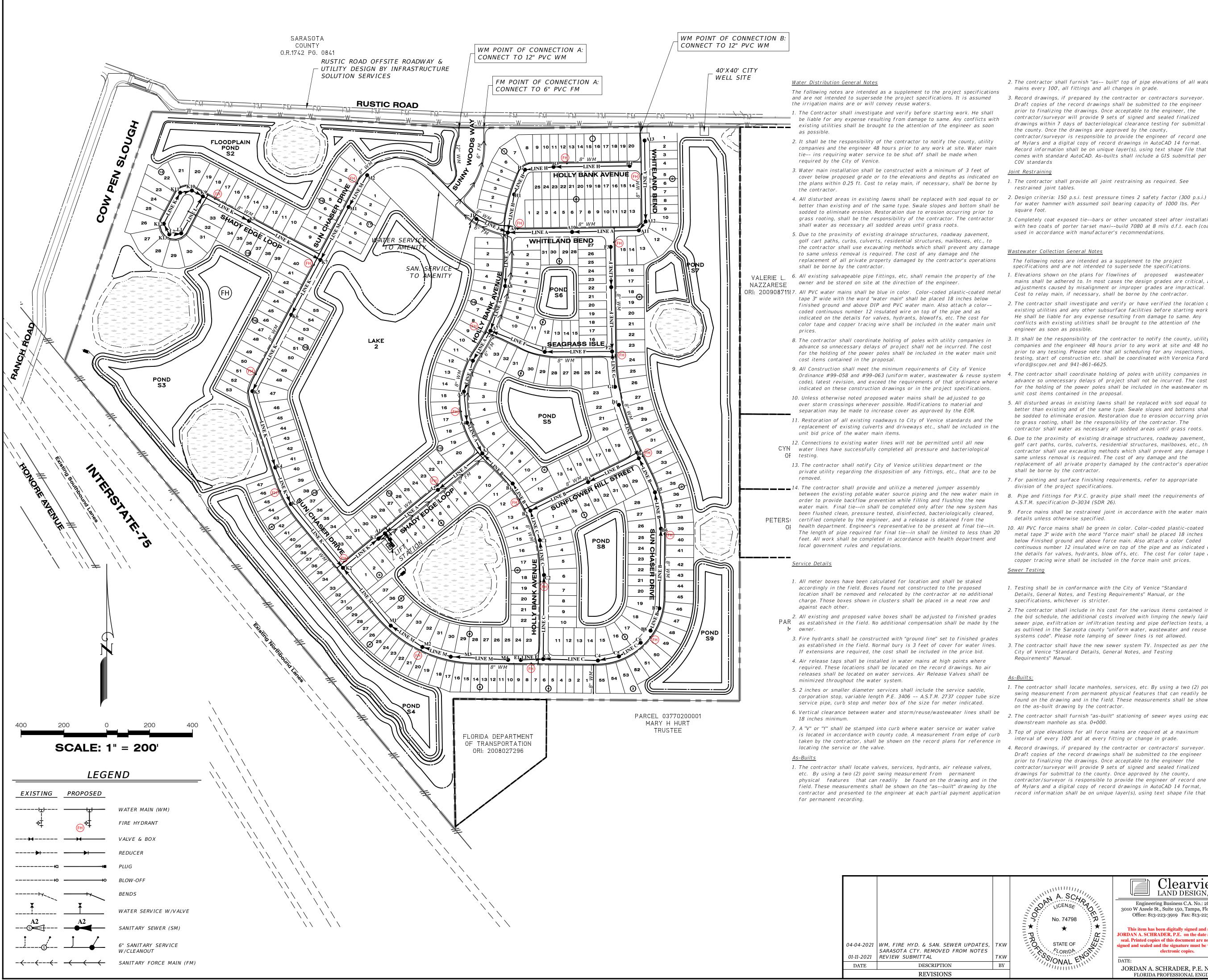
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|                            |       |      | S         | STOR        | / ST      | RUCT   | URE         | DATA       | Α   |
|----------------------------|-------|------|-----------|-------------|-----------|--------|-------------|------------|---|
| STRUCTURE                  |       |      |           |             | LINE      |        |             |            | STRUCTURE LOCATION & REMARKS                        |
| TYPE & SIZE                | TOP   | TYPE | DIAM.     |             |           | INVER1 |             | FALL<br>IN |   |
| CONTROL                    | ELEV. | RCP  | IN.<br>24 | FEET<br>163 | %<br>0.20 | END    | END<br>6.97 | FEET       |   |
| STRUCTURE                  | 14.30 | RCP  | 24        | 22          | 0.20      | 6.67   | 6.63        | 0.03       | REFER TO CONTROL STRUCTURE DETAILS                  |
| INLET<br>VALLEY GUTTER     | 14.30 | RCP  | 24        | 176         | 0.20      | 6.63   | 6.28        | 0.35       |   |
| INLET<br>MES               |       |      |           |             |           |        |             |            |   |
|                            |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
| CONTROL                    | 13.00 | RCP  | 30        | 46          | 0.20      | 8.85   | 8.76        | 0.09       |   |
| STRUCTURE<br>MANHOLE       | 15.00 | RCP  | 30        | 354         | 0.20      | 8.76   | 8.05        | 0.71       | REFER TO CONTROL STRUCTURE DETAILS                  |
| MANHOLE                    | 15.00 | RCP  | 30        | 60          | 0.20      | 6.95   | 6.83        | 0.12       | FDOT INDEX NO. 425.001                              |
| MES                        |       |      |           |             |           |        |             |            | FDOT INDEX NO. 425.001                              |
|                            |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
| CONTROL                    | 13.20 | RCP  | 24        | 55          | 0.20      | 6.60   | 6.49        | 0.11       |   |
| STRUCTURE<br>MES           |       |      |           |             |           |        |             |            | REFER TO CONTROL STRUCTURE DETAILS                  |
|                            |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
| CONTROL                    | 13.10 | RCP  | 24        | 47          | 0.20      | 6.00   | 5.91        | 0.09       |   |
| STRUCTURE<br>MES           |       |      |           |             |           |        |             |            | REFER TO CONTROL STRUCTURE DETAILS                  |
|                            |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
| CONTROL                    | 13.20 | RCP  | 24        | 32          | 0.20      | 8.10   | 8.04        | 0.06       |   |
| STRUCTURE<br>MES           |       |      |           |             |           |        |             |            | REFER TO CONTROL STRUCTURE DETAILS                  |
|                            |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
| THROAT INLET               | 14.80 | RCP  | 18        | 27          | 0.20      | 10.20  | 10.15       | 0.05       |   |
| THROAT INLET               | 14.80 | RCP  | 24        | 20          | 0.20      | 8.15   | 8.11        | 0.04       |   |
| MANHOLE/GTI                | 16.00 | RCP  | 36        | 174         | 0.20      | 7.11   | 6.76        | 0.35       | TYPE 'J' STRUCTURE BOTTOM                           |
| MANHOLE/GTI                | 15.50 | RCP  | 36        | 38          | 0.20      | 5.78   | 5.70        | 0.08       | FDOT INDEX NO. 425.052<br>TYPE 'J' STRUCTURE BOTTOM |
| MES                        |       |      |           |             |           |        |             |            | FDOT INDEX NO. 425.052                              |
|                            |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
| VALLEY GUTTER<br>INLET     | 13.72 | RCP  | 18        | 54          | 0.30      | 9.12   | 8.96        | 0.16       |   |
| INCEI                      |       |      |           |             |           |        |             |            |   |
|                            |       |      |           |             |           |        |             |            |   |
| VALLEY GUTTER<br>INLET     | 13.60 | RCP  | 18        | 22          | 0.20      | 9.00   | 8.96        | 0.04       |   |
| VALLEY GUTTER<br>INLET     | 13.60 | RCP  | 30        | 318         | 0.20      | 6.96   | 6.32        | 0.64       |   |
|                            |       |      |           |             |           |        |             |            |   |
|                            |       |      |           |             |           |        |             |            |   |
| <br>VALLEY GUTTER<br>INLET | 13.60 | RCP  | 18        | 22          | 0.20      | 9.00   | 8.96        | 0.04       |   |
| <br>VALLEY GUTTER<br>INLET | 13.60 | RCP  | 36        | 175         | 0.20      | 5.82   | 5.47        | 0.35       | TYPE 'J' STRUCTURE BOTTOM                           |
| MES                        |       |      |           |             |           |        |             |            | FDOT INDEX NO. 430.021                              |
|                            |       |      |           |             |           |        |             |            |   |
|                            |       |      |           |             |           |        |             |            |   |
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| -                  |            |   | NTROLS<br>TREATMENT | REATMENT CO | UATION AND TH |        | ATTENI     |             |                | ISCHARGE PIP | D    |         |       |         |        |             |     |
| REMARKS            | EL<br>(FT) |   | OPENING             |             | EL<br>(FT)    |        | OPEI       | STR<br>TYPE | INV EL<br>(FT) | SIZE<br>(IN) | TYPE | BOTT EL |       | BOTT EL | TOP EL | FD0T<br>B0X | STR |
|                    | (ГТ)       | F | D                   | С           | (ГТ)          | В      | А          | TIPE        | (ГТ)           | (1/\)        |      | (FT)    | (FT)  | ТҮРЕ    | NO     |             |     |
| POND S5 OUTFALL    | 11.00      |   | 1'-6"               | 3'-0"       |               |        |            | CS-2        | 6.40           | 36           | RCP  | 5.40    | 13.40 | D       | 55     |             |     |
| POND S8 OUTFALL    | 11.00      |   | 2'-0"               | 4'-0''      |               |        |            | CS-1        | 7.20           | 36           | RCP  | 6.20    | 13.20 | E       | 73     |             |     |
| FUND S8 OUTFALL    | 11.00      |   | 2'-0''              | 2'-5"       |               |        |            | 0.5-1       | 7.20           |              | RUP  | 0.20    | 15.20 | E       | /3     |             |     |
|                    | 11.00      |   | 2'-0''              | 2'-5"       |               |        |            |             |                |              |      |         |       |         |        |             |     |
| POND S9 OUTFALL    | 11.00      |   | 0'-3"               | 2'-0''      |               |        |            | CS-2        | 8.20           | 18           | RCP  | 7.20    | 12.80 | С       | 84     |             |     |
| LAKE 2 OUTFALL     | 11.70      |   | 0'-9''              | 4'-0''      |               |        |            | CS-2        | 7.30           | 24           | RCP  | 6.30    | 13.30 | С       | 105    |             |     |
|                    |            |   |                     |             |               |        |            |             |                |              |      |         |       |         |        |             |     |
| FLOODPLAIN POND 52 | 11.85      |   |                     |             |               | 1'-2'' | 3'-0"      | CS-1        | 8.85           | 30           | RCP  | 7.85    | 13.00 | D       | 109    |             |     |
| NODE 092018        |            |   |                     |             |               |        |            |             |                |              |      |         |       |         |        |             |     |
| POND S3 OUTFALL    | 11.70      |   | 0'-4"               | 4'-0''      |               |        |            | CS-2        | 6.60           | 24           | RCP  | 5.60    | 13.20 | E       | 113    |             |     |
|                    | 11.70      |   | 0'-4''              | 2'-6"       |               |        |            |             |                |              |      |         |       |         |        |             |     |
| POND S4 OUTFALL    | 11.00      |   | 0'-3"               | 3'-6"       |               |        |            | CS-2        | 6.00           | 24           | RCP  | 5.00    | 13.10 | D       | 115    |             |     |
|                    | 11.00      |   | 0'-3"               | 1'-0''      |               |        |            |             |                |              |      |         |       |         |        |             |     |
| POND S7 OUTFALL    | 11.00      |   | 0'-4''              | 0'-6''      |               |        |            | CS-2        | 8.10           | 24           | RCP  | 7.10    | 13.20 | С       | 117    |             |     |



04-04-2021 WM, FIRE HYD. & SAN. SEWER UPDATES, TKW

- 2. The contractor shall furnish "as-- built" top of pipe elevations of all water mains every 100', all fittings and all changes in grade.
- 3. Record drawings, if prepared by the contractor or contractors surveyor. Draft copies of the record drawings shall be submitted to the engineer prior to finalizing the drawings. Once acceptable to the engineer, the contractor/surveyor will provide 9 sets of signed and sealed finalized drawings within 7 days of bacteriological clearance testing for submittal to
- the county. Once the drawings are approved by the county, contractor/surveyor is responsible to provide the engineer of record one set of Mylars and a digital copy of record drawings in AutoCAD 14 format. Record information shall be on unique layer(s), using text shape file that comes with standard AutoCAD. As-builts shall include a GIS submittal per COV standards

#### loint Restraining

- 1. The contractor shall provide all joint restraining as required. See restrained joint tables.
- 2. Design criteria: 150 p.s.i. test pressure times 2 safety factor (300 p.s.i.) for water hammer with assumed soil bearing capacity of 1000 lbs. Per square foot.
- 3. Completely coat exposed tie--bars or other uncoated steel after installation with two coats of porter tarset maxi--build 7080 at 8 mils d.f.t. each (coat) used in accordance with manufacturer's recommendations.

## Vastewater Collection General Notes

- The following notes are intended as a supplement to the project specifications and are not intended to supersede the specifications.
- 1. Elevations shown on the plans for flowlines of proposed wastewater mains shall be adhered to. In most cases the design grades are critical, and 11. Manhole ring and cover shall be as specified. adjustments caused by misalignment or improper grades are impractical. Cost to relay main, if necessary, shall be borne by the contractor.
- 2. The contractor shall investigate and verify or have verified the location of existing utilities and any other subsurface facilities before starting work. He shall be liable for any expense resulting from damage to same. Any conflicts with existing utilities shall be brought to the attention of the engineer as soon as possible.
- 3. It shall be the responsibility of the contractor to notify the county, utility companies and the engineer 48 hours prior to any work at site and 48 hours 1. Cleanouts are required on all services. prior to any testing. Please note that all scheduling for any inspections, testing, start of construction etc. shall be coordinated with Veronica Ford, vford@scgov.net and 941-861-6625.
- advance so unnecessary delays of project shall not be incurred. The cost for the holding of the power poles shall be included in the wastewater main unit cost items contained in the proposal.
- 5. All disturbed areas in existing lawns shall be replaced with sod equal to or better than existing and of the same type. Swale slopes and bottoms shall be sodded to eliminate erosion. Restoration due to erosion occurring prior to grass rooting, shall be the responsibility of the contractor. The
- contractor shall water as necessary all sodded areas until grass roots. 6. Due to the proximity of existing drainage structures, roadway pavement, golf cart paths, curbs, culverts, residential structures, mailboxes, etc., the contractor shall use excavating methods which shall prevent any damage to same unless removal is required. The cost of any damage and the replacement of all private property damaged by the contractor's operations
- shall be borne by the contractor. 7. For painting and surface finishing requirements, refer to appropriate division of the project specifications.
- A.S.T.M. specification D-3034 (SDR 26).
- 9. Force mains shall be restrained joint in accordance with the water main details unless otherwise specified.
- 10. All PVC force mains shall be green in color. Color-coded plastic-coated metal tape 3" wide with the word "force main" shall be placed 18 inches below Finished ground and above force main. Also attach a color Coded continuous number 12 insulated wire on top of the pipe and as indicated on the details for valves, hydrants, blow offs, etc. The cost for color tape and copper tracing wire shall be included in the force main unit prices.
- Sewer Testing
- 1. Testing shall be in conformance with the City of Venice "Standard Details, General Notes, and Testing Requirements" Manual, or the specifications, whichever is stricter.
- 2. The contractor shall include in his cost for the various items contained in the bid schedule, the additional costs involved with limping the newly laid sewer pipe, exfiltration or infiltration testing and pipe deflection tests, all as outlined in the Sarasota county "uniform water, wastewater and reuse systems code". Please note lamping of sewer lines is not allowed.
- 3. The contractor shall have the new sewer system TV. Inspected as per the City of Venice "Standard Details, General Notes, and Testing Requirements" Manual.

- 1. The contractor shall locate manholes, services, etc. By using a two (2) point swing measurement from permanent physical features that can readily be found on the drawing and in the field. These measurements shall be shown on the as-built drawing by the contractor.
- 2. The contractor shall furnish "as-built" stationing of sewer wyes using each downstream manhole as sta. 0+000.
- 3. Top of pipe elevations for all force mains are required at a maximum interval of every 100' and at every fitting or change in grade.
- 4. Record drawings, if prepared by the contractor or contractors' surveyor. Draft copies of the record drawings shall be submitted to the engineer prior to finalizing the drawings. Once acceptable to the engineer the contractor/surveyor will provide 9 sets of signed and sealed finalized drawings for submittal to the county. Once approved by the county, contractor/surveyor is responsible to provide the engineer of record one set of Mylars and a digital copy of record drawings in AutoCAD 14 format,
- record information shall be on unique layer(s), using text shape file that

### comes with standard AutoCAD.

- Sanitary <u>Manhole Notes</u> 1. Lift holes through precast structures are not permitted. All openings shall
- be sealed and waterproofed as specified and directed by the engineer. 2. Manholes shall comply with ASTM. specification C-478, Latest revision,
- "precast reinforced concrete manhole sections", except as exceeded by the details and specifications.
- 3. Cement shall be Type II. 4. Concrete shall be 4000 PSI. 6 28-day minimum strength, unless otherwise
- 5. Mortar shall be 2 parts clean sand and one (1) part cement with no more
- than  $\frac{1}{4}$  part hydrated lime. 6. Mortar joints shall be full and struck flush.
- 7. Drop construction shall be provided for a wastewater pipe entering a manhole at an elevation of twenty-four inches (24") or more above the discharge channel flow line.
- 8. No steps shall be used.
- 9. Provide six (6) inch minimum base slab lip as shown in detail. For manhole depths greater than 13', contractor shall submit buoyancy calculations. Based on the calculations, additional concrete ballast or a base
- slab lip in excess of 6" may be required. 10. Having the rubber gasket seal integrally poured into manhole sections at a non--plan position shall be cause for that section to be rejected. It is important for manufacturers of precast manholes to be informed by the contractor of the rejection possibility.
- 12. Manhole rings and covers shall be adjusted to conform with finished surfaces including slope if any (using beveled adjustment rings). All adjustments shall be included in the price bid. No additional compensation shall be made by the owner. Manholes in grassed areas shall be set 0.1 above finished ground.

#### <u>Clean -Out Notes</u>

- 2. Clean-outs shall be adjusted to conform with finished surfaces. All adjustments shall be included in the price bid. No additional compensation shall be made by the owner.

#### Sanitary Sewer Service Notes

- 1. A "S", "V" or "M" shall be stamped in curb where sewer service, valve or manhole is in accordance with the County Code. A measurement from the edge of curb, taken by the contractor, shall be shown on the 'as built' plans for reference in location service, valve, or manhole.
- 2. On uncurbed streets, the location for each installed service valve or manhole shall be marked by using and aluminum disc ladled sewer as supplied by national band and tag Co. The horizontal distance to the service, valve or Manhole is to be engraved on the tag and the tag shall be mounted in the pavement, within 6" from the edge.
- 3. Metallic identification tape shall extend from the wye connection to the end of the service and terminate twelve inches (12") above ground at the location stake. In addition, the contractor shall bury a two-foot, (2') foot long #3 rebar at the end of the service parallel to the surface for electronic location purposes. Cost of tape and rebar to be included in the cost for service pipe installation.
- 4. Where service wye connection exceeds either fee in dept, the wye and service nine shall he encased in concrete. When the ser 10% or greater, the encasement shall extend from the wye to a point where the service pipe grade is less than 10% as shown. Concrete shall be 3000 PSI at 28 days, minimum 6" thick.
- 5. Where a house or other connection terminates, the contractor shall provide and install 2" x 4' stake with a minimum of four (4) feet above ground and two (2) feet below ground. The top twelve inches (12"0 are to be painted areen.

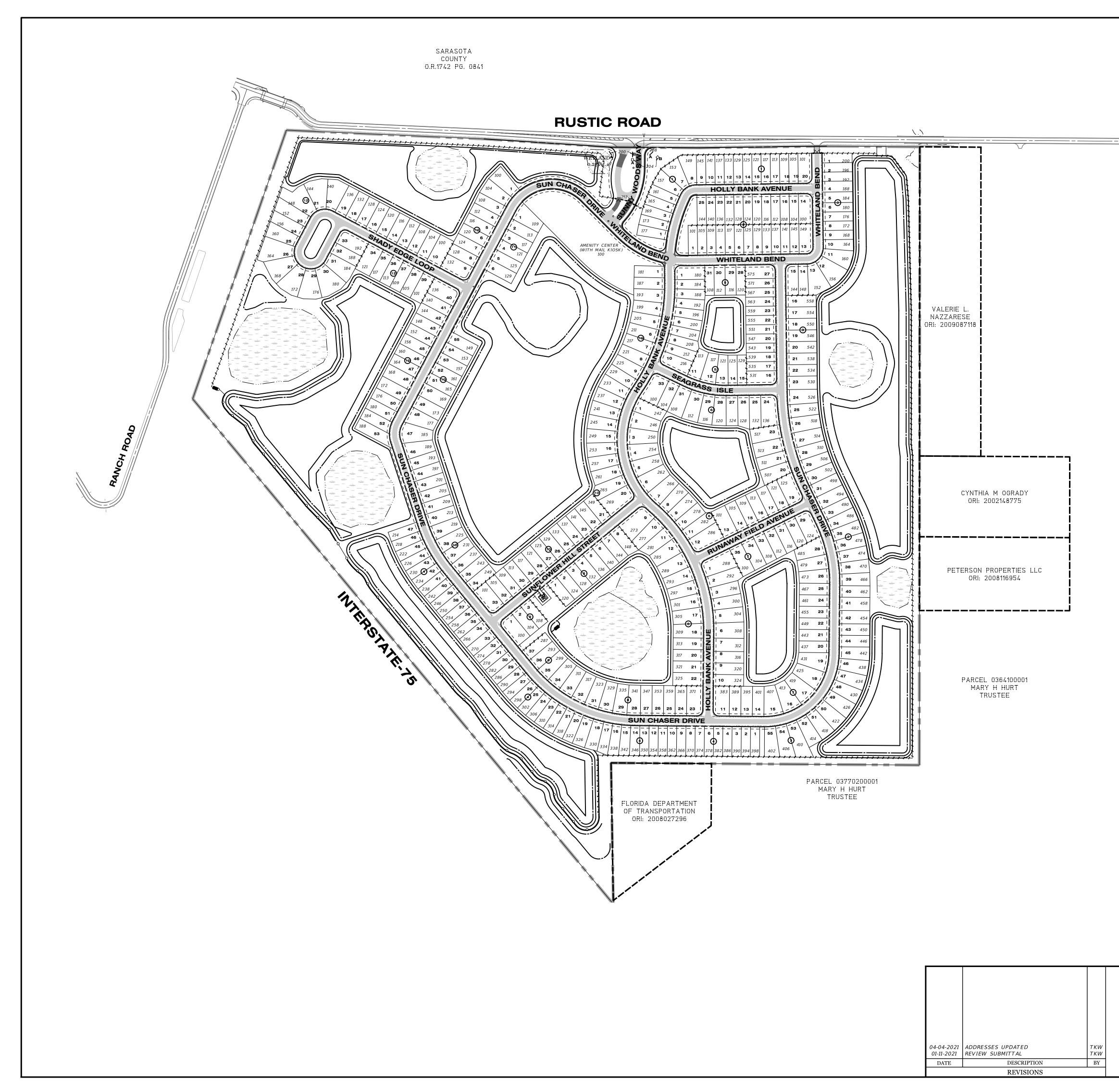
#### Notes:

- 1. Trench Width shall be approximately equal to the pipe dia. + 2 feet or as per AWWA and the manufacturers recommendations.
- 2. Provide sheeting and shoring as necessary in accordance with OSHA standards.
- 3. Backfill materials shall be approved by the engineer where the pipe is undercut
- 4. Water, sewer, and reuse mains to be installed with a minimum 36 inches of cover.
- 5. For County R/W, refer to land development regulations for roadway replacement, pavement overlay and density requirements,
- 6. For state R/W, refer to F.D.O.T regulations for roadway replacement, pavement overlay and density requirements.

