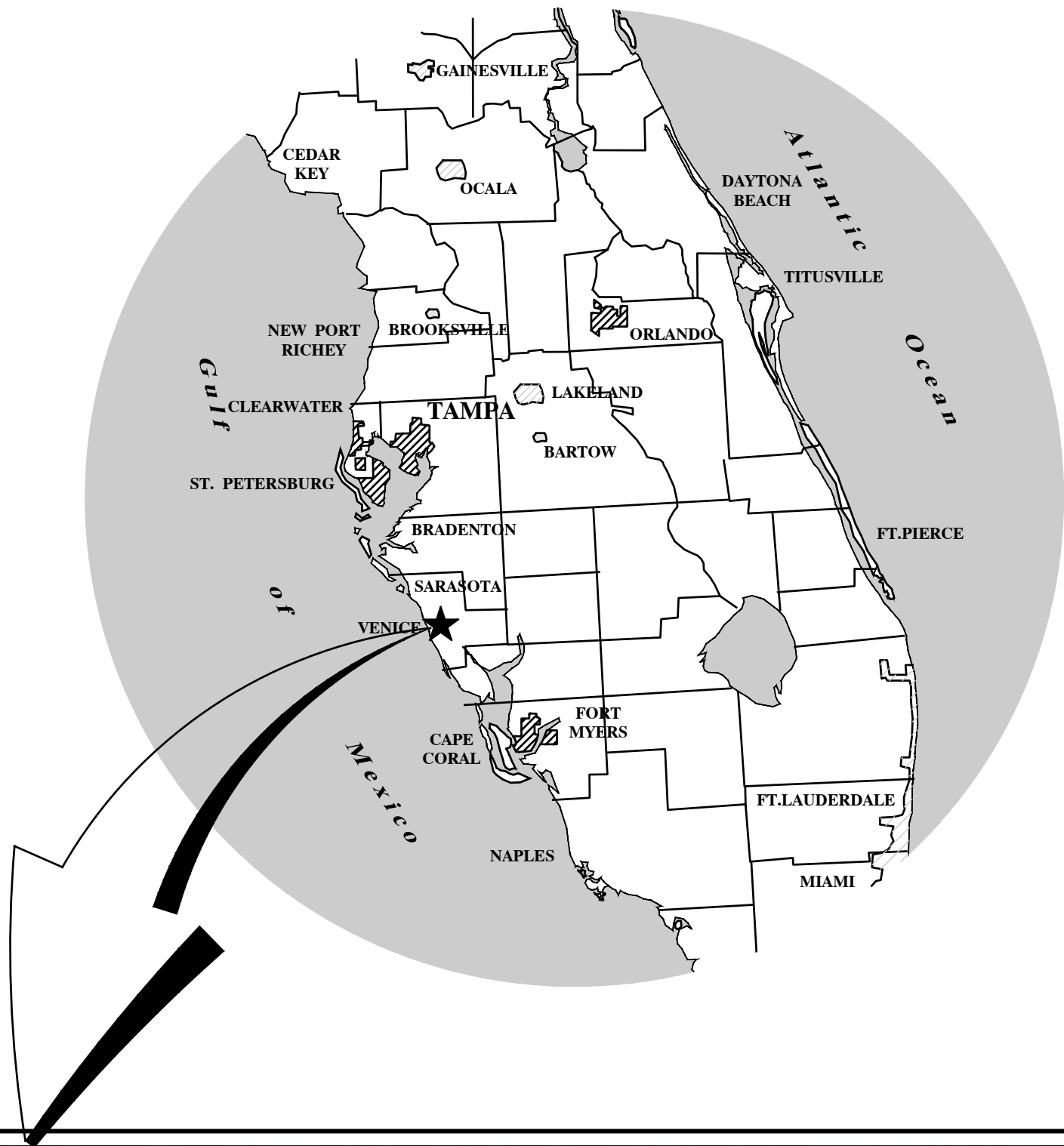


RUSTIC ROAD SOUTH PHASES 1 & 2 PRELIMINARY PLAT



VICINITY MAP
CITY OF VENICE, FLORIDA
SECTION 20, 21, & 29, TOWNSHIP 38 SOUTH, RANGE 19 EAST

INDEX OF CONSTRUCTION PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2A	AERIAL SITE PLAN
2B	EXISTING SITE CONDITIONS & DEMOLITION PLAN
2C	PUD KEY MAP
3	MASTER SITE PLAN
4	PRELIMINARY PLAT NOTES
5-10	PRELIMINARY PLAT
11	MASTER DRAINAGE PLAN
12	MASTER WATER & SEWER KEY MAP
13	ADDRESS PLAN
L1-L8	TREE REMOVAL PLANS
L9-L18	PERMIT LANDSCAPE PLANS

UTILITY INFORMATION		
UTILITY	SOURCE	OWNERSHIP
POTABLE WATER	CITY OF VENICE	CITY OF VENICE
WASTEWATER	CITY OF VENICE	CITY OF VENICE

UTILITY CONTACT INFORMATION

CITY OF VENICE UTILITIES DEPT.
JAVIER VARGAS
200 N WARFIELD AVE
VENICE, FL 34285
941-480-3333 EXT: 7316

FRONTIER COMMUNICATIONS
TONI CANNON
3712 W WALNUT ST
TAMPA, FL 33607
813-875-1014

SARASOTA COUNTY TRAFFIC
MARK RICHMOND
PO BOX 8
SARASOTA, FL 34230-0008
941-861-0942

FLORIDA POWER & LIGHT
JOEL BRAY
CONTACT BY PHONE
386-586-6403

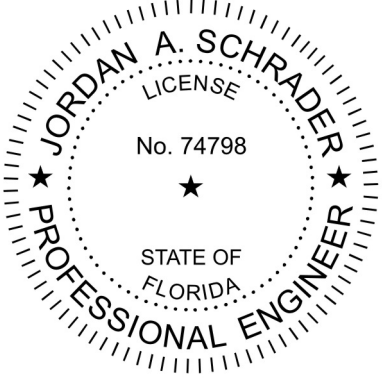
COMCAST
LEONARD MAXWELL-NEUBOLD
2601 SW 145TH AVE
MIRAMAR, FL 33027
754-221-1254

TECO-PEOPLES GAS-SARASOTA
JOAN DOMING
8416 PALM RIVER RD
TAMPA, FL 33619
813-275-3783

PREPARED FOR:

JEN TAMPA 1, LLC.
C/O BANYAN LAND CAPITAL, LLC.

1316 West Swann Ave
Tampa, Florida 33606
Phone: (813) 362-1137

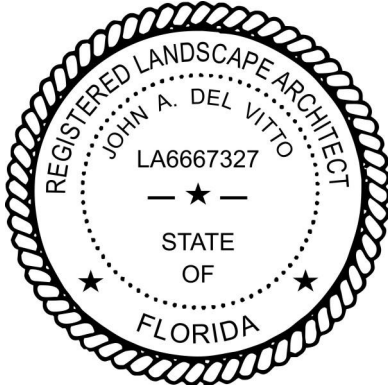


The above named Professional Engineer shall be responsible for the adjacent listed sheets, SHEETS 1-18, in accordance with Rule 61G15-23.004, F.A.C.

PREPARED BY:

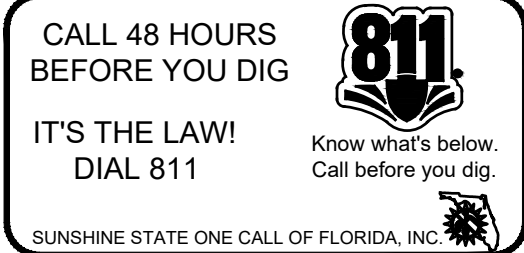
Clearview
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975



The above named Registered Landscape Architect shall be responsible for the adjacent listed sheets, SHEETS 19-36, in accordance with Rule 61G10-11.011, F.A.C.

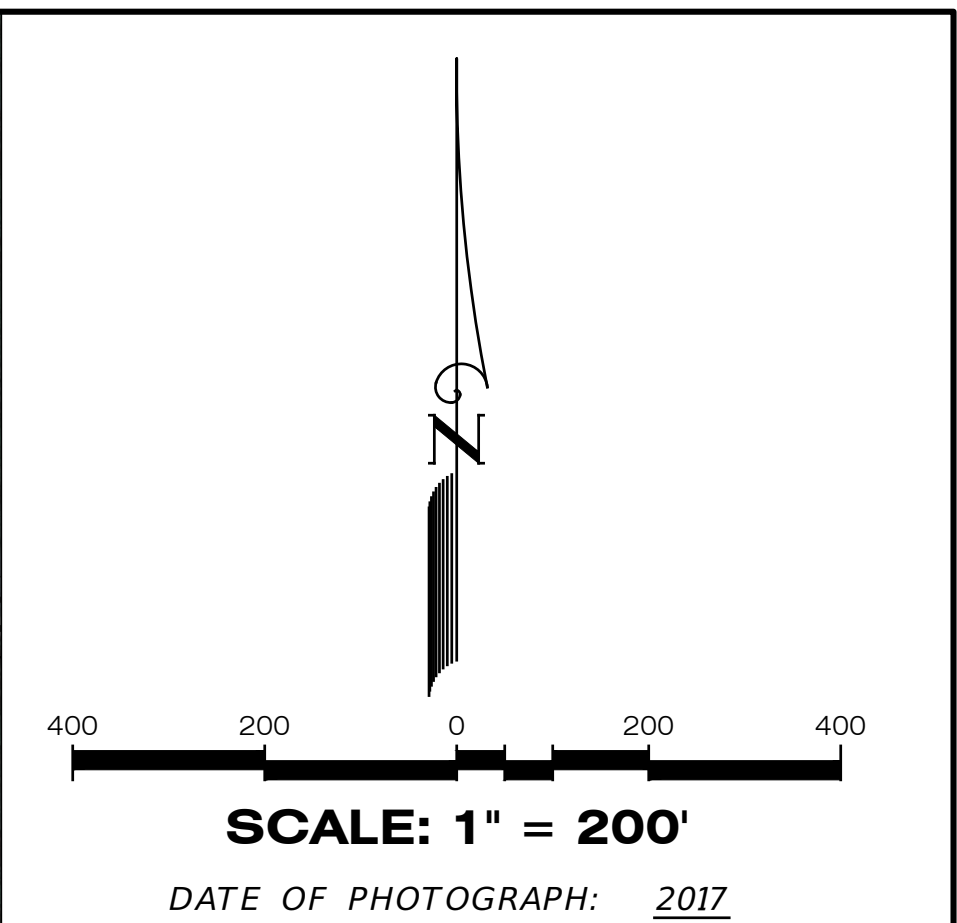
PERMIT / FILE NOS.	
CITY OF VENICE PROJECT NO.	
CITY OF VENICE UTILITIES PROJECT NO.	
SWFWMD ERP/APPLICATION ID NO.	
WATER DEP	
SEWER DEP	
RECLAIMED WATER DEP	
PARCEL ID NO.	0362-00-1010, 0364-04-0002



RUSTIC ROAD SOUTH PHASES 1 & 2			
This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.			
DATE:	JORDAN A. SCHRADER, P.E. NO. 74798 FLORIDA PROFESSIONAL ENGINEER		
DATE:	08-03-2021	JOB NO.	JEN-RU-007
Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.17 Feet			
STREET & DRAINAGE		WATER & SANITARY SEWER	
DESIGNED BY:	FERREIRA	DESIGNED BY:	WINTER
DRAWN BY:	WINTER	DRAWN BY:	WINTER
FILE:	CV	SHEET 1 OF 13	

DATE	SHEET NO.	BY
06-10-2021	2A, L2, L8, L10, L17, L18	TKW
05-14-2021	3-11, 11A, 11B, 11C, L1-L17	TKW
04-04-2021	1-13, L1-L17	TKW
01-11-2021	REVIEW SUBMITTAL	

REVISIONS



<div>06-10-2021 04-04-2021 01-11-2021</div>			<div>REMOVED EXISTING CONDITIONS SHEET NUMBER REVIEW SUBMITTAL</div>			<div>TKW TKW TKW</div>		
DATE			DESCRIPTION			BY		
			REVISIONS					

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Clearview
LAND DESIGN, P.L.

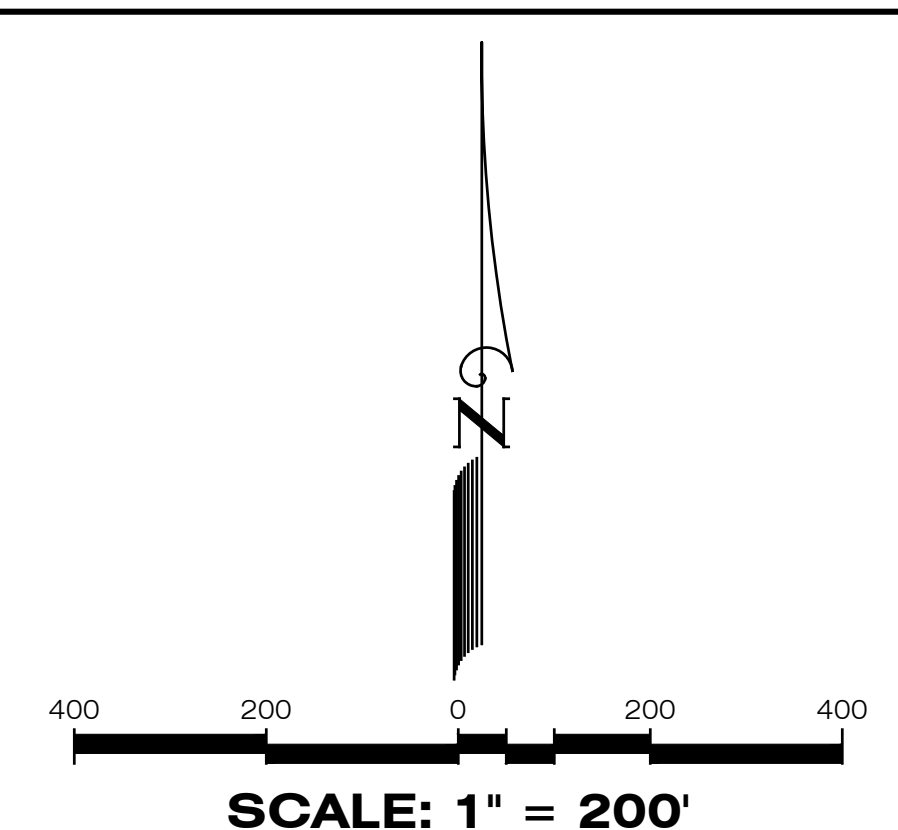
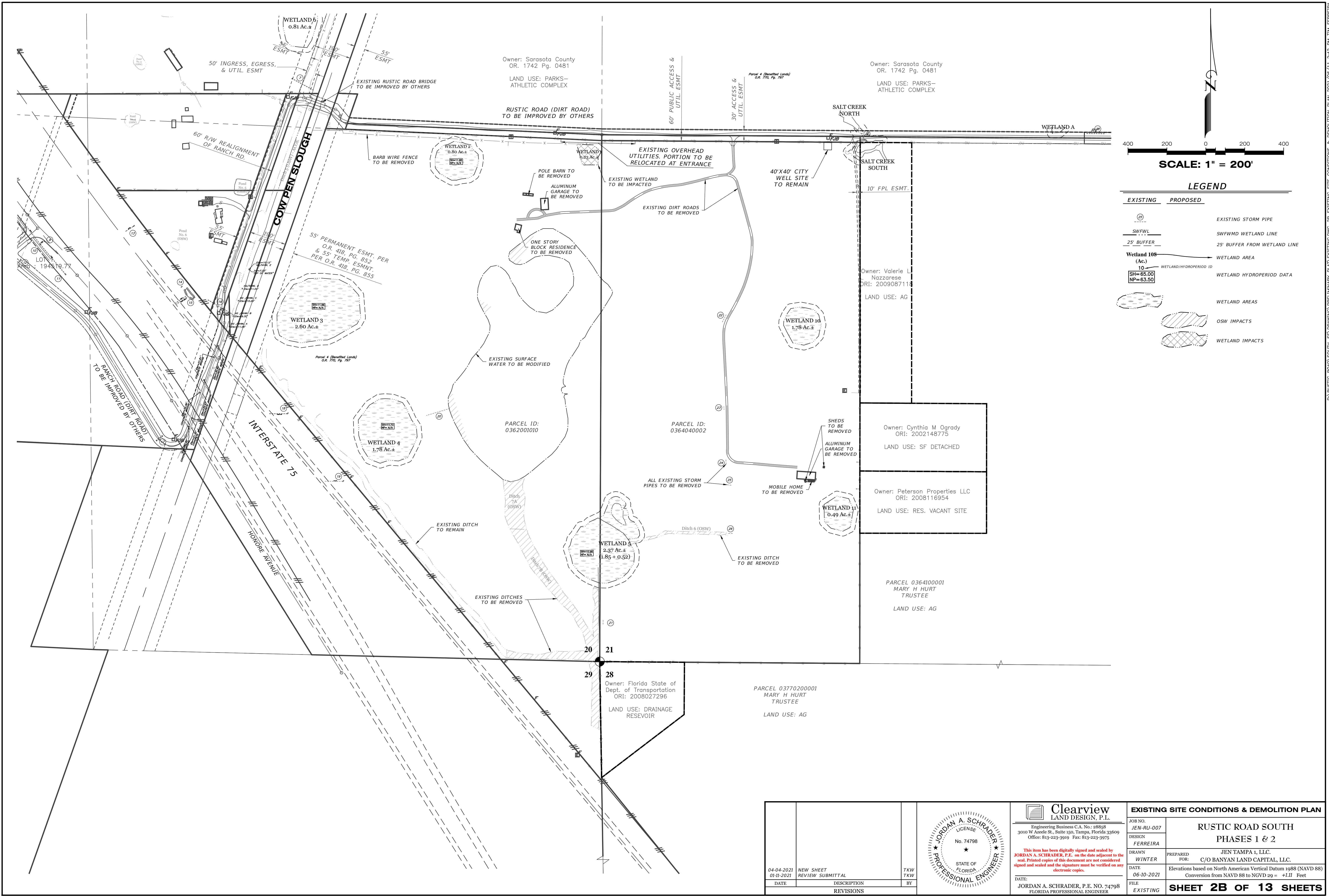
Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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DATE: JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

JOB NO. JEN-RU-007		AERIAL SITE PLAN	
DESIGN FERREIRA		RUSTIC ROAD SOUTH PHASES 1 & 2	
DRAWN WINTER		PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.	
DATE 08-03-2021		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet	
FILE ASP		SHEET 2A OF 13 SHEETS	

P:\RUSTIC ROAD SOUTH-SP\DRAWING\PRELIMINARY\PLAN\ASP.DWG-AERIAL SITE PLAN 2021/08/27 1:41 PM TIM WINTER



LEGEND	
EXISTING	PROPOSED
	EXISTING STORM PIPE
	SWFWMD WETLAND LINE
	25' BUFFER FROM WETLAND LINE
	WETLAND AREA
	WETLAND HYDROPERIOD DATA
	WETLAND AREAS
	OSW IMPACTS
	WETLAND IMPACTS

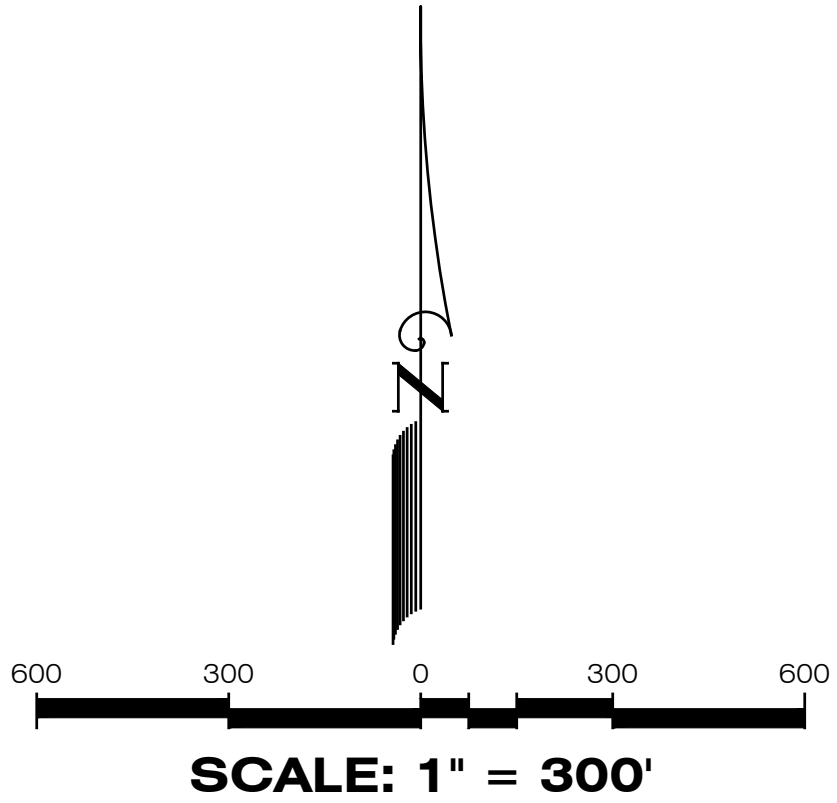
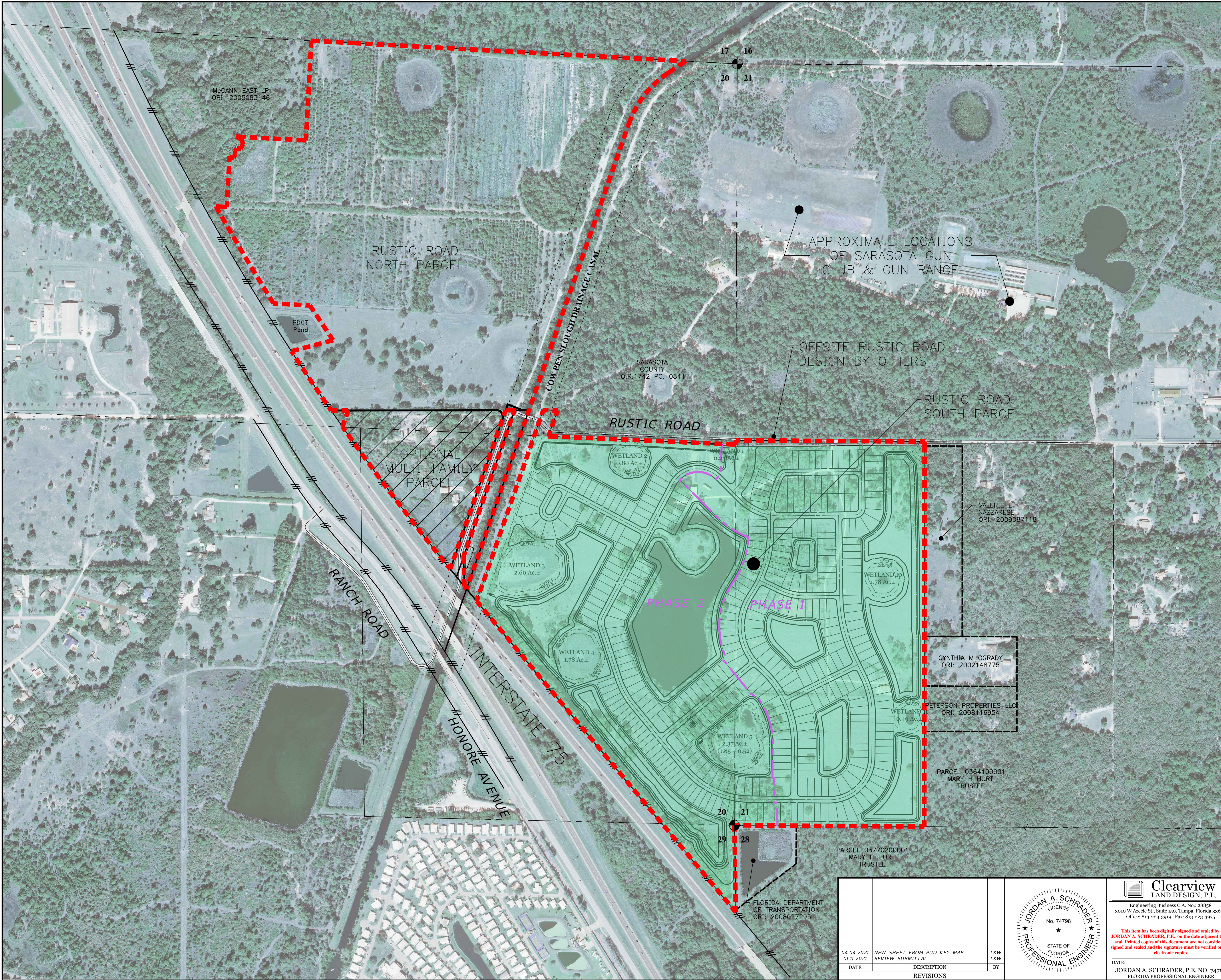
EXISTING SITE CONDITIONS & DEMOLITION PLAN	
JOB NO. JEN-RU-007	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN FERREIRA	
DRAWN WINTER	JEN TAMPA 1, LLC. FOR: C/O BANYAN LAND CAPITAL, LLC.
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE EXISTING	SHEET 2B OF 13 SHEETS

04-04-2021	NEW SHEET	TKW
01-11-2021	REVIEW SUBMITTAL	TKW
DATE	DESCRIPTION	BY
	REVISIONS	

Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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DATE: JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER



LEGEND	
EXISTING	PROPOSED
SWFWL	SWFWMD WETLAND LINE
25' O.S.	25' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)	WETLAND AREA
	PUD BOUNDARY
	RUSTIC ROAD SOUTH PRELIMINARY PLAT BOUNDARY
	PHASE LINE

OWNER MUST DISCLOSE PROXIMITY OF GUN RANGE TO POTENTIAL BUYERS.

PUD KEY MAP	
RUSTIC ROAD SOUTH PHASES 1 & 2	
JOB NO. JEN-RU-007	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DESIGN FERREIRA	DATE 06-10-2021
DRAWN WINTER	FILE PUD KEY MAP
SHEET 2C OF 13 SHEETS	

04-04-2021 01-11-2021	NEW SHEET FROM PUD KEY MAP REVIEW SUBMITTAL	TKW TKW
DATE	DESCRIPTION	BY
	REVISIONS	

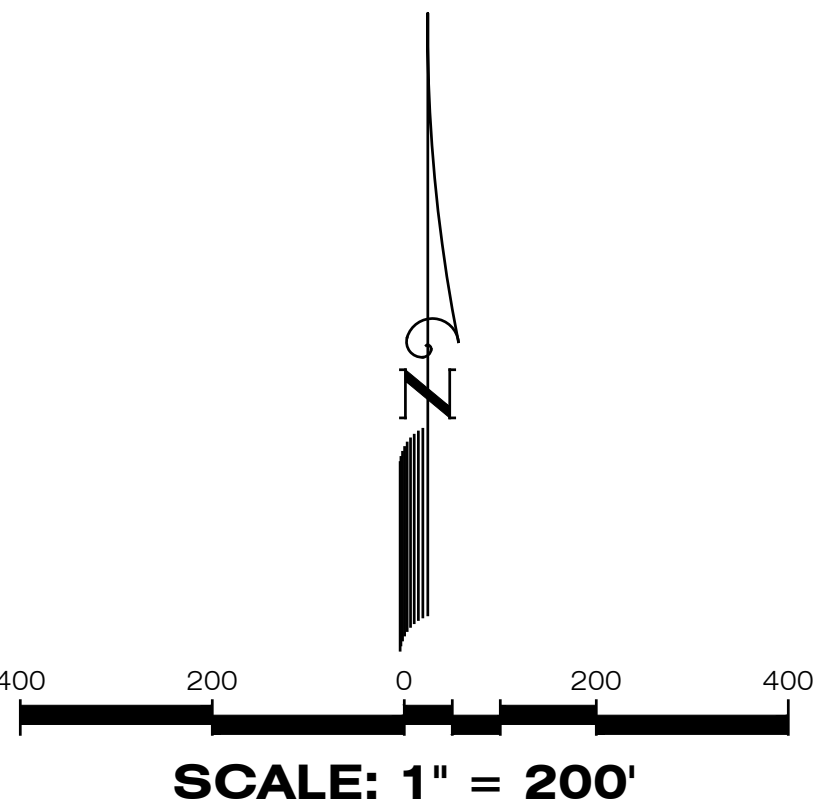
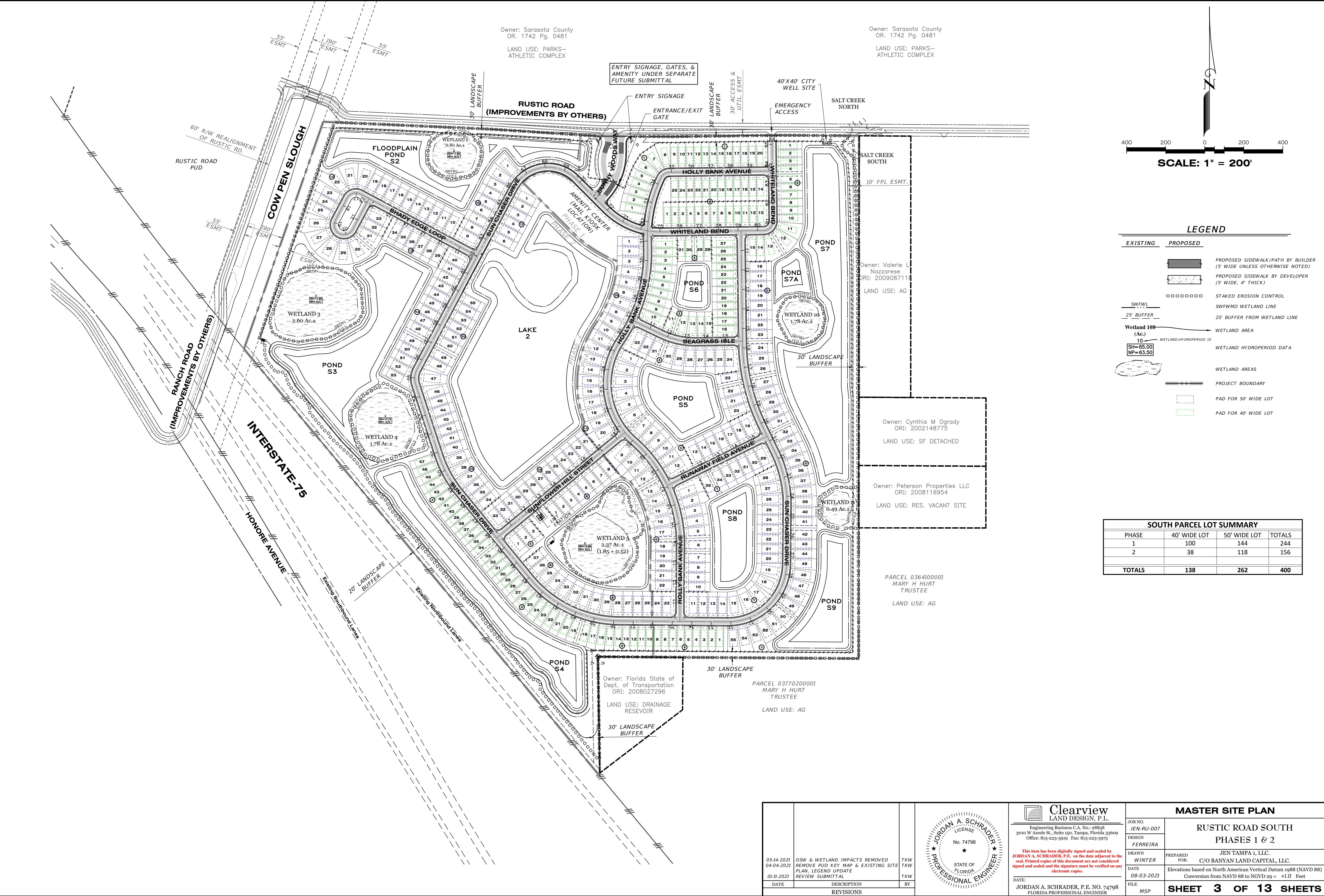
Clearview
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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF FLORIDA
PROFESSIONAL ENGINEER



LEGEND	
EXISTING	PROPOSED
	PROPOSED SIDEWALK/PATH BY BUILDER (5' WIDE UNLESS OTHERWISE NOTED)
	PROPOSED SIDEWALK BY DEVELOPER (5' WIDE, 4" THICK)
	STAKED EROSION CONTROL
SWFWL	SWFWMD WETLAND LINE
25' BUFFER	25' BUFFER FROM WETLAND LINE
Wetland 108 (Ac.)	WETLAND AREA
10	WETLAND/HYDROPERIOD ID
SH=65.00 NP=63.50	WETLAND HYDROPERIOD DATA
	WETLAND AREAS
	PROJECT BOUNDARY
	PAD FOR 50' WIDE LOT
	PAD FOR 40' WIDE LOT

SOUTH PARCEL LOT SUMMARY			
PHASE	40' WIDE LOT	50' WIDE LOT	TOTALS
1	100	144	244
2	38	118	156
TOTALS	138	262	400

05-14-2021
04-04-2021
01-11-2021

OSW & WETLAND IMPACTS REMOVED
REMOVE PUD KEY MAP & EXISTING SITE
PLAN, LEGEND UPDATE
REVIEW SUBMITTAL

DATE
DESCRIPTION
REVISIONS

TKW
TKW
TKW

BY

JORDAN A. SCHRADER
LICENSE
No. 74798
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

Clearview
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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DATE:
JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

MASTER SITE PLAN

JEN-RU-007

DESIGN
FERREIRA

DRAWN
WINTER

DATE
08-03-2021

FILE
MSP

RUSTIC ROAD SOUTH
PHASES 1 & 2

JEN TAMPA 1, LLC.