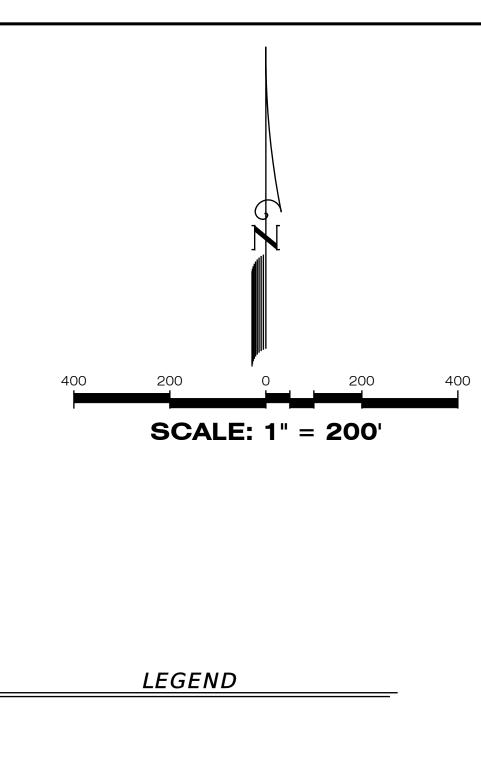
#### Sanitary Service General Notes

- 1. Location of clean-out to be marked at curb or edge of asphalt with brass disc with number of feet. Refer to the general section 6.15.1 for specification on disc in uniform water, wastewater and reuse system code.
- 2. The wastewater service lateral shall not be deeper than 5 feet from finished (final) grade, top back of curb, or edge of pavement.
- 3. When the wastewater service lateral cleanout is in paved areas (Concrete or Asphalt) a poured in place concrete pad and valve box and cover shall be used as shown in sewer drawing detail no. 10
- 4. Precast 24 inches square by 6 inches thick concrete pad with 2-#4 rebar continuous each way required at all unpaved areas.

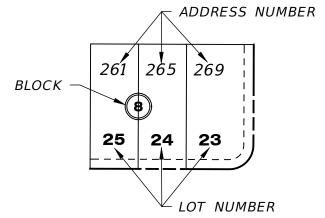
|              | Clearview<br>LAND DESIGN, P.L.   | MAS                          | TER WATER & SEWER PLAN  |
|--------------|--|------------------------------|---|
| LICENSE .    | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609                       | JOB NO.<br><i>JEN-RU-007</i> | RUSTIC ROAD SOUTH   |
| No. 74798    |  | DESIGN<br>FERREIRA           | PHASES 1 & 2  |
| TRO STATE OF | JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>WINTER              | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| - CONIDA     | signed and sealed and the signature must be verified on any<br>electronic copies.                                | DATE<br>08-03-2021           | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD $29 = +1.11$ Feet |
| CINAL CONAL  | JORDAN A. SCHRADER, P.E. NO. 74798<br>FLORIDA PROFESSIONAL ENGINEER  | FILE<br>WS                   | SHEET 12 OF 13 SHEETS   |



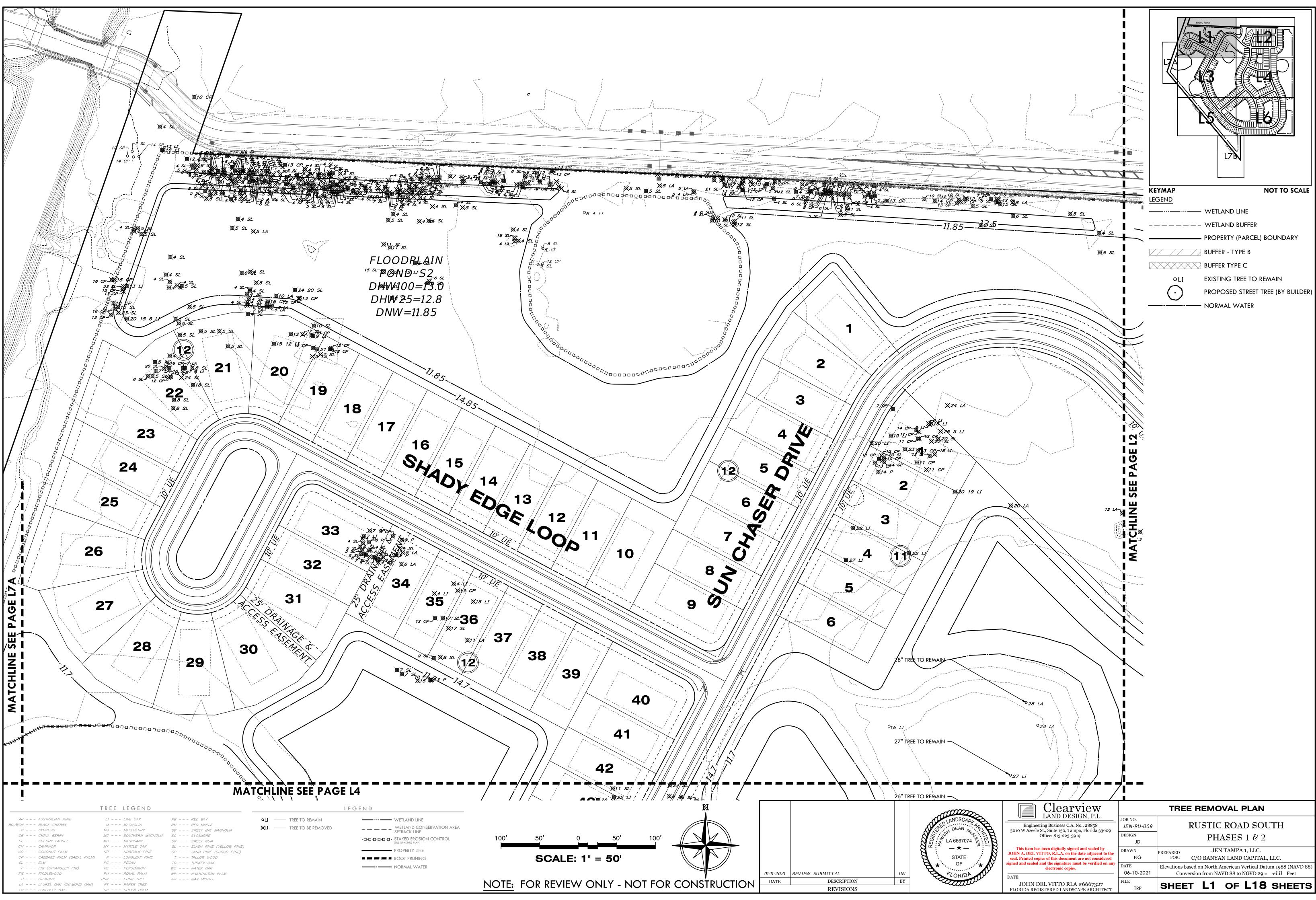


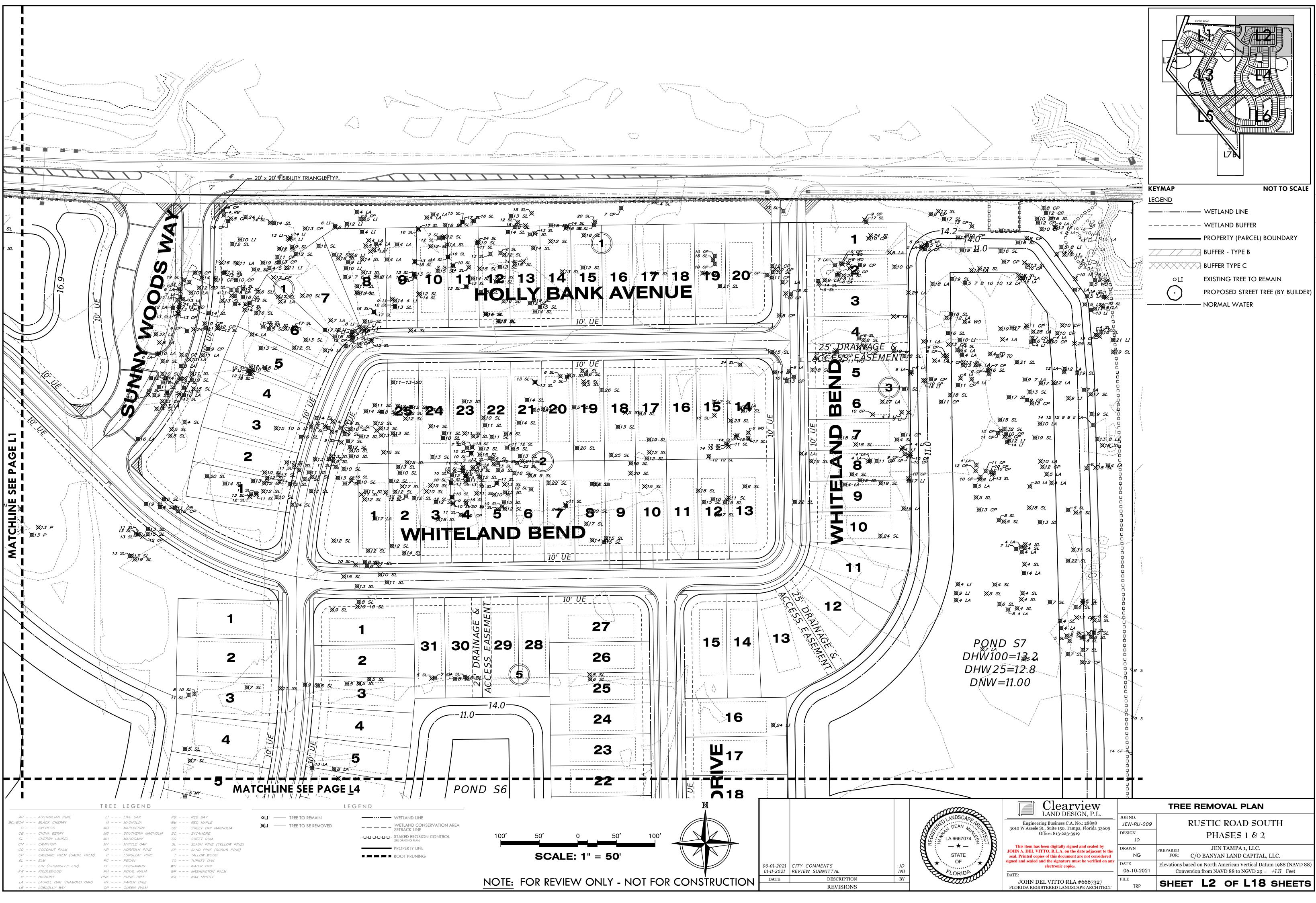


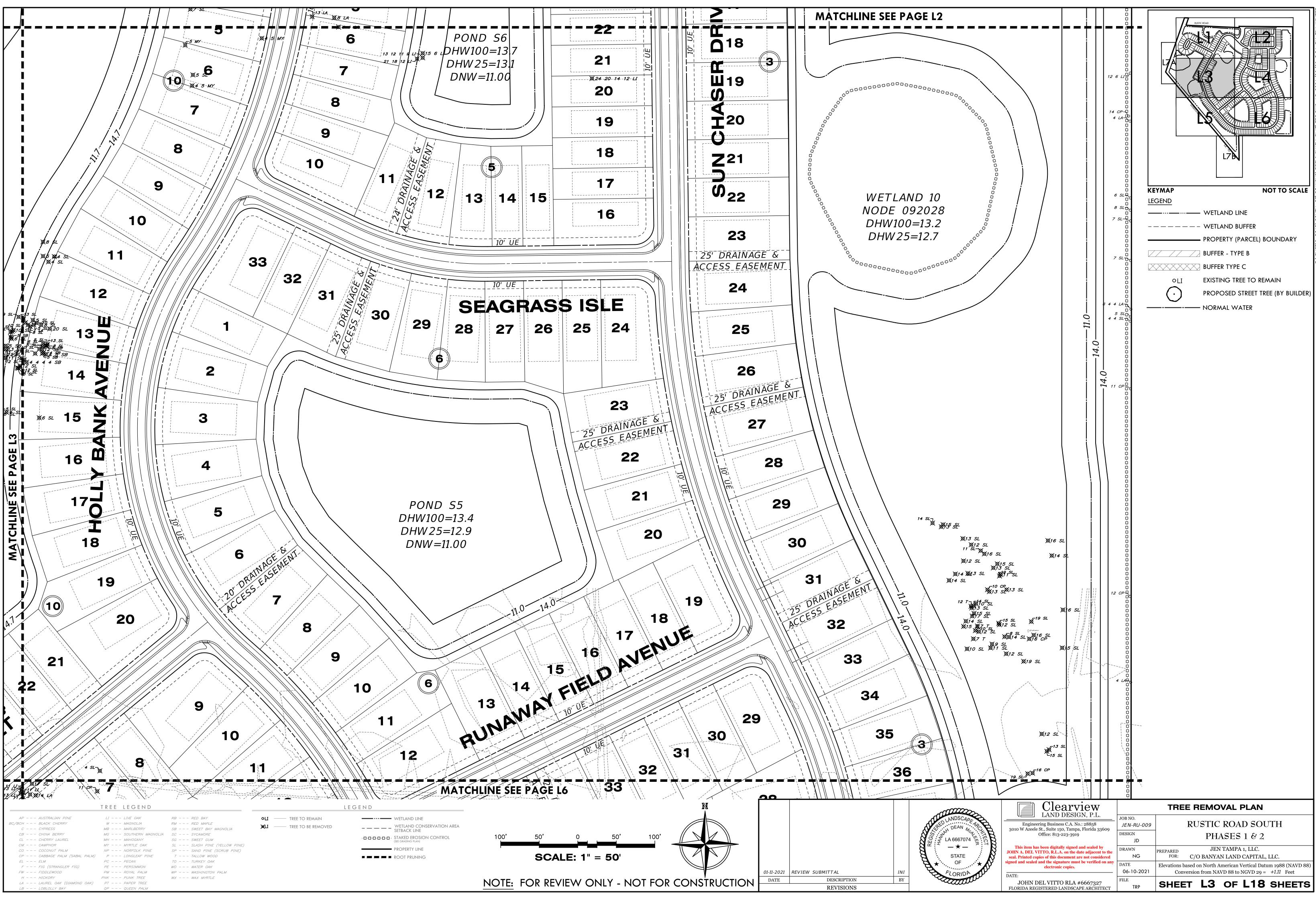
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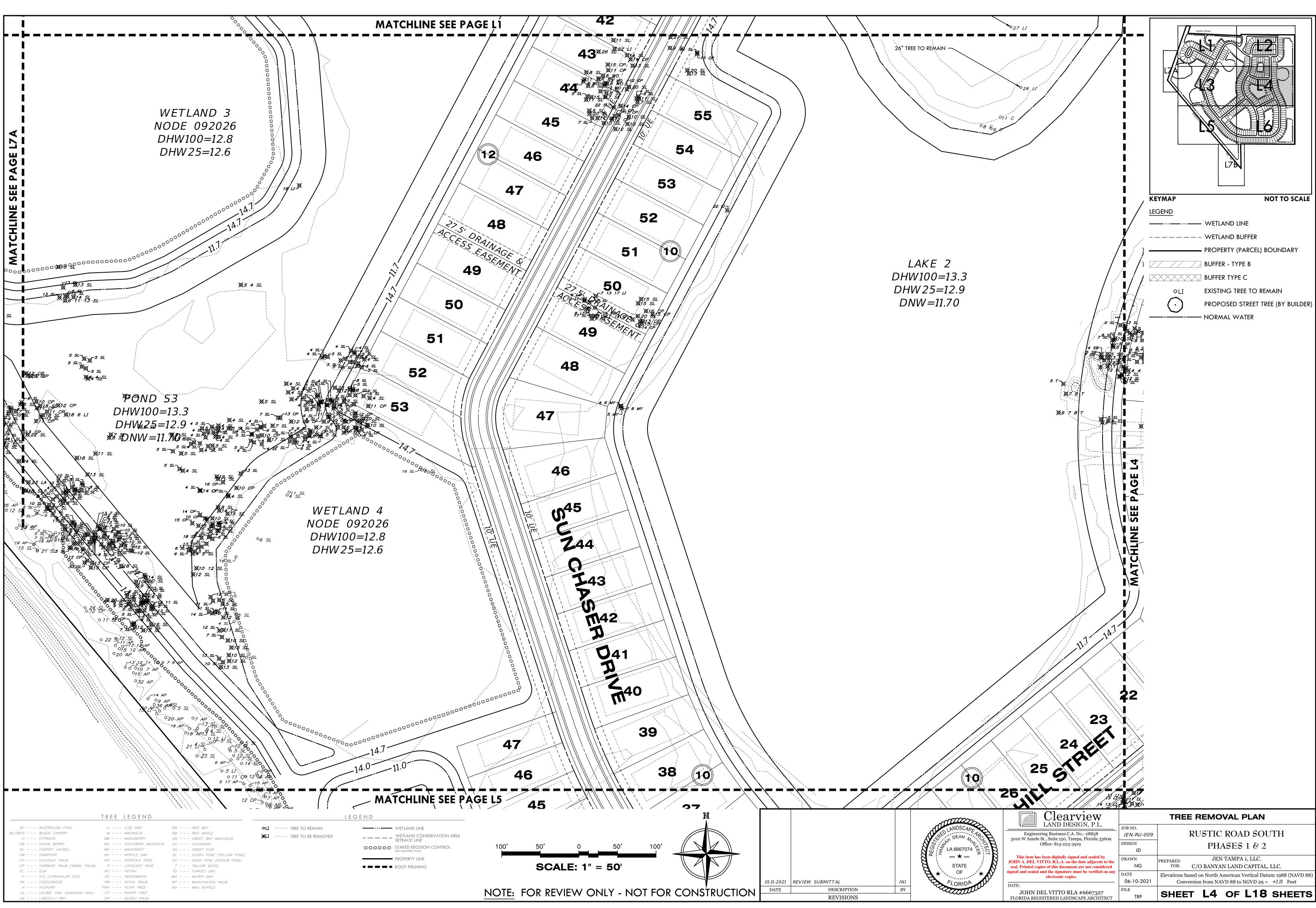


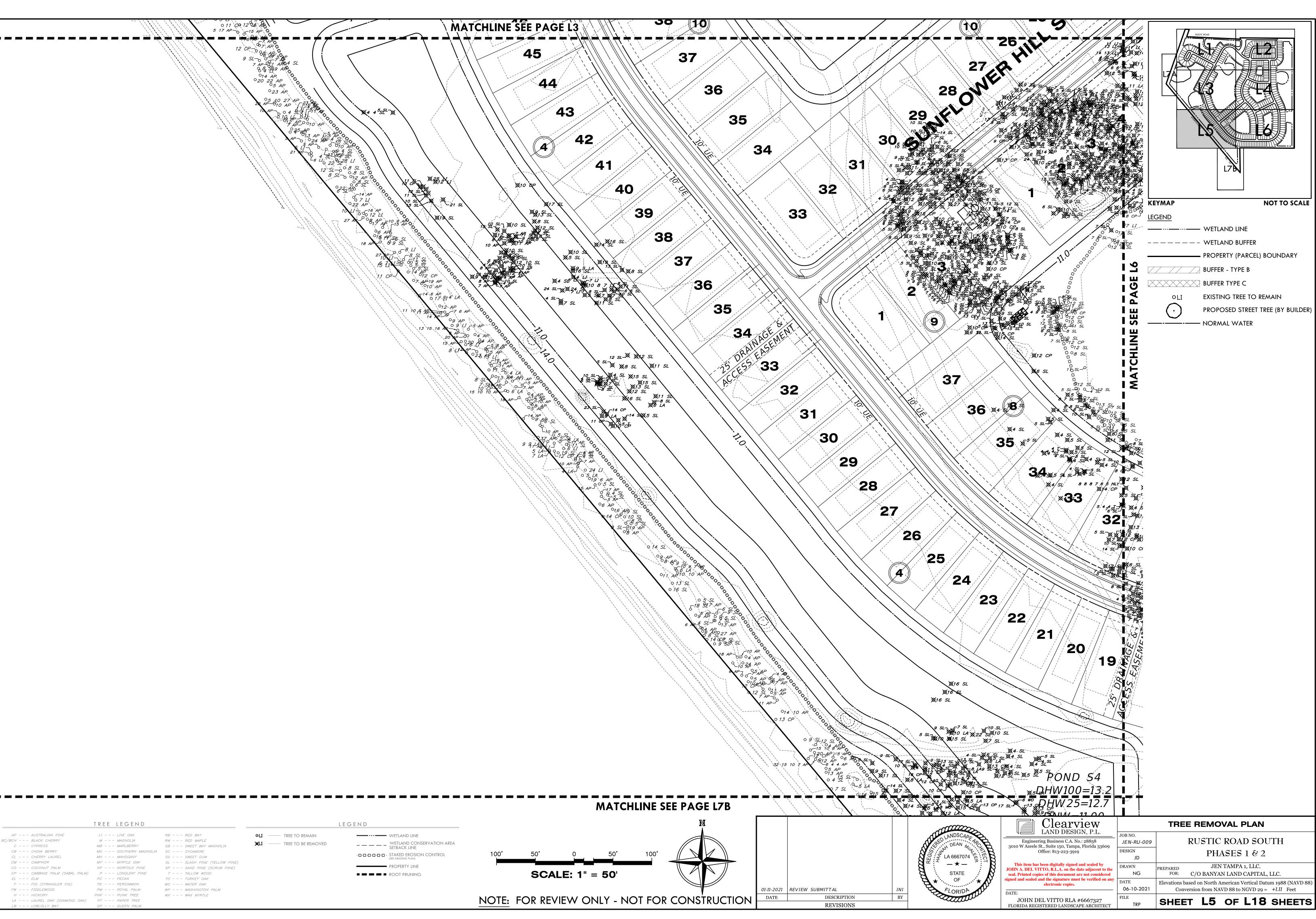
|           | LAND DESIGN, P.L.   |                       | ADDRESS PLAN  |
|-----------|---|-----------------------|---|
| LICENSE 7 | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609  | JOB NO.<br>JEN-RU-007 | RUSTIC ROAD SOUTH   |
| No. 74798 | Office: 813-223-3919 Fax: 813-223-3975  | DESIGN<br>FERREIRA    | PHASES 1 & 2  |
|           | This item has been digitally signed and sealed by<br>JORDAN A. SCHRADER, P.E. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>WINTER       | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| SOALAL EN | signed and sealed and the signature must be verified on any<br>electronic copies.   | DATE<br>06-10-2021    | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD 29 = +1.11 Feet |
|           |   | FILE<br>ADDRESS PLAN  | SHEET 13 OF 13 SHEETS   |

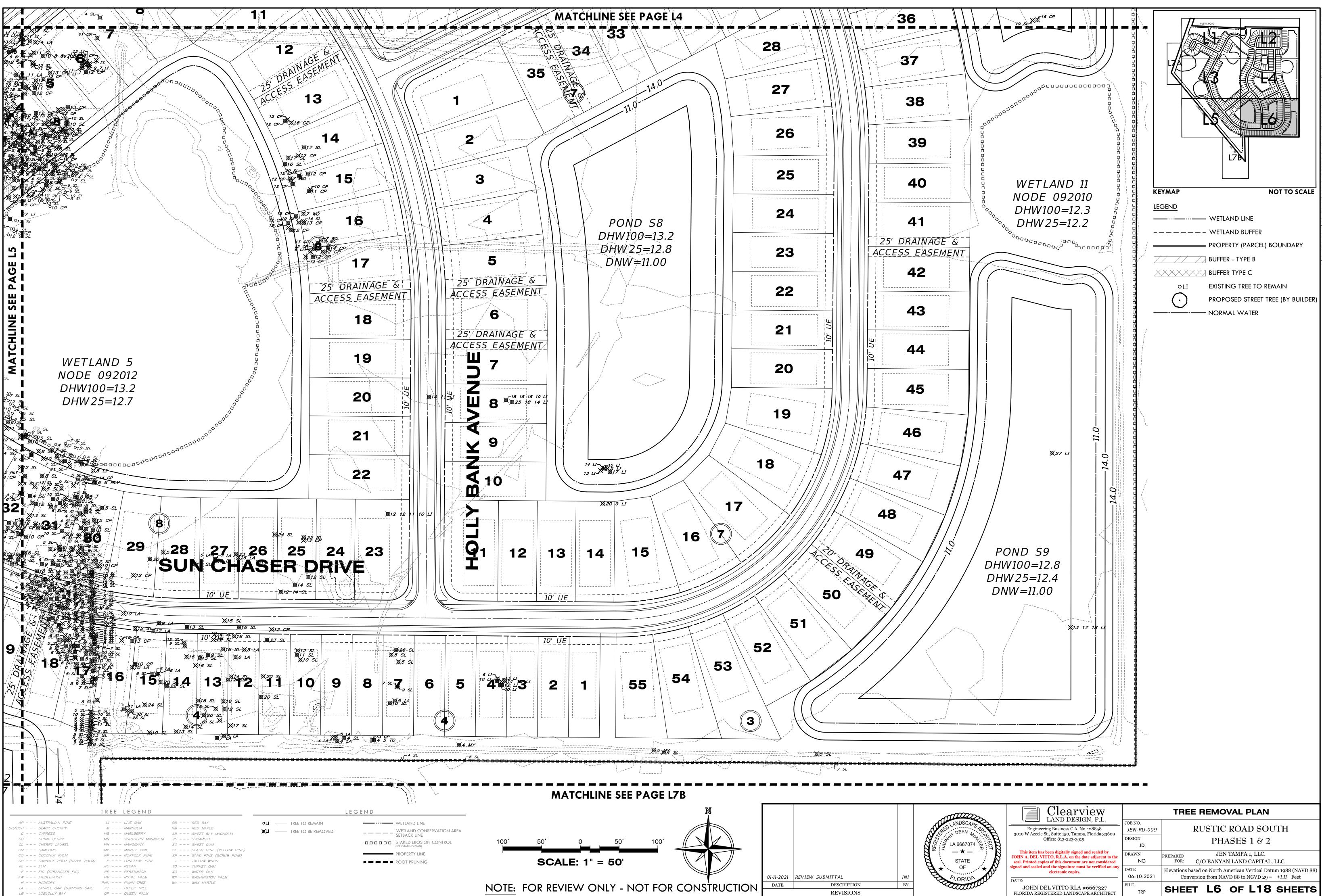


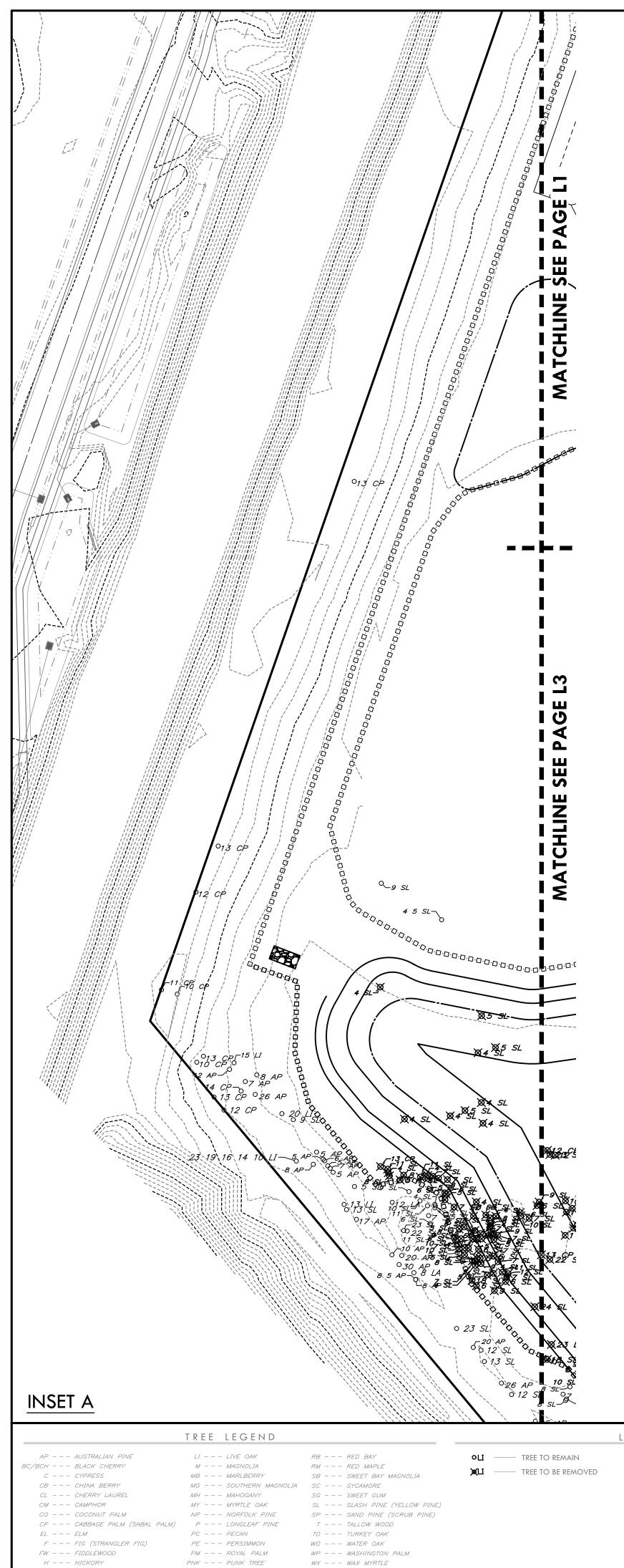










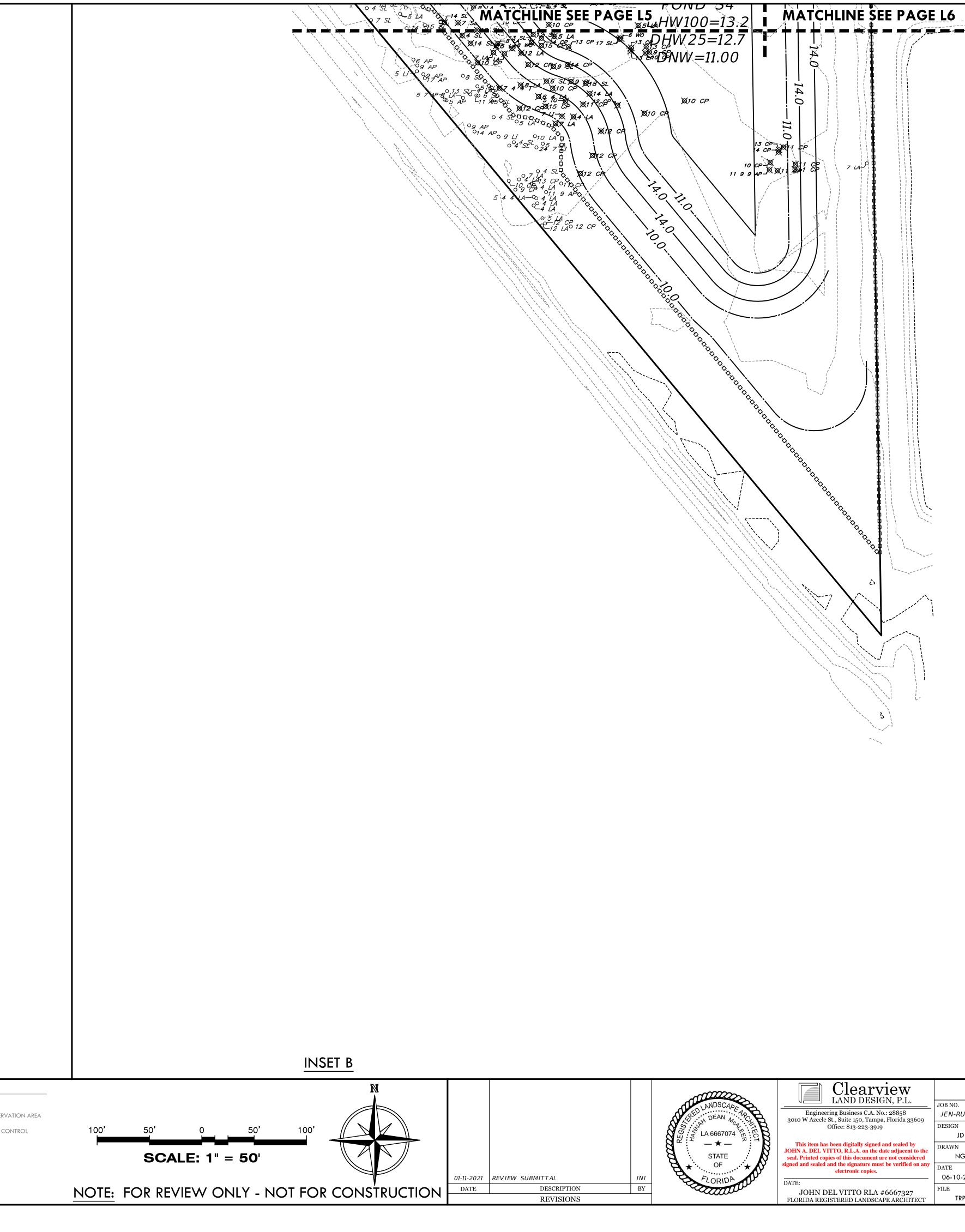


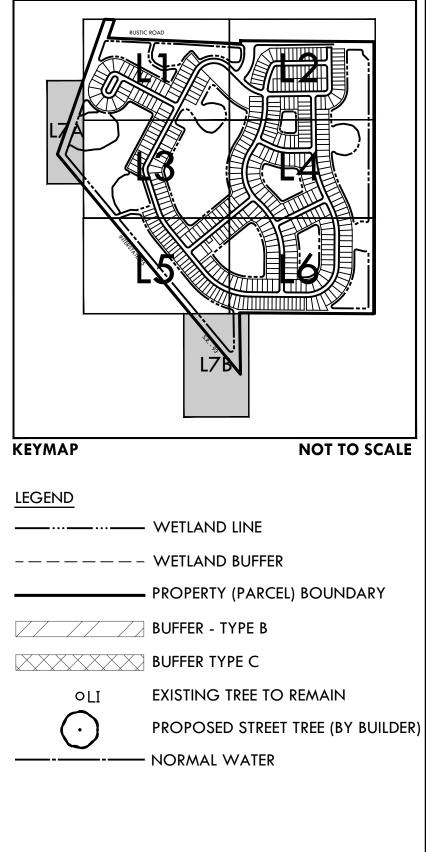
LA – – – LAUREL OAK (DIAMOND OAK) PT – – – PAPER TREE

QP - - - QUEEN PALM

LB - - - LOBLOLLY BAY

| EGEND   |  |
|---------|--|
|         | <br>WETLAND LINE                           |
| ·       | <br>WETLAND CONSER<br>SETBACK LINE         |
| · □·□·C | <br>STAKED EROSION C<br>(SEE GRADING PLAN) |
|         | PROPERTY LINE                              |
|         | ROOT PRUNING                               |
|         |  |





|                  | <b>Clearview</b><br>LAND DESIGN, P.L.  |                       | TREE REMOVAL PLAN   |
|------------------|--|-----------------------|---|
| LANDSCAPE TRACE  | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609   | JOB NO.<br>JEN-RU-009 | RUSTIC ROAD SOUTH   |
| SOUTH LA 6667074 | Office: 813-223-3919   | DESIGN<br>JD          | PHASES 1 & 2  |
|                  | JOHN A. DEL VITTO, R.L.A. on the date adjacent to the<br>seal. Printed copies of this document are not considered<br>signed and cooled and the signature must be verified on any | DRAWN<br>NG           | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| FLORIDA          |  | DATE<br>06-10-2021    | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD 29 = +1.11 Feet |
|                  | JOHN DEL VITTO RLA #6667327<br>FLORIDA REGISTERED LANDSCAPE ARCHITECT  | FILE<br>TRP           | SHEET L7 OF L18 SHEETS  |

#### **BEST MANAGEMENT PRACTICES**

- A. THE FOLLOWING BEST MANAGEMENT PRACTICES SHALL BE APPLICABLE TO ALL TREE PERMITS, UNLESS SPECIFIED OTHERWISE HEREIN. THESE STANDARD BEST MANAGEMENT PRACTICES SHALL ALSO BE APPLICABLE TO ALL ACTIVITIES THAT AFFECT PROTECTED, HERITAGE, AND VENETIAN TREES, TREES LOCATED WITHIN A TPZ AND CRPZ. AND REGARDLESS OF WHETHER A TREE PERMIT IS REQUIRED FOR THE PROPOSED ACTIVITY.
- B. PRIOR TO COMMENCING WORK AND THROUGHOUT THE DURATION OF THE AUTHORIZED ACTIVITY, THE OWNER, DEVELOPER, CONTRACTOR OR AGENT SHALL CLEARLY MARK WITH RED FLAGGING ALL TREES PROPOSED TO BE REMOVED AND SHALL ERECT BARRICADES AROUND ALL TREES TO BE PROTECTED THE BARRICADES MUST REMAIN IN PLACE AND BE IN GOOD CONDITION FOR THE DURATION OF THE AUTHORIZED ACTIVITY. PROTECTIVE BARRICADES FOR PROTECTED TREES SHALL BE INSTALLED NO CLOSER THAN THE OUTER EDGE OF THE DESIGNATED TPZ OF THE TREE. BARRICADES SHALL BE PLACED NO CLOSER THAN THREE FEET FROM THE TRUNK OF PALMS. BARRICADES SHALL BE CONSTRUCTED IN A POST AND RAIL CONFIGURATION OR WITH ORANGE BARRIER FENCING AND BE NO LESS THAN FOUR FEET IN HEIGHT. THE UPRIGHT POSTS SHALL BE A MINIMUM OF A TWO BY TWO-INCH WOODEN STAKE. POSTS SHALL BE IMPLANTED DEEP ENOUGH INTO THE GROUND TO BE STABLE AND EXTEND A MINIMUM HEIGHT OF FOUR FEET ABOVE THE GROUND. A MINIMUM OF A ONE FOUR-INCH BY ONE INCH BY EIGHT FEET IN LENGTH WOODEN BOARD SHALL BE USED TO CONNECT THE UPRIGHT POSTS. THE MAXIMUM DISTANCE ALLOWED BETWEEN UPRIGHT POSTS IS EIGHT FEET. SILT BARRIERS, HAY OR STRAW BALES, OR SIMILARLY EFFECTIVE EROSION CONTROL BARRIERS MAY BE SUBSTITUTED AND REQUIRED IN ANY AREA WHERE EROSION OR SILTATION MAY CAUSE DAMAGE TO TPZ UPON APPROVAL BY THE CITY ARBORIST. BARRICADES THAT RESULT IN GREATER PROTECTION MAY BE SUBSTITUTED WITH THE APPROVAL OF THE CITY ARBORIST. IN ALL CASES, THE BARRIERS MUST REMAIN IN PLACE UNTIL THE FINAL FINISH GRADE IS ESTABLISHED AT THE END OF THE PROJECT OR PROJECT PHASE. DAMAGE TO PROTECTION BARRIERS AND ENCROACHMENTS INTO THE TPZ WILL BE SUBJECT TO SUBSECTION 118-5(C), AND ARTICLE VII SIGNS, SHALL BE POSTED AT 50-FOOT INTERVALS FOR SINGLE TREES OR TREE CLUSTERS OF 20 TREES OR LESS AND 100-FOOT INTERVALS FOR AREAS OF MORE THAN 20 TREES THAT CLEARLY STATE POTENTIAL FINES AND "TREE PROTECTION AREA, KEEP OUT".
- C. THROUGHOUT THE DURATION OF THE AUTHORIZED ACTIVITY, THE OWNER, DEVELOPER, CONTRACTOR OR AGENT SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF DEBRIS, FILL, WASTE MATERIALS SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL WITHIN ANY TPZ.
- D. NO DAMAGING ATTACHMENT ROPES OR WIRES (OTHER THAN SUPPORTIVE MEASURES FOR A TREE), SIGNS, POSTERS, HANDBILLS, TREE PERMITS OR OTHER OBJECTS MAY BE FASTENED TO ANY TREE EXCEPT PURSUANT TO AUTHORIZATION UNDER THE PROVISIONS OF THIS CHAPTER. NO GASEOUS, LIQUID, EQUIPMENT EXHAUST OR SOLID SUBSTANCE WHICH MAY BE HARMFUL TO TREES SHALL COME INTO CONTACT WITH ANY PORTION OF THE TREE.
- E. WHERE ELEVATION CHANGES ARE PROPOSED WITHIN THE TPZ, THE APPLICANT WILL BE REQUIRED TO JUSTIFY THE NEED FOR THE ELEVATION CHANGE AND INSTALL RETAINING WALLS AND/OR DRAIN TILES UNLESS THE APPLICANT DEMONSTRATES THAT SUCH PROTECTION WOULD BE IMPRACTICAL. WHERE ELEVATION CHANGES ARE PROPOSED WITHIN THE TPZ OF ANY VENETIAN OR HERITAGE TREE. THE APPLICANT WILL BE REQUIRED TO INSTALL RETAINING WALLS AND/OR DRAIN TILES UNLESS THE APPLICANT DEMONSTRATES SUCH PROTECTION WOULD BE IMPRACTICAL. THESE ROOT PROTECTION MEASURES SHALL BE IN PLACE PRIOR TO THE DEPOSITION OF FILL, OR EXCAVATION OF SOIL WITHIN THE TPZ. TREE SPECIES' TOLERANCES FOR GRADE CHANGES, SIZE AND AGE WILL BE CONSIDERED WHEN LOCATING TREE WELLS AND RETAINING WALLS. TREE WELLS OR RETAINING WALLS WILL BE REQUIRED AS APPLICABLE WHEN GRADE CHANGES OF MORE THAN SIX INCHES ARE NEEDED WITHIN MORE THAN 20 PERCENT OF THE TPZ. TREE WELL AND RETAINING WALL DISTANCES FROM THE FACE OF THE TRUNK RANGE FROM 0.75 FEET FOR EACH ONE-INCH DBH FOR A CONSTRUCTION TOLERANT SPECIES TO 1<sup>1</sup>/<sub>2</sub> FEET FOR EACH ONE-INCH DBH OF MATURE OR LESS TOLERANT SPECIES. THE APPLICANT WILL BE REQUIRED TO PRESENT A REPORT BEARING THE SIGNATURE OF A CERTIFIED ARBORIST OR PROFESSIONAL LANDSCAPE ARCHITECT WITH A STATEMENT OF MINIMAL IMPACT DESIGN. THE APPLICANT MAY ALSO REQUEST A PRE-APPLICATION MEETING WITH THE CITY ARBORIST BEFORE SUBMITTING A DESIGN. RETAINING WALLS SHALL BE BUILT WITH POSTS OR PILINGS, SHALLOW AND SMALL FOOTERS OR FOOTERS OF STONE OR SAND TO LESSEN THE IMPACT OF CUT OR COMPACTED ROOTS. IN CASES WHERE GRADE CHANGES CAN BE ACCOMPLISHED WITH LESS THAN 20 PERCENT OF THE CRZ BEING IMPACTED, THE CHANGE SHOULD BE AS GRADUAL AND AS FAR FROM THE TRUNK FACE AS POSSIBLE WITH NO MORE THAN SIX INCHES OF FILL OVER 20 PERCENT OF THE TPZ. UNDER NO CIRCUMSTANCES WILL FILL BE ALLOWED OVER THE ROOT PLATE.
- F. THE CITY ARBORIST MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THIS CHAPTER.
- G. THE CITY ARBORIST MAY ALLOW CERTAIN ACTIVITIES TO BE CONDUCTED WITHIN THE BARRICADED TPZ, UPON A DETERMINATION THAT THE TREE WILL NOT BE ADVERSELY AFFECTED, SUCH AS DRIVEWAYS, SWIMMING POOL DECKS, AND PATIO PAVERS.
- H. IF TEMPORARY EQUIPMENT OR VEHICLE ACCESS INTO THE TPZ IS REQUIRED FOR CONSTRUCTION ACTIVITY, STEPS MUST BE TAKEN TO PROTECT THE TPZ FROM COMPACTION AND DAMAGE. FOR SHORT-TERM TEMPORARY ACCESS OF THREE WEEKS OR LESS, A SIX TO 12-INCH LAYER OF ORGANIC MULCH IN THE AREA OF ENCROACHMENT SHALL BE INSTALLED AND MAINTAINED. FOR LONGER PERIODS THE APPLICANT WILL BE REQUIRED TO INSTALL AND MAINTAIN A FOUR-INCH LAYER OF MULCH AND PLACE THREE-QUARTER-INCH PLYWOOD ON THE MULCH LAYER TO CREATE A PATH FOR EQUIPMENT OR VEHICLES. UNDER NO CIRCUMSTANCES SHOULD THESE ACCESS PATHS BE PLACED ON OR WHERE THEY MAY IMPACT THE ROOT PLATE. THE CITY ARBORIST SHALL BE INFORMED AND APPROVE OF ANY ALTERATIONS TO THE ORIGINAL APPROVED TREE PROTECTION PLAN. VIOLATIONS WILL BE SUBJECT TO FINES AND PENALTIES AS ESTABLISHED IN THE SCHEDULE OF FEES AND CHARGES PER SECTION 118-5.
- I. THE USE OF POSTS, PILINGS OR A SIMILAR SYSTEM SHALL BE USED AS THE CONSTRUCTION METHOD FOR STRUCTURES WITHIN THE TPZ. CONTINUOUS FOOTERS AND STEM WALLS SHALL NOT BE INSTALLED WITHIN THE TPZ UNLESS APPROVED BY THE DIRECTOR AND/OR DIRECTOR'S DESIGNEE. THESE POSTS OR PILINGS SHALL BE ENGINEERED ONLY AS LARGE AS NECESSARY TO SUPPORT THE PROPOSED STRUCTURE. ALL EFFORTS SHALL BE MADE TO REDUCE THE IMPACT TO LARGE ROOTS AND IN NO CIRCUMSTANCES SHOULD THE STRUCTURE ENCROACH ON THE ROOT PLATE OF A TREE.
- NO TRENCHES ARE PERMITTED WITHIN THE TPZ WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST. WITH APPROVAL OF THE CITY ARBORIST, HAND DUG TRENCHES MAY BE ALLOWED AND ROOTS PRUNED CLEANLY AS DIRECTED IN "ANSI A (300) PART 8, ROOT MANAGEMENT STANDARD." ALL EFFORTS SHOULD BE MADE TO BYPASS THE TPZ WITH UNDERGROUND UTILITIES AND IRRIGATION LINES UNLESS TUNNELING METHODS ARE USED A MINIMUM OF 36 INCHES BELOW THE EXISTING GRADE.
- K. SOIL VOLUMES—REQUIRED SOIL VOLUMES FOR TREES.
- K.1. LARGE CANOPY TREES, TALLER THAN 45 FEET IN HEIGHT:
- MINIMUM OPEN SOIL SPACE 300 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 900 CUBIC FEET TO A DEPTH NOT TO EXCEED K.1.1. 36 INCHES.
- K.1.2. NO CLOSER THAN FOUR FEET FROM ANY PAVEMENT OR CURBING.
- K.1.3. MINIMUM PLANTING SPACE WIDTH IS EIGHT FEET.
- MINIMUM UNCOMPACTED SOIL DEPTH 36 INCHES. K.1.4.
- K.2. MEDIUM CANOPY TREES, FROM 25 TO 45 FEET IN HEIGHT:
- MINIMUM OPEN SOIL SPACE 200 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 500 CUBIC FEET TO A DEPTH NOT TO EXCEED K.2.1. 36 INCHES.
- K.2.2. NO CLOSER THAN 36 INCHES FROM ANY PAVEMENT OR CURBING.