C/O BANYAN LAND CAPITAL, LLC.

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +1.11 Feet

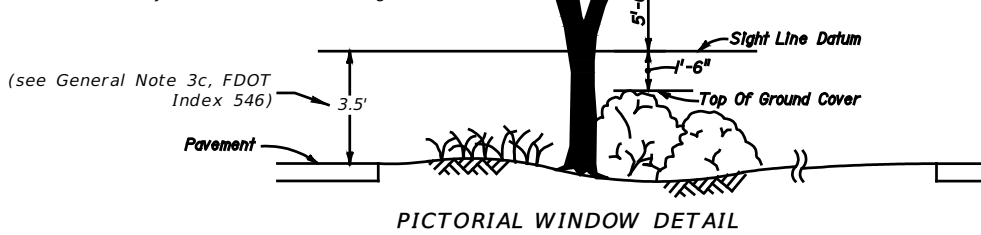
SHEET 3 OF 13 SHEETS

P:\RUSTIC ROAD SOUTH-51\DRAWINGS\PRELIMINARY PLAN\KSP.DWG-4 MASTER SITE PLAN 2021/08/27 1:33 PM TIM WINTER

1. Owner/Developer:	Jen Tampa 1, LLC c/o Banyan Land & Capital 1316 West Swann Ave. Tampa, FL 33606 (813) 362-1137 Matt O'Brien matt.obrien@banyanland.net	3. Environmental:	Steinbaum and Associates, Inc. Ecological Consultants P.O. Box 15437 Sarasota, FL 34277 (941) 921-2707 Michele L. Steinbaum, President michele@steinbaumecological.com
2. Engineer:	Clearview Land Design, P.L. 3010 W. Azeele St., Suite 150 Tampa, Florida 33609 (813) 223-3919 Jordan A. Schrader, P.E. jordan.schrader@clearviewland.com	4. Surveyor:	GeoPoint Surveying, Inc. 213 Hobbs Street Tampa, FL 33619 (813) 248-8888 David Williams, P.S.M., R.P.L.S. davidw@geopointsurvey.com
		5. Geotechnical Engineer:	Native Geoscience, Inc. 2014 Edgewater Dr., #246 Orlando, FL 32804 (407) 342-1443 John C. Diehl, P.G. cdiehl@nativegoe.com

- INTERSECTION CLEAR SIGHT REQUIREMENTS:

- The intent of this Standard is to provide a window with vertical limits of not less than 5' above and 1'-6" below the sight line datum, and horizontal limits defined by the limits of Clear Sight



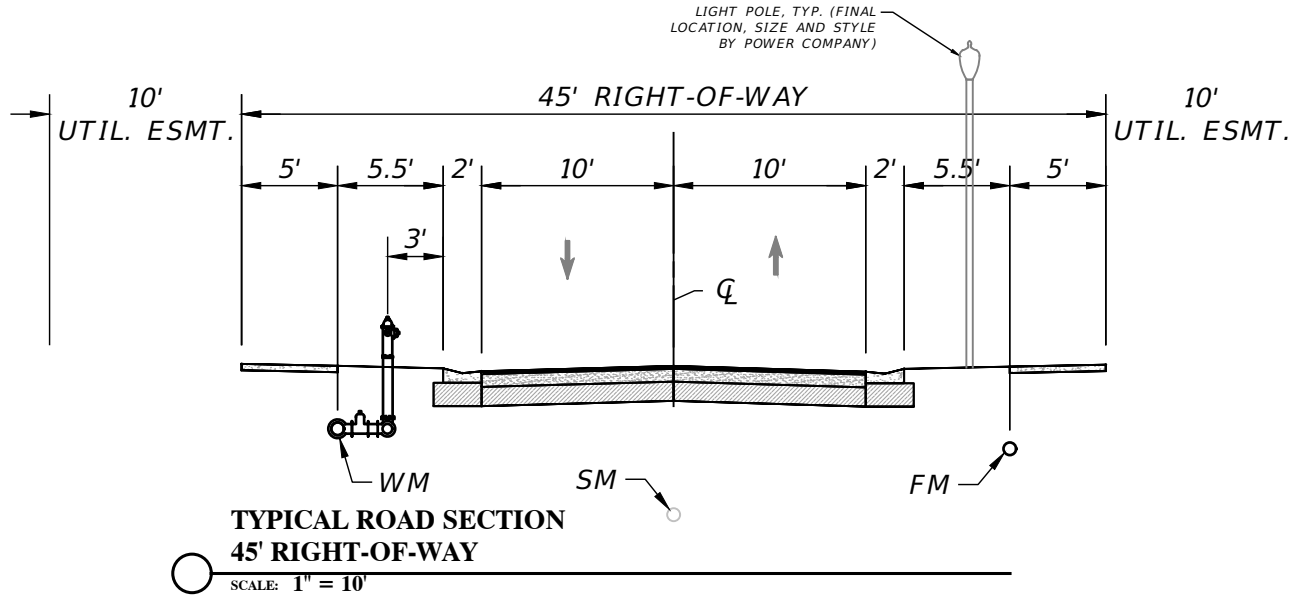
SOUTH - DEVELOPED AREAS & OPEN SPACE		
AREAS (Ac.)		%
ROW	14.92	9%
LOTS	62.19	37%
AMENITY	2.29	1%
PONDS (at Normal Water)	46.09	27%
WETLANDS	10.13	6%
OPEN SPACE (Including Ponds and Wetlands)	90.01	53%
TOTAL SITE	169.41	

SOUTH PARCEL SITE DATA TABLE					
Phase 1					
UPLANDS	WETLAND	TOTAL ACREAGE	LOTS	GROSS DENSITY	NET DENSITY
76.88	2.55	79.43	244	3.07	3.17
Phase 2					
UPLANDS	WETLAND	TOTAL ACREAGE	LOTS	GROSS DENSITY	NET DENSITY
82.40	7.58	89.98	156	1.73	1.89
TOTAL					
UPLANDS	WETLAND	TOTAL ACREAGE	LOTS	GROSS DENSITY	NET DENSITY
159.28	10.13	169.41	400	2.36	2.51

SOUTH PARCEL ONSITE WETLANDS				
TYPE	ID	PHASE		Total Acres
		1	2	
OSW	Ditch SC	0.005		0.005
OSW	Ditch 6	0.122	0.032	0.154
OSW	Ditch 7A		0.565	0.565
OSW	Ditch 7B		3.239	3.239
OSW	Lake No. 2		12.860	12.860
	TOTALS	0.127	16.696	16.823
Wetland	1	0.200	0.029	0.229
Wetland	10	1.780		1.780
Wetland	11	0.489		0.489
Wetland	2		0.802	0.802
Wetland	3		2.600	2.600
Wetland	4		1.780	1.780
Wetland	5		2.370	2.370
Wetland	SALT CREEK SOUTH	0.079		0.079

SOUTH PARCEL APPROVED LAND USE ZONING TABLE					
LAND USE	PUD REZONE		PRELIMINARY PLAT RUSTIC ROAD SOUTH PHASES 1 & 2		TOTAL PUD DEVELOPED IN SOUTH PARCEL
	AREA (AC.)	%	AREA (AC.)	%	
RESIDENTIAL	117.50	37.0%	62.19	36.7%	52.9%
AMENITY AREA	5.00	1.6%	2.29	1.4%	45.8%
ROAD ROW	35.70	11.2%	14.92	8.8%	41.8%
WETLANDS	16.00	5%	10.13	6.0%	63.3%
CONSERVATION					
LAKES	62.70	19.7%	46.09	27.2%	73.5%
OTHER OPEN SPACE	81.00	25.5%	33.79	19.9%	41.7%
TOTAL OPEN SPACE	159.70	50.2%	90.01	53.1%	56.4%
TOTAL AREA	317.90		169.41		53.3%

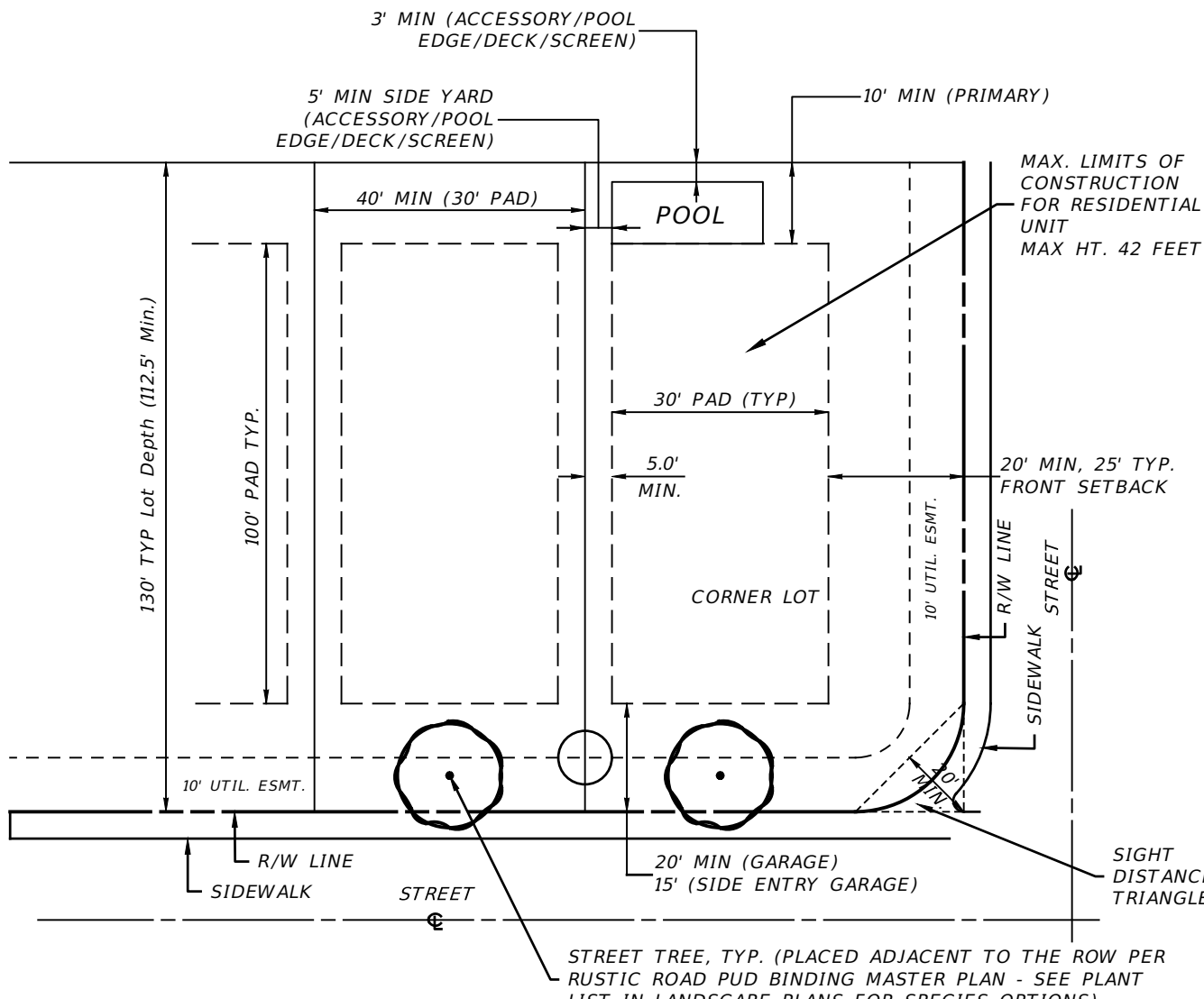
LOT TYPE		
SINGLE FAMILY DETACHED		400
SINGLE FAMILY ATTACHED (PAIRED VILLAS)		
MULTI FAMILY		
LOT TOTAL	1,000	400
DU/AC	3.15	2.36



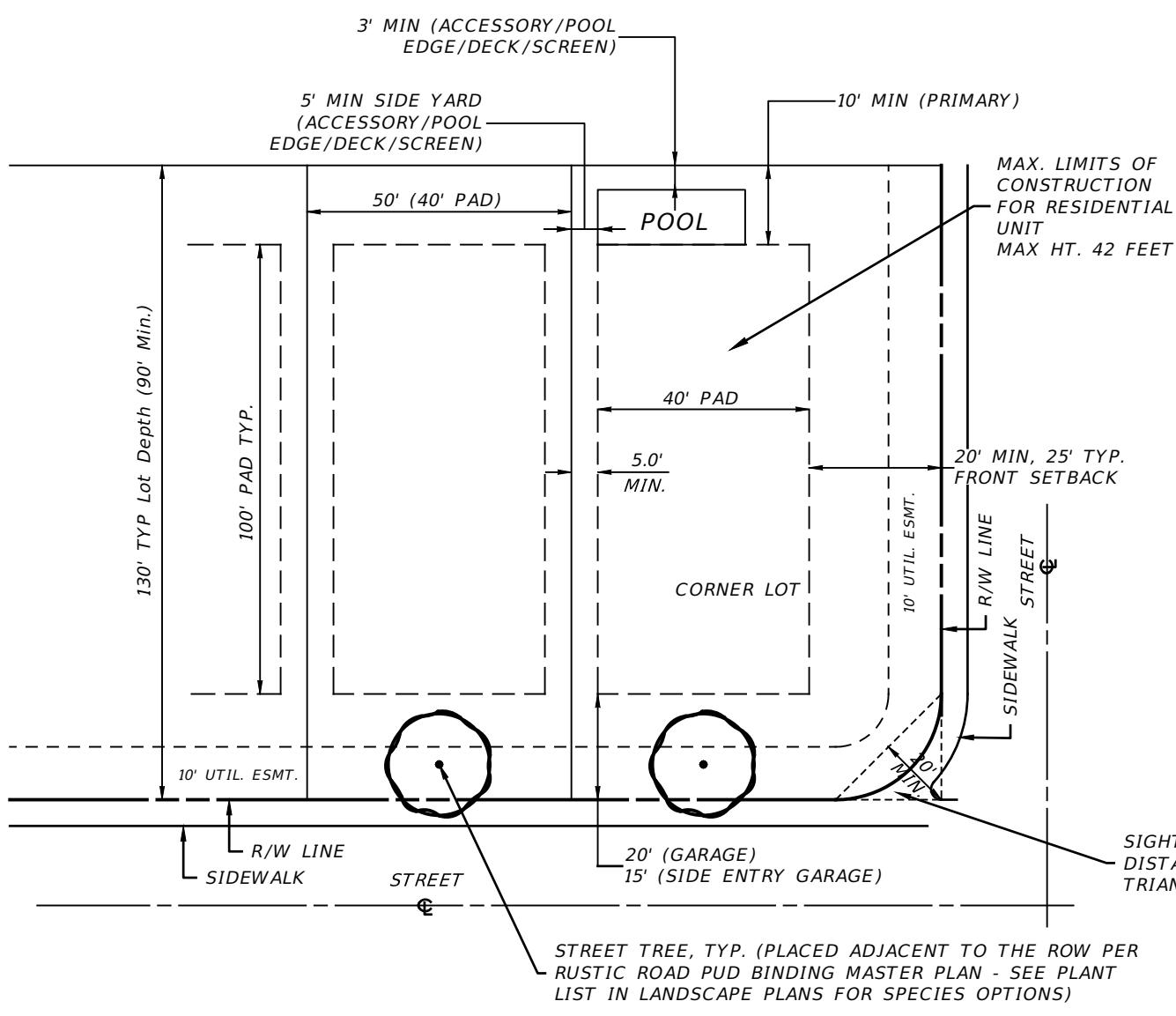
1. LOT AREA MIN	4,500 SF
2. LOT WIDTH MIN	-- FT
3. FRONT SETBACK MIN (Measured to Sidewalk)	20 FT (FLG)/15 FT (SLG)
4. SIDE SETBACK MIN (Principal Structure)	5 FT
5. SIDE SETBACK MIN (Pool Deck, Screen Enclosure)	5 FT Pool
6. REAR SETBACK MIN (Principal Structure)	10 FT
7. REAR SETBACK MIN (Pool Deck, Screen Enclosure)	3 FT

SOUTH PARCEL INFRASTRUCTURE IMPROVEMENTS			
LINEAR FEET OF POTABLE WATER (12")	=	295	LF
LINEAR FEET OF POTABLE WATER (8")	=	14,148	LF
LINEAR FEET OF RECLAIM MAIN (6")	=	0	LF
LINEAR FEET OF SANITARY SEWER MAIN	=	12,091	LF
LINEAR FEET OF FORCE MAIN	=	2,436	LF
NUMBER OF MANHOLES	=	56	EA
CITY OF VENICE TO PROVIDE POTABLE WATER, SOLID WASTE SERVICES AND SANITARY SEWER TO THE PROJECT			

RESIDENT & VISITOR PARKING REQUIREMENTS				
REQUIRED				
	Units	Required Spaces per Unit		Total Required Spaces
SF Resident	400	2		800
				0
TOTALS				800
PROVIDED				
	Units	Vehicles in Garage	Off-Street (Vehicles in Driveway)	Total Provided Spaces
SF Resident	400	2	2	1600
TOTALS		800	800	1600



TYPICAL DETACHED SINGLE FAMILY LOT DETAILS
40' WIDE LOT



TYPICAL DETACHED SINGLE FAMILY LOT DETAILS
50' WIDE LOT
 - NOT TO SCALE -

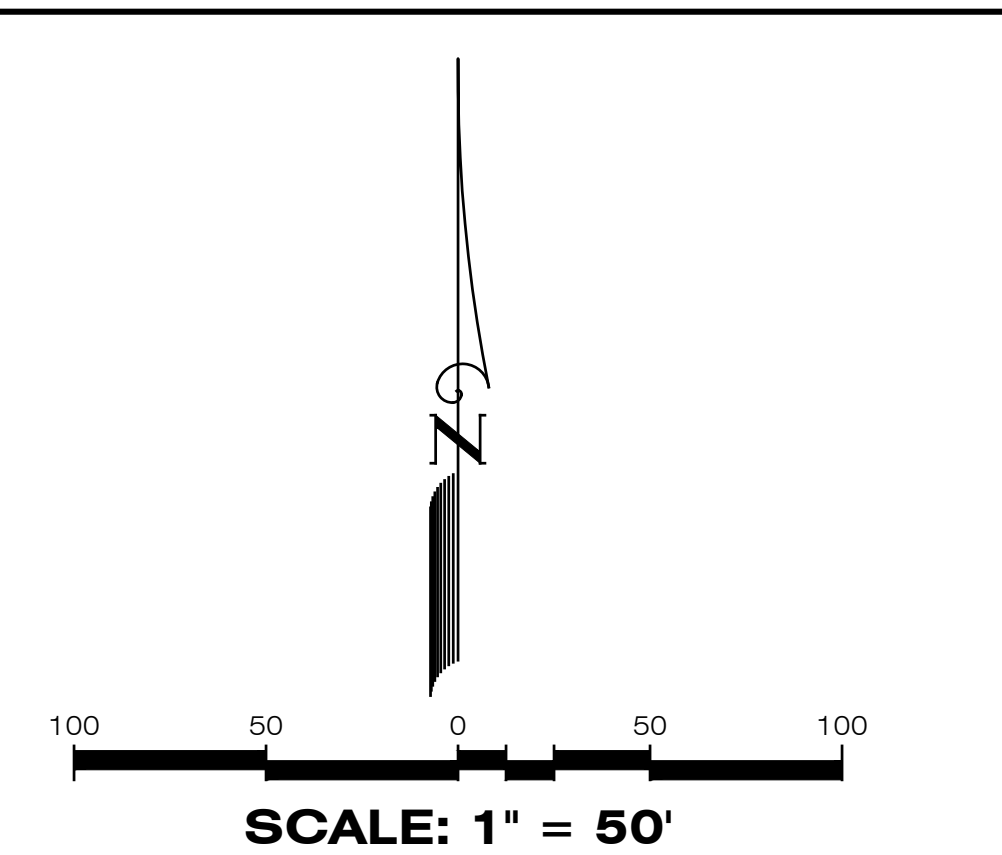
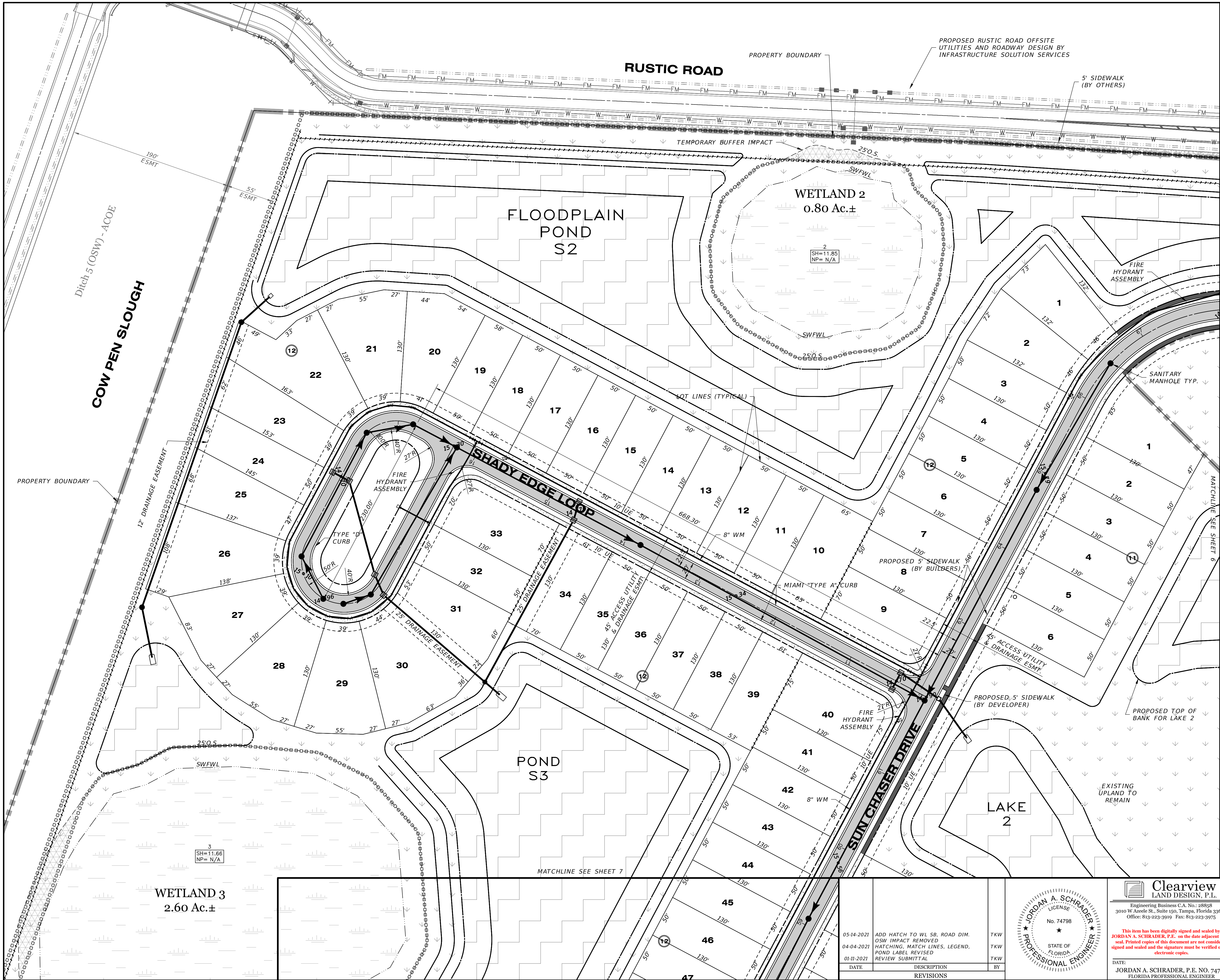
DESCRIPTION: A parcel of land lying in Sections 20, 21 and 29, Township 38 South, Range 19 East, Sarasota County, Florida, and being more particularly described as follows:

BEGINNING at the Northeast corner of the West 1/2 of the Southwest 1/4 of said Section 21 and run thence along the East boundary of the said West 1/2 of the Southwest 1/4 of said Section 21, S.00°02'38"W., 2679.02 feet to the Southeast corner thereof; thence along the South boundary of said West 1/2 of the Southwest 1/4 of said Section 21, N.89°35'32"W., 1336.19 feet to the Southwest corner of said Section 21, also being the Northeast corner of the aforesaid Section 29, Township 38 South, Range 19 East; thence along the East boundary of said Section 29, S.00°56'46"E., 611.91 feet to the Northeastly limited access right-of-way line of State Road 93 (Interstate 75); thence along said limited access right-of-way line, N.39°47'41"W., 2848.70 feet to the Easterly boundary of the Cowpen Slough Drainage Canal; thence along said Easterly boundary, N.19°13'18"E., 1233.21 feet, to the North boundary of the Southeast 1/4 of the aforesaid Section 20, Township 38 South, Range 19 East; thence along said North boundary, S.87°27'48"E., 858.77 feet; thence departing said North boundary and along the proposed Southerty right-of-way line of Rustic Road the following four (4) courses: 1) S.86°18'24"E., 539.49 feet to a point of curvature; 2) Easterly, 31.16 feet along the arc of a curve to the left having a radius of 541.00 feet and a central angle of 03°18'02" (chord bearing S.87°52'25"E., 31.16 feet) to a point of tangency; 3) S.89°36'26"E., 363.05 feet; 4) N.89°14'49"E., 550.16 feet to the North boundary of the aforesaid West 1/2 of the Southwest 1/4 of Section 21; thence along said North boundary, S.89°36'26"E., 404.84 feet to the POINT OF BEGINNING.

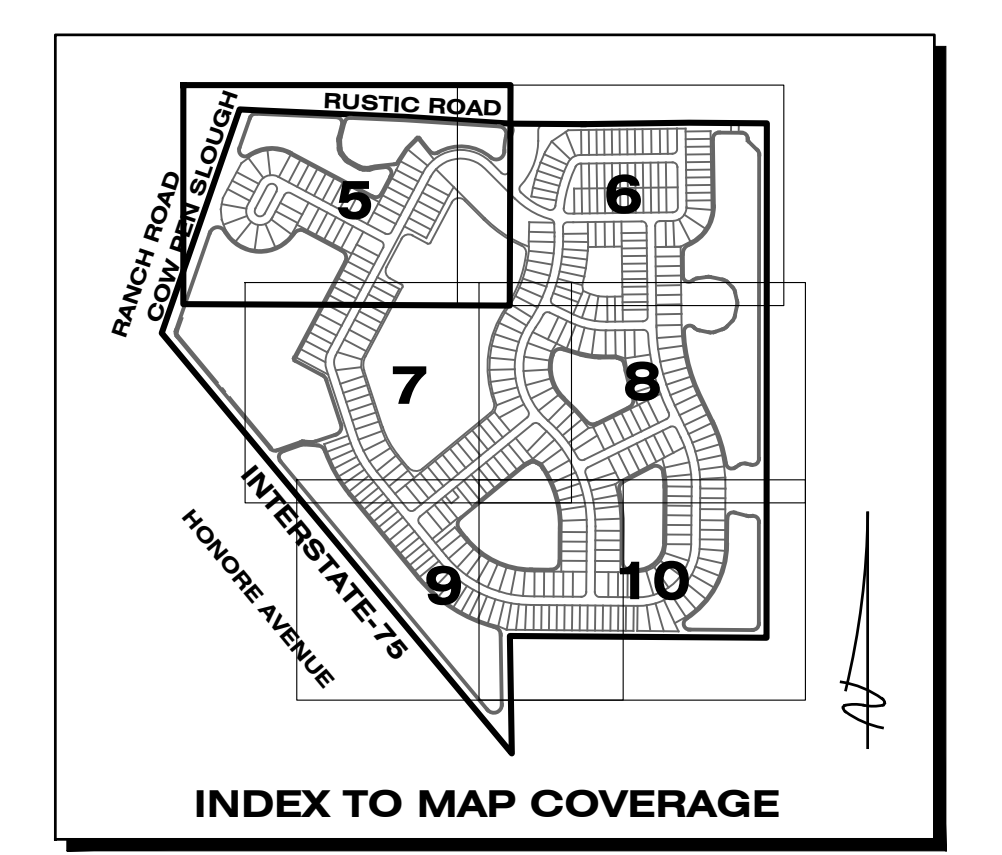
Containing 169.405 acres, more or less.

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LEGEND		
EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE & PIPE
		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SWFWL WETLAND LINE
		25' BUFFER FROM WETLAND LINE
		WETLAND AREA
		WETLAND HYDROPERIOD DATA
		WETLAND AREAS
		TEMPORARY WETLAND BUFFER ENCROACHMENT
		PROPOSED LAKE
		OPEN SPACE/ LAKE BANK
		PROPOSED ASPHALT
		PROPOSED CONCRETE SIDEWALK (BY DEVELOPER)
		PROPOSED CONCRETE SIDEWALK (BY HOME BUILDERS)
		PROJECT BOUNDARY
		STAKED EROSION CONTROL



PRELIMINARY PLAT	
RUSTIC ROAD SOUTH PHASES 1 & 2	
JOB NO. JEN-RU-007	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DESIGN FERREIRA	DATE 08-03-2021
DRAWN WINTER	FILE PP
SHEET 5 OF 13 SHEETS	

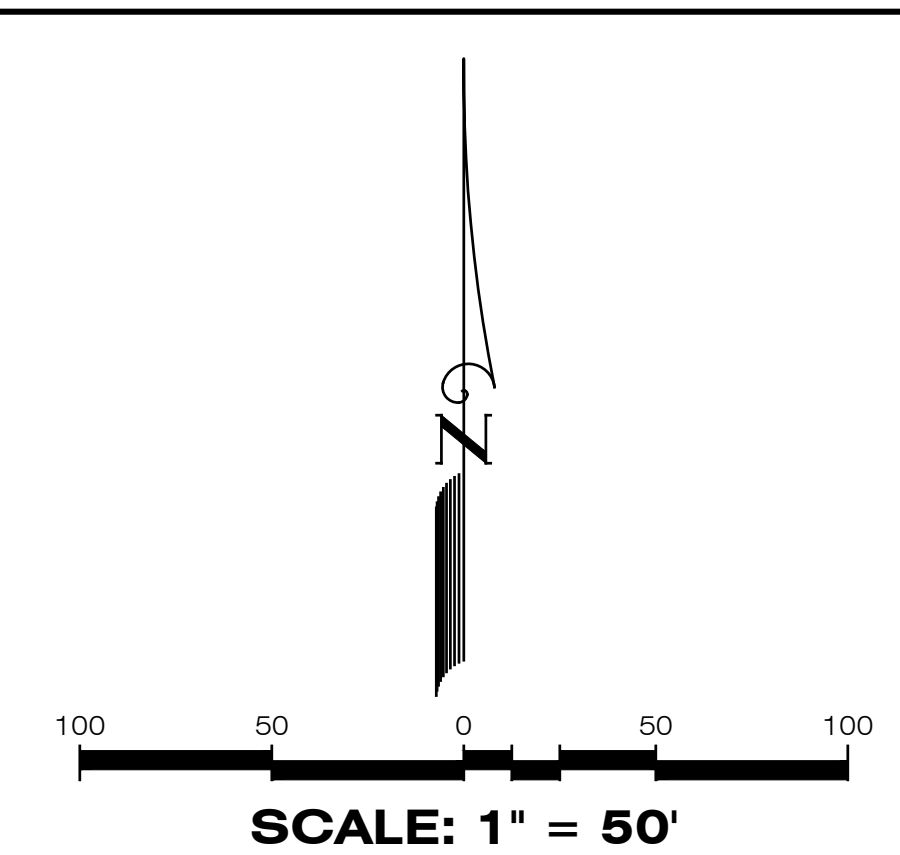
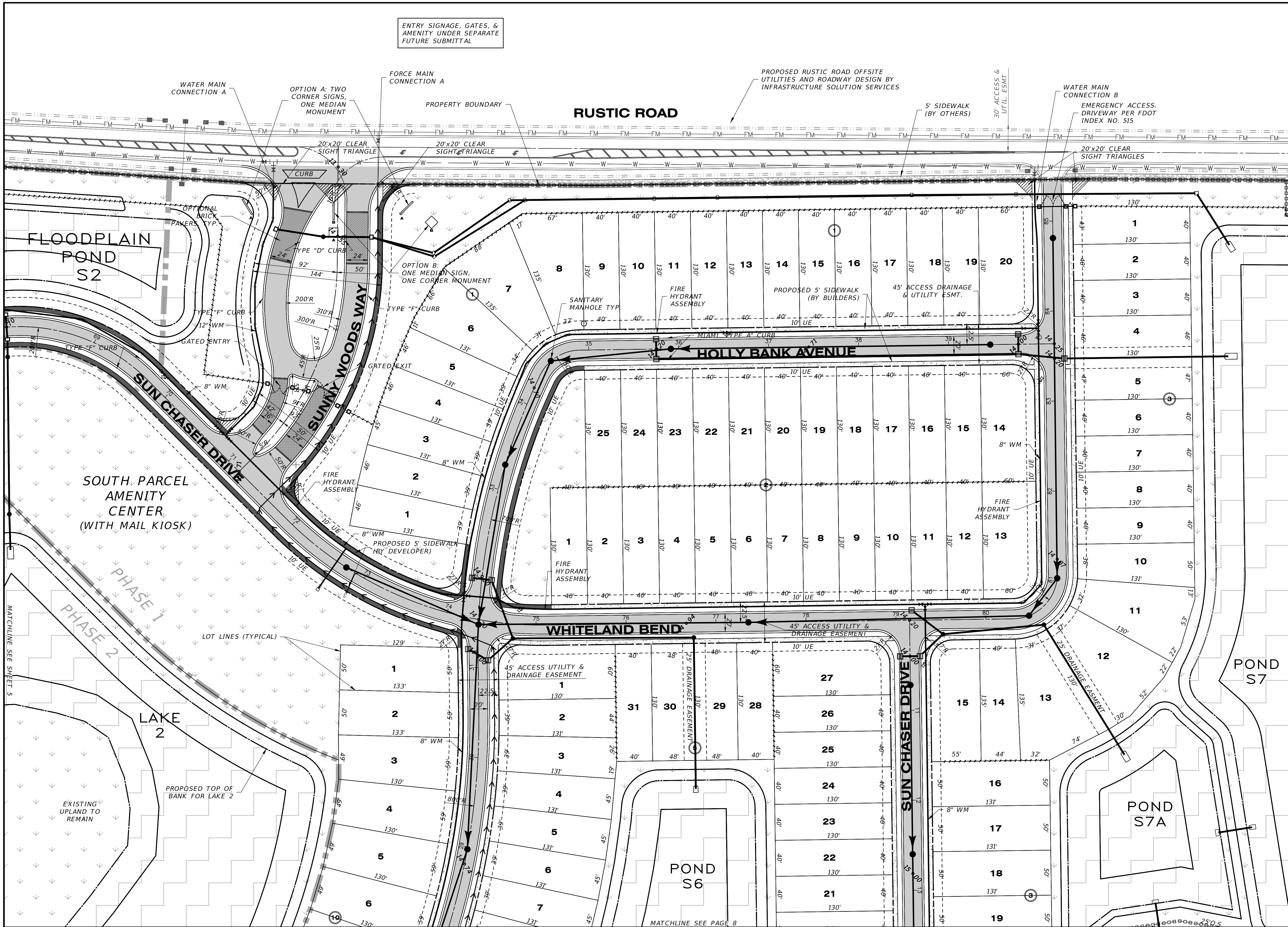
05-14-2021	ADD HATCH TO WL SB, ROAD DIM.	TKW
04-04-2021	OSW IMPACT REMOVED	TKW
01-11-2021	HATCHING, MATCH LINES, LEGEND, POND LABEL REVISED	TKW
DATE	DESCRIPTION	BY
	REVISIONS	

JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

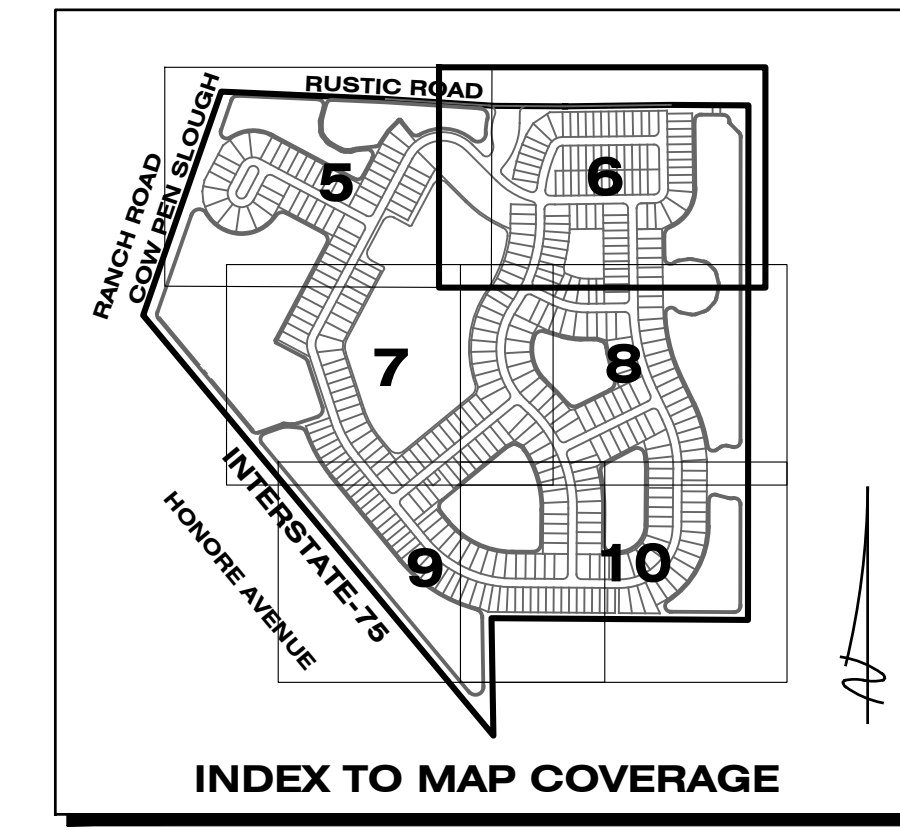
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Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
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DATE: JORDAN A. SCHRADER, P.E. NO. 74798
FLORIDA PROFESSIONAL ENGINEER

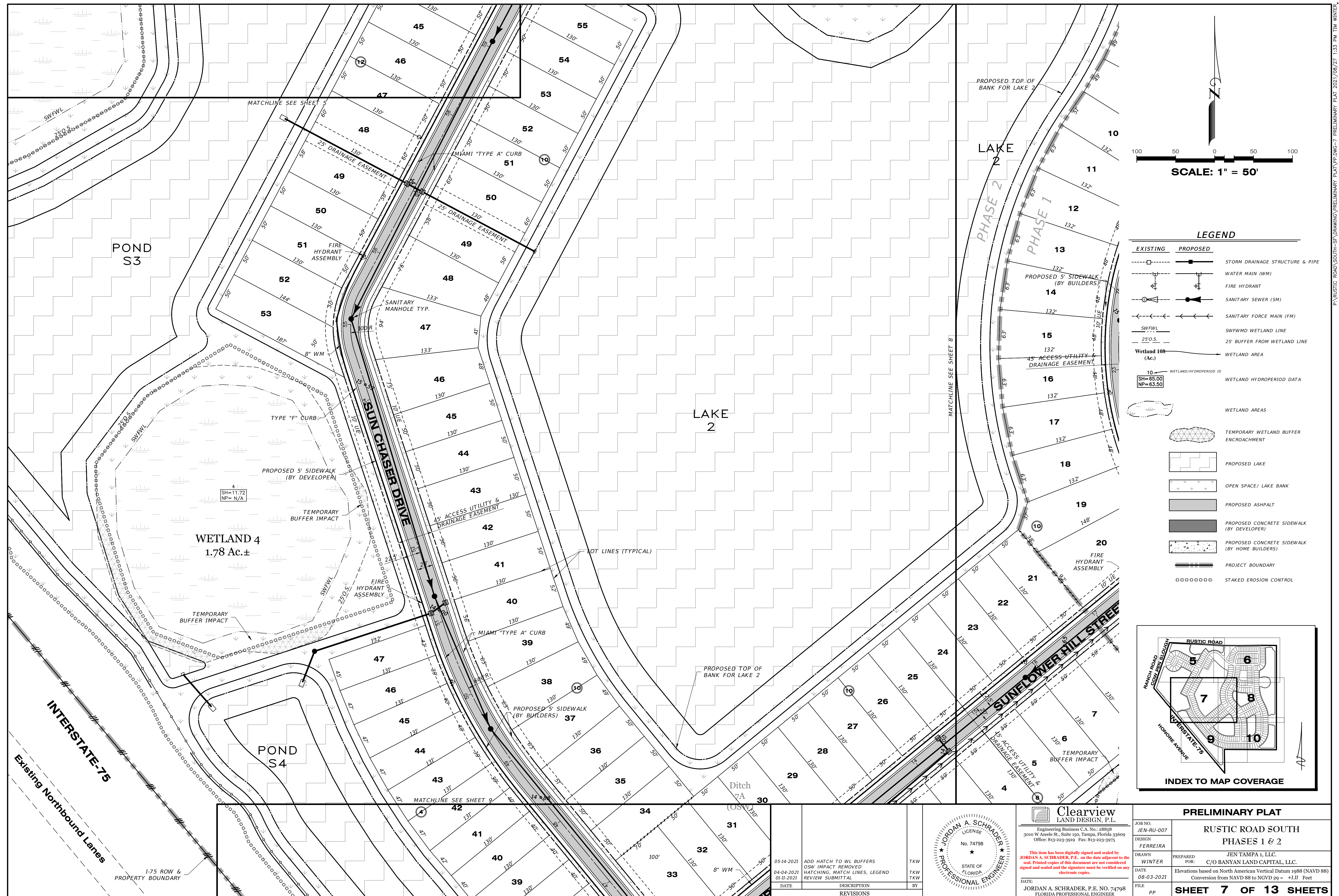


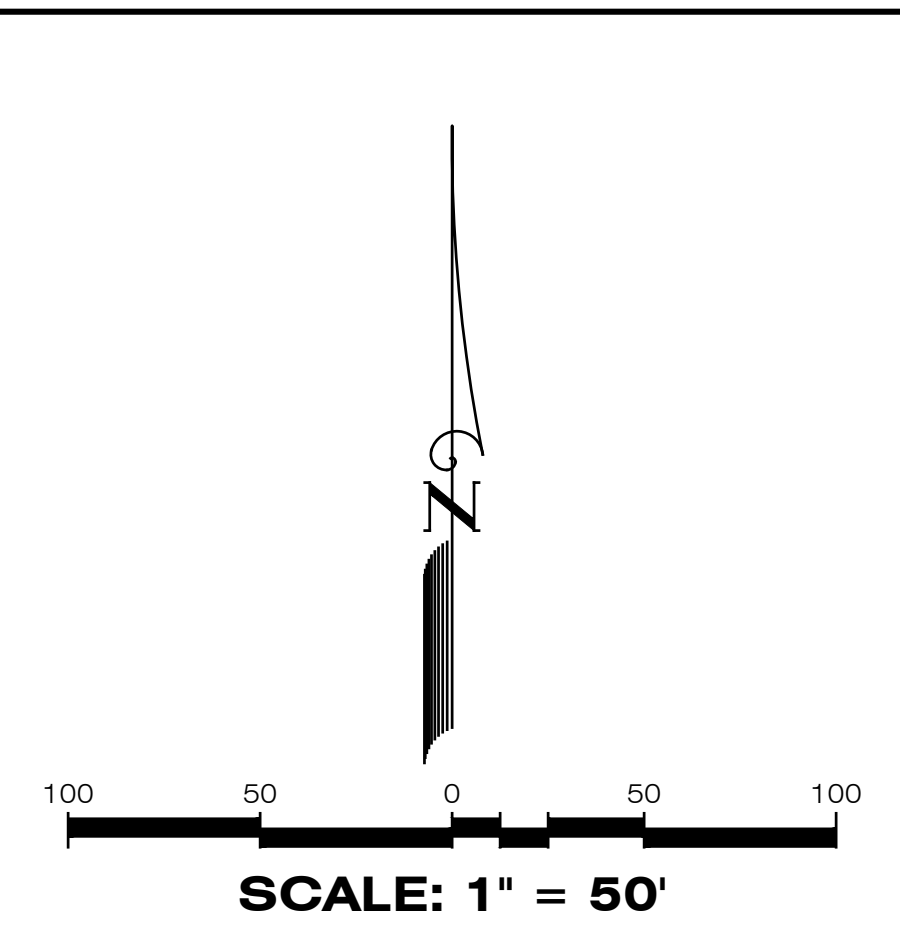
LEGEND		
EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE & PIPE
		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SWFWL
		25' BUFFER FROM WETLAND LINE
		WETLAND AREA
		WETLAND HYDROPERIOD DATA
		WETLAND AREAS
		TEMPORARY WETLAND BUFFER ENCROACHMENT
		PROPOSED LAKE
		OPEN SPACE/ LAKE BANK
		PROPOSED ASPHALT
		PROPOSED CONCRETE SIDEWALK (BY DEVELOPER)
		PROPOSED CONCRETE SIDEWALK (BY HOME BUILDERS)
		PROJECT BOUNDARY
		STAKED EROSION CONTROL



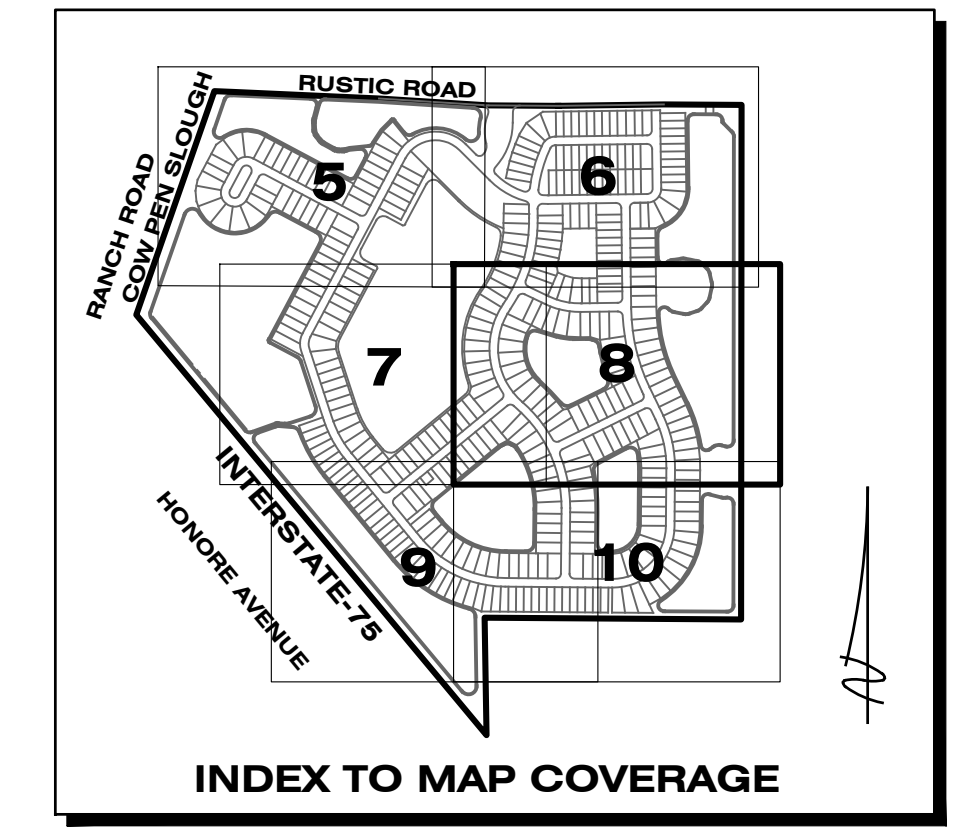
<div>05-14-2021 04-04-2021 01-11-2021</div> <div>ADD HATCH TO WL BUFFERS, WL & OSW IMPACTS REMOVED HATCHING, MATCH LINES, LEGEND CLEAR SIGHT TRIANGLES REVIEW SUBMITTAL</div> <div>DATE DESCRIPTION REVISIONS</div>	<div>TKW TKW TKW</div> <div>BY</div>	<div></div> <div>JORDAN A. SCHRADER, P.E. NO. 74798 FLORIDA PROFESSIONAL ENGINEER</div>	<div> Engineering Business C.A. No.: 28858 3010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975</div> <div>This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</div> <div>DATE: JORDAN A. SCHRADER, P.E. NO. 74798 FLORIDA PROFESSIONAL ENGINEER</div>	<div>JEN-RU-007 DESIGN FERREIRA DRAWN WINTER</div> <div>DATE 08-03-2021 FILE PP</div>	<div>PRELIMINARY PLAT RUSTIC ROAD SOUTH PHASES 1 & 2</div> <div>JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC. Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet</div> <div>SHEET 6 OF 13 SHEETS</div>
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P:\RUSTIC ROAD SOUTH-SF\DRAWING\PRELIMINARY PLAT\PP-DWG-6 PRELIMINARY PLAT 2021/08/27 1:33 PM TIM WINTER

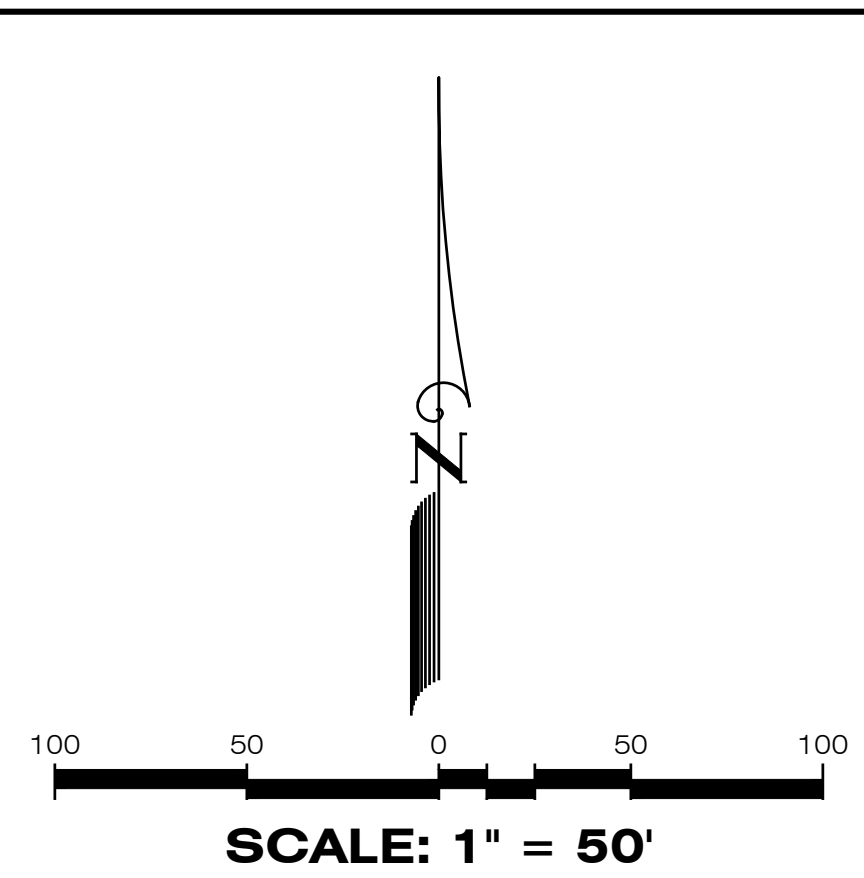
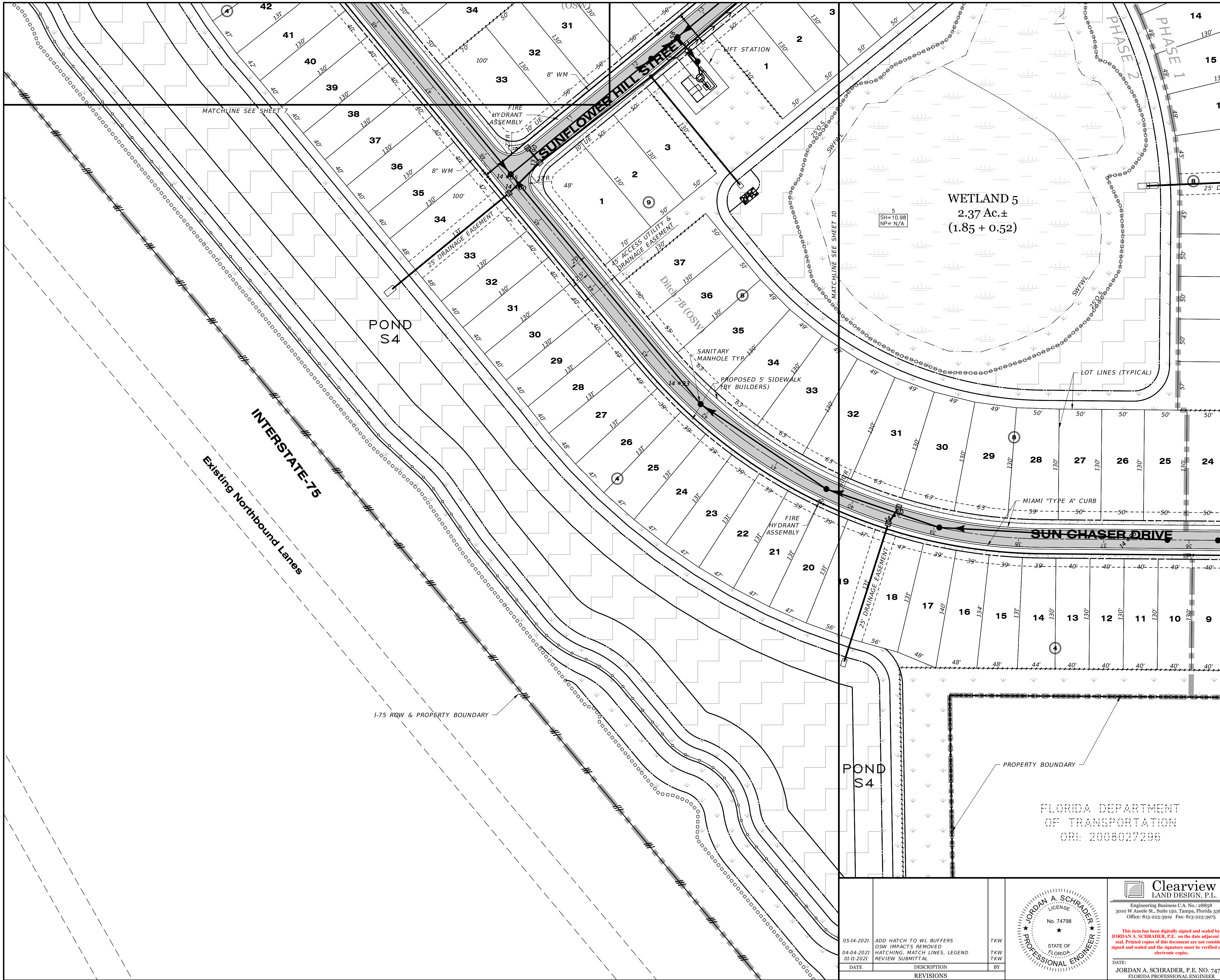