- NO CLOSER THAN 24 INCHES FROM ANY PAVEMENT OR CURBING.
- MINIMUM PLANTING SPACE WIDTH IS FOUR FEET.

K.2.3. MINIMUM PLANTING SPACE WIDTH IS SIX FEET. NECESSARY. MINIMUM UNCOMPACTED SOIL DEPTH 30 INCHES. K.2.4. Tree Location SMALL UNDERSTORY TREES, LESS THAN 25 FEET IN HEIGHT: K.3. –Tree Size (inches) and Type MINIMUM OPEN SOIL SPACE 100 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 200 CUBIC FEET TO A DEPTH NOT TO EXCEED K.3.1. 36 INCHES.  $^{\circ}$ 18 P K.3.2. K.3.3. MINIMUM UNCOMPACTED SOIL DEPTH 24 INCHES. K.3.4. K.4. EXCEPTIONS TO THE SPACE REQUIREMENTS FOR SOME INDIVIDUAL SPECIES MAY BE GRANTED BY THE CITY ARBORIST. L. THE FOLLOWING ARE METHODS TO ACHIEVE SOIL VOLUME REQUIREMENTS FOR STREET TREES IN OR NEAR SIDEWALKS, WITHIN PLAZAS AND PARKING LOTS: STRUCTURAL SOIL UNDER PAVEMENT. CU STRUCTURAL SOIL™ IS AN AGGREGATE SOIL DEVELOPED AND PATENTED BY CORNELL L.1. UNIVERSITY. CONSISTING OF A COMBINATION OF STONE AND SOIL PLUS ADDITIVES. THIS PRODUCT OR AN APPROVED EQUIVALENT PROVIDES A DBH HIGHLY COMPACTABLE MATERIAL THAT ALLOWS FOR ROOT GROWTH AND MAY BE USED UNDER PAVEMENT TO PROVIDE THE REQUIRED SOIL VOLUME FOR ROOT SPACE. SUSPENDED PAVEMENT. MODULAR SOIL CELL SYSTEMS DESIGNED TO BE ASSEMBLED AND PLACED UNDER PAVEMENT MAY BE USED TO PROVIDE L.2. ROOT SPACE. THESE SYSTEMS ARE DESIGNED TO SUPPORT THE PAVEMENT WEIGHT WHILE PROVIDING UNCOMPACTED SOIL VOLUME FOR TREE ROOTS. Figure 1 06-01-2021 CITY COMMENTS INI

- OTHER SOIL VOLUME SYSTEM DESIGNS MAY BE APPROVED BY THE DIRECTOR AND/OR DIRECTOR'S DESIGNEE. L.3.

Fig. C

Fig. B Max. 25'

BARRIER SPECIFICATIONS FOR NATURAL AREAS:

UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS OF 5-10'. FIG. C. OTHER METHODS OF DEMARCATION WILL BE CONSIDERED DEPENDING UPON THE CHARACTERISTICS OF THE SITE.

## WHY A BARRIER

- TO PROTECT ALL ABOVE GROUND PORTIONS OF TREES AND OTHER SIGNIFICANT VEGETATION FROM MECHANICAL DAMAGE.
- 2. TO PROTECT ROOT SYSTEMS FROM COMPACTION.
- 3. TO PROVIDE AWARENESS OF PROTECTED AREAS TO EQUIPMENT OPERATORS.

## WHY IT WORKS

A TREE'S CHANCE OF SURVIVAL IS GREATLY ENHANCED IF NO CONSTRUCTION MATERIAL, HEAVY EQUIPMENT OR STOCKPILING OF SOIL IS ALLOWED INSIDE THE BARRIER; ONLY HAND LABOR.

JOG FENCE AS NECESSARY TO MINIMIZE IMPACT TO PRESERVED TREES. AT ALL LOCATIONS WHERE IT IS LOCATED NEAR PRESERVED TREES, FLOAT FENCE OVER EXISTING TREE ROOTS. PLACE SO FACE OF FENCE IS MIN. 18" FROM TREE TRUNK. DO NOT LOCATE POSTS OR FOOTERS WITHIN CRITICAL ROOT ZONE.

TREES BY NATURE ARE IRREGULAR IN BOTH SHAPE AND SIZE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE SIZE IS DETERMINED AT DIAMETER AT BREAST HEIGHT. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT LOCATION. ALL TREE LOCATIONS

SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN. SEE THE FIGURE 1 BELOW. 3. DEAD AND/OR HAZARDOUS TREES REMAINING AFTER CLEARING WILL BE EVALUATED AND MAY BE REMOVED IF

AND NATURAL AREAS TO BE RETAINED ON A SITE.

NOTE: NO CONSTRUCTION ENCROACHMENT WITHIN TREE

ALL TREES SHOULD BE BARRICADED MEETING THE SPECIFICATIONS AS ILLUSTRATED

BARRICADE OR EROSION CONTROL AREAS.

ON THE ATTACHED DIAGRAM.

PROTECTIVE BARRIERS MUST BE ERECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION AND CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.

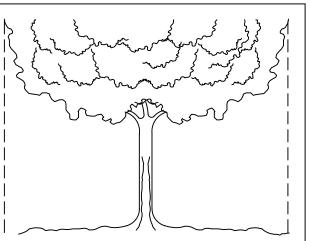
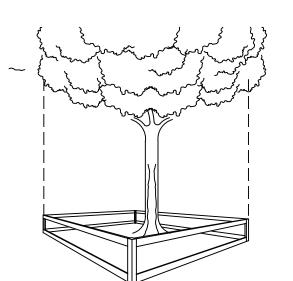
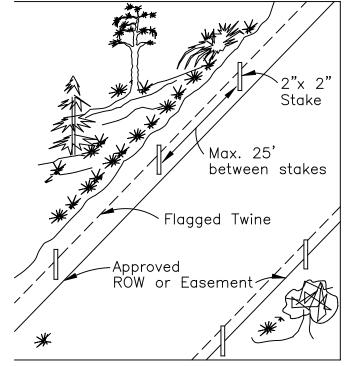
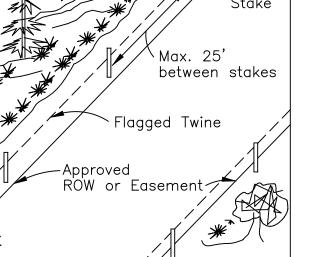
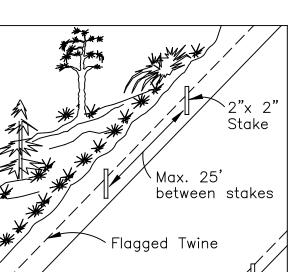


Fig. A

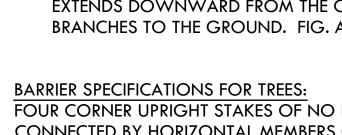








| BARRIER SPECIFICATIONS FOR TR |
|-------------------------------|
| FOUR CORNER UPRIGHT STAKES    |
| CONNECTED BY HORIZONTAL M     |
| LUMBER; OR UPRIGHT STAKES SP  |
| X 2" LUMBER CONNECTED BY SIL  |
| COMPARABLE DURABILITY. FIG. B |
|                               |
|                               |
|                               |



WITHIN THE DRIPLINE.

1. TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 4 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, IS PLACED AROUND THE TREE AT THE DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED

2. THE DRIPLINE OF A TREE IS THE IMAGINARY, VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND. FIG. A.

OF NO LESS THAN 2" X 2" LUMBER EMBERS OF NO LESS THAN 1" X 4" ACED AT 5' INTERVALS OF NO LESS 2" T SCREEN FABRIC OR MATERIAL OF

NATURAL AREAS - TO RESTRICT ACCESS INTO AREAS WHERE LAND

ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED, A PHYSICAL STRUCTURE NOT LESS THAN 4 FEET IN HEIGHT IS PLACED ALONG THE PERIMETER OF SUCH AREAS.





01-11-2021 REVIEW SUBMITTAL DATE DESCRIPTION REVISIONS

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

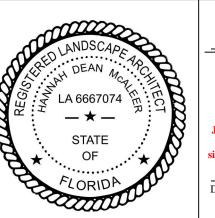
## TREE REMOVAL AND REPLACEMENT NOTES

- UNLESS OTHERWISE EXEMPT FROM THIS CHAPTER, A TREE PERMIT IS REQUIRED FOR ALL DEVELOPMENT AND ANY CHANGES TO PROPERTY INVOLVING THE REMOVAL OF PROTECTED TREES AND THE PRUNING OF HERITAGE TREES, VENETIAN TREES, AND CANOPY ROAD TREES. TREE PERMITS SHALL BE DISPLAYED AND LOCATED ON THE SUBJECT PROPERTY VISIBLE FROM THE ADJOINING ROAD OR EASEMENT PROVIDING ACCESS TO THE PROPERTY AND BE ACCESSIBLE BY CITY STAFF AT ALL TIMES FOR THE DURATION OF THE PERMIT.
- 2. THE COMPLETED APPLICATION ALONG WITH THE APPLICABLE FEE. AND ANY OTHER INFORMATION DEEMED APPROPRIATE BY THE DEVELOPMENT SERVICES DIRECTOR OR HIS DESIGNEE TO EFFECTUATE THE REVIEW OF THE APPLICATION CONSISTENT WITH THE REQUIREMENTS AND STANDARDS OF THIS CHAPTER.

TREE PROTECTION AND REPLACEMENT PLANS SHALL INCLUDE:

- 3.1. A COMPLETE TREE SURVEY AND INVENTORY OF PROTECTED TREES WITHIN THE SUBJECT PROPERTY OR PROJECT AREA FOR ALL DEVELOPMENT THAT IS NOT EXEMPT PURSUANT TO SECTION 118-7. THE SURVEY SHALL SHOW ALL PROTECTED TREES MEASURED FOUR-INCH DBH OR GREATER ON THE SUBJECT PROPERTY.
- 3.2. AN INVENTORY OF IDENTIFIED TREES BY TYPE AND SIZE (IN DBH).
- 3.3. A COPY OF THE SITE PLAN, SHOWING PROPOSED BUILDINGS, GRADING, STREETS, ACCESS WAYS, SIDEWALKS, HARDSCAPE, AND PROPOSED AND EXISTING UTILITIES.
- METHODS FOR TREE PROTECTION INCLUDING FENCING AND 3.4. RETAINING WALLS.
- 4. PRUNING OR TRIMMING OF TREES TO REMAIN ON SITE SHALL BE IN ACCORDANCE WITH ANSI 300A, 2001 AS AMENDED.
- 5. CREDIT FOR REPLACEMENT WILL BE GIVEN FOR TREES PLANTED IN ACCORDANCE WITH THE LANDSCAPE REQUIREMENTS.
- 6. INVASIVE OR EXOTIC SPECIES LOCATED WITHIN A PROJECT AREA SHALL BE REMOVED.
- PRIOR TO CLEARING AND GRUBBING, AND REMOVAL OF ANY TREE, 7. PRESERVED AREAS SHALL BE CLEARLY MARKED WITH 4' HT. MIN. BARRIERS TO CREATE A PROTECTED ZONE DURING CONSTRUCTION. THE BARRIER SHALL ENCOMPASS THE TREE'S DRIPLINE.
- WHERE NEEDED TO PROTECT PRESERVED TREES FROM EROSION, SILT BARRIERS, HAY BALES OR OTHER EROSION CONTROL SHALL BE REQUIRED.
- 19. TREES OUTSIDE OF GENERAL CONSTRUCTION ZONE TO BE PROTECTED WITH SILT FENCE BARRIER OR METHOD AS DESCRIBED IN CIVIL ENGINEERING PLANS.
- 20. TREES WITHIN GENERAL CONSTRUCTION ZONE TO BE PROTECTED WITH FENCE AND SILT FENCE BARRIER AS SHOWN IN DETAIL THIS SHEET.
- 21. NO STORAGE, MOVEMENT, OR CLEANING OF EQUIPMENT, MATERIAL OR DEBRIS SHALL BE PLACED WITHIN THE PROTECTED ZONE.
- 22. NO EXCAVATION SHALL OCCUR WITHIN PROTECTED ZONE.
- 23. NO FIRE BURNING SHALL BE ALLOWED WITHIN 30' OF THE PROTECTED ZONE.
- 24. WHEN TUNNELING OR TRENCHING FOR UTILITIES IS ALLOWED IN PROTECTED ZONES, IT SHALL BE DONE IN ACCORDANCE WITH THE "TREE AND PROTECTION FOR BUILDERS AND DEVELOPERS, AS AMENDED AND PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. TRENCHING SHALL OCCUR NO CLOSER TO THE TREE'S TRUNK THAN 2/3 OF THE DRIP LINE RADIUS.

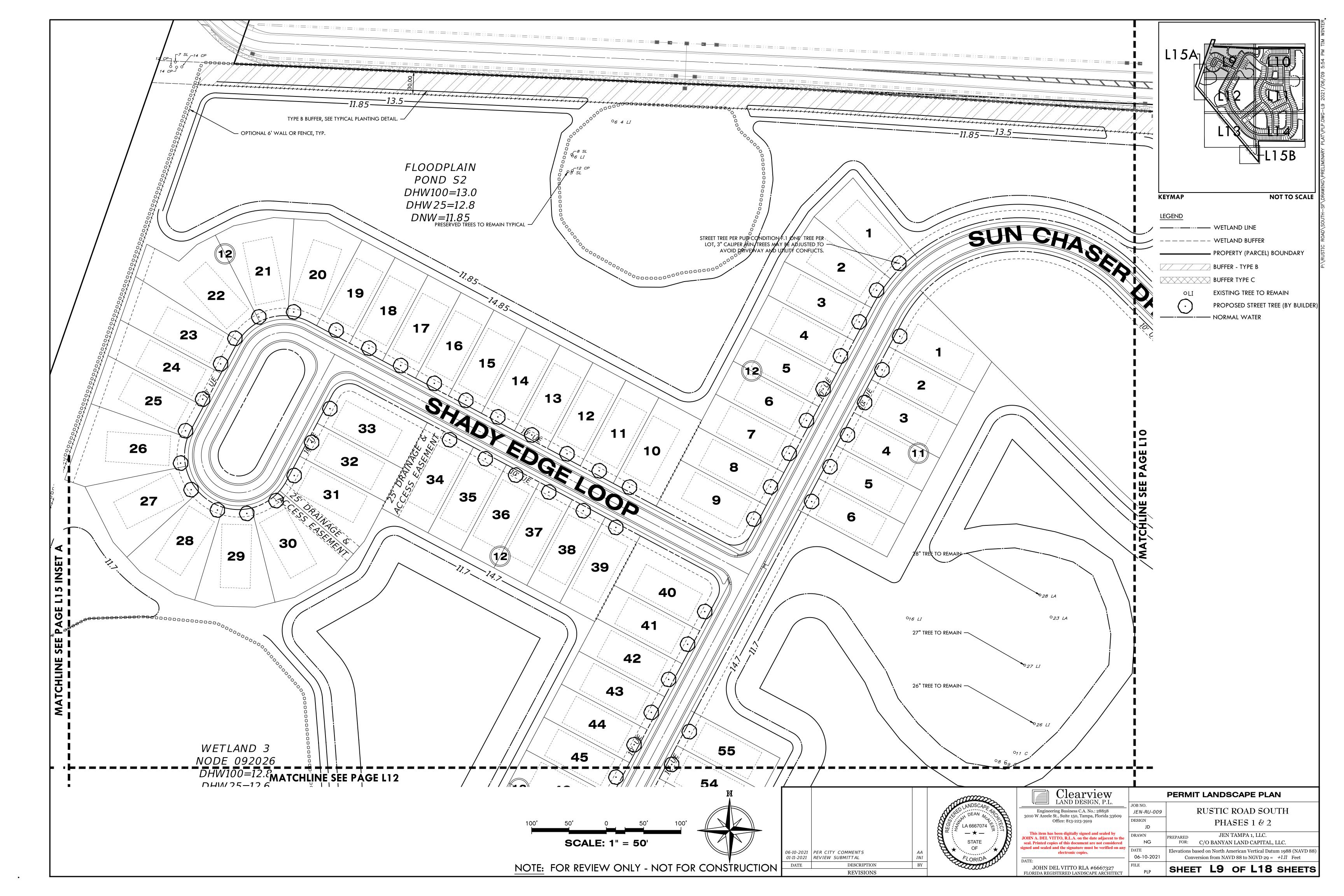
| TREE C                                 | REDITS |
|--|--------|
| NATIVE TREES < 24" DBH<br>(1:1 CREDIT) | 3,217" |
| NATIVE TREES > 24"<br>(2:1 CREDIT)     | 410"   |
| TOTAL RETAINED CREDIT                  | 3,627" |

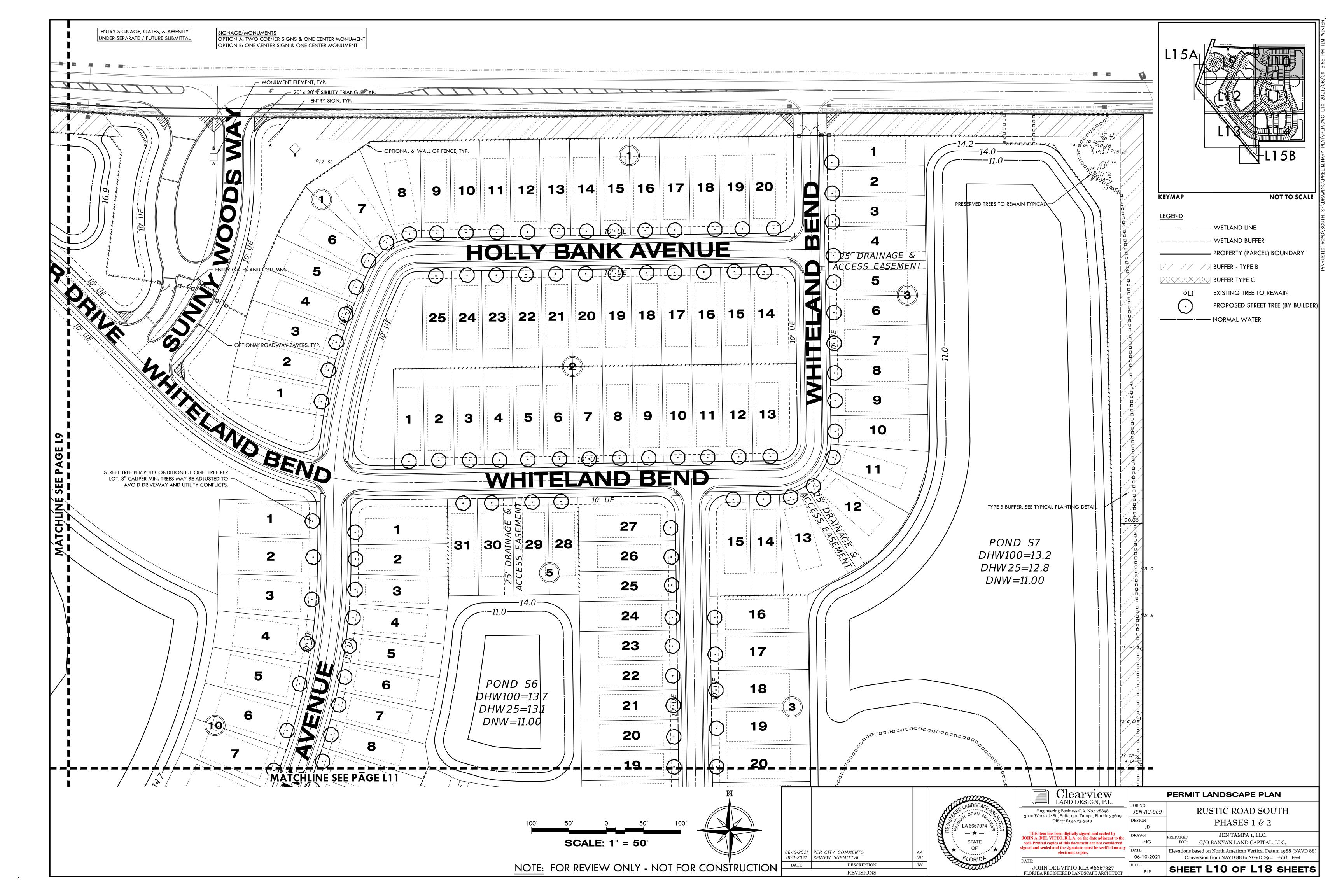


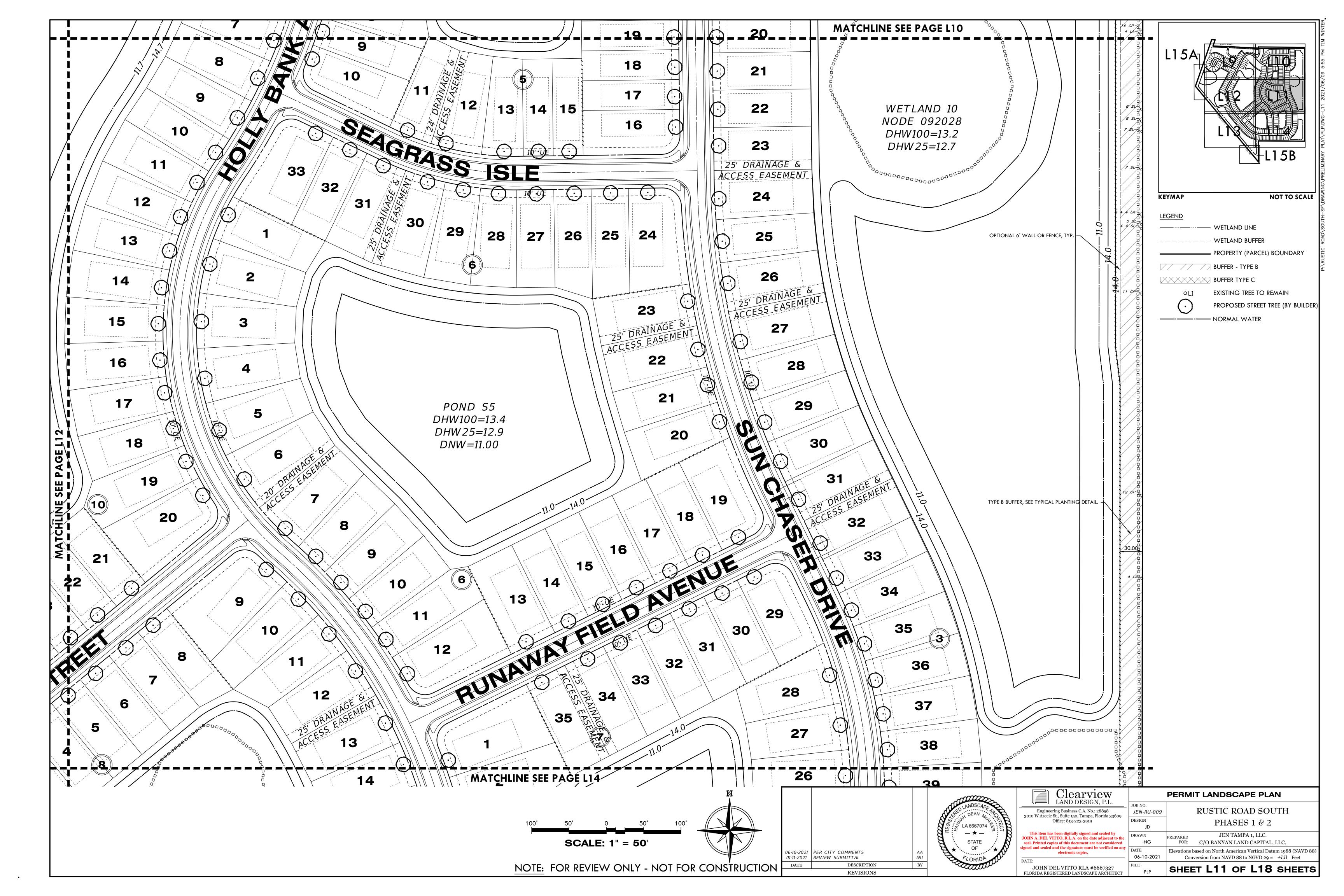
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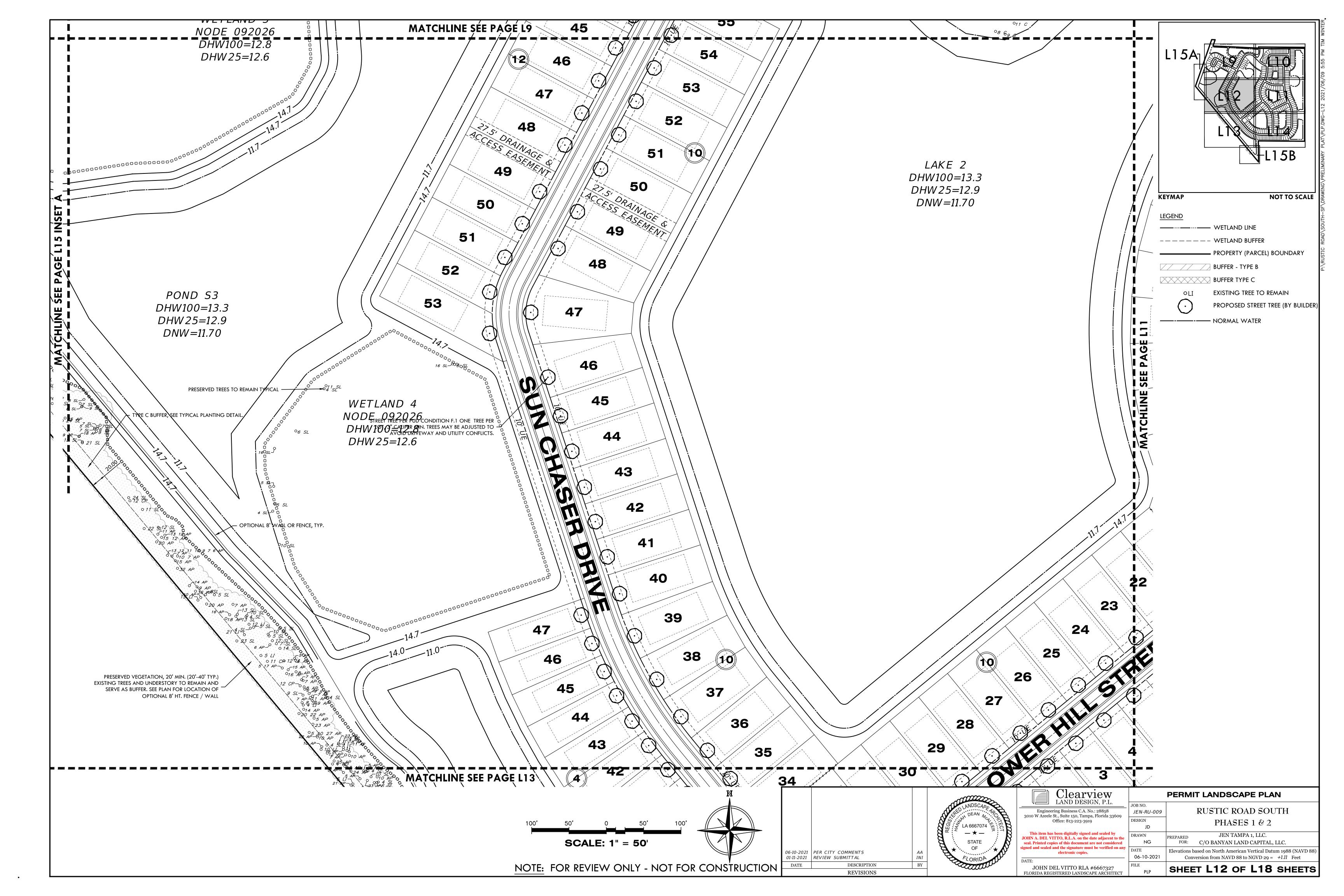
|             | <b>Clearview</b><br>LAND DESIGN, P.L.  |                                       | TREE REMOVAL PLAN   |
|-------------|--|---------------------------------------|---|
| A CHINE COL | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609<br>Office: 813-223-3919   | JOB NO.<br>JEN-RU-009<br>DESIGN<br>JD | RUSTIC ROAD SOUTH<br>PHASES 1 & 2   |
|             | This item has been digitally signed and sealed by<br>JOHN A. DEL VITTO, R.L.A. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>NG                           | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
|             | signed and sealed and the signature must be verified on any<br>electronic copies.  | DATE<br>06-10-2021                    | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD 29 = $+1.11$ Feet |
|             | JOHN DEL VITTO RLA #6667327<br>FLORIDA REGISTERED LANDSCAPE ARCHITECT  | FILE<br>TRP                           | SHEET L8 OF L18 SHEETS  |

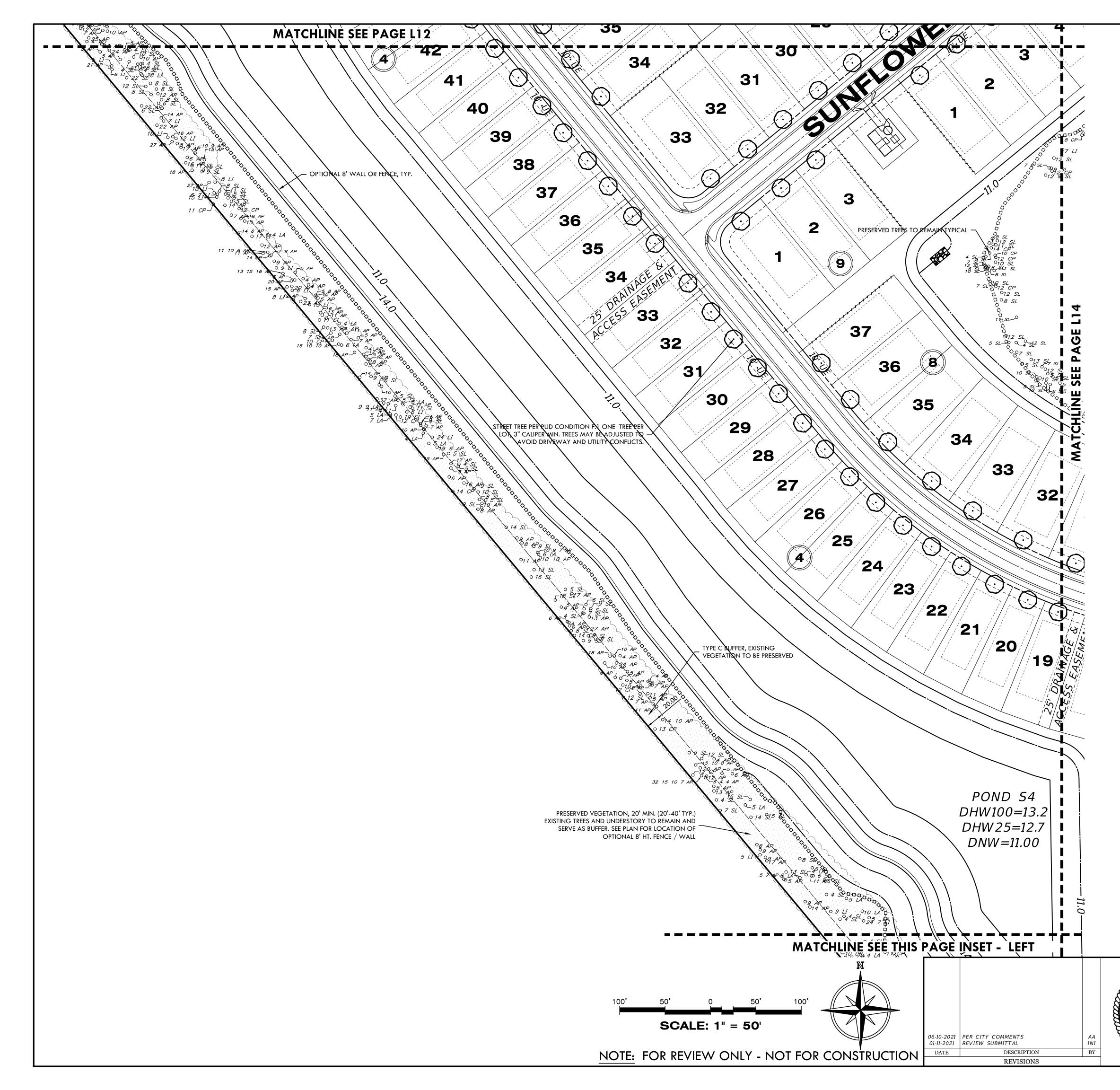
PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES