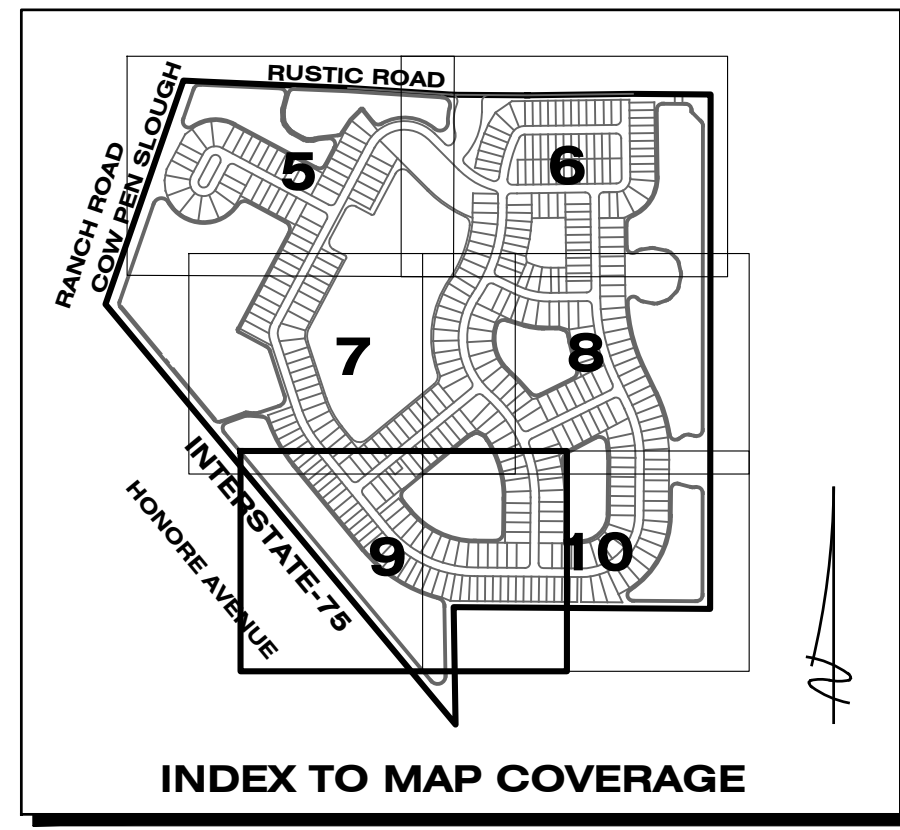
LEGEND		
EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE & PIPE
		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SWFWL
		25' BUFFER FROM WETLAND LINE
		WETLAND AREA
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		OPEN SPACE/ LAKE BANK
		PROPOSED ASPHALT
		PROPOSED CONCRETE SIDEWALK (BY DEVELOPER)
		PROPOSED CONCRETE SIDEWALK (BY HOME BUILDERS)
		PROJECT BOUNDARY
		STAKED EROSION CONTROL



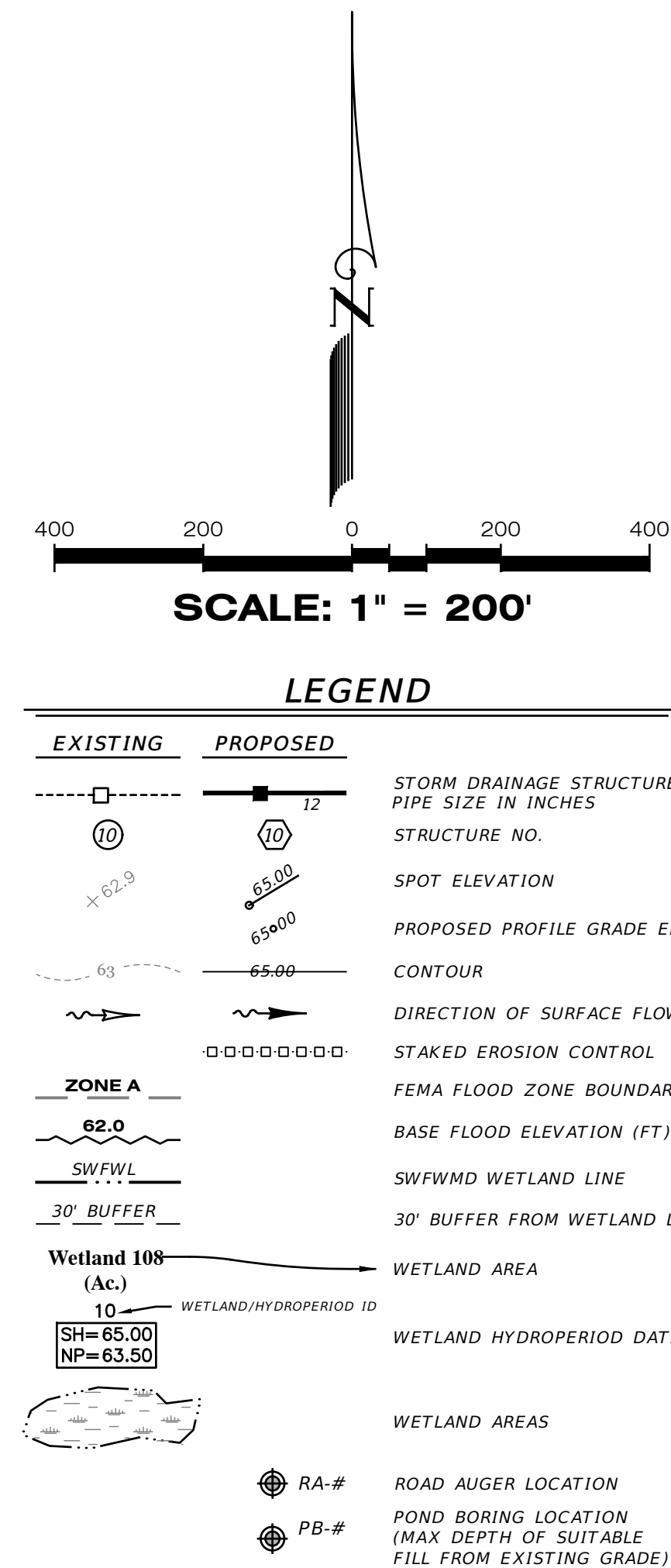
<p>05-14-2021 ADD HATCH TO WL BUFFERS 04-04-2021 OSW IMPACT REMOVED 01-11-2021 HATCHING, MATCH LINES, LEGEND REVIEW SUBMITTAL</p> <table><thead><tr><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr></thead><tbody><tr><td></td><td>REVISIONS</td><td></td></tr></tbody></table>	DATE	DESCRIPTION	BY		REVISIONS		<p>TKW TKW TKW</p>			<p>PRELIMINARY PLAT</p> <p>RUSTIC ROAD SOUTH PHASES 1 & 2</p> <p>JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.</p> <p>DATE: 08-03-2021 Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet</p> <p>FILE PP</p> <p>SHEET 8 OF 13 SHEETS</p>
DATE	DESCRIPTION	BY								
	REVISIONS									
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LEGEND		
EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE & PIPE
		WATER MAIN (WM)
		FIRE HYDRANT
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SWFWMD WETLAND LINE
		25' BUFFER FROM WETLAND LINE
		WETLAND AREA
		WETLAND HYDROPERIOD DATA
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		PROPOSED CONCRETE SIDEWALK (BY HOME BUILDERS)
		PROJECT BOUNDARY
		STAKED EROSION CONTROL



05-14-2021 04-04-2021 01-11-2021		ADD HATCH TO WL BUFFERS OSW IMPACTS REMOVED HATCHING, MATCH LINES, LEGEND REVIEW SUBMITTAL	TKW TKW TKW
DATE	DESCRIPTION	REVISIONS	BY
JORDAN A. SCHRADER, P.E. NO. 74798 FLORIDA PROFESSIONAL ENGINEER			
JEN-RU-007 DESIGN FERREIRA DRAWN WINTER		PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.	
DATE 08-03-2021		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet	
FILE PP		SHEET 9 OF 13 SHEETS	





NOTES:
1. Elevations Refer to the National American Vertical Datum 1988 (NAVD 88).
2. The site appears to lie within Flood Zone "X" and, in the northeast corner, Flood Zone "AE" ELEV. 10. according to Federal Emergency Management Agency (FEMA) - Flood Insurance Rate Map (FIRM) Community-Panel No.'s 12115C0243F and 12115C0245F revised November 4, 2016.

STREET & DRAINAGE CONSTRUCTION NOTES:

1. Prior to construction, the Contractor shall obtain from the Engineer or Owner a copy of all pertinent permits related to this project. It is the Contractor's responsibility to assure that all construction activities are in compliance with the conditions of all permits and approvals. Contractor is also responsible for having his dewatering plan approved by SWFWMD.
2. All construction, materials, methods and workmanship are to be in accordance with City of Venice Subdivision Regulations and DOT Specifications, latest editions.
3. Grass and mulch, or solid sod, all areas in existing rights-of-way disturbed by construction. In the proposed rights-of-way a 2 wide area behind the back of curb to be solid sodded. The remainder of the proposed rights-of-way shall be sodded in accordance with these dimensions and apply to the concrete valley.
4. In accordance with the Underground Facility Damage Prevention and Safety Act (Chapter 556, F.S.) the Contractor shall call the Sunshine State One Call of Florida (SSCOF) at 1-800-432-4770 forty eight (48) hours in advance of any excavation.
5. Prior to inlet installation the Engineer shall lay out the back of the curb in the vicinity of the respective inlet for alignment and grade, and the Contractor shall construct the inlet allowing for an 18" concrete throat between the back of the curb and the face of the inlet. The top of the inlet shall be constructed to an elevation of 1.0 foot above the invert of the inlet. These dimensions shall apply to the concrete valley gutter type section only. Any inlets constructed incorrectly by deviating from this sequence of inlet construction shall be the sole responsibility of the Contractor and no additional payment shall be made or allowed for removing and/or correcting the inlet.
6. All ponding areas shall be placed in accordance with the City of Venice Subdivision Regulations and in accordance with the Master Drainage and Grading Plan as directed by the Engineer unless otherwise noted.
7. Sod/Seed & Mulch shall be placed in accordance with applicable City/County standards as well as in accordance with the standards and conditions in SWFWMD permits. If available, a minimum of 1" of sod shall include sodding of all pond embankments of a slope 5:1 or steeper to the MW line, as well as seeding and mulching of the balance of the pond tracts (including pond berms, excluding the area below NW), sodding at a minimum of 2' from the back of curb and any project area with a slope of 5:1 or steeper.
8. Roadway underdrain has been located on these plans to meet the minimum standards of City of Venice. Prior to curb construction, the Geotechnical Engineer shall review the predesign borings and, along with their field inspection, make a recommendation regarding additional underdrain requirements.
9. Erosion control shall be the responsibility of the Contractor. Erosion control shall be in accordance with City of Venice Natural Resources regulations. Installation and maintenance of the required barricading and erosion control shall be the responsibility of the site development contractor unless otherwise designated. The Contractor shall submit a written erosion control plan to the Engineer for review. If a tie-in is proposed and have an Engineer verify the elevation and adequacy of these works.
10. All subsurface construction shall comply with the "Trench Safety Act." The Contractor shall ensure that the method of trench protection and construction is in compliance with the Occupational Safety and Health Administration's regulations.
11. Siltation accumulations greater than the lesser of 12 inches or one-half the depth of the siltation barrier shall be immediately removed and placed in upland areas.
12. During land alteration and construction activities, it shall be unlawful to remove vegetation by grubbing or other means, or to cut, pull, or remove any tree or shrub, or to remove any portion of the canopy of any kind within the dripline of a tree to remain on the site unless otherwise approved by the City.
14. All erosion control installation and installation coordination shall be the responsibility of the Contractor. Clearview Land Design, if contracted by the Owner, will stake the alignment of the proposed erosion control and shall remain responsible for the coordination and installation of the erosion control. The Engineer's approval and maintenance of the erosion control shall be the sole responsibility of the Site Contractor.

05-14-2021	OSW & WETLAND IMPACTS REMOVED	TWK
04-04-2021	ESMTS MOVED, STORM PIPES REVISED, FLOOD ZONES ADDED, LEGEND REVIEW SUBMITTED	TWK
01-31-2021		TWK
DATE	DESCRIPTION	BY
	REVISIONS	





Clearview
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
3010 W Azeale St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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FLORIDA PROFESSIONAL ENGINEER

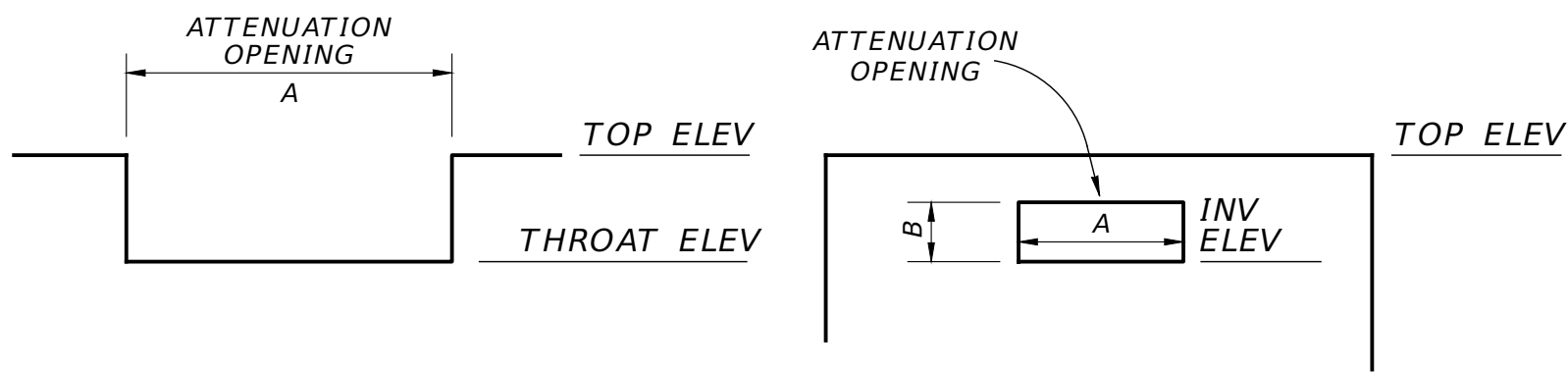
MASTER DRAINAGE PLAN			
JOB NO.	JEN-RU-007	<div style="font-size: 24px; font-weight: bold;">RUSTIC ROAD SOUTH</div> <div style="font-size: 24px; font-weight: bold;">PHASES 1 & 2</div>	
DESIGN	FERREIRA		
DRAWN	WINTER		
DATE	08-03-2021	PREPARED FOR:	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
FILE	MD	Elevations based on North American Vertical Datum 1985 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +11.1 Feet	
		SHEET 11 of 13 SHEETS	

\\P:\RUSTIC ROAD\South-SF\DRAWING\PRELIMINARY PLAT\MD.DWG-11 MASTER DRAINAGE PLAN 2021/08/27 1:34 PM TIM WINTER.

STORM STRUCTURE DATA											
STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS	
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT ELEV.		FALL IN FEET		
							UPPER END	LOWER END			
1	VALLEY GUTTER INLET	14.30	RCP	18	22	0.20	9.70	9.66	0.04		
2	VALLEY GUTTER INLET	14.30	RCP	24	217	0.20	9.20	8.77	0.43		
8											
3	VALLEY GUTTER INLET	14.30	RCP	24	22	0.20	7.00	6.96	0.04		
4	VALLEY GUTTER INLET	14.30	RCP	24	116	0.20	6.96	6.72	0.23		
6	VALLEY GUTTER INLET	14.30	RCP	24	25	0.20	6.72	6.67	0.05		
7	VALLEY GUTTER INLET	14.30	RCP	30	156	0.20	6.17	5.86	0.31		
8	MANHOLE	14.70	RCP	30	22	0.20	5.86	5.82	0.04	FDOT INDEX NO. 425.001	
9	MES									FDOT INDEX NO. 430.021	
11	VALLEY GUTTER INLET	14.30	RCP	18	31	0.20	9.70	9.64	0.06		
12	VALLEY GUTTER INLET	14.30	RCP	24	60	0.20	7.94	7.82	0.12		
13	THROAT INLET	14.95	RCP	24	56	0.20	6.82	6.71	0.11		
14	MES									FDOT INDEX NO. 430.021	
15	THROAT INLET	14.47	RCP	18	60	0.20	9.50	9.38	0.12		
16	MANHOLE	15.30	RCP	18	56	0.20	9.75	9.64	0.11	FDOT INDEX NO. 425.001	
17	THROAT INLET	14.47	RCP	18	71	0.20	9.64	9.50	0.14		
18	TYPE C	13.60	RCP	24	119	0.24	9.00	8.71	0.29		
19	TYPE C	13.60	RCP	24	214	0.20	8.71	8.28	0.43		
20	TYPE C	13.60	RCP	24	215	0.20	8.28	7.85	0.43		
21	TYPE C	13.50	RCP	30	316	0.20	7.35	6.72	0.63		
22	TYPE E	13.50	RCP	30	66	0.20	5.97	5.84	0.13		
23	MES									FDOT INDEX NO. 430.021	
24	VALLEY GUTTER INLET	14.08	RCP	18	22	0.20	9.48	9.44	0.04		
25	VALLEY GUTTER INLET	14.08	RCP	24	404	0.20	7.94	7.13	0.81		
27											
26	VALLEY GUTTER INLET	13.60	RCP	18	22	0.20	9.00	8.96	0.04		
27	VALLEY GUTTER INLET	13.60	RCP	30	51	0.20	5.13	5.02	0.10		
28	VALLEY GUTTER INLET	13.80	RCP	36	180	0.20	4.52	4.16	0.36	TYPE 'J' STRUCTURE BOTTOM	
29	MES									FDOT INDEX NO. 430.021	
30	VALLEY GUTTER INLET	13.60	RCP	18	22	0.20	9.00	8.96	0.04		
31	VALLEY GUTTER INLET	13.60	RCP	24	35	0.20	7.46	7.39	0.07		
33											
32	VALLEY GUTTER INLET	13.80	RCP	18	44	0.20	7.98	7.89	0.09		
33	MANHOLE	14.28	RCP	30	112	0.20	6.89	6.67	0.22	FDOT INDEX NO. 425.001	
34	MANHOLE	14.49	RCP	30	169	0.20	6.17	5.83	0.34	FDOT INDEX NO. 425.001	
35	MES									FDOT INDEX NO. 430.021	

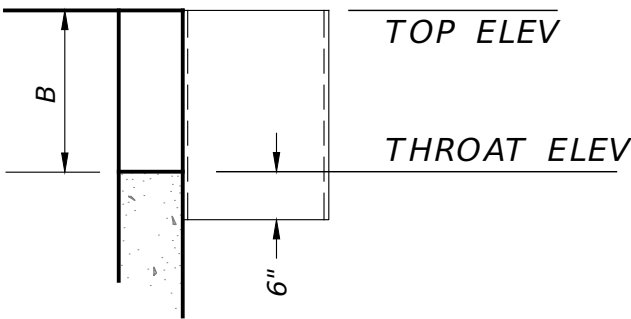
STORM STRUCTURE DATA											
STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS	
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT UPPER END	ELEV. LOWER END	FALL IN FEET		
36	VALLEY GUTTER INLET	13.60	RCP	18	24	0.20	9.00	8.95	0.05		
37	VALLEY GUTTER INLET	13.60	RCP	24	62	0.20	7.45	7.33	0.12		
40											
38	VALLEY GUTTER INLET	13.60	RCP	18	25	0.20	9.00	8.95	0.05		
39	VALLEY GUTTER INLET	13.60	RCP	24	36	0.20	8.45	8.38	0.07		
40	MANHOLE	14.25	RCP	30	201	0.16	6.83	6.51	0.32	FDOT INDEX NO. 425.001	
41	MANHOLE	14.84	RCP	36	168	0.16	6.01	5.74	0.27	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
42	MES									FDOT INDEX NO. 430.021	
43	MES	11.00	RCP	30	165	0.10	6.50	6.34	0.17	FDOT INDEX NO. 430.021	
47											
44	VALLEY GUTTER INLET	13.70	RCP	18	55	0.20	9.10	8.99	0.11		
46											
45	VALLEY GUTTER INLET	13.60	RCP	18	22	0.20	9.00	8.96	0.04		
46	VALLEY GUTTER INLET	13.60	RCP	24	181	0.20	8.46	8.09	0.36		
47	MANHOLE	14.48	RCP	30	38	0.20	6.34	6.26	0.08	FDOT INDEX NO. 425.001	
48	MANHOLE	14.42	RCP	30	168	0.20	6.26	5.92	0.34	FDOT INDEX NO. 425.001	
49	MES									FDOT INDEX NO. 430.021	
50	VALLEY GUTTER INLET	13.60	RCP	18	31	0.20	9.00	8.94	0.06		
51	VALLEY GUTTER INLET	13.60	RCP	24	55	0.20	8.44	8.33	0.11		
52	VALLEY GUTTER INLET	13.75	RCP	30	165	0.20	6.33	6.00	0.33		
53	MANHOLE	14.50	RCP	30	56	0.20	6.00	5.89	0.11	FDOT INDEX NO. 425.001	
54	MES									FDOT INDEX NO. 430.021	
55	CONTROL STRUCTURE	13.40	RCP	36	166	0.16	6.40	6.13	0.27	TYPE 'J' STRUCTURE BOTTOM REFER TO CONTROL STRUCTURE DETAILS	
56	MANHOLE	14.68	RCP	36	33	0.16	3.73	3.68	0.05	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
57	MANHOLE	14.65	RCP	36	178	0.16	3.68	3.40	0.28	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
58	MES									FDOT INDEX NO. 430.021	
59	VALLEY GUTTER INLET	13.70	RCP	18	50	0.20	9.10	9.00	0.10		
61											
60	VALLEY GUTTER INLET	13.60	RCP	18	22	0.20	9.00	8.96	0.04		
61	VALLEY GUTTER INLET	13.60	RCP	24	182	0.20	7.66	7.29	0.36		
66											
62	MES	11.00	RCP	36	172	0.20	6.50	6.16	0.34	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 430.021	
63	VALLEY GUTTER INLET	13.75	RCP	36	52	0.20	6.16	6.05	0.10	TYPE 'J' STRUCTURE BOTTOM	
64	VALLEY GUTTER INLET	13.60	RCP	36	31	0.20	6.05	5.99	0.06	TYPE 'J' STRUCTURE BOTTOM	
65	VALLEY GUTTER INLET	13.60	RCP	36	313	0.20	5.99	5.36	0.63	TYPE 'J' STRUCTURE BOTTOM	
66	MANHOLE	14.48	RCP	36	175	0.20	5.36	5.01	0.35	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
67	MES									FDOT INDEX NO. 430.021	

STORM STRUCTURE DATA											
STRUCTURE			LINE							STRUCTURE LOCATION & REMARKS	
NO.	TYPE & SIZE	TOP ELEV.	TYPE	DIAM. IN.	LENGTH FEET	SLOPE %	INVERT ELEV. UPPER END	LOWER END	FALL IN FEET		
73	CONTROL STRUCTURE	13.20	RCP	36	161	0.20	7.20	6.88	0.32	TYPE 'J' STRUCTURE BOTTOM REFER TO CONTROL STRUCTURE DETAILS	
74	MANHOLE	14.15	RCP	36	32	0.20	4.68	4.61	0.06	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
75	MANHOLE	14.15	RCP	36	175	0.20	4.61	4.26	0.35	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
76	MES									FDOT INDEX NO. 430.021	
77	VALLEY GUTTER INLET	13.60	RCP	18	25	0.20	9.00	8.95	0.05		
78	VALLEY GUTTER INLET	13.60	RCP	24	170	0.20	7.20	6.86	0.34		
79	MES									FDOT INDEX NO. 430.021	
80	VALLEY GUTTER INLET	13.60	RCP	18	36	0.20	9.00	8.93	0.07		
81	VALLEY GUTTER INLET	13.60	RCP	24	142	0.20	7.43	7.14	0.28		
82	MANHOLE	15.00	RCP	24	62	0.20	6.14	6.02	0.12	FDOT INDEX NO. 425.001	
83	MES									FDOT INDEX NO. 430.021	
84	CONTROL STRUCTURE	12.80	RCP	18	40	0.20	8.20	8.12	0.08	REFER TO CONTROL STRUCTURE DETAILS	
85	MES									FDOT INDEX NO. 430.021	
86	VALLEY GUTTER INLET	13.45	RCP	18	22	0.20	8.85	8.81	0.04		
87	VALLEY GUTTER INLET	13.45	RCP	24	52	0.20	8.31	8.20	0.10		
88	VALLEY GUTTER INLET	13.60	RCP	24	171	0.40	8.20	7.52	0.68		
89	MES									FDOT INDEX NO. 430.021	
90	VALLEY GUTTER INLET	13.60	RCP	18	22	0.20	9.00	8.96	0.04		
91	VALLEY GUTTER INLET	13.60	RCP	24	238	0.20	7.46	6.98	0.48		
93											
92	MES	11.00	RCP	36	163	0.16	6.00	5.74	0.26	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 430.021	
93	MANHOLE	14.36	RCP	36	166	0.20	5.74	5.41	0.33	TYPE 'J' STRUCTURE BOTTOM FDOT INDEX NO. 425.001	
95											
94	VALLEY GUTTER INLET	13.50	RCP	18	22	0.20	8.90	8.86	0.04		
95	VALLEY GUTTER INLET	13.50	RCP	36	50	0.20	5.37	5.27	0.10	TYPE 'J' STRUCTURE BOTTOM	
96	VALLEY GUTTER INLET	13.60	RCP	36	176	0.20	5.27	4.91	0.35	TYPE 'J' STRUCTURE BOTTOM	
97	MES									FDOT INDEX NO. 430.021	
98	VALLEY GUTTER INLET	13.60	RCP	18	25	0.20	9.00	8.95	0.05		
99	VALLEY GUTTER INLET	13.60	RCP	24	152	0.20	6.95	6.65	0.30		
100	MANHOLE	14.50	RCP	24	40	0.20	6.65	6.57	0.08	FDOT INDEX NO. 425.001	
101	MES									FDOT INDEX NO. 430.021	
102	VALLEY GUTTER INLET	13.60	RCP	24	23	0.20	8.50	8.45	0.05		
103	VALLEY GUTTER INLET	13.60	RCP	24	170	0.24	7.20	6.80	0.41		
104	MES									FDOT INDEX NO. 430.021	