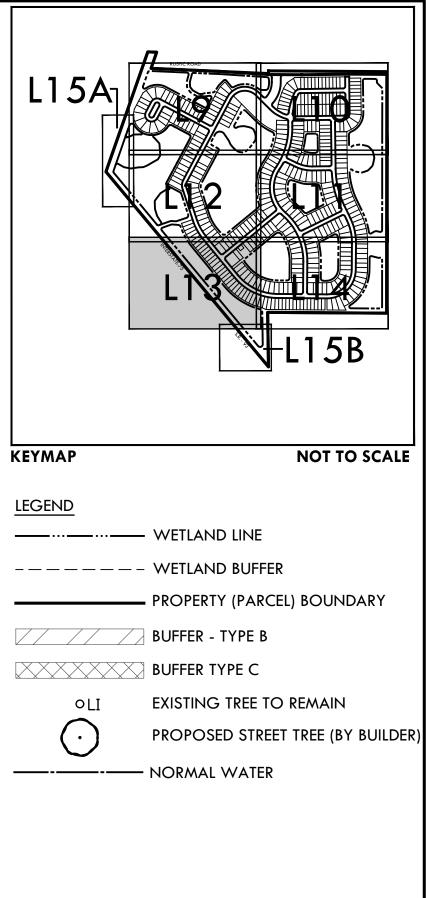




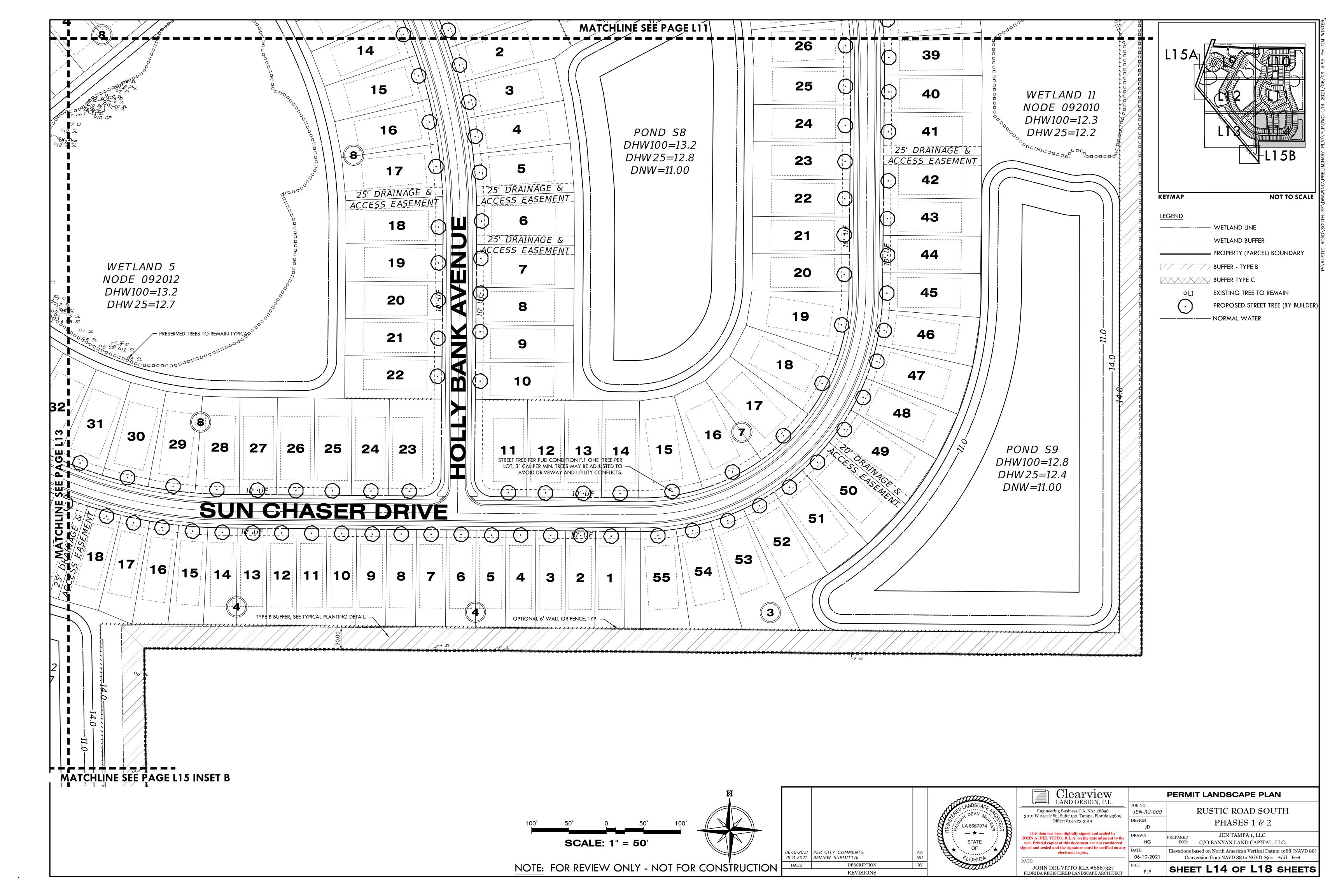


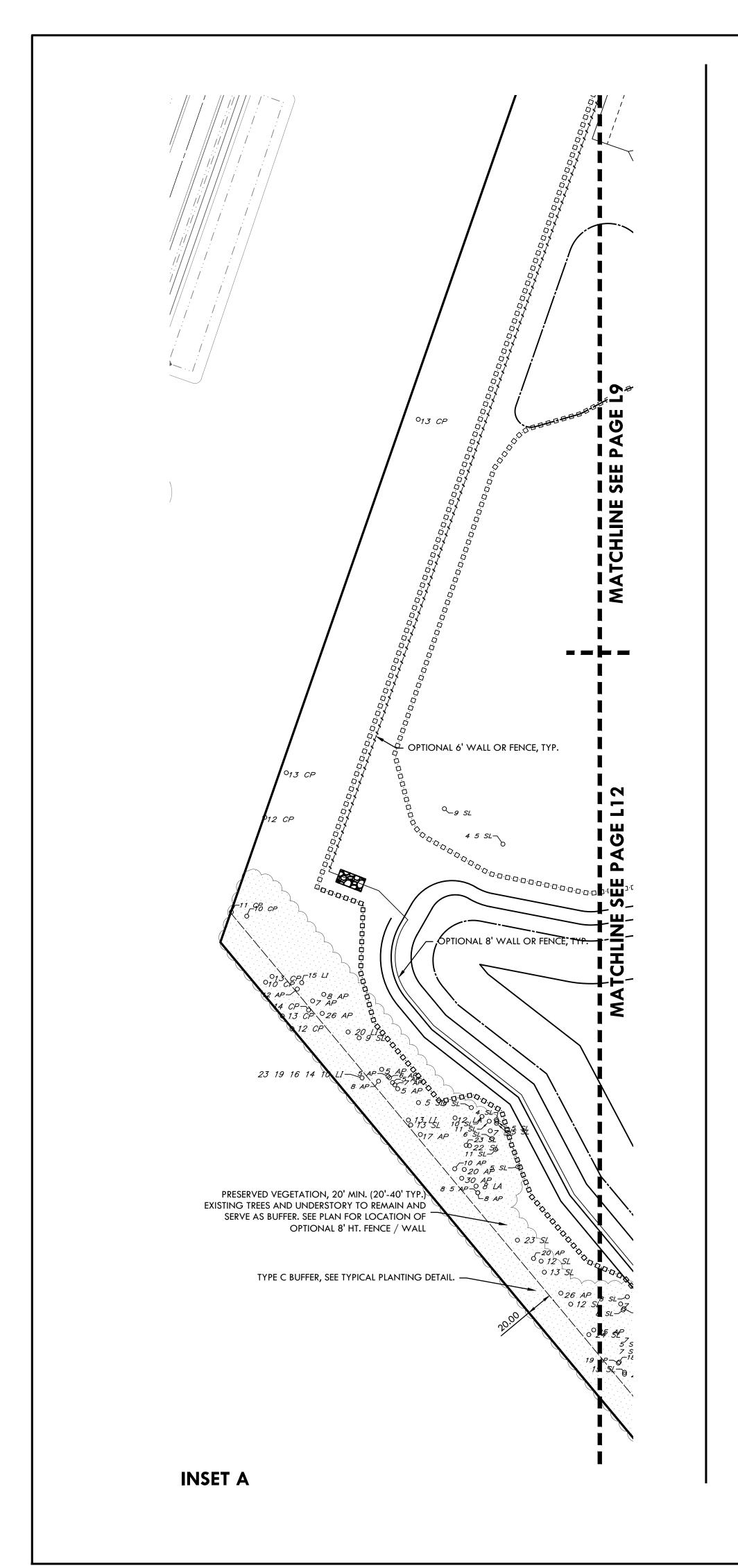


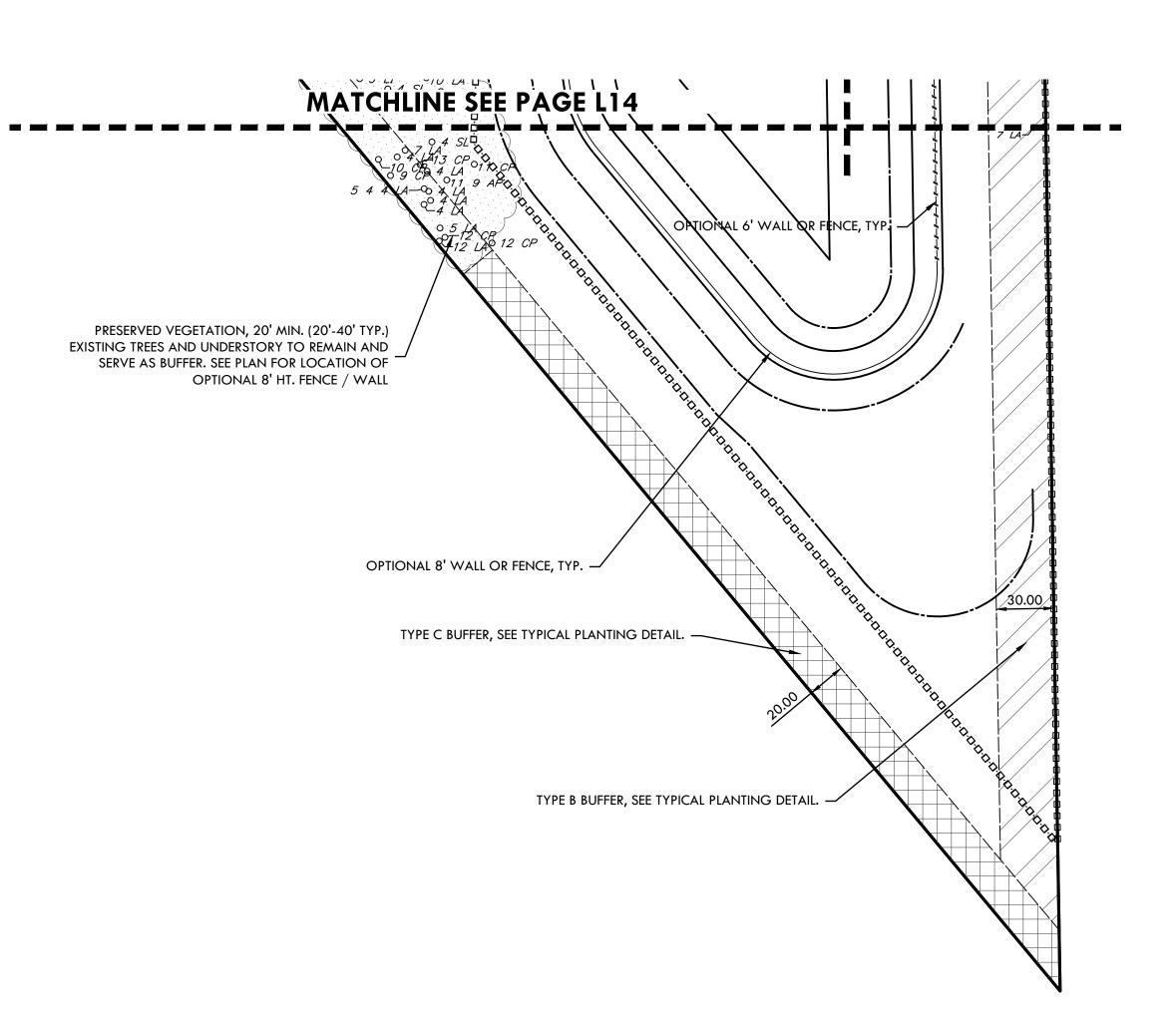




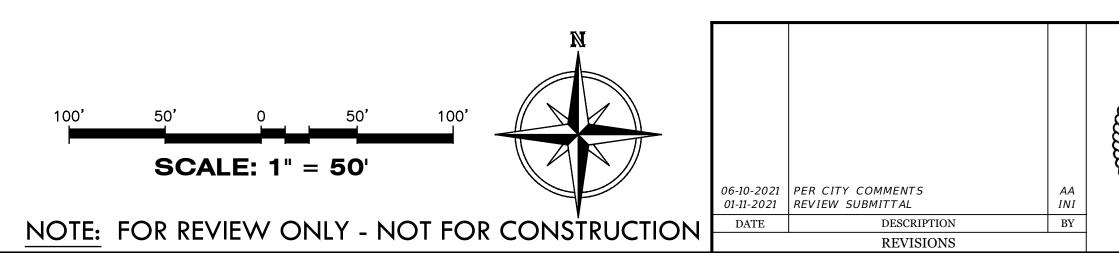
|                  | <b>Clearview</b><br>LAND DESIGN, P.L.  |                              | PERMIT LANDSCAPE PLAN   |
|------------------|--|------------------------------|---|
| CRED LANDSCADE   | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609   | JOB NO.<br><i>JEN-RU-009</i> | RUSTIC ROAD SOUTH   |
| SOUTH LA 6667074 | Office: 813-223-3919   | DESIGN<br>JD                 | PHASES 1 & 2  |
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| a contraction    | JOHN DEL VITTO RLA #6667327<br>FLORIDA REGISTERED LANDSCAPE ARCHITECT  | FILE<br>PLP                  | SHEET L13 OF L18 SHEETS   |

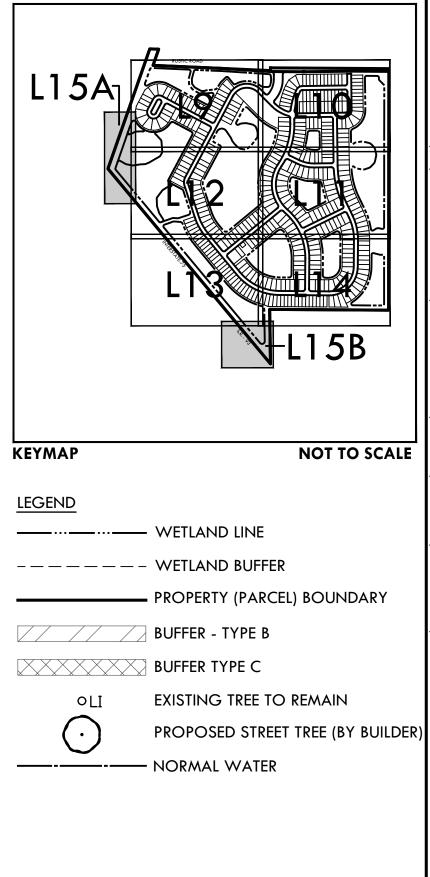




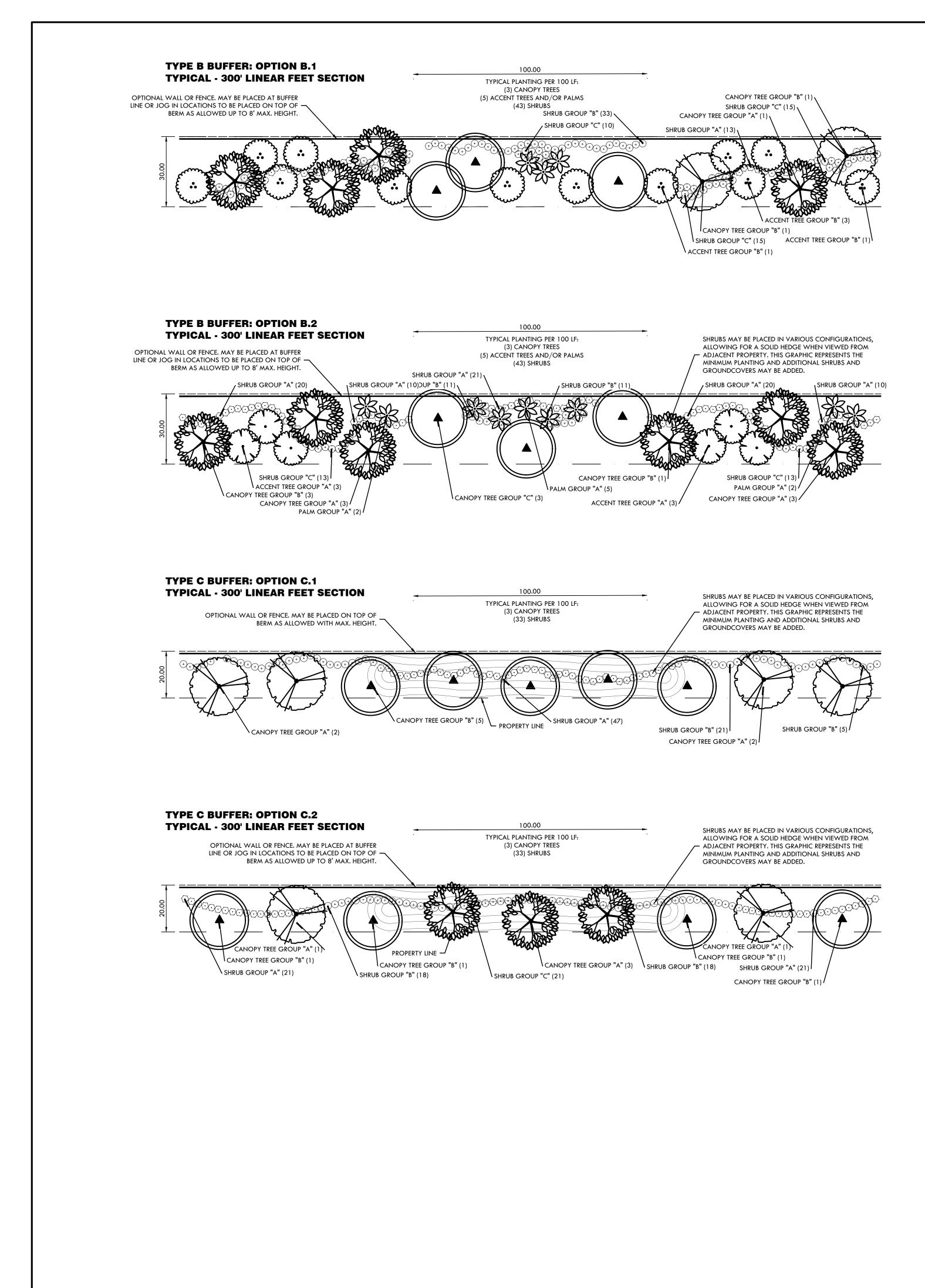


**INSET B** 





|  | <b>Clearview</b><br>LAND DESIGN, P.L.   |                                 | PERMIT LANDSCAPE PLAN   |
|--|---|---------------------------------|---|
| RED LANDSCADA  | Engineering Business C.A. No.: 28858<br>3010 W Azeele St., Suite 150, Tampa, Florida 33609                        | JOB NO.<br>JEN-RU-009<br>DESIGN | RUSTIC ROAD SOUTH   |
| LA 6667074 FER   | Office: 813-223-3919  | JD                              | PHASES 1 & 2  |
|  | JOHN A. DEL VITTO, R.L.A. on the date adjacent to the<br>seal. Printed copies of this document are not considered | DRAWN<br>NG                     | PREPARED JEN TAMPA 1, LLC.<br>FOR: C/O BANYAN LAND CAPITAL, LLC.  |
| FLORIDA DA   | signed and sealed and the signature must be verified on any<br>electronic copies.                                 | DATE<br>06-10-2021              | Elevations based on North American Vertical Datum 1988 (NAVD 88)<br>Conversion from NAVD 88 to NGVD $29 = +1.11$ Feet |
| Common of the second se | JOHN DEL VITTO RLA #6667327<br>FLORIDA REGISTERED LANDSCAPE ARCHITECT   | FILE<br>PLP                     | SHEET L15 OF L18 SHEETS   |



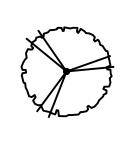
## **CONCEPT PLANT SCHEDUL**

#### EXISTING TREE

#### CANOPY TREE GROUP "A"

- Canopy Trees with Spreading Crown - `Shady Lady` Black Olive
- West Indian Mahogany
- Live Oak





CANOPY TREE GROUP "B" Deciduous Canopy Trees

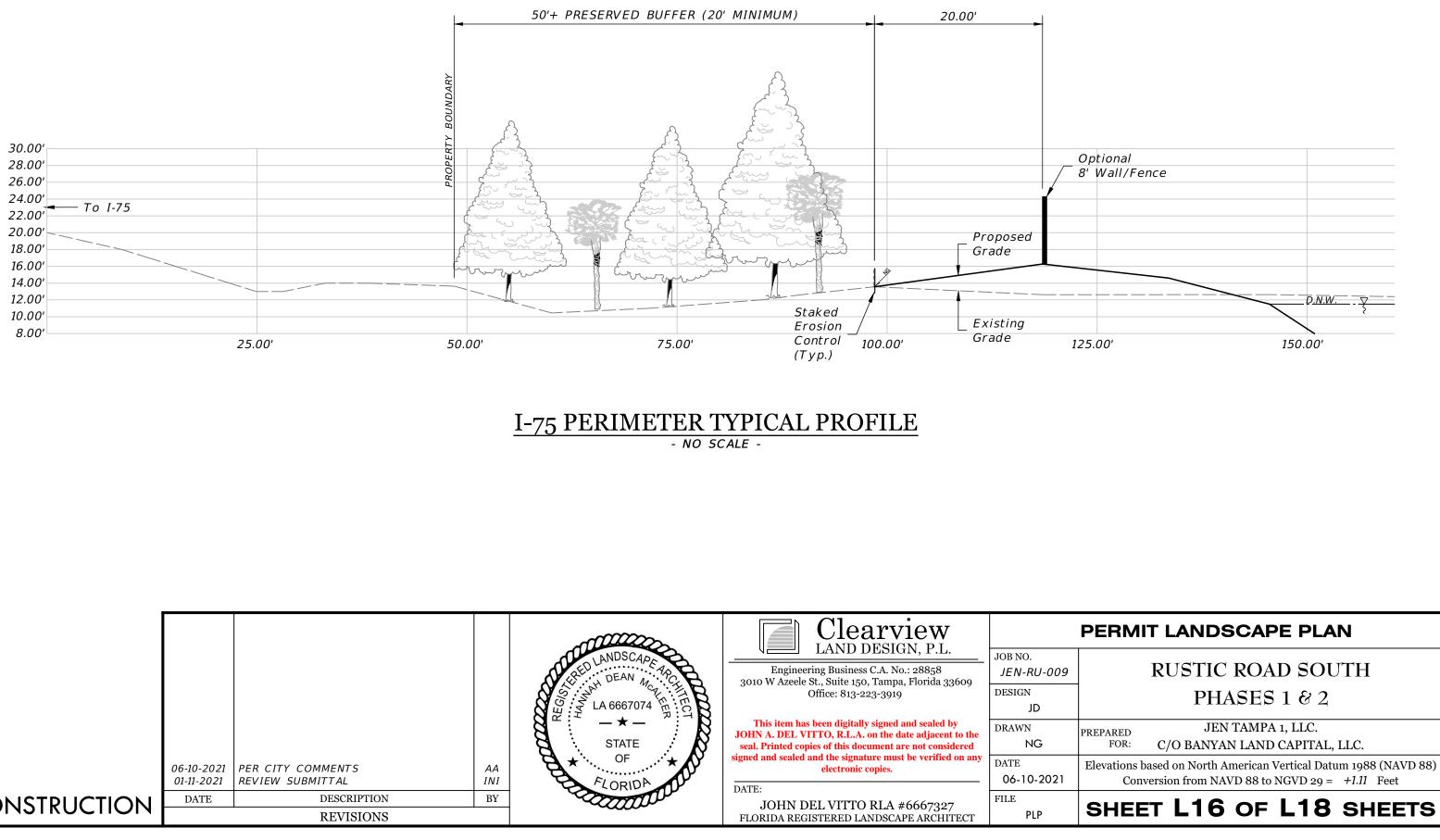
- Red Maple
- Sweet Gum
- Shumard Oak
- Bald Cypress - Pond Cypress
- American Elm
- Chinese Elm -

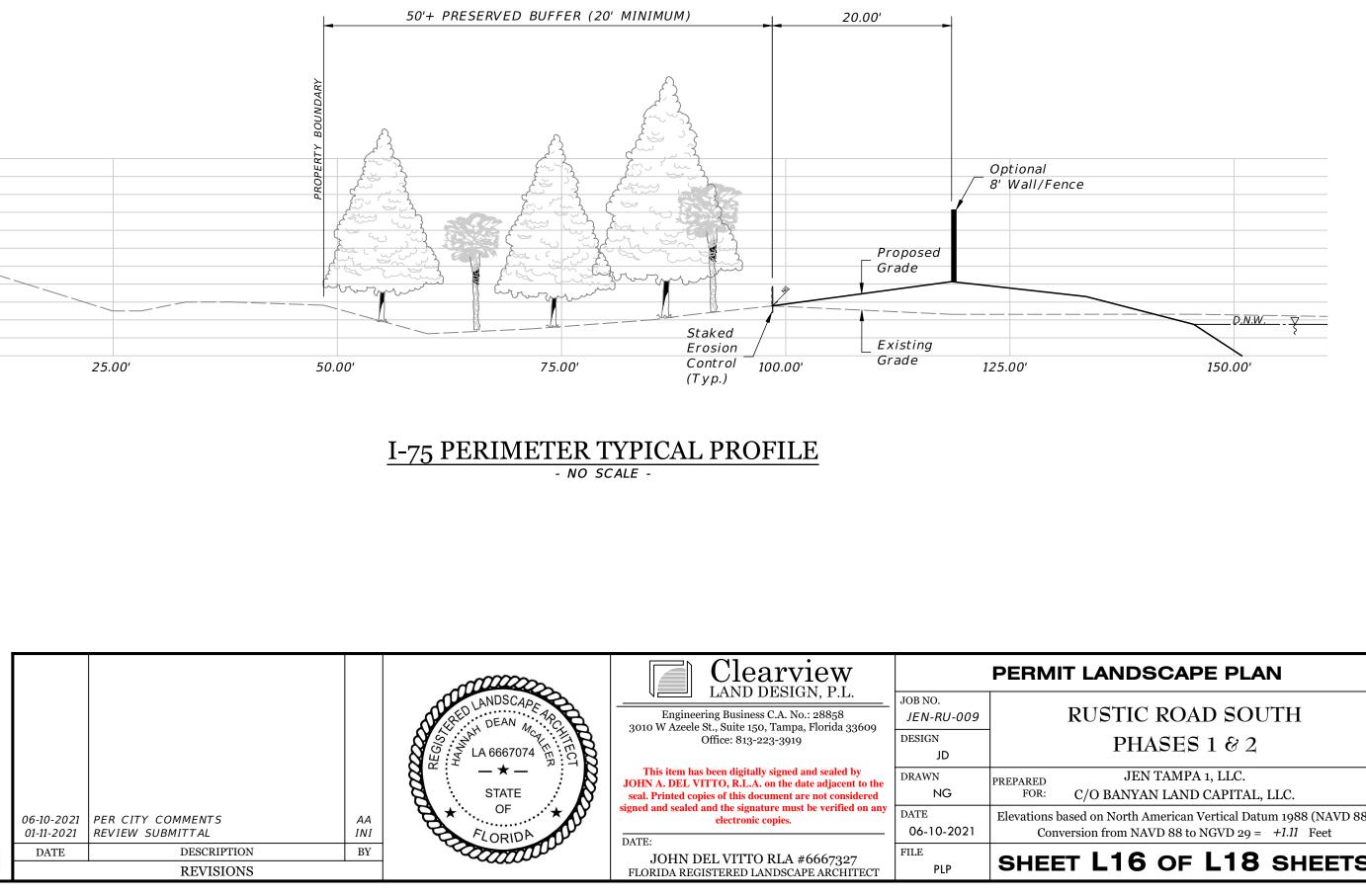
CANOPY TREE GROUP "C" Evergreen Canopy Tree, Full to Ground and Conifers

- Japanese Blueberry
- Southern Magnolia - Southern Red Cedar
- South Florida Slash Pine
- Long Leaf Pine

ACCENT TREE GROUP "A" **Evergreen Full to Ground** UnderstoryTrees - Spanish Stopper