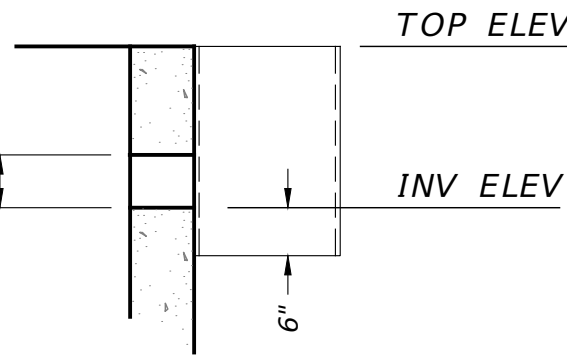


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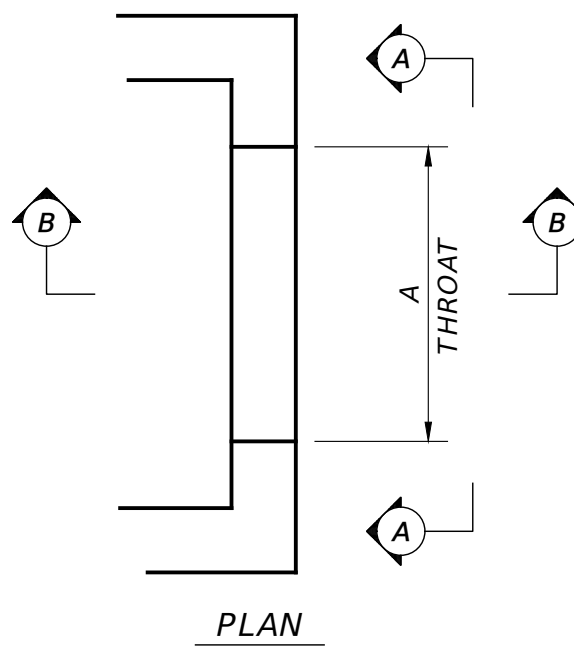
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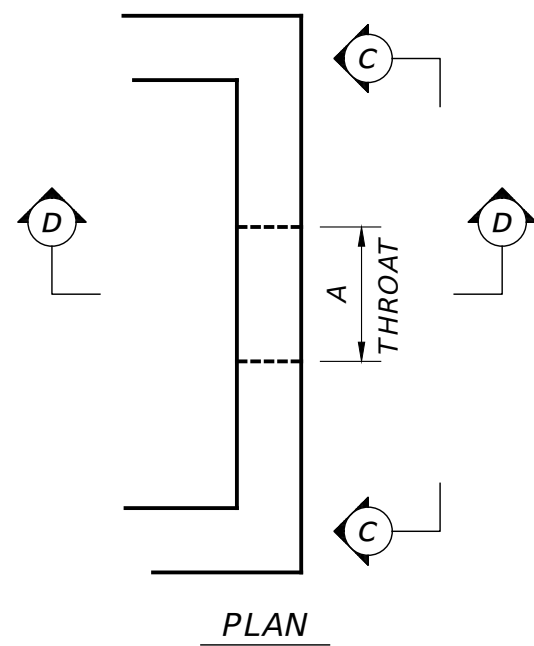
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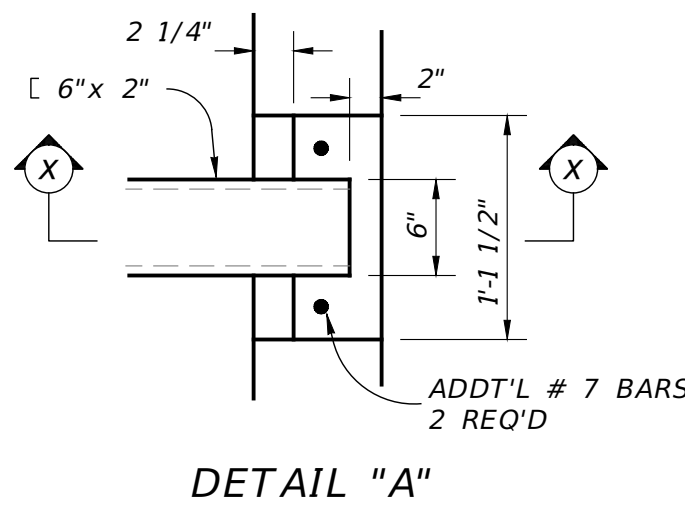
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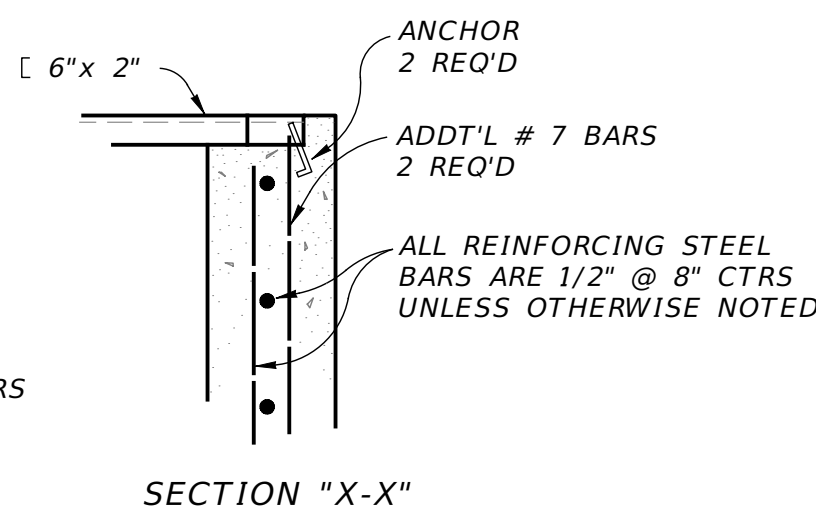
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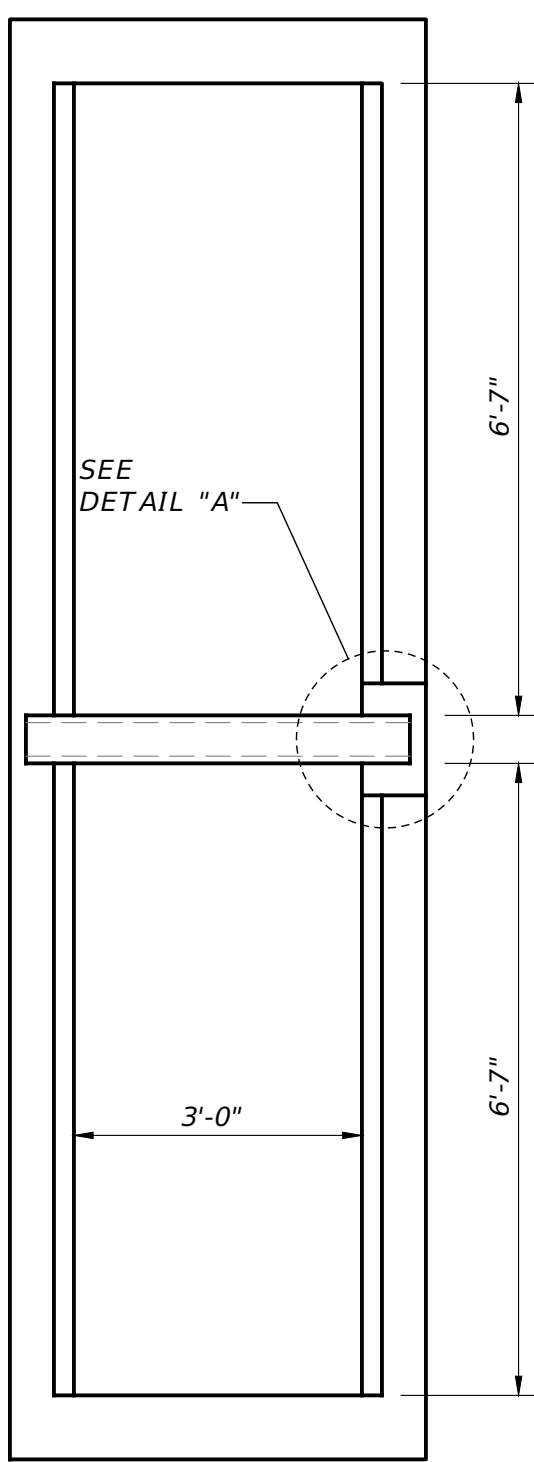
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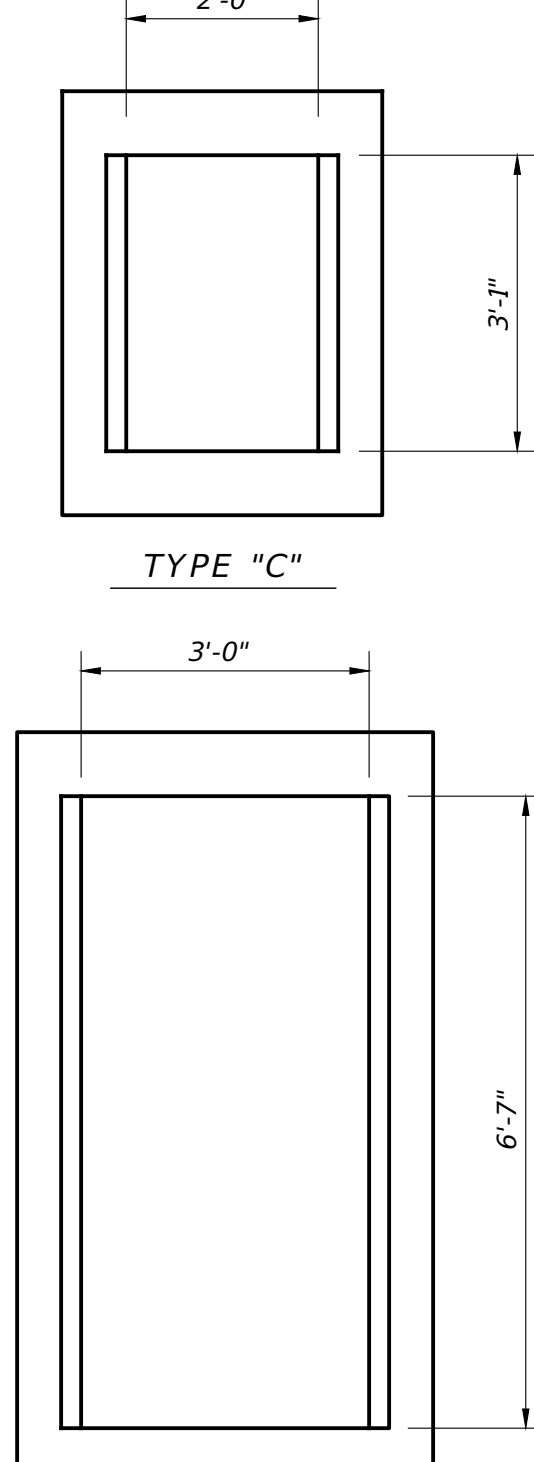
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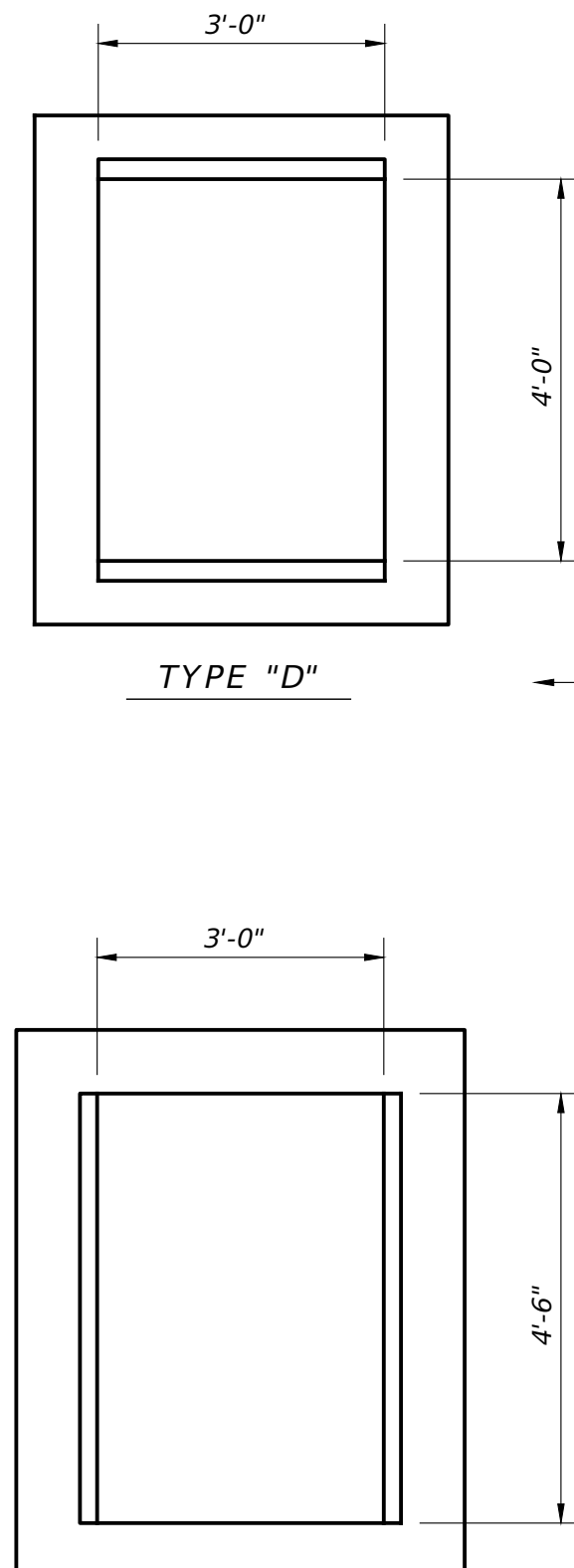
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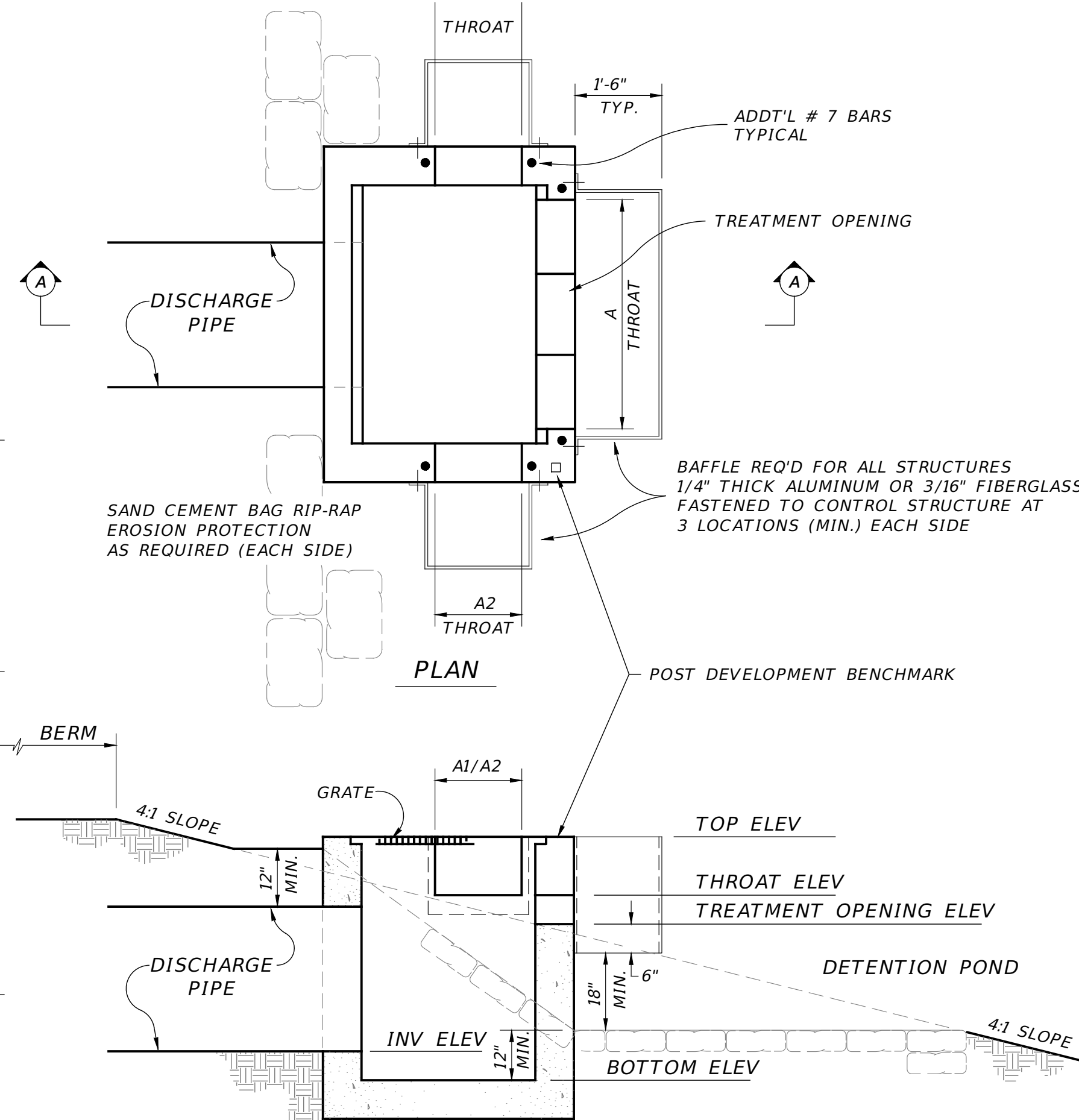
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(DOUBLE)



TYPE "C"



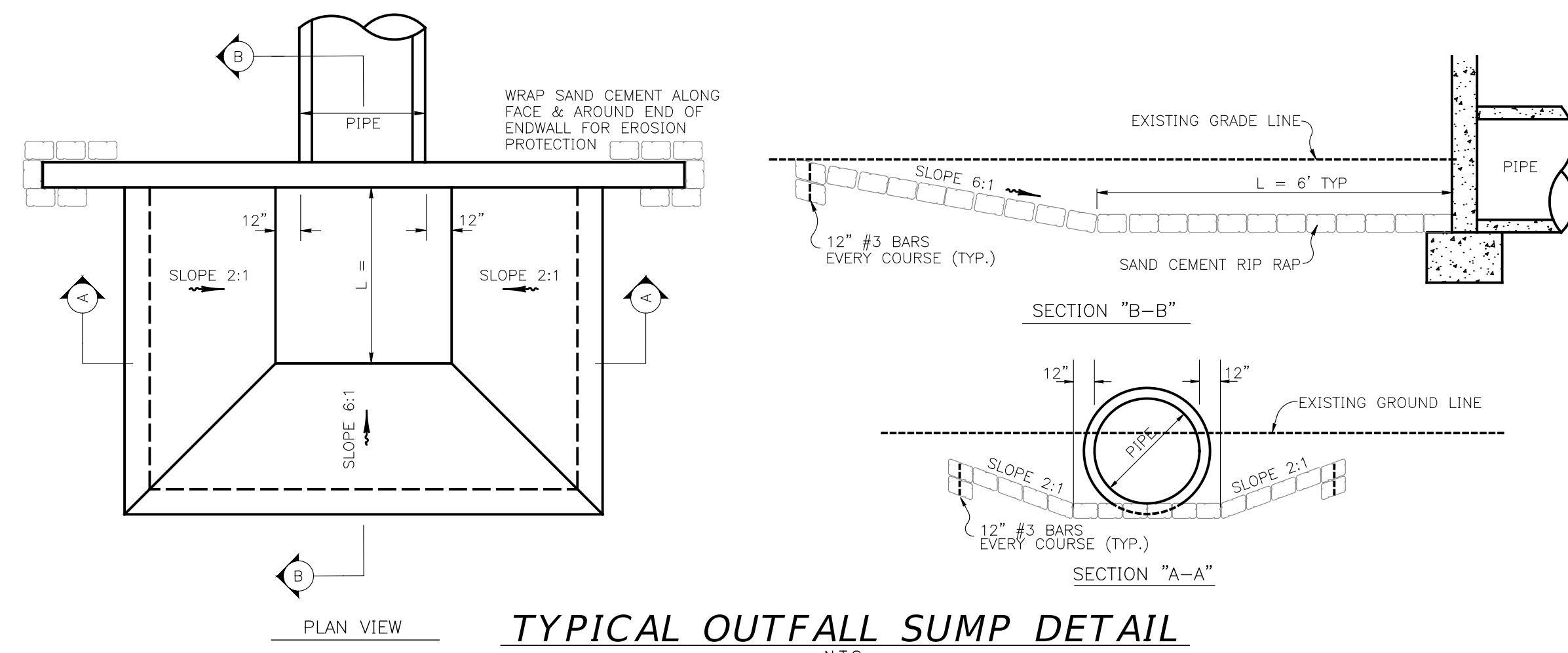
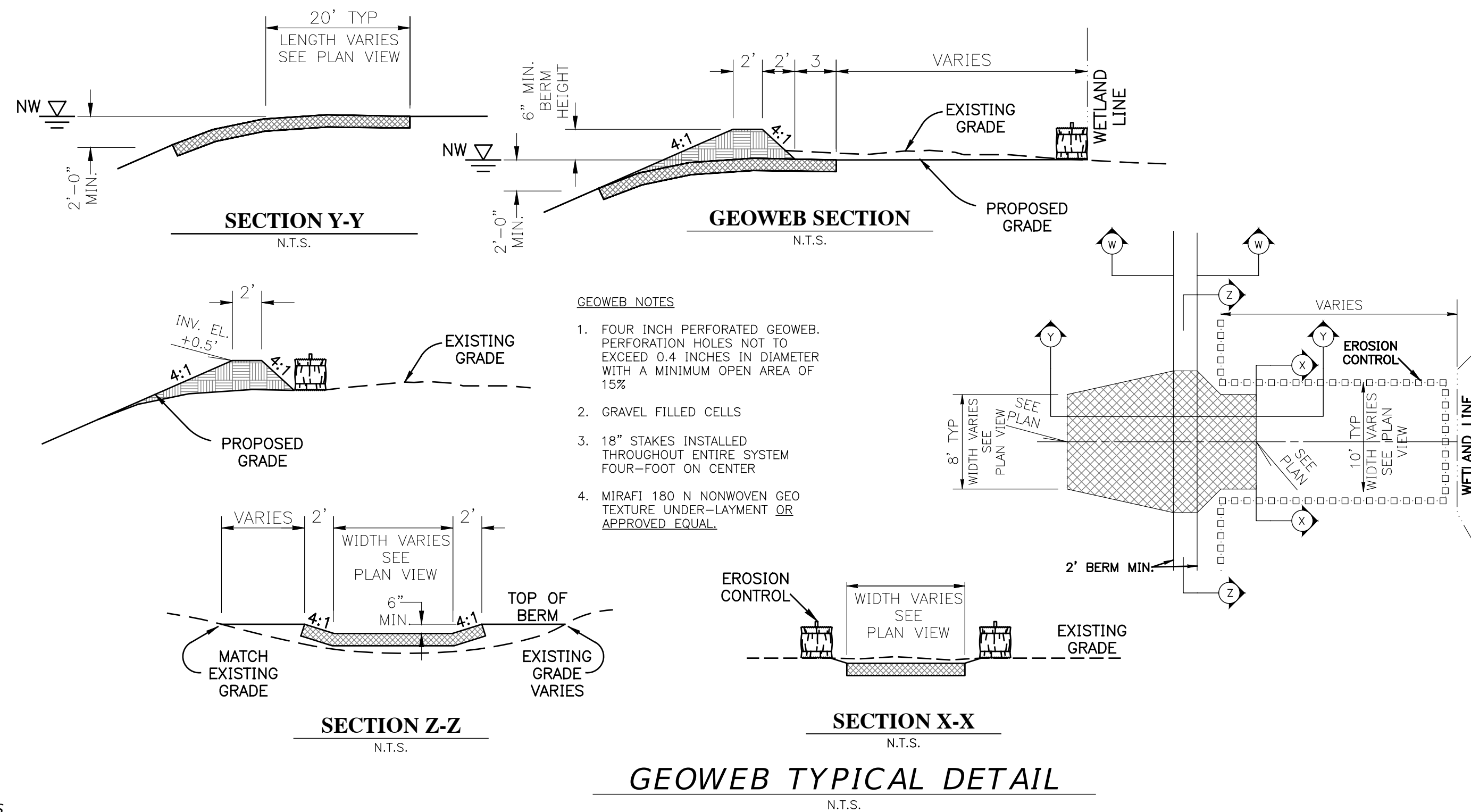
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TYPICAL CONTROL STRUCTURE

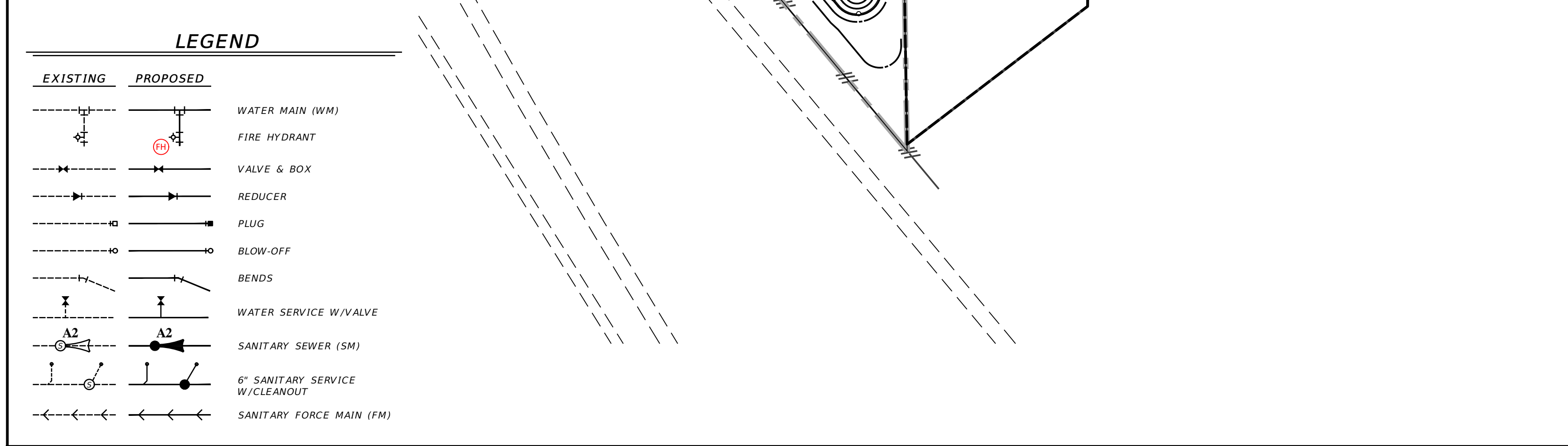
NOTES:
1. This drawing is not to scale.
2. Contractor shall submit shop drawings to the Engineer for approval prior to constructing control structures.

CONTROL STRUCTURE DATA																
STR NO	FDOT BOX TYPE	TOP EL (FT)	BOTT EL (FT)	DISCHARGE PIPE			STR TYPE	ATTENUATION AND TREATMENT CONTROLS							REMARKS	
				TYPE	SIZE (IN)	INV EL (FT)		ATTENUATION OPENING		EL (FT)	TREATMENT OPENING			EL (FT)		
								A	B		C	D	F			
55	D	13.40	5.40	RCP	36	6.40	CS-2					3'-0"	1'-6"		11.00	POND 55 OUTFALL
73	E	13.20	6.20	RCP	36	7.20	CS-1					4'-0"	2'-0"		11.00	POND 58 OUTFALL
												2'-5"	2'-0"		11.00	
												2'-5"	2'-0"		11.00	
84	C	12.80	7.20	RCP	18	8.20	CS-2					2'-0"	0'-3"		11.00	POND 59 OUTFALL
105	C	13.30	6.30	RCP	24	7.30	CS-2					4'-0"	0'-9"		11.70	LAKE 2 OUTFALL
109	D	13.00	7.85	RCP	30	8.85	CS-1	3'-0"	1'-2"						11.85	FLOODPLAIN POND 52 NODE 092018
113	E	13.20	5.60	RCP	24	6.60	CS-2					4'-0"	0'-4"		11.70	POND 53 OUTFALL
												2'-6"	0'-4"		11.70	
115	D	13.10	5.00	RCP	24	6.00	CS-2					3'-6"	0'-3"		11.00	POND 54 OUTFALL
												1'-0"	0'-3"		11.00	
117	C	13.20	7.10	RCP	24	8.10	CS-2					0'-6"	0'-4"		11.00	POND 57 OUTFALL



TYPICAL OUTFALL SUMP DETAIL

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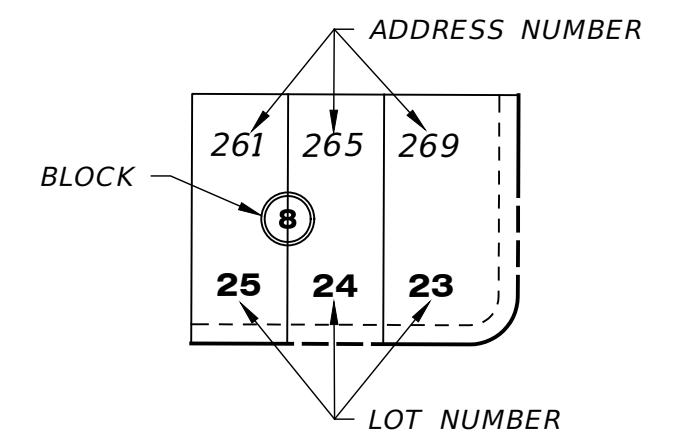


P:\RUSTIC ROAD\ SOUTH-SF\DRAWING\PRELIMINARY PLAT\WS.DWG-12 MASTER WATER & SEWER PLAN 2021/08/27 1:34 PM TIM WINTER.

RUSTIC ROAD

SCALE: 1" = 200'

LEGEND



VALERIE L.
NAZZARESE
ORI: 2009067118



CYNTHIA M OGRADY
ORI: 2002148775

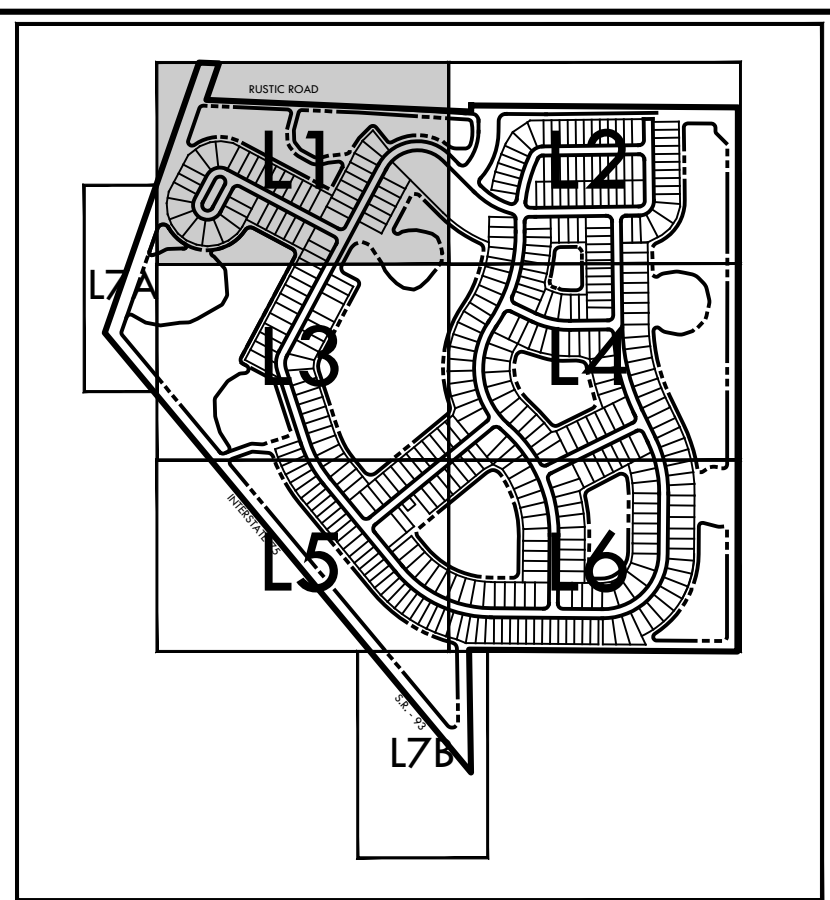
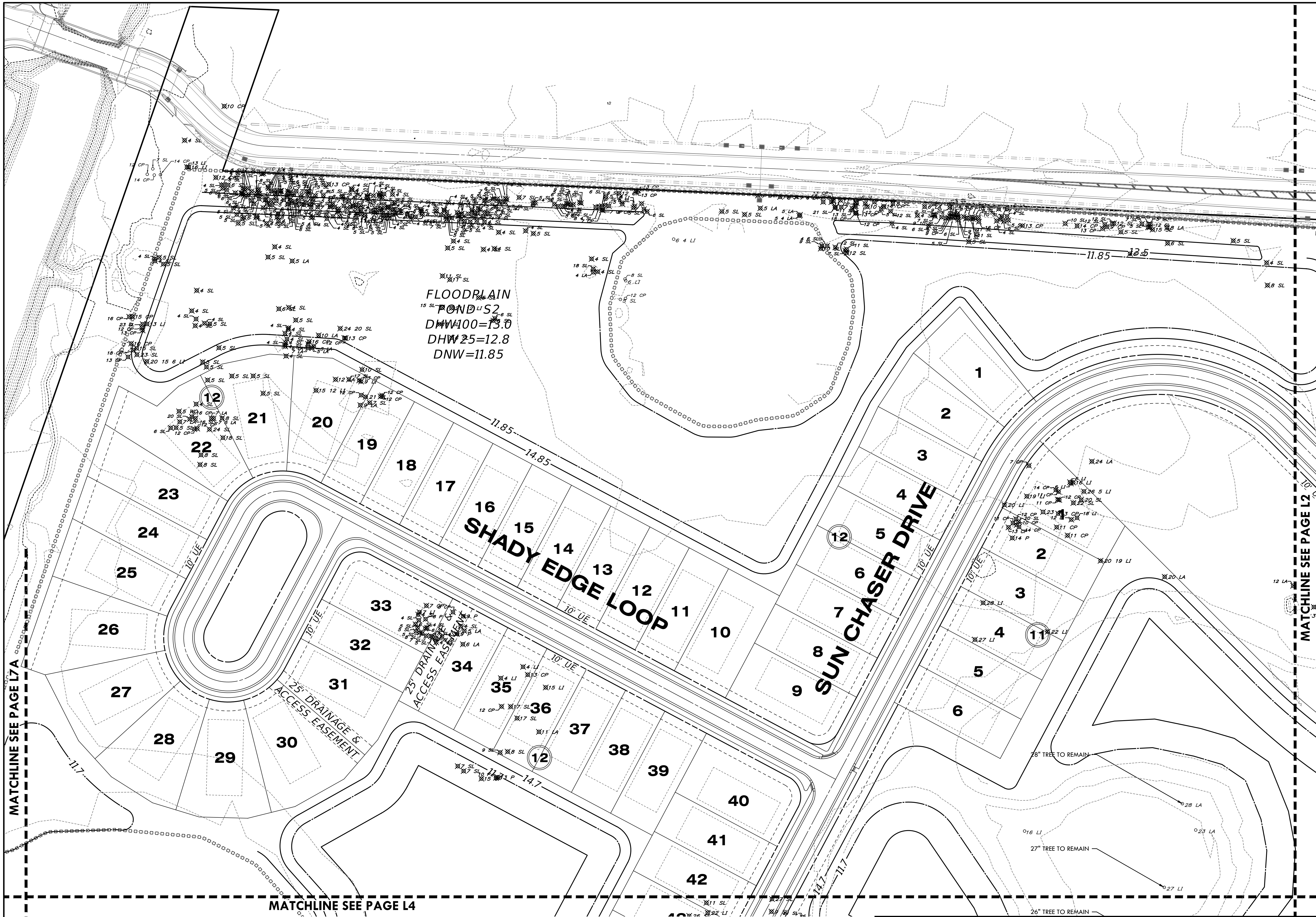
PETERSON PROPERTIES LLC
ORI: 2008116954