- Little Gem Magnolia
- Dahoon Holly





# NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

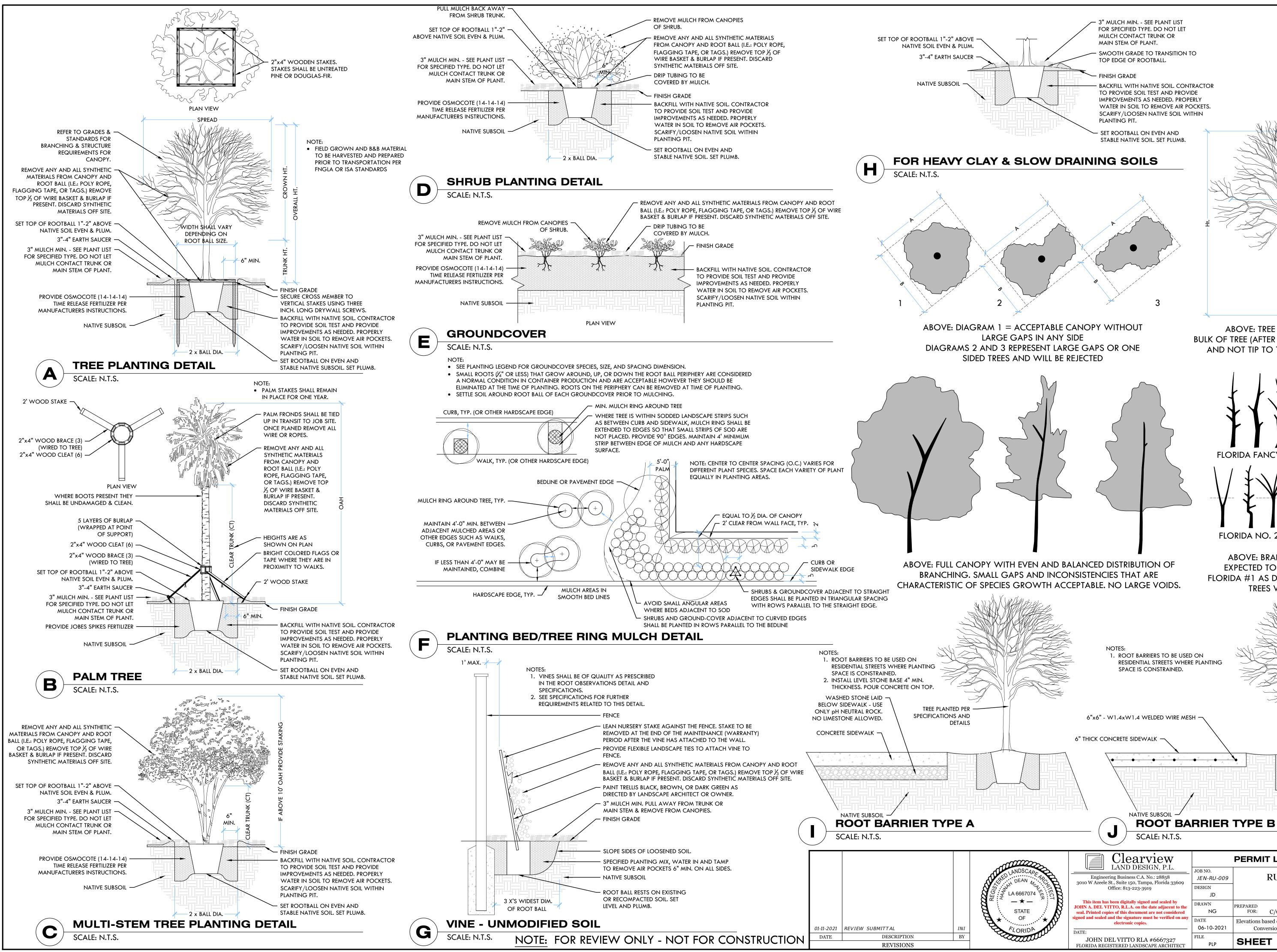
| در                      | ACCENT TREE GROUP "B"<br>Spreading Crown Multi-Trunk<br>Understory Trees<br>- Silver Buttonwood | <b>BUFFER NOTES:</b>   |
|-------------------------|---|--|
|                         | - Pineapple Guava<br>- Yaupon Holly<br>- Weeping Yaupon Holly<br>- Crape Myrtle<br>- Ligustrum  | <u>TYPE B BUFFER:</u><br>1. A fence or wall up to 8' in height may be                                      |
|                         | _   | <ul><li>added and is optional.</li><li>Where wall/fence is provided, plantings to</li></ul>                |
| 502                     | PALM GROUP "A"<br>Palmate Leaved Palms  | be placed on outside of wall/fence betwee<br>wall/fence and property line.                                 |
| ZP                      | - Sabal Palm<br>- Washington Palm<br>- Royal Palm   | 8. Fence/wall, where provided, may jog to b  |
|                         | -   | <ul><li>placed atop berm where co-located.</li><li>9. Where existing trees are retained in buffe</li></ul> |
|                         |   | they may count toward tree requirement.  |
| $\langle \cdot \rangle$ | SHRUB GROUP "A"<br>Evergreen Hedge  | 10. Where overhead utilities are present, tree   |
|                         | - Florida Privet  | may be substituted and planted in<br>accordance with trees approved by the                                 |
|                         | - Florida Anise<br>- Simpson`s Stopper<br>- Wild Coffee<br>- Watler`s Viburnum                  | governing utility company.   |
|                         | -   | TYPE C BUFFER:   |
|                         |   | 1. Existing trees/vegetation shall remain whe  |
| (+)                     | SHRUB GROUP "B"<br>Texture Accent Hedge   | possible to satisfy required buffer planting<br>2. The height of berm may range between                    |
|                         | - Red Tip Cocoplum<br>- Silver Butonwood  | 0'-10' per approved zoning.  |
|                         | - Pineapple Guava<br>- Texas Sage   | 3. Where provided within 20' buffer, berm v  |
|                         | - Awabuki Viburnum<br>-   | typically be 33% slope max. for a 2.8'   |
|                         |   | height berm with 3' flat planting space on top of berm.  |
| (°)                     | <u>SHRUB GROUP "C"</u><br>Color Accent Hedge<br>- Copperleaf                                    | <ol> <li>No buffer shall be required where existing wetlands are to remain.</li> </ol>                     |
|                         | - Butterfly Bush<br>- Firebush  | 5. No berming to be proposed in areas wher   |
|                         | - Loropetalum<br>-  | existing vegetation is being saved to meet buffering.  |
|                         |   | <ol> <li>To extent possible, shrubs required for<br/>screening are to be placed on top of bern</li> </ol>  |
|                         |   | <ol> <li>Along I-75, a fence or wall up to 8' in heiç<br/>may be added and is optional.</li> </ol>         |
|                         |   | 8. Fence/wall, where provided, may jog to b  |
|                         |   | placed atop berm where co-located.<br>9. Existing vegetation may be utilized to mee<br>buffering.          |

| CIT      | Y OF VENICE STANDARD LANDSCAPE NOTES:   | three inches shall<br>2. Irrigation Systems                      |                                  |
|----------|---|--|----------------------------------|
| 1.       | This Landscape Plan is for permitting purposes only. Additional trees, shrubs, groundcovers, and landscape materials may be added for aesthetic or environmental benefits. Additional landscape shall comply with City of Venice  |  | s shall h<br>ds and <sup>,</sup> |
| 2.       | requirements and standards.<br>No reference to engineering or survey shall be made from this Landscape Plan.  | 3. Sprinklers and ro   |                                  |
| 3.       | JEN TAMPA 1, LLC. and/or successors shall be responsible for maintenance of all landscaped areas.   | and nonvegetate  |                                  |
| 4.<br>5. | All materials shall be Florida #1 or better quality as per most current publication of "Grades and Standards for<br>Nursery Plants," Florida Department of Agriculture and Consumer Services.<br>Trees.   | percent to 100 p<br>Sprinklers and ro<br>4. Reclaimed or othe    | tors wil                         |
| J.       | <ul> <li>Trees utilized to meet requirements of the code shall be chosen from the Master Tree Species List provided in</li> </ul>   |  |                                  |
|          | <ul> <li>Section 118-13 of the City of Venice Land Development Regulations.</li> <li>All replacement canopy trees shall be a minimum of 2.5" caliper measured no closer than six inches from the</li> </ul>   |  | ystems                           |
|          | <ul> <li>ground.</li> <li>All replacement understory trees shall be a minimum of 1.5" caliper measured no closer than six inches from the ground.</li> </ul>  | permanent irrigat<br>In-line pressure re<br>6. A Rain Sensing Sl | egulato                          |
|          | <ul> <li>Trees utilized to meet minimum landscape requirements shall be a minimum of ten feet in overall height and<br/>four feet in spread and a minimum of three inches in diameter measured six inches above the ground<br/>immediately after planting.</li> </ul>   | sufficient rainfall.<br>irrigation cycle of<br>unobstructed natu | . Said e<br>f the sp             |
|          |   | 7. Where reuse wat development.                                  |                                  |
|          | canopy trees are not suitable, as reasonable determined by the director and/or director's designee in the   | 8. All new constructi<br>Temporary or pe                         |                                  |
|          | <ul> <li>area to be planted.</li> <li>Where ten or more trees are to be planted, no single species shall constitute more than 50 percent of the</li> </ul>  | SIGHT VISIBILITY NO  | TEC                              |
|          | <ul> <li>total replacement planting.</li> <li>No more than 25 of the required tree plantings may be of the Pinus (commonly referred to as pine) species.</li> </ul>   |  |                                  |
| 6.       | Palms:  | level between 2.   |                                  |
|          | <ul> <li>(Cabbage palm) Sabal Palmetto may be planted at a rate equivalent to three palms to one required tree<br/>(2<sup>1</sup>/<sub>2</sub> tree inches). Other Florida-Friendly palm species may be proposed at the same three to one ratio for<br/>approval of the city arborist.</li> </ul>   | intersection of ea<br>feet in length from<br>provided that tre   | m the p<br>es havi               |
|          | <ul> <li>Palms shall not constitute more than 25 percent of the required tree inches. It is not the intent of this restriction to prevent the planting of additional palm trees in excess of the required tree inches.</li> </ul>   | n cross-visibility are<br>structure or lands                     |                                  |
| 7.       | Shrubs and hedge plants. Shrubs shall be a minimum of two feet in height when measured immediately after  | edge of any acce   | ess-way                          |
|          | planning. Hedge plants, where required, shall be planted for more man mile reer on center, and manualied so as  | 2. When the subject a corner lot, in ar                          |                                  |
| 8.       | to form a continuous, unbroken, solid visual screen within a maximum of one year after time of planting.<br>Vines shall be a minimum of 30 inches in height immediately after planting and may be used in conjunction with  | materially obstrue   | ct visior                        |
|          | fences, screens or walls to meet physical barrier requirements as specified.  | streets shall be en  |                                  |
| 9.       | Ground covers in lieu of grass in whole or in part shall be planted in such a manner as to present a finished appearance and reasonably complete coverage and shall be used with a decorative mulch such as pine or cypress   | corner lots and a<br>of the right-of-wo                          | -                                |
|          | bark or other material of a similar nature.   | posts (but not ope   | -                                |
| 10.      | Lawn grass. Grass areas shall be planted in species normally grown in permanent lawns in the city area. Grass   |  |                                  |
|          | areas may be sodded, plugged, sprigged or seeded; except that solid sod shall be used in swales or other areas<br>subject to erosion. In areas where other than solid sod or grass seed is used, nurse grass seed shall be sown for   |  |                                  |
|          | immediate effect and protection until coverage is otherwise achieved.   |  |                                  |
| 11.      | Required planting materials shall be appropriate for the USDA Hardiness Zone for the specific location where they are to be planted.  |  |                                  |
|          | Trees and shrubs shall be drought tolerant species.   |  |                                  |
| 13.      | <ul> <li>Existing Vegetation.</li> <li>The retention of "existing vegetation" shall be maximized within the proposed landscaping, parking and</li> </ul>  | REG  |                                  |
|          | <ul> <li>buffer areas. When retaining existing vegetation within the landscape buffer area, only clearing methods that do not disturb the root structure shall be allowed within the dripline of tree canopies.</li> <li>Existing trees may be used to meet the landscape requirements. For the purpose of meeting requirements, existing palms shall not be considered trees.</li> </ul>                                   | PROJECT  | AREA                             |
| 14.      | Design, Installation and Establishment Standards.   |  |                                  |
|          | <ul> <li>All landscape shall be installed in accordance with Florida chapter, International Society of Arboriculture<br/>Standards for Planting and Florida Nursery Growers and Landscape Association.</li> <li>Location of plants and design of landscaping, including maintenance, shall be according to sound landscape</li> </ul>   | REQUIRED   | ) TREE                           |
|          | and horticultural principles.   | REQUIRED   | ) TRFF                           |
|          | <ul> <li>Trees of species whose roots are known to cause damage to public roadways or other public works shall not<br/>be planted closer than six feet to such public works, unless the tree root system is completely contained within<br/>a barrier for which the minimum interior dimensions shall be five feet square and five feet deep, and for</li> </ul>  |  |                                  |
|          | which the construction requirements shall be four-inch-thick concrete reinforced with #6 wire mesh (six by six  | REQUIRE  | D MIN                            |
|          | <ul> <li>by six) or equivalent. All trees shall be approved by the zoning administrator.</li> <li>Tree and shrub installation and establishment shall follow the guidelines provided in the current edition of the ANSI A300 Planting Standards (American Standards Institute). All Container Stock requires root ball</li> </ul>   |  |                                  |
|          | <ul> <li>All landscape buffer areas shall have non-compacted coarse loam that is a minimum of 12 inches deep. Soils</li> </ul>  | 5  |                                  |
|          | shall be appreciably free of gravel, stones, rubble or trash, except where structural soils have been approved by the City of Venice. All compacted soil, contaminated soil or roadbase fill shall be removed. Under no circumstances shall soils with greater than five percent or less than 0.5 percent organic matter be   |  |                                  |
|          | <ul> <li>All new planting beds and trees shall be mulched with 2"-3" natural material mulch.</li> </ul>   | SITE PLAN  |                                  |
|          | <ul> <li>Remove mulch from canopies of shrubs and properly tuck in mulch along planting bed edges. Smooth all lines between turf and mulch to eliminate jagged edges.</li> </ul>  |  |                                  |
|          | • Do not pile mulch around the base of tree trunks or shrubs. Provide a 3' diameter mulch ring around planted trees that are not contained within a planting bed.   |  |                                  |
| 15.      | Nuisance Landscape.   | STREET   | I REE2                           |
|          | <ul> <li>Harmful nuisance trees and shrubs shall be excluded from any landscaping plan and shall be removed from<br/>the developed portions of project.</li> </ul>  |  |                                  |
|          | <ul> <li>Such species include those listed by Florida Exotic Pest Plant Council (FLEPPC).</li> </ul>  |  |                                  |
| 16       | <ul> <li>Invasive species shall not be planted to fulfill landscape requirements.</li> <li>Maintenance Responsibility.</li> </ul>   | TYPE B B   | UFFEF                            |
| 10.      | <ul> <li>The responsibility for maintenance of a required landscape buffer shall remain with the owner of the property, his or her successors, heirs, assignees or any consenting grantee.</li> </ul>   |  |                                  |
|          | <ul> <li>All plantings shall be maintained in an attractive and healthy condition.</li> </ul>   |  |                                  |
|          | <ul> <li>Maintenance shall include, but not be limited to, watering, mulching, fertilizing and pest management,<br/>mowing, weeding, removal of litter and dead plant material, and necessary pruning and trimming, which<br/>includes structural pruning as specified in ANSI A300 Part 1, current edition.</li> </ul>   | ТҮРЕ С В   | UFFEF                            |
|          | <ul> <li>Buffers shall be kept free of nuisance and invasive species.</li> </ul>  |  |                                  |
|          | <ul> <li>Landscaping and landscaped areas shall present a healthy, neat and orderly appearance, free from refuse and debris.</li> <li>Dead or dying plant materials shall be promptly removed and replaced by materials meeting the</li> </ul>  | TYPE C B<br>(EXISTI  |                                  |
|          | requirements of this subdivision.   |  |                                  |
|          | <ul> <li>A water source shall be supplied within 50 feet of any planting requiring continuing watering.</li> <li>Where nonnative or non-drought tolerant native vegetation is incorporated into the plan, irrigation systems shall meet the standards for water efficient landscapes.</li> </ul>  | REMAIN<br>MITIGATIO  |                                  |
| 17.      | Residential Lots.   |  |                                  |
|          | <ul> <li>For all single- and two-family residential uses on individually platted lots, a minimum of one third of the required front yard area shall be planted with lawn grass, ground cover or shrubs and hedge plants.</li> <li>Per PUD Condition F.1, each lot shall plant one (1) street tree, placed within or adjacent to the right of way. Street trees to be 3" caliper minimum at time of installation.</li> </ul> |  |                                  |

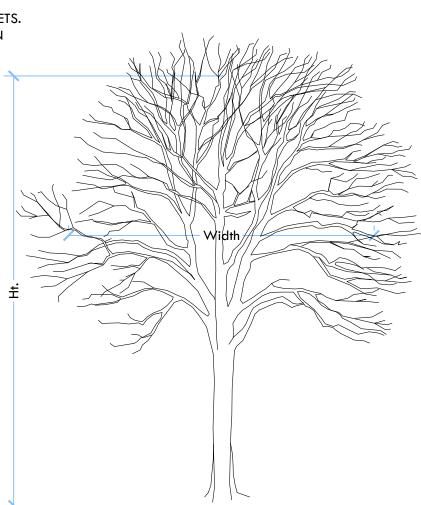
PERMIT IRRIGATION NOTES: Plants with similar water requirements shall be irrigated on the same zone. Installed trees and other vegetation shall be spaced and located to accommodate their mature size on the site and not interfere with irrigation spray patterns of coverage. No plants shall be planted under roof overhangs. When utilizing organic Mulch a minimum depth of