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MARY H HURT
TRUSTEE

PARCEL 03770200001
MARY H HURT
TRUSTEE

FLORIDA DEPARTMENT
OF TRANSPORTATION
ORI: 2008027296

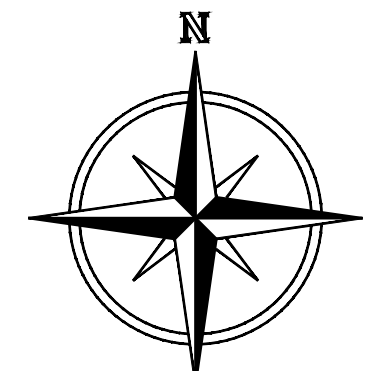
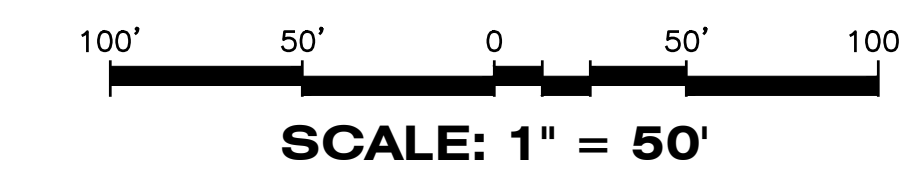
				 Clearview LAND DESIGN, P.L.		ADDRESS PLAN			
				Engineering Business C.A. No.: 28858 3010 W Azeele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975		JOB NO. JEN-RU-007		RUSTIC ROAD SOUTH	
				This item has been digitally signed and sealed by JORDAN A. SCHRADER, P.E. on the date adjacent to the seal. Retained copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.		DESIGN FERREIRA		PHASES 1 & 2	
				DATE: JORDAN A. SCHRADER, P.E. No. 74798 FLORIDA PROFESSIONAL ENGINEER		DRAWN WINTER		PREPARED FOR: C/O BANYAN LAND CAPITAL, LLC.	
04-04-2021 01-13-2021		ADDRESSES UPDATED REVIEW SUBMITTAL				DATE 06-10-2021		ELEVATIONS based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +111 Feet	
DATE DESCRIPTION REVISIONS		BY				FILE ADDRESS PLAN		SHEET 13 of 13 SHEETS	



- KEYMAP**
LEGEND
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

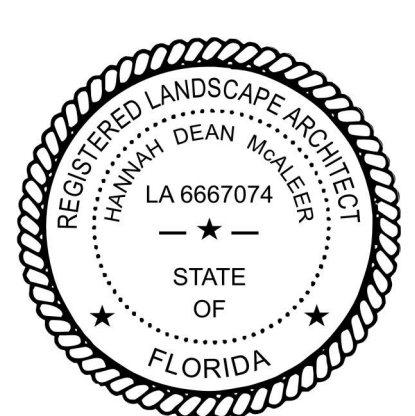
- TREE LEGEND**
- | | | |
|----------------------------------|--------------------------|---------------------------------|
| AP --- AUSTRALIAN PINE | LI --- LIVE OAK | RB --- RED BAY |
| BC/BOH --- BLACK CHERRY | M --- MAGNOLIA | RM --- RED MAPLE |
| C --- CYPRESS | MB --- MARLBERRY | SB --- SWEET BAY MAGNOLIA |
| CB --- CHINA BERRY | NG --- NORTHERN MAGNOLIA | SC --- SYCAMORE |
| CL --- CHERRY LAUREL | NH --- NORTHERN HEMLOCK | SD --- SWEET GUM |
| CO --- CAMPHOR | MY --- MYRTLE OAK | SL --- SLASH PINE (YELLOW PINE) |
| CM --- COCONUT PALM | NP --- NORFOLK PINE | SP --- SAND PINE (SCRUB PINE) |
| CP --- CABBAGE PALM (SABAL PALM) | P --- LONGLEAF PINE | T --- TALLOW WOOD |
| EL --- ELM | PD --- PECAN | TO --- TURKEY OAK |
| F --- FIG (STRANGLER FIG) | PE --- PERSIMMON | WO --- WATER OAK |
| FW --- FIDDLEWOOD | PM --- ROYAL PALM | WP --- WASHINGTON PALM |
| H --- HICKORY | PK --- PLUNK TREE | WX --- WAX MYRTLE |
| LA --- LAUREL OAK (DIAMOND OAK) | PT --- PAPER TREE | |
| LB --- LOBLOLLY BAY | QP --- QUEEN PALM | |

- LEGEND**
- oLI --- TREE TO REMAIN
 - xLI --- TREE TO BE REMOVED
 - WETLAND LINE
 - WETLAND CONSERVATION AREA
 - SETBACK LINE
 - STAKED EROSION CONTROL (SEE GRADING PLAN)
 - PROPERTY LINE
 - ROOT PRUNING
 - NORMAL WATER



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

01-11-2021	REVIEW SUBMITTAL	INI
DATE	DESCRIPTION	BY
	REVISIONS	

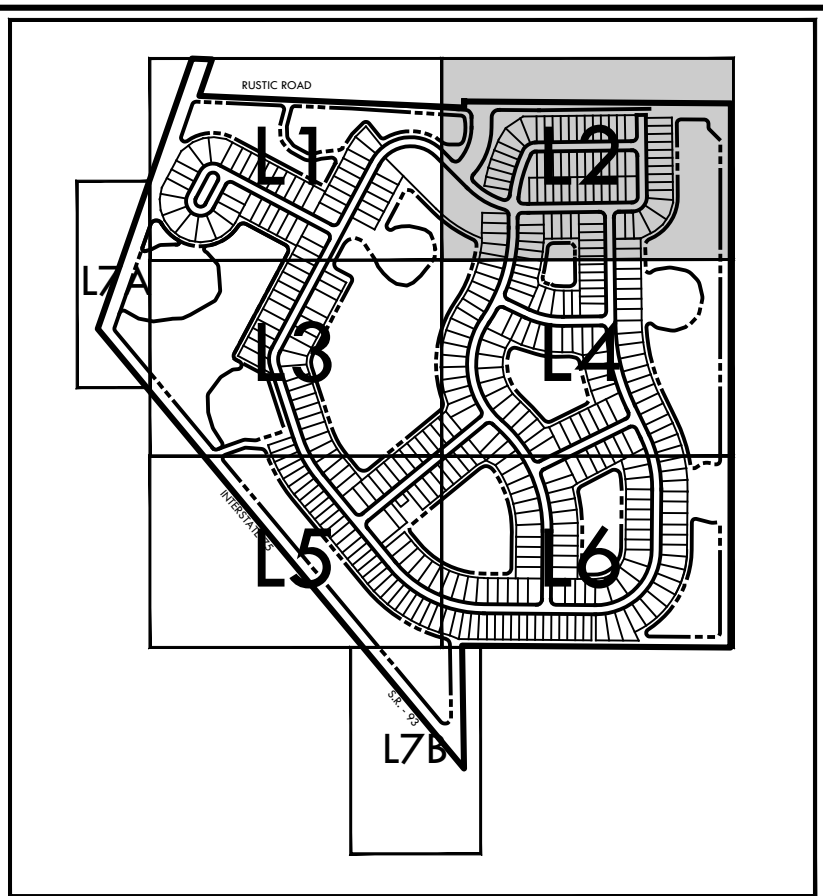
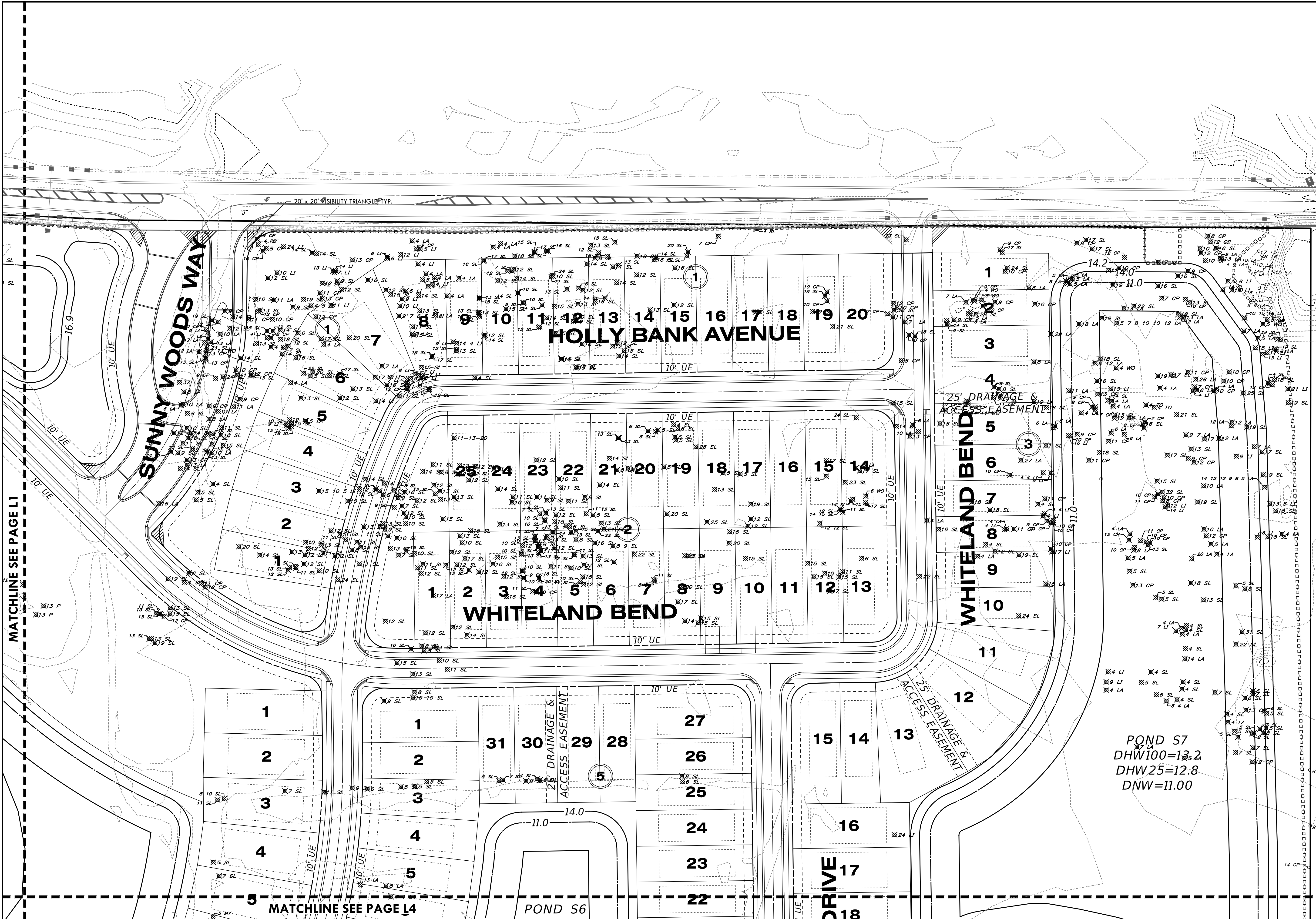


Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE: JOHN DEL VITTO RLA #6667397
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN	
JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DRAWN NG	FOR: C/O BANYAN LAND CAPITAL, LLC.
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L1 OF L18 SHEETS



- KEYMAP** NOT TO SCALE
- LEGEND**
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

MATCHLINE SEE PAGE L1

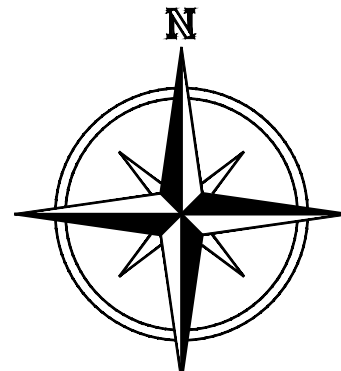
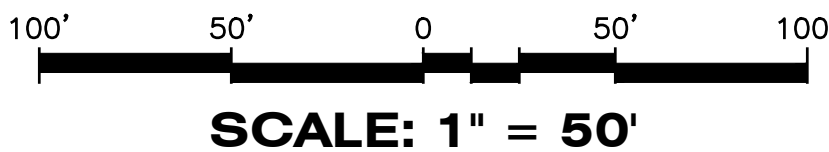
MATCHLINE SEE PAGE L4

TREE LEGEND

- | | | |
|----------------------------------|--------------------------|---------------------------------|
| AP --- AUSTRALIAN PINE | LI --- LIVE OAK | RB --- RED BAY |
| BC/CH --- BLACK CHERRY | M --- MAGNOLIA | RM --- RED MAPLE |
| C --- CYPRESS | MB --- MARLBERRY | SB --- SWEET BAY MAGNOLIA |
| CB --- CHINA BERRY | MG --- SOUTHERN MAGNOLIA | SC --- SYCAMORE |
| CL --- CHERRY LAUREL | SG --- SWEET GUM | SD --- SLOE |
| CM --- CAMPHOR | MY --- MYRTLE OAK | SL --- SLASH PINE (YELLOW PINE) |
| CO --- COCONUT PALM | NP --- NORTHERN PALM | SP --- SAND PINE (SCRUB PINE) |
| CP --- CABBAGE PALM (SABAL PALM) | P --- PALM | T --- TALLOW WOOD |
| EL --- ELM | PD --- PINEAPPLE | TO --- TURKEY OAK |
| F --- FIG (STRANGLER FIG) | PE --- PERSEA | WO --- WATER OAK |
| FW --- FIDDLEWOOD | PK --- PALM | WP --- WASHINGTON PALM |
| H --- HICKORY | PT --- PAPER TREE | WX --- WAX MYRTLE |
| LA --- LAUREL OAK (DIAMOND OAK) | Q --- QUERCUS | |
| LB --- LOBLOLLY BAY | Q --- QUEEN PALM | |

LEGEND

- | | |
|---------------------------|---|
| OLI --- TREE TO REMAIN | WETLAND LINE |
| LI --- TREE TO BE REMOVED | WETLAND CONSERVATION AREA |
| | SETBACK LINE |
| | STAKED EROSION CONTROL (SEE GRADING PLAN) |
| | PROPERTY LINE |
| | ROOT PRUNING |



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

06-01-2021	CITY COMMENTS	JD
01-11-2021	REVIEW SUBMITTAL	INI
DATE	DESCRIPTION	BY
	REVISIONS	



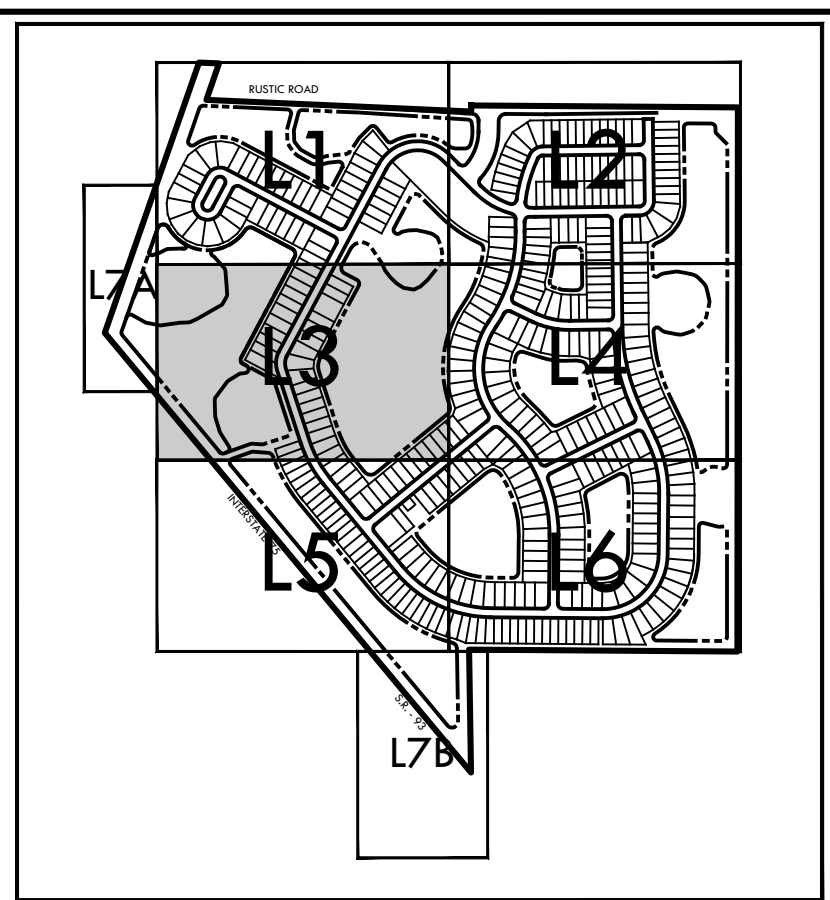
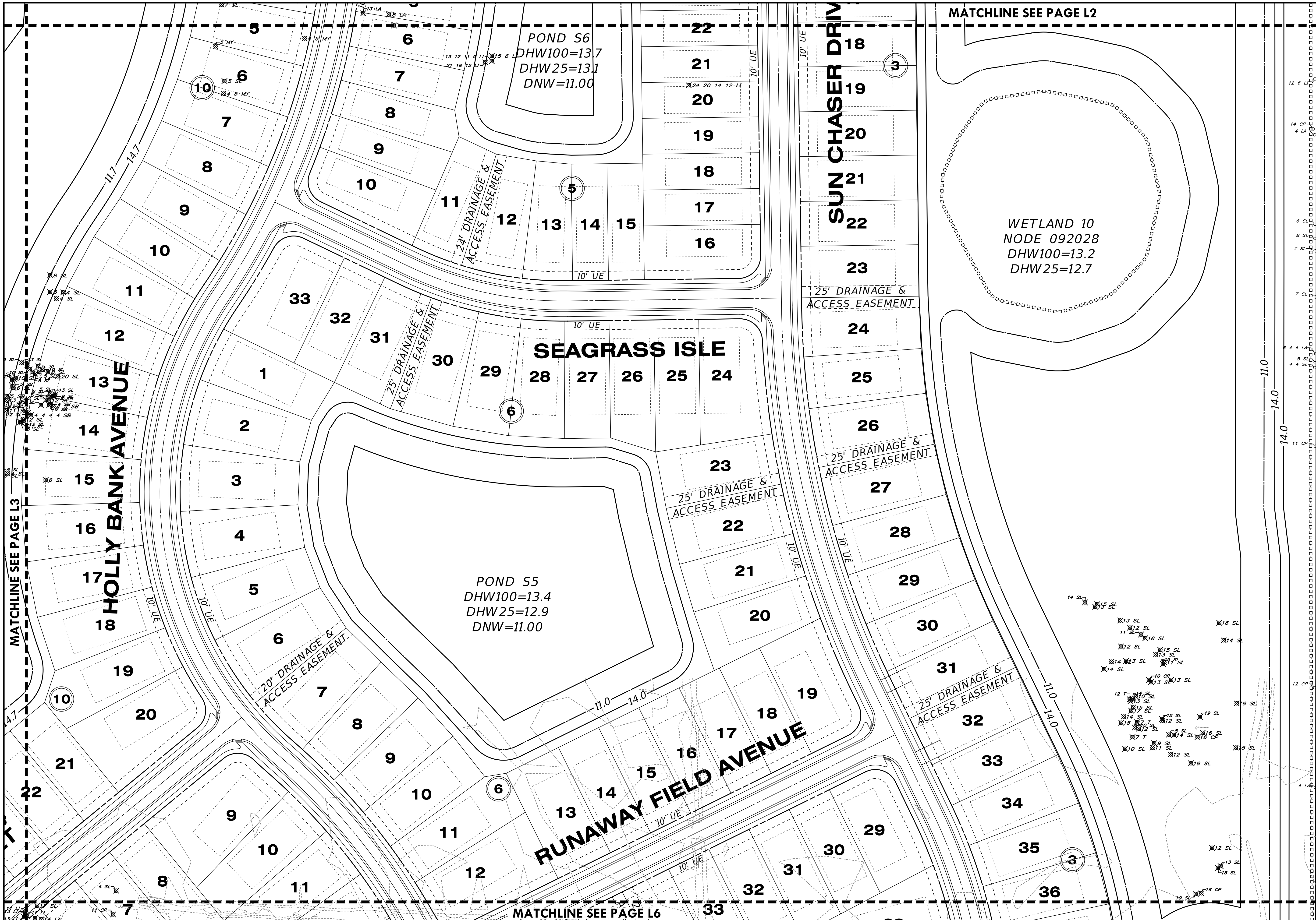
Clearview
LAND DESIGN, P.L.L.C.

Engineering Business C.A. No.: 28858
3010 W Azalea St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

DATE: JOHN DEL VITTO RLA #6667387
FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN

JOB NO. JEN-RU-009	DESIGNED FOR JEN TAMPA 1, LLC.
DATE 06-10-2021	PREPARED FOR C/O BANYAN LAND CAPITAL, LLC.
FILE TRP	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
SHEET L2 OF L18 SHEETS	



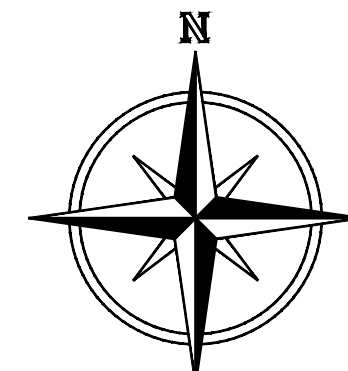
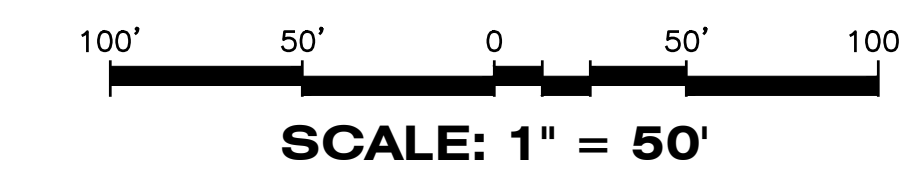
- KEYMAP**
LEGEND
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

TREE LEGEND

AP --- AUSTRALIAN PINE	LI --- LIVE OAK	RB --- RED BAY
BC/BCH --- BLACK CHERRY	M --- MAGNOLIA	RM --- RED MAPLE
C --- CYPRESS	MB --- MARLBERRY	SB --- SWEET BAY MAGNOLIA
CB --- CHINA BERRY	MG --- SOUTHERN MAGNOLIA	SC --- SYCAMORE
CL --- CHERRY LAUREL	MD --- MAHOGANY	SD --- SWEET GUM
CM --- CAMPHOR	MY --- MYRTLE OAK	SL --- SLASH PINE (YELLOW PINE)
CO --- COCONUT PALM	NP --- NORTOLK PINE	SP --- SAND PINE (SCRUB PINE)
CP --- CABBAGE PALM (SABAL PALM)	LP --- LONGLEAF PINE	T --- TALLOW WOOD
EL --- ELM	PC --- PECAN	TO --- TURKEY OAK
F --- FIG (STRANGLER FIG)	PE --- PERSIMMON	WO --- WATER OAK
FW --- FIDDLEWOOD	PM --- ROYAL PALM	WP --- WASHINGTON PALM
H --- HICKORY	PK --- PINK TREE	WX --- WAX MYRTLE
LA --- LAUREL OAK (DIAMOND OAK)	PT --- PAPER TREE	
LB --- LOBLOLLY BAY	QP --- QUEEN PALM	

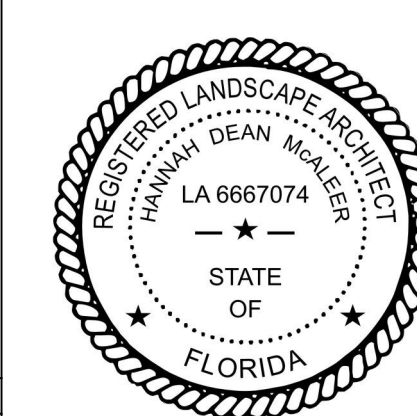
LEGEND

OLI --- TREE TO REMAIN	WETLAND LINE
XLI --- TREE TO BE REMOVED	WETLAND CONSERVATION AREA
	SETBACK LINE
	STAKED EROSION CONTROL (SEE GRADING PLAN)
	PROPERTY LINE
	ROOT PRUNING



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

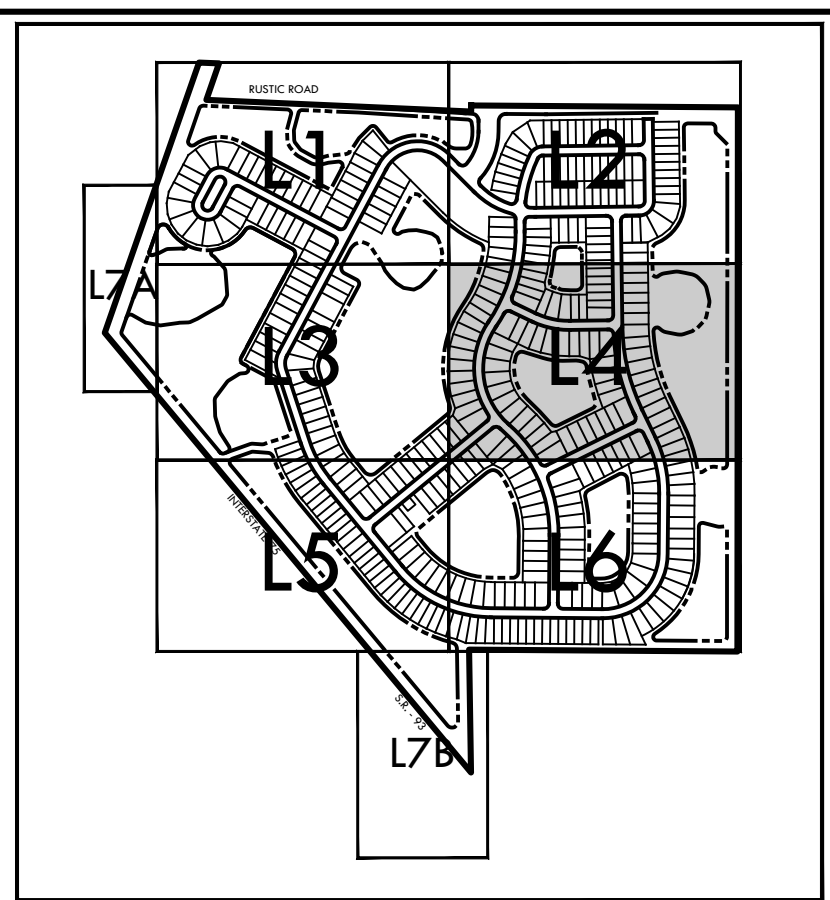
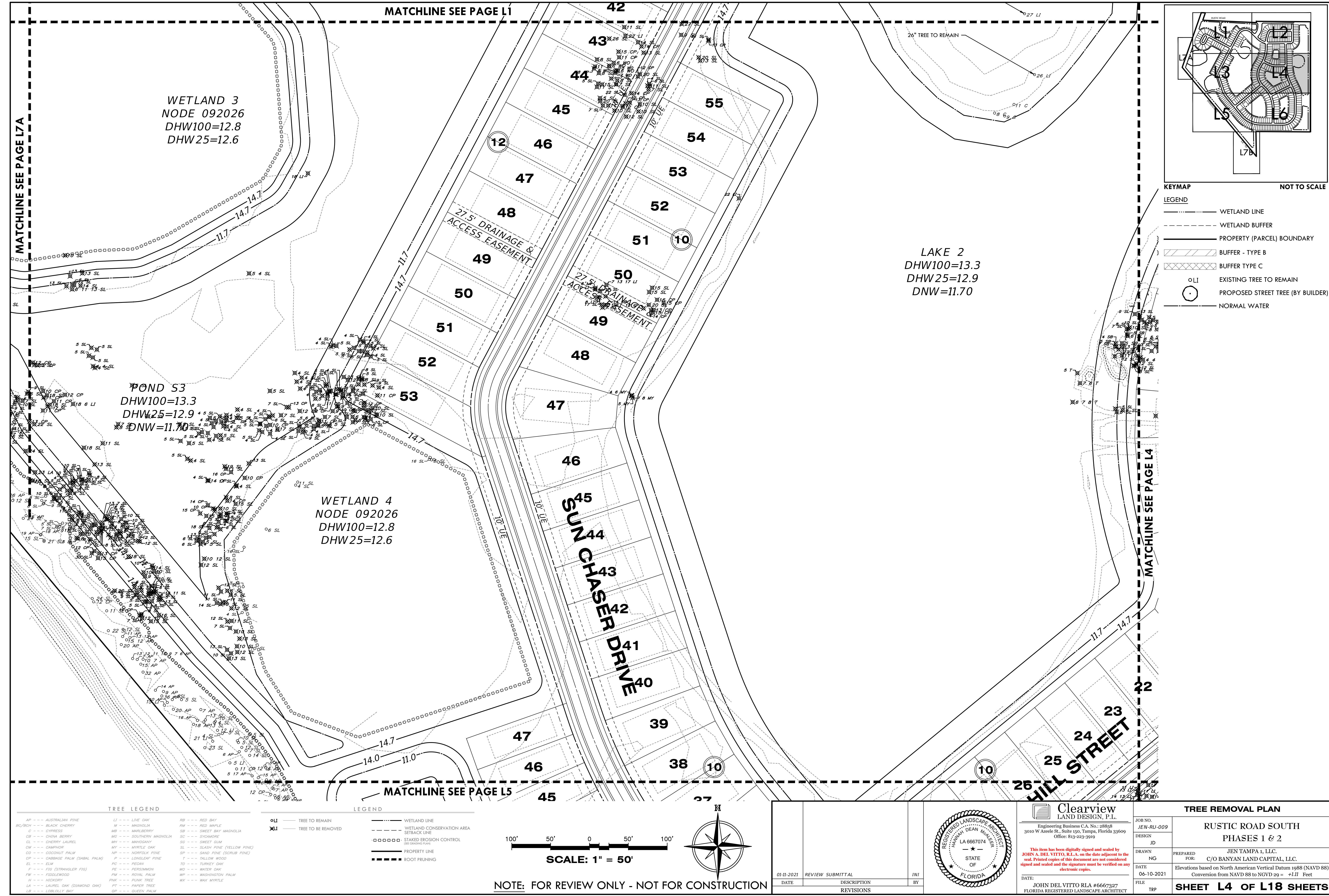
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DATE	DESCRIPTION	BY
	REVISIONS	