| hall be des<br>hall have se  |  |  |  |  |   |   |
|--|--|--|--|--|---|---|
| hall have se   | in Plant Beds and around individual tre  | •  |  | TREE PLANTING LIST   |   |   |
| and vegeta   | ÷  | ffective use of water to the Landscaped Area.<br>es for independent operation. Turfgrass areas,  | TREE TYPE  | SPECIES SELECTION  | SPECIFICATION/SIZE  |   |
| -  | table gardens shall be irrigated on sep<br>spray from Irrigation Systems shall be a  | arate irrigation zones from tree, shrub, and<br>applied under roof overhanas.  |  | Red Maple / Acer rubrum  |   |   |
| rs for Turf o  | areas shall be installed so as to minimiz  | e overspray onto paved surfaces, structures,   | STREET TREE - Canopy Trees.  | Green Buttonwood, Standard / Conocarpus erectus  |   |   |
| cent. (A pa  | attern of 100 percent overlap would re   | perate at their designed overlap pattern of 75 present head-to-head coverage). Pop-up  | Provided by Builder. 1 per Lot.  | Japanese Blueberry / Elaeocarpus decipens  | 2" enliner / 10'  |   |
|  | be mixed in the same zone.<br>le water source shall be used for irrigat  | ion if available. If the water supply for the  | Placed within right of way or behind walk. See plan. Locations   | Southern Magnolia / Magnolia grandiflora   | 3" caliper / 10'<br>height x 4' spread  |   |
| from a wel   | ell, a Constant Pressure Flow Control de   | vice or Pressure Tank with adequate capacity   | to be adjusted for driveways and utilities.  | Live Oak / Quercus virginiana  |   |   |
| -  | pump "cycling".<br>have low volume Emitters shall be requi   | red for tree, shrub and Ground Cover beds if   |  | American Elm / Ulmus americana   |   |   |
|  | led for these areas. A "Y" type Filter sh<br>reduce pressure to no more than 15 P.S  | all be installed at the head end of such systems.  |  | Chinese Elm / Ulmus parvifolia   |   |   |
| off Device   | e shall be required on automatic Irrigati  | on Systems to avoid irrigation during periods of   |  | 'Shady Lady' Black Olive / Bucida buceras  |   |   |
|  |  | g device or switch which will override the<br>ccurred. It must be placed where it is exposed to  | CANOPY TREE GROUP "A"<br>Canopy Trees with Spreading   | West Indian Mahogany / Swietenia mahagoni  |   |   |
| l rainfall.  | ,  |  | Crown  | Live Oak / Quercus virginiana  |   |   |
| is availab   | ole from, the developer shall be require   | d to install reuse lines throughout the  |  | Royal Poinciana / Delonix regia  |   |   |
|  | dings shall connect to available reuse lin<br>tificate of Occupancy.   | es (if applicable) prior to issuance of  |  | Red Maple / Acer rubrum  |   |   |
|  |  |  |  | Sweetgum / Liquidambar styraciflua   | 3" caliper / 10'<br>height x 4' spread  |   |
| 5.   |  |  |  | Shumard Oak / Quercus shumardii  |   |   |
| •  |  | ng shall provide unobstructed cross-visibility at a  | CANOPY TREE GROUP "B"  | Bald Cypress / Taxodium distichum  |   |   |
| feet and ten feet within the areas of property on both sides of an access-way formed by the<br>n side of the access-way and public right-of-way lines, with two sides of each triangle being ten |  |  | Deciduous Canopy Trees   | Pond Cypress / Taxodium ascendens  |   |   |
|  |  | a line connecting the ends of the two other sides;<br>er that no limbs or foliage extend into the  |  |  |   |   |
| shall be al  | Illowed, provided they are located so c  | as not to create a traffic hazard. No buffer,  |  | American Elm / Ulmus americana   |   |   |
| way pave   | ement.   | Il not be located closer than three feet to the  |  | Chinese Elm / Ulmus parvifolia   |   |   |
| operty ab  | buts the intersection of two or more pub   | lic rights-of-way, the following shall apply: On<br>ge or other planting or structure that will  |  | Japanese Blueberry / Elaeocarpus decipens  |   |   |
| ision betw   | ween a height of $2\frac{1}{2}$ and ten feet above   | e the centerline grades of the intersecting  |  | Southern Magnolia / Magnolia grandiflora   |   |   |
|  | •  | rea formed by the right-of-way lines at such<br>which are 20 feet distant from the intersection  | CANOPY TREE GROUP "C"<br>Evergreen Canopy Tree, Full to  | Southern Red Cedar / Juniperus silicicola  | 3" caliper / 10'  |   |
| ines and r   | measured along the right-of-way lines.   | Clear tree trunks, signposts, lampposts, fence   | Ground & Conifers  |  | height x 4' spread  |   |
| ; rences)  | and the like are exempt from this requ   |  |  | South Florida Slash Pine / Pinus elliottii 'Densa'   |   |   |
|  |  |  |  | Long Leaf Pine / Pinus palustrus   |   |   |
|  |  |  |  | Spanish Stopper / Eugenia foetida  |   |   |
|  |  |  | ACCENT TREE GROUP "A" -  | Little Gem Magnolia / Magnolia grandiflora 'Little Gem'  | <sup>1</sup> <sup>1</sup> / <sub>2</sub> " caliper / 5'-6'<br>height x 2'-3' spread   |   |
|  |  | NOTES  | Understory Tree  |  | height x 2'-3' spread   |   |
| RED 7  | TREE MITIGATION  | 1. REFER TO TREE REMOVAL PLANS FOR DETAILS OF RETAINED TREE  |  | Dahoon Holly / Ilex cassine  |   |   |
|  |  | CREDIT.<br>2. RETAINED TREES COUNTED TOWARD REPLACEMENT CREDIT ARE   |  | Silver Buttonwood Tree/ Conocarpus erectus 'Sericeus'  |   |   |
| EA   | 151.5 AC   | NATIVE SPECIES.  |  | Pineapple Guava Tree / Feijoa sellowiana   | 1 <del>1</del> "-2" caliper/ 5'-6'  |   |
|  |  | 3. WHERE PALMS ARE PLANTED IN LIEU OF ACCENT TREES AS  | ACCENT TREE GROUP "B" -  | Yaupon Holly / Ilex vomitoria  | height x 3'-4'  |   |
| EES  | 40 INCHES PER ACRE = $(0.00)$  | ALLOWED BY PUD CONDITION E IN TYPE B BUFFERS, 3 PALMS SHALL EQUAL 2.5".  | Spreading Crown, Multi-Trunk   | · · · · · ·  | spread/Multi-trunk,<br>Min. $\frac{1}{2}$ " caliper per   |   |
|  | 6,060"   | 4. FUTURE PARK LANDSCAPE MAY BE ADDED TO AMENITY SITE WITH   | Understory Tree  | Weeping Yaupon Holly / Ilex vomitoria 'Pendula'  | trunk, Equally sized  |   |
| REES   |  | FINAL DESIGN.  |  | Crape Myrtle / Lagerstroemia indica  | trunks  |   |
| ES)(*)   | 194 INCHES(*)  | 5. ADDITIONAL TREES, SHRUBS, AND GROUNDCOVERS MAY BE   |  | Ligustrum Tree / Ligustrum japonicum   |   |   |
|  |  | ADDED TO ENHANCE LANDSCAPE AREAS.<br>6. HERITAGE TREE INCHES APPROXIMATE AND TO BE DETERMINED  |  | Sabal Palm / Sabal palmetto  |   |   |
| NN.  | 6,254"   |  | FINAL ARBORIST REPORT.   | Mexican Fan Palm / Washingtonia robusta  | 10' CT Min.   |   |
|  |  | 7. REMAINING REQUIRED MITIGATION TREES WILL BE SELECTED FROM   | PALM GROUP "A"   |  | Staggered Heights in<br>Groups  |   |
|  |  |  |  |  |   |   |
|  |  | THE COV MASTER TREE SPECIES LIST AND PROVIDED AT THE   |  | Royal Palm / Roystonea regia   |   |   |
|  |  | THE COV MASTER TREE SPECIES LIST AND PROVIDED AT THE<br>AMENITY CENTER AND COMMON AREAS.   |  | Royal Palm / Roystonea regia   |   |   |
|  | TREE PLANTING  | AMENITY CENTER AND COMMON AREAS.   |  |  |   |   |
|  |  | AMENITY CENTER AND COMMON AREAS.   |  | <b>BUFFERING / SCREENING SHRUBS</b>  |   |   |
| REA  | TREE PLANTING  | AMENITY CENTER AND COMMON AREAS.   | SHRUB TYPE   | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION  | SPECIFICATION/SIZE  |   |
| REA  |  | AMENITY CENTER AND COMMON AREAS.   | SHRUB TYPE   | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata   |   |   |
|  | LANDSCAPE REQUIREMENT  | AMENITY CENTER AND COMMON AREAS. <b>SCHEDULE</b> QUANTITY REQUIRED       QUANTITY PROVIDED         400 LOTS X 1 PER LOT       400 TREES @3" CAL  |  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum  | SPECIFICATION/SIZE  |   |
|  | LANDSCAPE REQUIREMENT  | AMENITY CENTER AND COMMON AREAS.   | SHRUB GROUP "A" - Evergreen<br>Hedge   | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans  |   |   |
|  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1   | AMENITY CENTER AND COMMON AREAS.         SCHEDULE         QUANTITY REQUIRED       QUANTITY PROVIDED         400 LOTS X 1 PER LOT       400 TREES @3" CAL         = 400 TREES       1,200 INCHES         210 TREES @ 3" CAL =   | SHRUB GROUP "A" - Evergreen  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa  | SPECIFICATION/SIZE  |   |
| ES   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5   | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 \text{ LOTS X 1 PER LOT} = 400 \text{ TREES}$ $400 \text{ TREES @ 3" CAL} = 1,200 \text{ INCHES}$ $6,990 \text{ LF } \pm = 210$ $210 \text{ TREES @ 3" CAL} = 630 \text{ INCHES} + 1000 \text{ INCHES}$  | SHRUB GROUP "A" - Evergreen  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum   | SPECIFICATION/SIZE  |   |
| ES   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF  | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES$ $400 TREES @ 3" CAL = 1,200 INCHES$ $6,990 LF \pm = 210$<br>CANOPY TREES + 350 $210 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL$  | SHRUB GROUP "A" - Evergreen  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa  | SPECIFICATION/SIZE  |   |
| ES   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5   | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 \text{ LOTS X 1 PER LOT} = 400 \text{ TREES}$ $400 \text{ TREES @ 3" CAL} = 1,200 \text{ INCHES}$ $6,990 \text{ LF } \pm = 210$ $210 \text{ TREES @ 3" CAL} = 630 \text{ INCHES} + 1000 \text{ INCHES}$  | SHRUB GROUP "A" - Evergreen<br>Hedge   | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing   |   |
| ES   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E   | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 \text{ LOTS X 1 PER LOT}$ $400 \text{ TREES @3" CAL}$ $400 \text{ LOTS X 1 PER LOT}$ $400 \text{ TREES @3" CAL}$ $= 400 \text{ TREES}$ $210 \text{ TREES @ 3" CAL} =$ $6,990 \text{ LF } \pm 210$ $210 \text{ TREES @ 3" CAL} =$ $6,990 \text{ LF } \pm 210$ $350 \text{ TREES @ 1.5" CAL}$ $= 525 \text{ INCHES} + 350$ $= 525 \text{ INCHES} =$ $= 1,155 \text{ INCHES TOTAL}$   | SHRUB GROUP "A" - Evergreen  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'   | SPECIFICATION/SIZE  |   |
| REA<br>ES<br>FER   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF  | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 \text{ LOTS X 1 PER LOT}$ $400 \text{ TREES @3" CAL}$ $= 400 \text{ TREES}$ $400 \text{ TREES @3" CAL}$ $= 400 \text{ TREES}$ $210 \text{ TREES @3" CAL}$ $6,990 \text{ LF } \pm = 210$ $210 \text{ TREES @3" CAL} = 630 \text{ INCHES} + 350 \text{ TREES } + 350 \text{ TREES } = 525 \text{ INCHES}$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'  | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height  |   |
| ES<br>FER<br>FER   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF  | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT$ $400 TREES @ 3" CAL$ $400 LOTS X 1 PER LOT$ $400 TREES @ 3" CAL$ $= 400 TREES$ $210 TREES @ 3" CAL =$ $6,990 LF \pm = 210$ $210 TREES @ 3" CAL =$ $6,990 LF \pm = 210$ $350 TREES @ 1.5" CAL$ $= 525 INCHES$ $= 1,155 INCHES TOTAL$ $460 LF \pm = 14$ $14 TREES @ 3" CAL$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana  | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height  |   |
| ES<br>FER<br>FER<br>FER  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E   | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES400 TREES @3" CAL = 1,200 INCHES400 LOTS X 1 PER LOT = 400 TREES210 TREES @3" CAL = 630 INCHES6,990 LF \pm = 210CANOPY TREES \pm 350ACCENT TREES210 TREES @ 3" CAL = 630 INCHES \pm 350 TREES @ 1.5" CAL = 525 INCHES= 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @3" CAL = 42 INCHES2,360 LF \pm = 71MET WITH EXISTING$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens  | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height  |   |
| ES<br>FER<br>FER   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E   | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY PROVIDEDQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES$ $400 TREES @ 3" CAL = 1,200 INCHES$ $6,990 LF \pm = 210$<br>CANOPY TREES $\pm 350$<br>ACCENT TREES $210 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @ 3" CAL = 42 INCHES$   | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge  | BUFFERING / SCREENING SHRUBS         SPECIES SELECTION         Florida Privet / Forestiera segregata         Florida Anise / Illicium floridanum         Simpson's Stopper / Myrcianthes fragrans         Wild Coffee / Psychotria nervosa         Walter's Viburnum / Viburnum obovatum         'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'         Silver Buttonwood / Conocarpus erectus 'Sericeus'         Pineapple Guava Tree / Feijoa sellowiana         Texas Sage / Leucophyllum frutescens         'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'         Copperleaf / Acalypha wilkesiana   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing  |   |
| ES<br>=ER<br>=ER<br>=ER  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES400 TREES @3" CAL = 1,200 INCHES6,990 LF \pm = 210CANOPY TREES + 3500ACCENT TREES210 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @3" CAL = 630 INCHES + 350 TREES @1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @3" CAL = 42 INCHES2,360 LF \pm = 71CANOPY TREESMET WITH EXISTINGVEGETATION$   | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture  | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens<br>'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'<br>Copperleaf / Acalypha wilkesiana<br>Butterfly Bush / Buddleia spp.   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height  |   |
| ES<br>=ER<br>=ER<br>=ER<br>-)<br>G   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS.SCHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES400 TREES @3" CAL = 1,200 INCHES400 LOTS X 1 PER LOT = 400 TREES210 TREES @3" CAL = 630 INCHES6,990 LF \pm = 210CANOPY TREES \pm 350ACCENT TREES210 TREES @ 3" CAL = 630 INCHES \pm 350 TREES @ 1.5" CAL = 525 INCHES= 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @3" CAL = 42 INCHES2,360 LF \pm = 71MET WITH EXISTING$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color                 | BUFFERING / SCREENING SHRUBS         SPECIES SELECTION         Florida Privet / Forestiera segregata         Florida Anise / Illicium floridanum         Simpson's Stopper / Myrcianthes fragrans         Wild Coffee / Psychotria nervosa         Wild Coffee / Psychotria nervosa         Walter's Viburnum / Viburnum obovatum         'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'         Silver Buttonwood / Conocarpus erectus 'Sericeus'         Pineapple Guava Tree / Feijoa sellowiana         Texas Sage / Leucophyllum frutescens         'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'         Copperleaf / Acalypha wilkesiana         Butterfly Bush / Buddleia spp.         Firebush / Hamelia patens   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing   |   |
| ES<br>ER<br>ER<br>ER<br>ER   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS. <b>A SCHEDULE</b> QUANTITY PROVIDEDQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES$ $400 TREES @ 3" CAL = 1,200 INCHES$ $400 LOTS X 1 PER LOT = 400 TREES$ $210 TREES @ 3" CAL = 630 INCHES + 350 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 1414 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 1414 TREES @ 3" CAL = 42 INCHES2,360 LF \pm = 71MET WITH EXISTING VEGETATION77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color                 | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens<br>'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'<br>Copperleaf / Acalypha wilkesiana<br>Butterfly Bush / Buddleia spp.   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing   |   |
| FER<br>FER<br>FER  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS. <b>A SCHEDULE</b> QUANTITY PROVIDEDQUANTITY REQUIREDQUANTITY PROVIDED $400 \text{ LOTS X 1 PER LOT} = 400 \text{ TREES}$ $400 \text{ TREES @ 3" CAL} = 1,200 \text{ INCHES}$ $6,990 \text{ LF } \pm = 210$<br>CANOPY TREES $\pm 350$<br>ACCENT TREES $210 \text{ TREES @ 3" CAL} = 630 \text{ INCHES } \pm 350 \text{ TREES @ 1.5" CAL} = 525 \text{ INCHES} = 1,155 \text{ INCHES TOTAL}$ $460 \text{ LF } \pm = 14$<br>CANOPY TREES $14 \text{ TREES @ 3" CAL} = 42 \text{ INCHES}$ $2,360 \text{ LF } \pm = 71$<br>CANOPY TREESMET WITH EXISTING<br>VEGETATION $77 \text{ TREES @ 3" CAL} = 77 \text{ CAL} = 77 \text{ TREES @ 3" CAL} = 77 \text{ CAL} = 77 $ | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color                 | BUFFERING / SCREENING SHRUBS         SPECIES SELECTION         Florida Privet / Forestiera segregata         Florida Anise / Illicium floridanum         Simpson's Stopper / Myrcianthes fragrans         Wild Coffee / Psychotria nervosa         Wild Coffee / Psychotria nervosa         Walter's Viburnum / Viburnum obovatum         'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'         Silver Buttonwood / Conocarpus erectus 'Sericeus'         Pineapple Guava Tree / Feijoa sellowiana         Texas Sage / Leucophyllum frutescens         'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'         Copperleaf / Acalypha wilkesiana         Butterfly Bush / Buddleia spp.         Firebush / Hamelia patens   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing   |   |
| ES<br>=ER<br>FER<br>FER  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS.S CHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES @ 3" CAL = 1,200 INCHES400 LOTS X 1 PER LOT = 400 TREES @ 3" CAL = 1,200 INCHES6,990 LF \pm = 210CANOPY TREES + 350ACCENT TREES210 TREES @ 3" CAL = 630 INCHES + 150 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @ 3" CAL = 630 INCHES TOTAL460 LF \pm = 71CANOPY TREESMET WITH EXISTINGVEGETATION77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES10 TAL PROVIDEDCREDIT INCHES2,627 INCHESTOTAL RETAINED3.627 INCHES$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color                 | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens<br>'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'<br>Copperleaf / Acalypha wilkesiana<br>Butterfly Bush / Buddleia spp.<br>Firebush / Hamelia patens<br>Loropetalum / Loropetalum chinensis   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>BERMIT   | LANDSCAPE PLAN  |
| ES<br>FER<br>FER   | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS. <b>SCHEDULE</b> QUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES400 TREES @ 3" CAL = 1,200 INCHES400 LOTS X 1 PER LOT = 400 TREES210 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL6,990 LF \pm = 210CANOPY TREES + 350ACCENT TREES210 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @ 3" CAL = 42 INCHES2,360 LF \pm = 71CANOPY TREESMET WITH EXISTINGVEGETATION77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 2,627 INCHES2,627 INCHES$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color                 | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens<br>'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'<br>Copperleaf / Acalypha wilkesiana<br>Butterfly Bush / Buddleia spp.<br>Firebush / Hamelia patens<br>Loropetalum / Loropetalum chinensis   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>BERMIT   | LANDSCAPE PLAN  |
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| ES<br>FER<br>FER<br>FER  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS.S CHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES @ 3" CAL = 1,200 INCHES400 LOTS X 1 PER LOT = 400 TREES @ 3" CAL = 1,200 INCHES6,990 LF \pm = 210CANOPY TREES \pm 350ACCENT TREES210 TREES @ 3" CAL = 630 INCHES \pm 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @ 3" CAL = 1,155 INCHES TOTAL460 LF \pm = 71CANOPY TREESMET WITH EXISTINGVEGETATION77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES2,627 INCHESTOTAL PROVIDEDCREDIT INCHES3,627 INCHESTOTAL RETAINEDCREDIT INCHES3,627 INCHESTOTAL INCHES6.254 INCHES$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color<br>Accent Hedge | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens<br>'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'<br>Copperleaf / Acalypha wilkesiana<br>Butterfly Bush / Buddleia spp.<br>Firebush / Hamelia patens<br>Loropetalum / Loropetalum chinensis<br>Loropetalum / Loropetalum chinensis<br>Defan for the formation of the stage | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>BERMIT<br>- 36" max. spacing<br>- 36" | RUSTIC ROAD SOUTH<br>PHASES 1 & 2<br>JEN TAMPA 1, LLC.<br>C/O BANYAN LAND CAPITAL, LLC. |
| FER<br>FER<br>FER  | LANDSCAPE REQUIREMENT<br>1 TREE PER LOT PER PUD<br>CONDITION F.1<br>3 CANOPY TREES + 5<br>ACCENT TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E<br>3 CANOPY TREES PER 100 LF<br>PER PUD CONDITION E | AMENITY CENTER AND COMMON AREAS.S CHEDULEQUANTITY REQUIREDQUANTITY PROVIDED $400 LOTS X 1 PER LOT = 400 TREES @ 3" CAL = 1,200 INCHES400 LOTS X 1 PER LOT = 400 TREES @ 3" CAL = 1,200 INCHES6,990 LF \pm = 210CANOPY TREES \pm 350ACCENT TREES210 TREES @ 3" CAL = 630 INCHES \pm 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL460 LF \pm = 14CANOPY TREES14 TREES @ 3" CAL = 1,155 INCHES TOTAL460 LF \pm = 71CANOPY TREESMET WITH EXISTINGVEGETATION77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES77 TREES @ 3" CAL = 230 INCHES2,627 INCHESTOTAL PROVIDEDCREDIT INCHES3,627 INCHESTOTAL RETAINEDCREDIT INCHES3,627 INCHESTOTAL INCHES6.254 INCHES$  | SHRUB GROUP "A" - Evergreen<br>Hedge<br>SHRUB GROUP "B" - Texture<br>Accent Hedge<br>SHRUB GROUP "C" - Color                 | BUFFERING / SCREENING SHRUBS<br>SPECIES SELECTION<br>Florida Privet / Forestiera segregata<br>Florida Anise / Illicium floridanum<br>Simpson's Stopper / Myrcianthes fragrans<br>Wild Coffee / Psychotria nervosa<br>Walter's Viburnum / Viburnum obovatum<br>'Red Tip' Cocoplum / Chrysobalanus icaco 'Red Tip'<br>Silver Buttonwood / Conocarpus erectus 'Sericeus'<br>Pineapple Guava Tree / Feijoa sellowiana<br>Texas Sage / Leucophyllum frutescens<br>'Awabuki' Viburnum / Viburnum odoratissimum 'Awabuki'<br>Copperleaf / Acalypha wilkesiana<br>Butterfly Bush / Buddleia spp.<br>Firebush / Hamelia patens<br>Loropetalum / Loropetalum chinensis<br>Corpetalum / Loropetalum chinensis   | SPECIFICATION/SIZE<br>30" height 30" height<br>- 36" max. spacing<br>30" height 30" height<br>- 36" max. spacing<br>BERMIT<br>- 36" max. spacing<br>- 100 NO.<br>JEN-RU-009<br>DESIGN<br>JD<br>DRAWN<br>PREPARED<br>FOR: 0<br>Elevations base  | RUSTIC ROAD SOUTH<br>PHASES 1 & 2<br>JEN TAMPA 1, LLC.                                  |

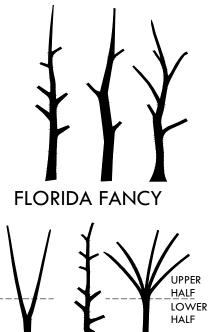
| TREE PLANTING LIST                                      |  |
|---|--|
| SPECIES SELECTION                                       | SPECIFICATION/SIZE                                       |
| Red Maple / Acer rubrum                                 |  |
| Green Buttonwood, Standard / Conocarpus erectus         |  |
| Japanese Blueberry / Elaeocarpus decipens               |  |
| Southern Magnolia / Magnolia grandiflora                | height x 4' spread                                       |
| Live Oak / Quercus virginiana                           |  |
| American Elm / Ulmus americana                          |  |
| Chinese Elm / Ulmus parvifolia                          |  |
| 'Shady Lady' Black Olive / Bucida buceras               |  |
| West Indian Mahogany / Swietenia mahagoni               |  |
| Live Oak / Quercus virginiana                           |  |
| Royal Poinciana / Delonix regia                         |  |
| Red Maple / Acer rubrum                                 | 3" caliper / 10'   |
| Sweetgum / Liquidambar styraciflua                      | height x 4' spread                                       |
| Shumard Oak / Quercus shumardii                         |  |
| Bald Cypress / Taxodium distichum                       |  |
| Pond Cypress / Taxodium ascendens                       |  |
| American Elm / Ulmus americana                          |  |
| Chinese Elm / Ulmus parvifolia                          |  |
| Japanese Blueberry / Elaeocarpus decipens               |  |
| Southern Magnolia / Magnolia grandiflora                |  |
| Southern Red Cedar / Juniperus silicicola               | 3" caliper / 10'<br>height x 4' spread                   |
| South Florida Slash Pine / Pinus elliottii 'Densa'      |  |
| Long Leaf Pine / Pinus palustrus                        |  |
| Spanish Stopper / Eugenia foetida                       |  |
| Little Gem Magnolia / Magnolia grandiflora 'Little Gem' | <sup>1½</sup> " caliper / 5'-6'<br>height x 2'-3' spread |
| Dahoon Holly / Ilex cassine                             |  |
| Silver Buttonwood Tree/ Conocarpus erectus 'Sericeus'   |  |
| Pineapple Guava Tree / Feijoa sellowiana                | 1 <sup>1</sup> / <sub>2</sub> "-2" caliper/ 5'-6'        |
| Yaupon Holly / Ilex vomitoria                           | height x 3'-4'<br>spread/Multi-trunk,                    |
| Weeping Yaupon Holly / Ilex vomitoria 'Pendula'         | Min. ½" caliper per<br>trunk, Equally sized              |
| Crape Myrtle / Lagerstroemia indica                     | trunks   |
| Ligustrum Tree / Ligustrum japonicum                    |  |
| Sabal Palm / Sabal palmetto                             | 10' CT Min.  |
| Mexican Fan Palm / Washingtonia robusta                 | Staggered Heights in<br>Groups                           |
| Royal Palm / Roystonea regia                            | 0100043  |
|   |  |

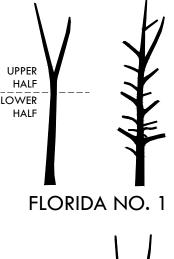


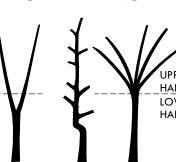
- BACKFILL WITH NATIVE SOIL. CONTRACTOR TO PROVIDE SOIL TEST AND PROVIDE IMPROVEMENTS AS NEEDED. PROPERLY WATER IN SOIL TO REMOVE AIR POCKETS. SCARIFY/LOOSEN NATIVE SOIL WITHIN

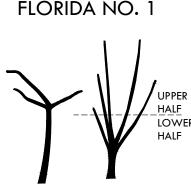


**ABOVE: TREE MEASUREMENTS TO** BULK OF TREE (AFTER ANY NECESSARY PRUNING) AND NOT TIP TO TIP OR EXTREME EXTENTS









**ABOVE: BRANCHING STRUCTURE IS** EXPECTED TO BE FLORIDA FANCY OR FLORIDA #1 AS DEPICTED ABOVE. ALL OTHER TREES WILL BE REJECTED.

FLORIDA NO. 2 CULL

PERMIT LANDSCAPE PLAN

JEN-RU-009

JD

NG

06-10-2021

PLP

REPAREI

RUSTIC ROAD SOUTH

PHASES 1 & 2

JEN TAMPA 1, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)

Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

SHEET L18 OF L18 SHEETS

FOR: C/O BANYAN LAND CAPITAL, LLC.

DETAILS

TREE PLANTED PER

SPECIFICATIONS AND