Clearview
LAND DESIGN, P.L.L.C.
Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

DATE: JOHN DEL VITTO R.L.A. #6667397
FLORIDA REGISTERED LANDSCAPE ARCHITECT

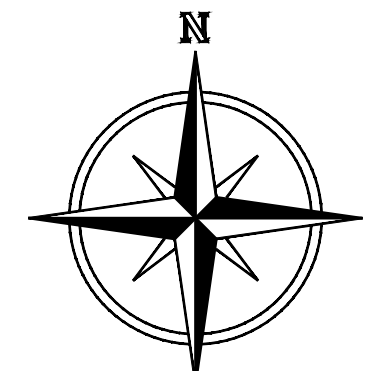
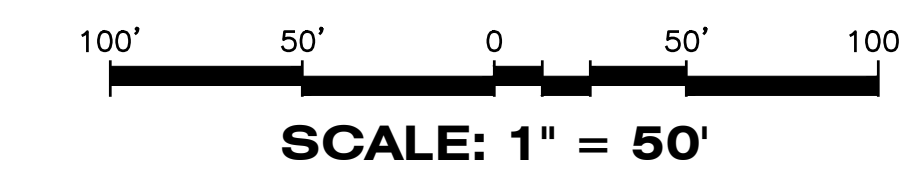
TREE REMOVAL PLAN	
JOB NO. JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	JEN TAMPA 1, LLC. FOR: C/O BANYAN LAND CAPITAL, LLC.
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L3 OF L18 SHEETS



- LEGEND**
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

- TREE LEGEND**
- | | | |
|----------------------------------|---------------------------------|-------------------------------|
| AP --- AUSTRALIAN PINE | LI --- LIVE OAK | RB --- RED BAY |
| BC/BOH --- BLACK CHERRY | M --- MAGNOLIA | RM --- RED MAPLE |
| C --- CYPRESS | MB --- MARLBERRY | SB --- SWEET BAY MAGNOLIA |
| CB --- CHINA BERRY | MG --- SOUTHERN MAGNOLIA | SC --- SYCAMORE |
| CL --- CHERRY LAUREL | MY --- MYRTLE OAK | SG --- SWEET GUM |
| CM --- CAMPHOR | SL --- SLASH PINE (YELLOW PINE) | SP --- SAND PINE (SCRUB PINE) |
| CO --- COCONUT PALM | NP --- NORTOLK PINE | T --- TALLOW WOOD |
| CP --- CABBAGE PALM (SABAL PALM) | IP --- LONGLEAF PINE | TO --- TURKEY OAK |
| EL --- ELM | PD --- PECAN | FE --- FERN |
| F --- FIG (STRANGLER FIG) | PE --- PERSIMMON | WO --- WATER OAK |
| FW --- FIDDLEWOOD | PM --- ROYAL PALM | WP --- WASHINGTON PALM |
| H --- HICKORY | PK --- PLUNK TREE | WX --- WAX MYRTLE |
| LA --- LAUREL OAK (DIAMOND OAK) | PT --- PAPER TREE | Q --- QUEEN PALM |
| LB --- LOBLOLLY BAY | | |

- LEGEND**
- | | |
|---------------------------|---------------------------|
| LI --- TREE TO REMAIN | WETLAND LINE |
| LI --- TREE TO BE REMOVED | WETLAND CONSERVATION AREA |
| | SETBACK LINE |
| | STAKED EROSION CONTROL |
| | (SEE GRADING PLAN) |
| | PROPERTY LINE |
| | ROOT PRUNING |



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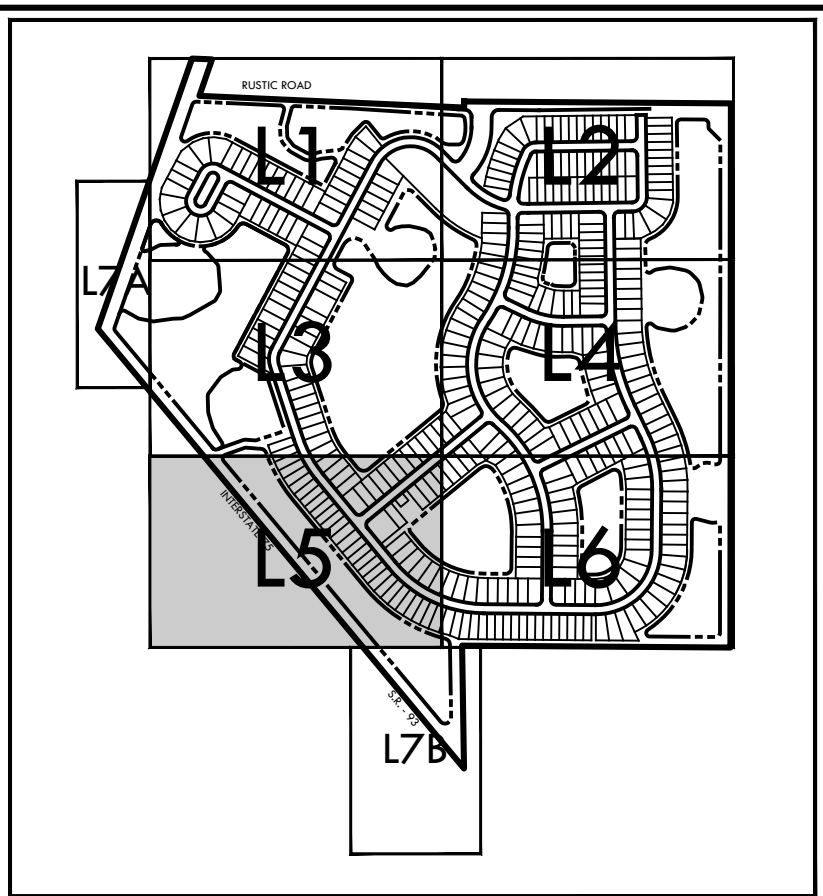
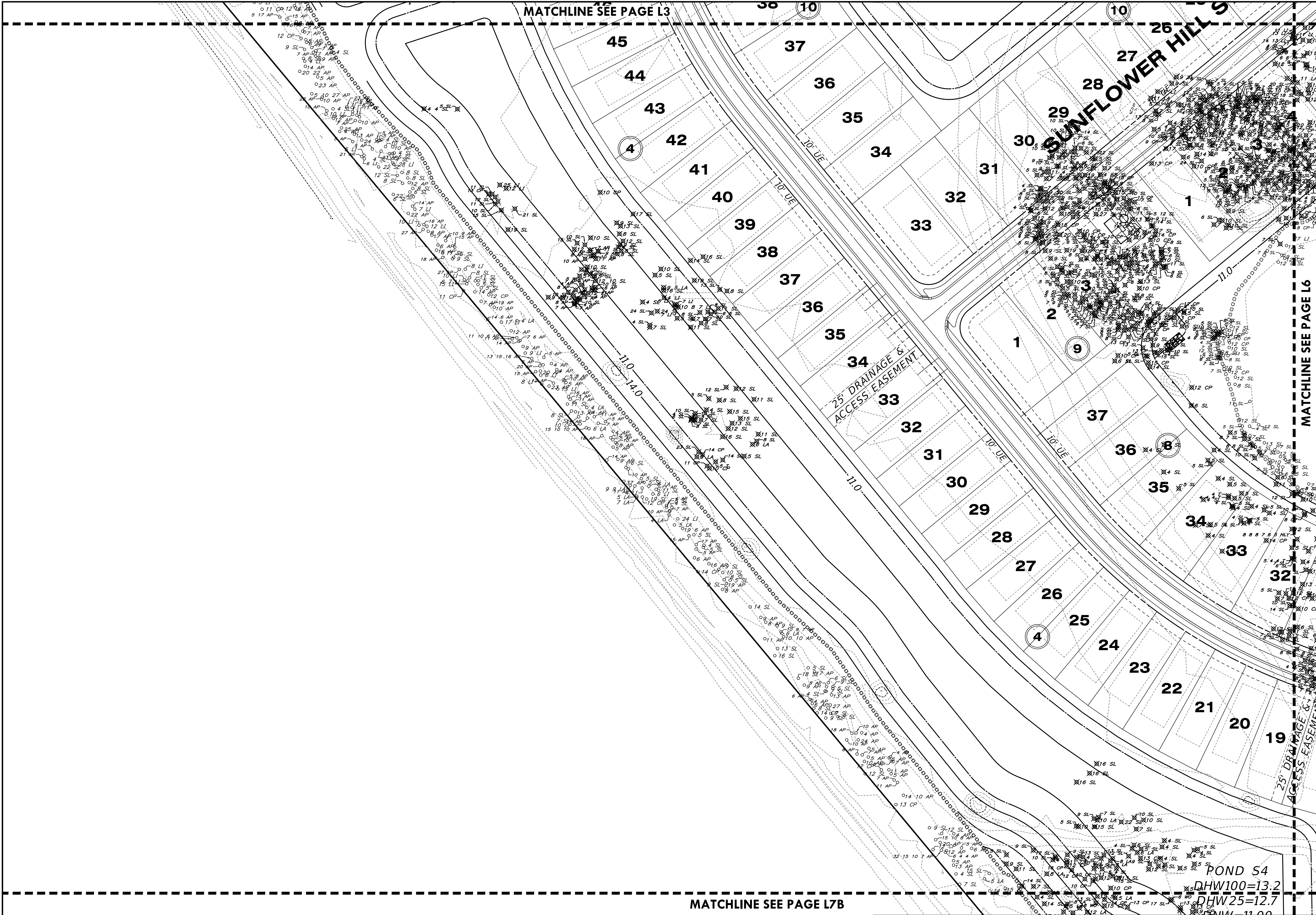
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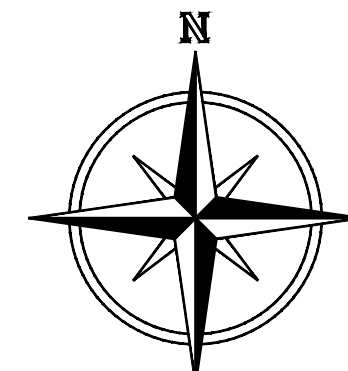
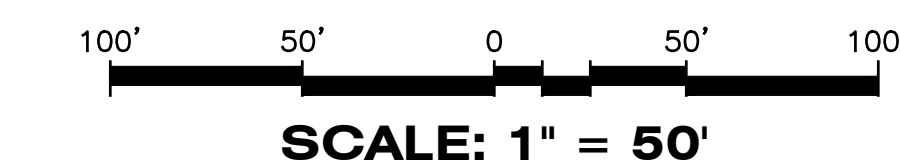
TREE REMOVAL PLAN	
JOB NO. JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DRAWN NG	PREPARED FOR:
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L4 OF L18 SHEETS




- KEYMAP** NOT TO SCALE
- LEGEND**
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

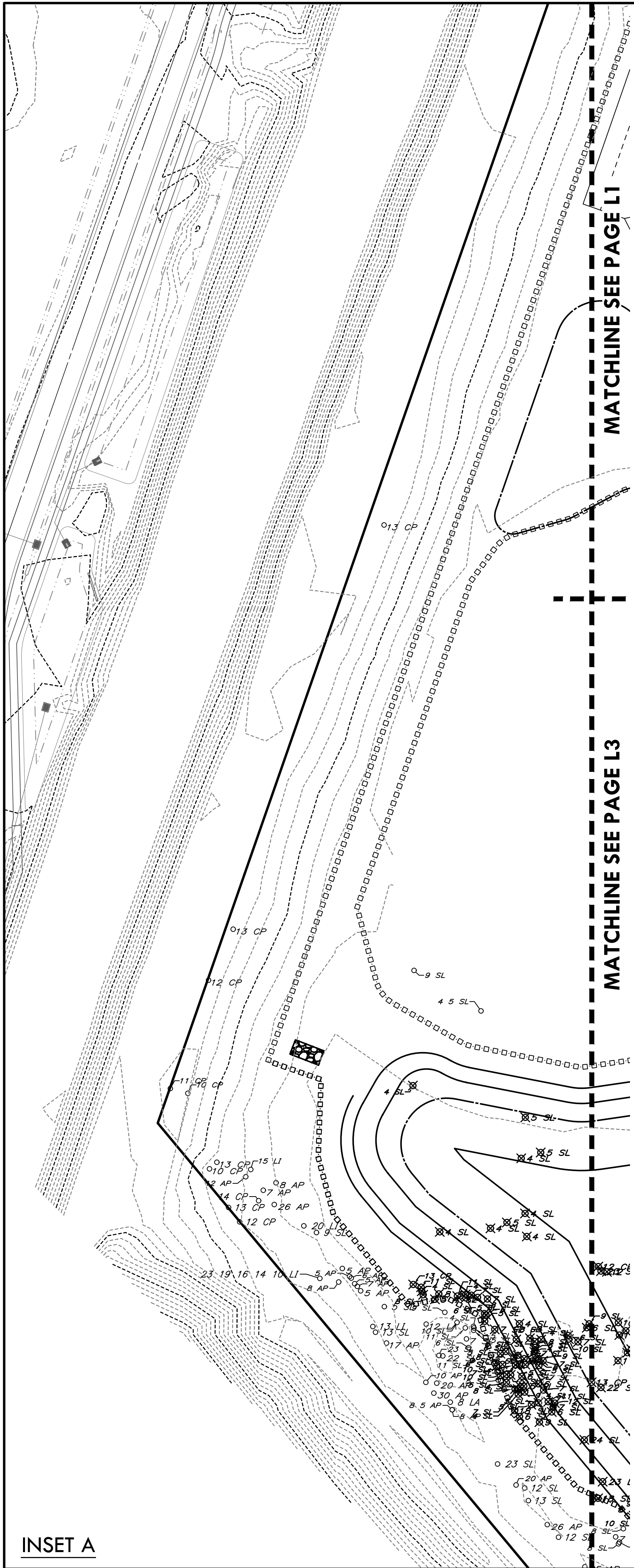
TREE LEGEND		
AP --- AUSTRALIAN PINE	LI --- LIVE OAK	RB --- RED BAY
BC/CH --- BLACK CHERRY	M --- MAGNOLIA	RM --- RED MAPLE
C --- CYPRESS	MB --- MARLBERRY	SB --- SWEET BAY MAGNOLIA
CB --- CHINA BERRY	MG --- SOUTHERN MAGNOLIA	SC --- SYCAMORE
CL --- CHERRY LAUREL	WD --- WHITE DUM	SG --- SWEET GUM
CM --- CAMPHOR	MY --- MYRTLE OAK	SL --- SLASH PINE (YELLOW PINE)
CO --- COCONUT PALM	NP --- NORFOLK PINE	SP --- SAND PINE (YELLOW PINE)
CP --- CABBAGE PALM (SABAL PALM)	P --- LONGLEAF PINE	T --- TALLOW WOOD
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LEGEND	
OLI --- TREE TO REMAIN	WETLAND LINE
XLI --- TREE TO BE REMOVED	WETLAND CONSERVATION AREA
	SETBACK LINE
	STAKED EROSION CONTROL
	(SEE GRADING PLAN)
	PROPERTY LINE
	ROOT PRUNING

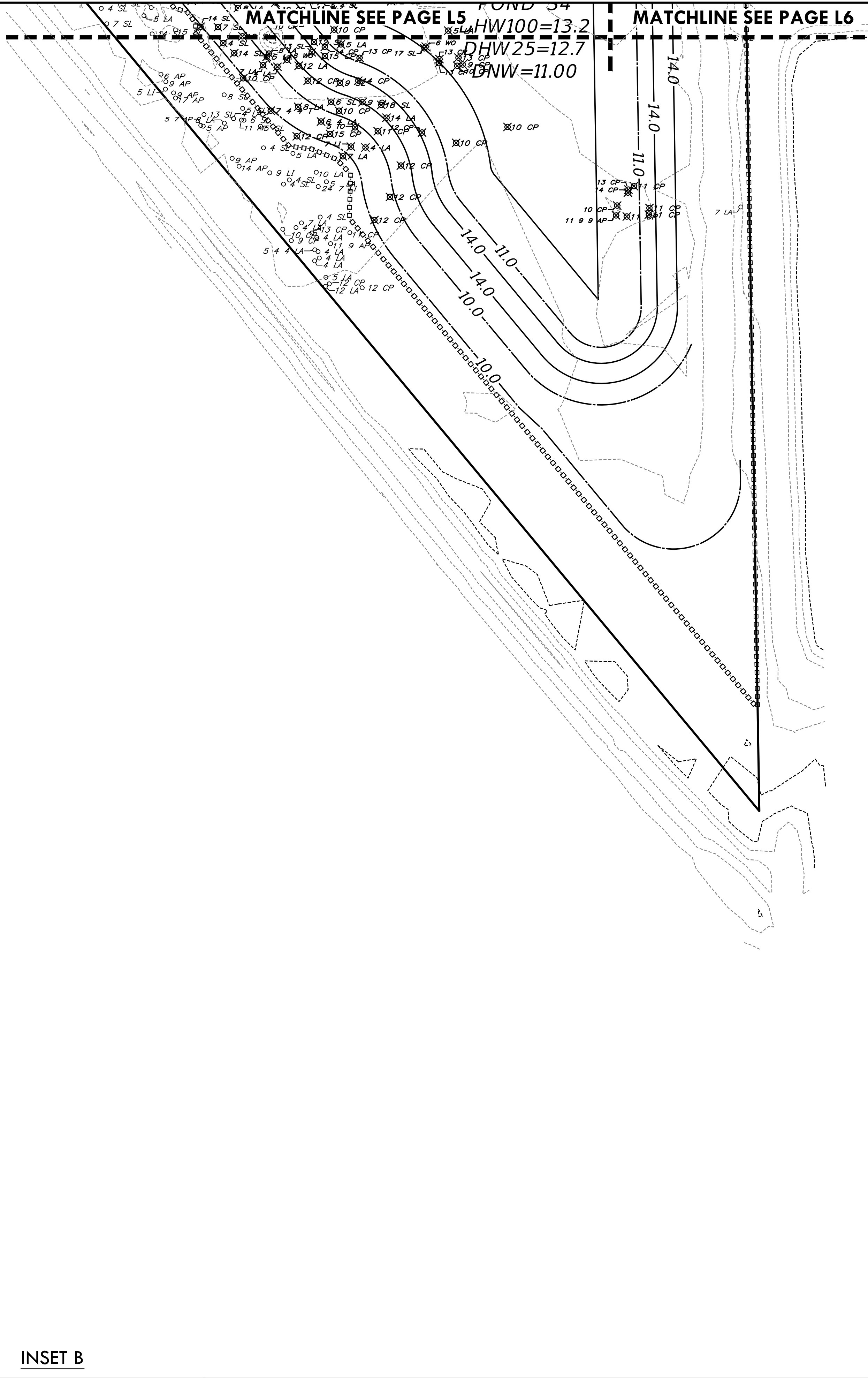


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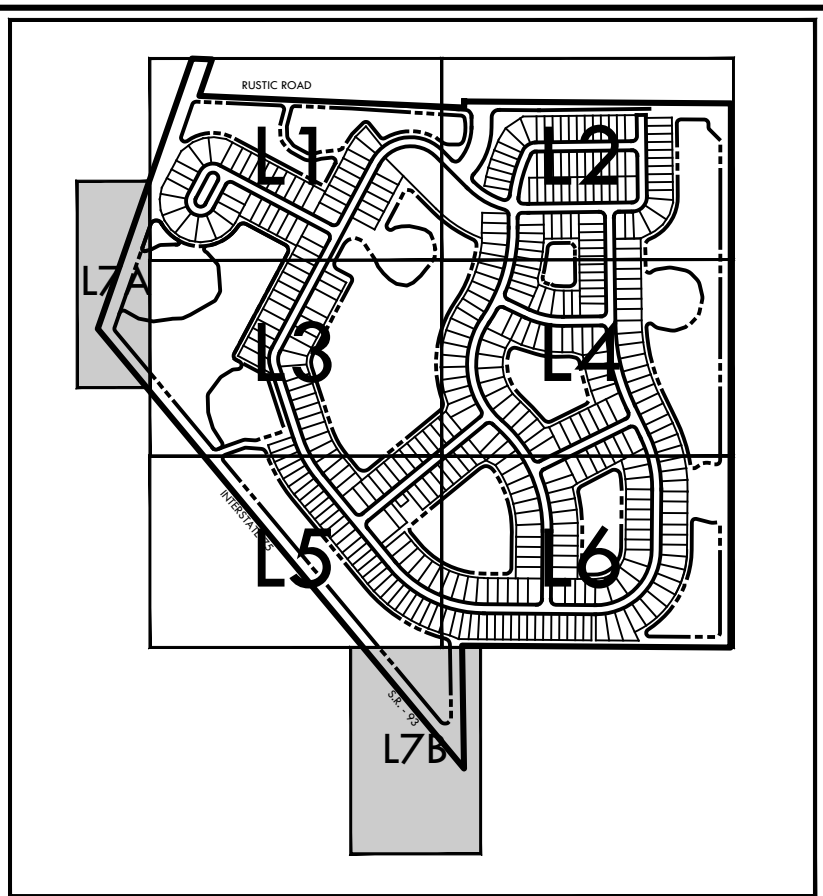
<div><div>Clearview LAND DESIGN, P.L.L.C. Engineering Business C.A. No.: 28858 3010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919</div><div><p>This item has been digitally signed and sealed by JOHN A. DEL VITO, R.L.A., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</p><p>DATE: JOHN DEL VITO RLA #66673927 FLORIDA REGISTERED LANDSCAPE ARCHITECT</p></div></div>			TREE REMOVAL PLAN	
			JOB NO. JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
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INSET A



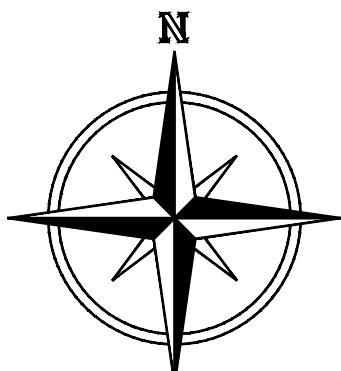
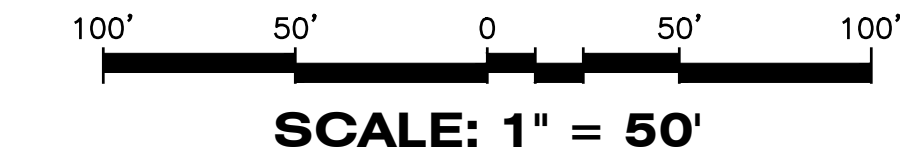
INSET B



- KEYMAP** **NOT TO SCALE**
- LEGEND**
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
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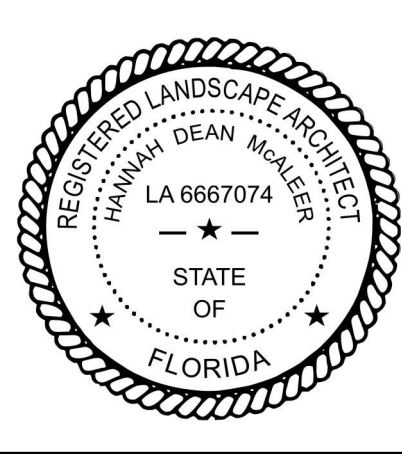
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LEGEND	
OLI --- TREE TO REMAIN	WETLAND LINE
XLI --- TREE TO BE REMOVED	WETLAND CONSERVATION AREA SETBACK LINE
	STAKED EROSION CONTROL (SEE GRADING PLAN)
	PROPERTY LINE
	ROOT PRUNING



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01-11-2021	REVIEW SUBMITTAL	INI
DATE	DESCRIPTION	BY
	REVISIONS	



Clearview LAND DESIGN, P.L.	
Engineering Business C.A. No.: 28858 3010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919	
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DATE:	JOHN DEL VITTO RLA #6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT

TREE REMOVAL PLAN	
JOB NO. JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	
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FILE TRP	SHEET L7 OF L18 SHEETS

BEST MANAGEMENT PRACTICES

- A. THE FOLLOWING BEST MANAGEMENT PRACTICES SHALL BE APPLICABLE TO ALL TREE PERMITS, UNLESS SPECIFIED OTHERWISE HEREIN. THESE STANDARD BEST MANAGEMENT PRACTICES SHALL ALSO BE APPLICABLE TO ALL ACTIVITIES THAT AFFECT PROTECTED, HERITAGE, AND VENETIAN TREES, TREES LOCATED WITHIN A TPZ AND CRPZ, AND REGARDLESS OF WHETHER A TREE PERMIT IS REQUIRED FOR THE PROPOSED ACTIVITY.
- B. PRIOR TO COMMENCING WORK AND THROUGHOUT THE DURATION OF THE AUTHORIZED ACTIVITY, THE OWNER, DEVELOPER, CONTRACTOR OR AGENT SHALL CLEARLY MARK WITH RED FLAGGING ALL TREES PROPOSED TO BE REMOVED AND SHALL ERECT BARRICADES AROUND ALL TREES TO BE PROTECTED. THE BARRICADES MUST REMAIN IN PLACE AND BE IN GOOD CONDITION FOR THE DURATION OF THE AUTHORIZED ACTIVITY. PROTECTIVE BARRICADES FOR PROTECTED TREES SHALL BE INSTALLED NO CLOSER THAN THE OUTER EDGE OF THE DESIGNATED TPZ OF THE TREE. BARRICADES SHALL BE PLACED NO CLOSER THAN THREE FEET FROM THE TRUNK OF PALMS. BARRICADES SHALL BE CONSTRUCTED IN A POST AND RAIL CONFIGURATION OR WITH ORANGE BARRIER FENCING AND BE NO LESS THAN FOUR FEET IN HEIGHT. THE UPRIGHT POSTS SHALL BE A MINIMUM OF A TWO BY TWO-INCH WOODEN STAKE. POSTS SHALL BE IMPLANTED DEEP ENOUGH INTO THE GROUND TO BE STABLE AND EXTEND A MINIMUM HEIGHT OF FOUR FEET ABOVE THE GROUND. A MINIMUM OF A ONE FOUR-INCH BY ONE INCH BY EIGHT FEET IN LENGTH WOODEN BOARD SHALL BE USED TO CONNECT THE UPRIGHT POSTS. THE MAXIMUM DISTANCE ALLOWED BETWEEN UPRIGHT POSTS IS EIGHT FEET. SILT BARRIERS, HAY OR STRAW BALES, OR SIMILARLY EFFECTIVE EROSION CONTROL BARRIERS MAY BE SUBSTITUTED AND REQUIRED IN ANY AREA WHERE EROSION OR SILTATION MAY CAUSE DAMAGE TO TPZ UPON APPROVAL BY THE CITY ARBORIST. BARRICADES THAT RESULT IN GREATER PROTECTION MAY BE SUBSTITUTED WITH THE APPROVAL OF THE CITY ARBORIST. IN ALL CASES, THE BARRIERS MUST REMAIN IN PLACE UNTIL THE FINAL FINISH GRADE IS ESTABLISHED AT THE END OF THE PROJECT OR PROJECT PHASE. DAMAGE TO PROTECTION BARRIERS AND ENCROACHMENTS INTO THE TPZ WILL BE SUBJECT TO SUBSECTION 118-5(C), AND ARTICLE VII SIGNS, SHALL BE POSTED AT 50-FOOT INTERVALS FOR SINGLE TREES OR TREE CLUSTERS OF 20 TREES OR LESS AND 100-FOOT INTERVALS FOR AREAS OF MORE THAN 20 TREES THAT CLEARLY STATE POTENTIAL FINES AND "TREE PROTECTION AREA, KEEP OUT".
- C. THROUGHOUT THE DURATION OF THE AUTHORIZED ACTIVITY, THE OWNER, DEVELOPER, CONTRACTOR OR AGENT SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF DEBRIS, FILL, WASTE MATERIALS SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL WITHIN ANY TPZ.
- D. NO DAMAGING ATTACHMENT ROPES OR WIRES (OTHER THAN SUPPORTIVE MEASURES FOR A TREE), SIGNS, POSTERS, HANDBILLS, TREE PERMITS OR OTHER OBJECTS MAY BE FASTENED TO ANY TREE EXCEPT PURSUANT TO AUTHORIZATION UNDER THE PROVISIONS OF THIS CHAPTER. NO GASEOUS, LIQUID, EQUIPMENT EXHAUST OR SOLID SUBSTANCE WHICH MAY BE HARMFUL TO TREES SHALL COME INTO CONTACT WITH ANY PORTION OF THE TREE.
- E. WHERE ELEVATION CHANGES ARE PROPOSED WITHIN THE TPZ, THE APPLICANT WILL BE REQUIRED TO JUSTIFY THE NEED FOR THE ELEVATION CHANGE AND INSTALL RETAINING WALLS AND/OR DRAIN TILES UNLESS THE APPLICANT DEMONSTRATES THAT SUCH PROTECTION WOULD BE IMPRACTICAL. WHERE ELEVATION CHANGES ARE PROPOSED WITHIN THE TPZ OF ANY VENETIAN OR HERITAGE TREE, THE APPLICANT WILL BE REQUIRED TO INSTALL RETAINING WALLS AND/OR DRAIN TILES UNLESS THE APPLICANT DEMONSTRATES SUCH PROTECTION WOULD BE IMPRACTICAL. THESE ROOT PROTECTION MEASURES SHALL BE IN PLACE PRIOR TO THE DEPOSITION OF FILL, OR EXCAVATION OF SOIL WITHIN THE TPZ. TREE SPECIES' TOLERANCES FOR GRADE CHANGES, SIZE AND AGE WILL BE CONSIDERED WHEN LOCATING TREE WELLS AND RETAINING WALLS. TREE WELLS OR RETAINING WALLS WILL BE REQUIRED AS APPLICABLE WHEN GRADE CHANGES OF MORE THAN SIX INCHES ARE NEEDED WITHIN MORE THAN 20 PERCENT OF THE TPZ. TREE WELL AND RETAINING WALL DISTANCES FROM THE FACE OF THE TRUNK RANGE FROM 0.75 FEET FOR EACH ONE-INCH DBH FOR A CONSTRUCTION TOLERANT SPECIES TO 1½ FEET FOR EACH ONE-INCH DBH OF MATURE OR LESS TOLERANT SPECIES. THE APPLICANT WILL BE REQUIRED TO PRESENT A REPORT BEARING THE SIGNATURE OF A CERTIFIED ARBORIST OR PROFESSIONAL LANDSCAPE ARCHITECT WITH A STATEMENT OF MINIMAL IMPACT DESIGN. THE APPLICANT MAY ALSO REQUEST A PRE-APPLICATION MEETING WITH THE CITY ARBORIST BEFORE SUBMITTING A DESIGN. RETAINING WALLS SHALL BE BUILT WITH POSTS OR PILINGS, SHALLOW AND SMALL FOOTERS OR FOOTERS OF STONE OR SAND TO LESSEN THE IMPACT OF CUT OR COMPACTED ROOTS. IN CASES WHERE GRADE CHANGES CAN BE ACCOMPLISHED WITH LESS THAN 20 PERCENT OF THE CRZ BEING IMPACTED, THE CHANGE SHOULD BE AS GRADUAL AND AS FAR FROM THE TRUNK FACE AS POSSIBLE WITH NO MORE THAN SIX INCHES OF FILL OVER 20 PERCENT OF THE TPZ. UNDER NO CIRCUMSTANCES WILL FILL BE ALLOWED OVER THE ROOT PLATE.
- F. THE CITY ARBORIST MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THIS CHAPTER.
- G. THE CITY ARBORIST MAY ALLOW CERTAIN ACTIVITIES TO BE CONDUCTED WITHIN THE BARRICADED TPZ, UPON A DETERMINATION THAT THE TREE WILL NOT BE ADVERSELY AFFECTED, SUCH AS DRIVEWAYS, SWIMMING POOL DECKS, AND PATIO PAVERS.
- H. IF TEMPORARY EQUIPMENT OR VEHICLE ACCESS INTO THE TPZ IS REQUIRED FOR CONSTRUCTION ACTIVITY, STEPS MUST BE TAKEN TO PROTECT THE TPZ FROM COMPACTION AND DAMAGE. FOR SHORT-TERM TEMPORARY ACCESS OF THREE WEEKS OR LESS, A SIX TO 12-INCH LAYER OF ORGANIC MULCH IN THE AREA OF ENCROACHMENT SHALL BE INSTALLED AND MAINTAINED. FOR LONGER PERIODS THE APPLICANT WILL BE REQUIRED TO INSTALL AND MAINTAIN A FOUR-INCH LAYER OF MULCH AND PLACE THREE-QUARTER-INCH PLYWOOD ON THE MULCH LAYER TO CREATE A PATH FOR EQUIPMENT OR VEHICLES. UNDER NO CIRCUMSTANCES SHOULD THESE ACCESS PATHS BE PLACED ON OR WHERE THEY MAY IMPACT THE ROOT PLATE. THE CITY ARBORIST SHALL BE INFORMED AND APPROVE OF ANY ALTERATIONS TO THE ORIGINAL APPROVED TREE PROTECTION PLAN. VIOLATIONS WILL BE SUBJECT TO FINES AND PENALTIES AS ESTABLISHED IN THE SCHEDULE OF FEES AND CHARGES PER SECTION 118-5.
- I. THE USE OF POSTS, PILINGS OR A SIMILAR SYSTEM SHALL BE USED AS THE CONSTRUCTION METHOD FOR STRUCTURES WITHIN THE TPZ. CONTINUOUS FOOTERS AND STEM WALLS SHALL NOT BE INSTALLED WITHIN THE TPZ UNLESS APPROVED BY THE DIRECTOR AND/OR DIRECTOR'S DESIGNEE. THESE POSTS OR PILINGS SHALL BE ENGINEERED ONLY AS LARGE AS NECESSARY TO SUPPORT THE PROPOSED STRUCTURE. ALL EFFORTS SHALL BE MADE TO REDUCE THE IMPACT TO LARGE ROOTS AND IN NO CIRCUMSTANCES SHOULD THE STRUCTURE ENCROACH ON THE ROOT PLATE OF A TREE.
- J. NO TRENCHES ARE PERMITTED WITHIN THE TPZ WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST. WITH APPROVAL OF THE CITY ARBORIST, HAND DUG TRENCHES MAY BE ALLOWED AND ROOTS PRUNED CLEANLY AS DIRECTED IN "ANSI A (300) PART 8, ROOT MANAGEMENT STANDARD." ALL EFFORTS SHOULD BE MADE TO BYPASS THE TPZ WITH UNDERGROUND UTILITIES AND IRRIGATION LINES UNLESS TUNNELING METHODS ARE USED A MINIMUM OF 36 INCHES BELOW THE EXISTING GRADE.
- K. SOIL VOLUMES—REQUIRED SOIL VOLUMES FOR TREES.
- K.1. LARGE CANOPY TREES, TALLER THAN 45 FEET IN HEIGHT:
- K.1.1. MINIMUM OPEN SOIL SPACE 300 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 900 CUBIC FEET TO A DEPTH NOT TO EXCEED 36 INCHES.
- K.1.2. NO CLOSER THAN FOUR FEET FROM ANY PAVEMENT OR CURBING.
- K.1.3. MINIMUM PLANTING SPACE WIDTH IS EIGHT FEET.
- K.1.4. MINIMUM UNCOMPACTED SOIL DEPTH 36 INCHES.
- K.2. MEDIUM CANOPY TREES, FROM 25 TO 45 FEET IN HEIGHT:
- K.2.1. MINIMUM OPEN SOIL SPACE 200 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 500 CUBIC FEET TO A DEPTH NOT TO EXCEED 36 INCHES.
- K.2.2. NO CLOSER THAN 36 INCHES FROM ANY PAVEMENT OR CURBING.
- K.2.3. MINIMUM PLANTING SPACE WIDTH IS SIX FEET.
- K.2.4. MINIMUM UNCOMPACTED SOIL DEPTH 30 INCHES.
- K.3. SMALL UNDERSTORY TREES, LESS THAN 25 FEET IN HEIGHT:
- K.3.1. MINIMUM OPEN SOIL SPACE 100 SQUARE FEET OR MINIMUM UNCOMPACTED SOIL VOLUME OF 200 CUBIC FEET TO A DEPTH NOT TO EXCEED 36 INCHES.
- K.3.2. NO CLOSER THAN 24 INCHES FROM ANY PAVEMENT OR CURBING.
- K.3.3. MINIMUM PLANTING SPACE WIDTH IS FOUR FEET.
- K.3.4. MINIMUM UNCOMPACTED SOIL DEPTH 24 INCHES.
- K.4. EXCEPTIONS TO THE SPACE REQUIREMENTS FOR SOME INDIVIDUAL SPECIES MAY BE GRANTED BY THE CITY ARBORIST.
- L. THE FOLLOWING ARE METHODS TO ACHIEVE SOIL VOLUME REQUIREMENTS FOR STREET TREES IN OR NEAR SIDEWALKS, WITHIN PLAZAS AND PARKING LOTS:
- L.1. STRUCTURAL SOIL UNDER PAVEMENT. CU STRUCTURAL SOIL™ IS AN AGGREGATE SOIL DEVELOPED AND PATENTED BY CORNELL UNIVERSITY. CONSISTING OF A COMBINATION OF STONE AND SOIL PLUS ADDITIVES. THIS PRODUCT OR AN APPROVED EQUIVALENT PROVIDES A HIGHLY COMPACTABLE MATERIAL THAT ALLOWS FOR ROOT GROWTH AND MAY BE USED UNDER PAVEMENT TO PROVIDE THE REQUIRED SOIL VOLUME FOR ROOT SPACE.
- L.2. SUSPENDED PAVEMENT. MODULAR SOIL CELL SYSTEMS DESIGNED TO BE ASSEMBLED AND PLACED UNDER PAVEMENT MAY BE USED TO PROVIDE ROOT SPACE. THESE SYSTEMS ARE DESIGNED TO SUPPORT THE PAVEMENT WEIGHT WHILE PROVIDING UNCOMPACTED SOIL VOLUME FOR TREE ROOTS.
- L.3. OTHER SOIL VOLUME SYSTEM DESIGNS MAY BE APPROVED BY THE DIRECTOR AND/OR DIRECTOR'S DESIGNEE.

NOTE: NO CONSTRUCTION ENCROACHMENT WITHIN TREE BARRICADE OR EROSION CONTROL AREAS.

ALL TREES SHOULD BE BARRICADED MEETING THE SPECIFICATIONS AS ILLUSTRATED ON THE ATTACHED DIAGRAM.

PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.

PROTECTIVE BARRIERS MUST BE ERECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION AND CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.

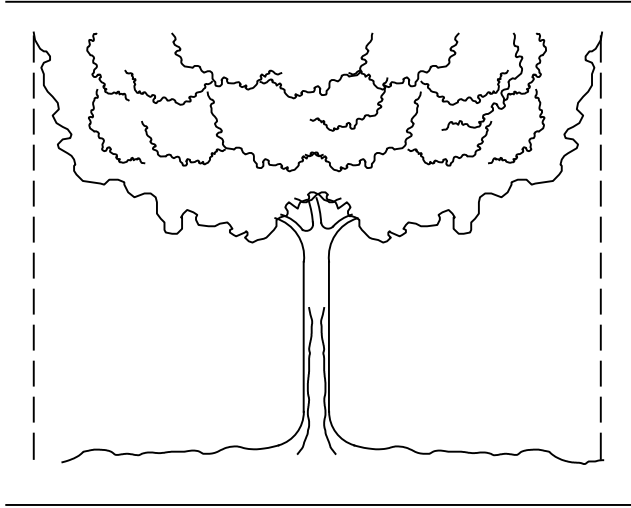


Fig. A

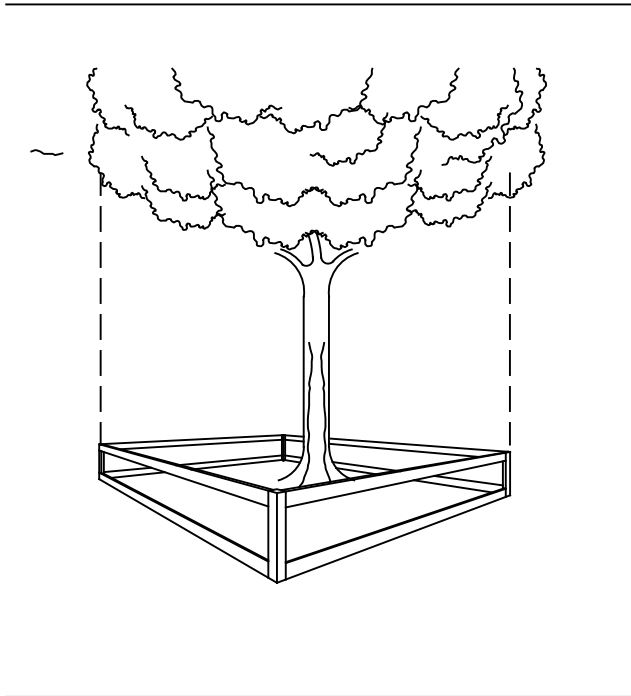


Fig. B

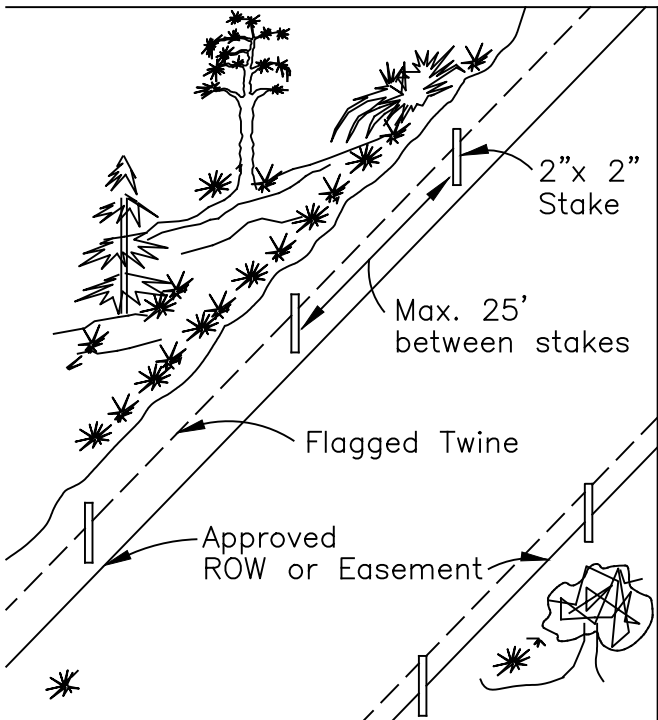


Fig. C

NOTES:

1. JOG FENCE AS NECESSARY TO MINIMIZE IMPACT TO PRESERVED TREES. AT ALL LOCATIONS WHERE IT IS LOCATED NEAR PRESERVED TREES, FLOAT FENCE OVER EXISTING TREE ROOTS. PLACE SO FACE OF FENCE IS MIN. 18" FROM TREE TRUNK. DO NOT LOCATE POSTS OR FOOTERS WITHIN CRITICAL ROOT ZONE.
2. TREES BY NATURE ARE IRREGULAR IN BOTH SHAPE AND SIZE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE SIZE IS DETERMINED AT DIAMETER AT BREAST HEIGHT. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT LOCATION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN. SEE THE FIGURE 1 BELOW.
3. DEAD AND/OR HAZARDOUS TREES REMAINING AFTER CLEARING WILL BE EVALUATED AND MAY BE REMOVED IF NECESSARY.

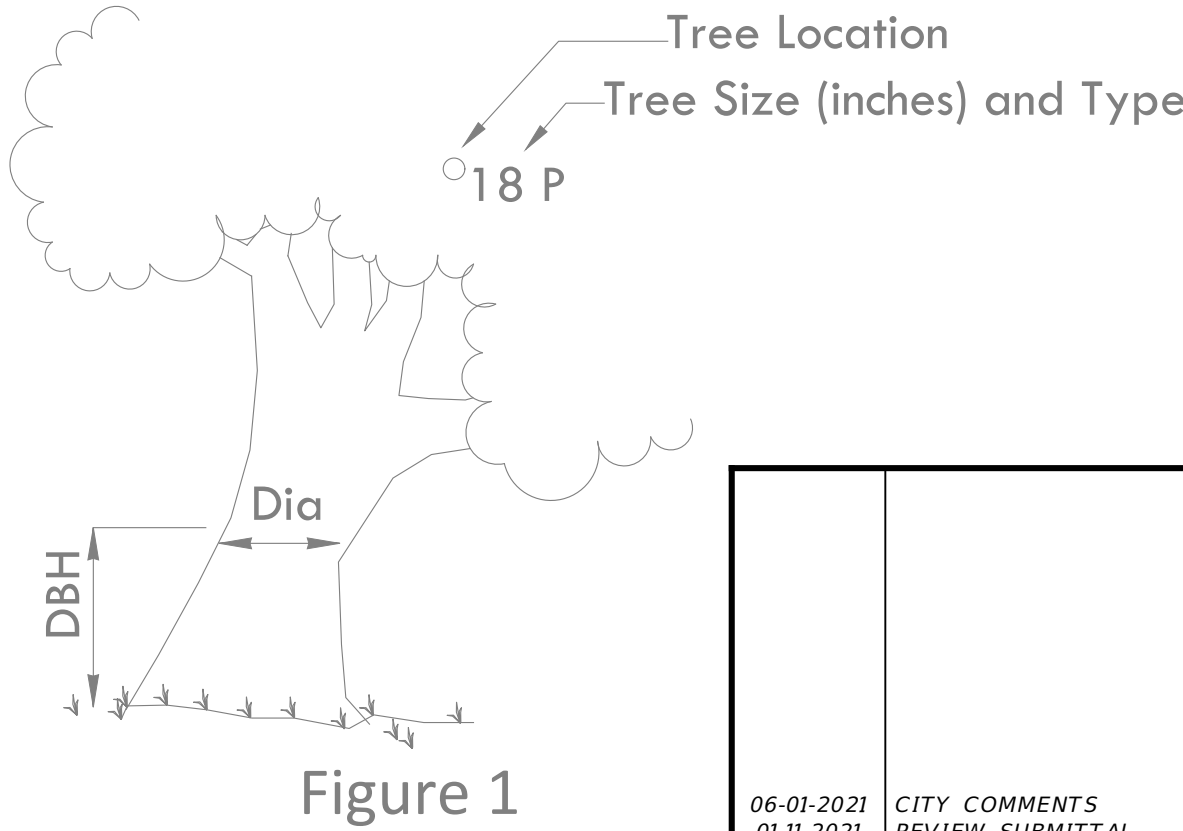


Figure 1

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

TREE REMOVAL AND REPLACEMENT NOTES

1. UNLESS OTHERWISE EXEMPT FROM THIS CHAPTER, A TREE PERMIT IS REQUIRED FOR ALL DEVELOPMENT AND ANY CHANGES TO PROPERTY INVOLVING THE REMOVAL OF PROTECTED TREES AND THE PRUNING OF HERITAGE TREES, VENETIAN TREES, AND CANOPY ROAD TREES. TREE PERMITS SHALL BE DISPLAYED AND LOCATED ON THE SUBJECT PROPERTY VISIBLE FROM THE ADJOINING ROAD OR EASEMENT PROVIDING ACCESS TO THE PROPERTY AND BE ACCESSIBLE BY CITY STAFF AT ALL TIMES FOR THE DURATION OF THE PERMIT.
2. THE COMPLETED APPLICATION ALONG WITH THE APPLICABLE FEE, AND ANY OTHER INFORMATION DEEMED APPROPRIATE BY THE DEVELOPMENT SERVICES DIRECTOR OR HIS DESIGNEE TO EFFECTUATE THE REVIEW OF THE APPLICATION CONSISTENT WITH THE REQUIREMENTS AND STANDARDS OF THIS CHAPTER.
3. TREE PROTECTION AND REPLACEMENT PLANS SHALL INCLUDE:
 - 3.1. A COMPLETE TREE SURVEY AND INVENTORY OF PROTECTED TREES WITHIN THE SUBJECT PROPERTY OR PROJECT AREA FOR ALL DEVELOPMENT THAT IS NOT EXEMPT PURSUANT TO SECTION 118-7. THE SURVEY SHALL SHOW ALL PROTECTED TREES MEASURED FOUR-INCH DBH OR GREATER ON THE SUBJECT PROPERTY.
 - 3.2. AN INVENTORY OF IDENTIFIED TREES BY TYPE AND SIZE (IN DBH).
 - 3.3. A COPY OF THE SITE PLAN, SHOWING PROPOSED BUILDINGS, GRADING, STREETS, ACCESS WAYS, SIDEWALKS, HARDSCAPE, AND PROPOSED AND EXISTING UTILITIES.
 - 3.4. METHODS FOR TREE PROTECTION INCLUDING FENCING AND RETAINING WALLS.
4. PRUNING OR TRIMMING OF TREES TO REMAIN ON SITE SHALL BE IN ACCORDANCE WITH ANSI 300A, 2001 AS AMENDED.
5. CREDIT FOR REPLACEMENT WILL BE GIVEN FOR TREES PLANTED IN ACCORDANCE WITH THE LANDSCAPE REQUIREMENTS.
6. INVASIVE OR EXOTIC SPECIES LOCATED WITHIN A PROJECT AREA SHALL BE REMOVED.
7. PRIOR TO CLEARING AND GRUBBING, AND REMOVAL OF ANY TREE, PRESERVED AREAS SHALL BE CLEARLY MARKED WITH 4' HT. MIN. BARRIERS TO CREATE A PROTECTED ZONE DURING CONSTRUCTION. THE BARRIER SHALL ENCOMPASS THE TREE'S DRIPLINE.
8. WHERE NEEDED TO PROTECT PRESERVED TREES FROM EROSION, SILT BARRIERS, HAY BALES OR OTHER EROSION CONTROL SHALL BE REQUIRED.
19. TREES OUTSIDE OF GENERAL CONSTRUCTION ZONE TO BE PROTECTED WITH SILT FENCE BARRIER OR METHOD AS DESCRIBED IN CIVIL ENGINEERING PLANS.
20. TREES WITHIN GENERAL CONSTRUCTION ZONE TO BE PROTECTED WITH FENCE AND SILT FENCE BARRIER AS SHOWN IN DETAIL THIS SHEET.
21. NO STORAGE, MOVEMENT, OR CLEANING OF EQUIPMENT, MATERIAL OR DEBRIS SHALL BE PLACED WITHIN THE PROTECTED ZONE.
22. NO EXCAVATION SHALL OCCUR WITHIN PROTECTED ZONE.
23. NO FIRE BURNING SHALL BE ALLOWED WITHIN 30' OF THE PROTECTED ZONE.
24. WHEN TUNNELING OR TRENCHING FOR UTILITIES IS ALLOWED IN PROTECTED ZONES, IT SHALL BE DONE IN ACCORDANCE WITH THE "TREE AND PROTECTION FOR BUILDERS AND DEVELOPERS, AS AMENDED AND PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. TRENCHING SHALL OCCUR NO CLOSER TO THE TREE'S TRUNK THAN 2/3 OF THE DRIP LINE RADIUS.

TREE CREDITS	
NATIVE TREES < 24" DBH (1:1 CREDIT)	3,217"
NATIVE TREES > 24" (2:1 CREDIT)	410"
TOTAL RETAINED CREDIT INCHES =	3,627"

TREE REMOVAL PLAN	
JOB NO. JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE TRP	SHEET L8 OF L18 SHEETS

06-01-2021
01-11-2021

CITY COMMENTS
REVIEW SUBMITTAL

DATE

DESCRIPTION

REVISIONS

JD

INI

BY

REGISTERED LANDSCAPE ARCHITECT
HAWAII DEAN MEMBER
LA 6667074
STATE OF
FLORIDA

Clearview
LAND DESIGN, P.L.L.C.

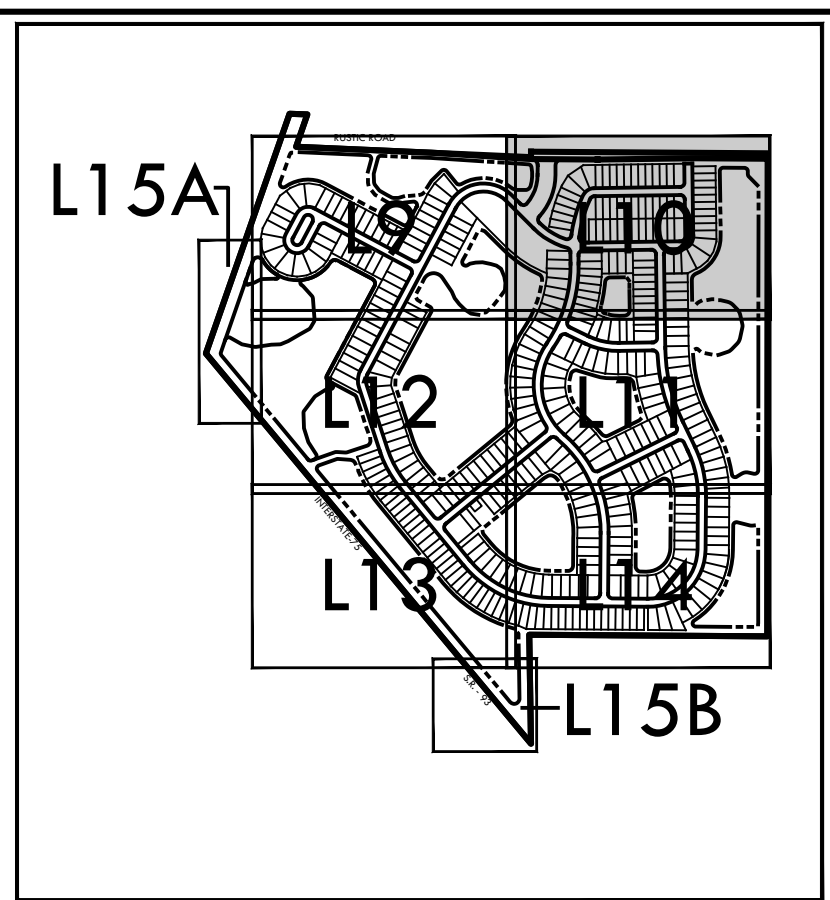
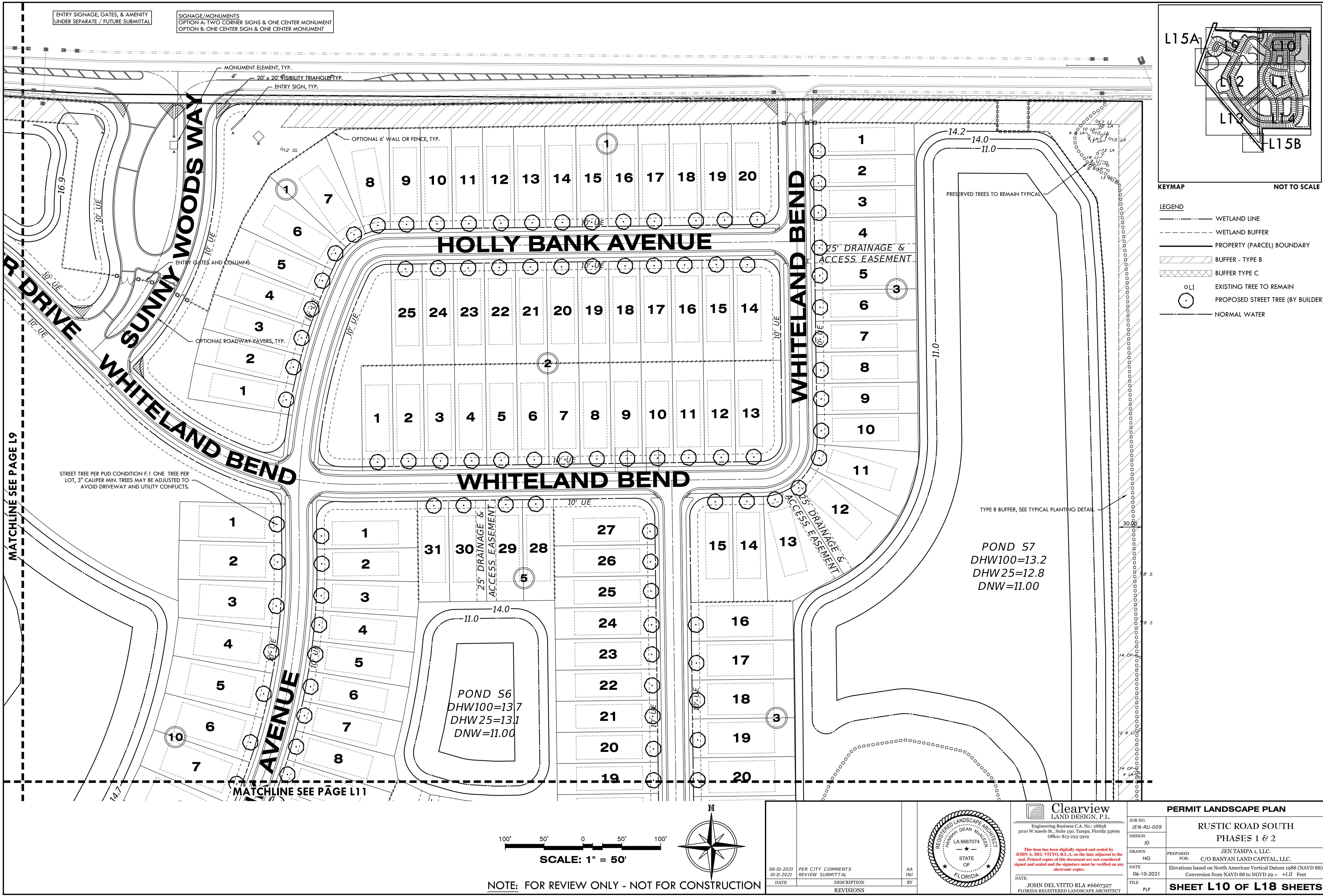
Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

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DATE:
JOHN DEL VITTO RLA #6667327
FLORIDA REGISTERED LANDSCAPE ARCHITECT



PERMIT LANDSCAPE PLAN	
JOB NO. <i>JEN-RD-009</i>	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	PREPARED FOR: JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	SHEET L9 OF L18 SHEETS

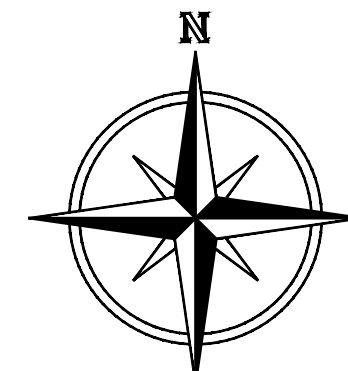
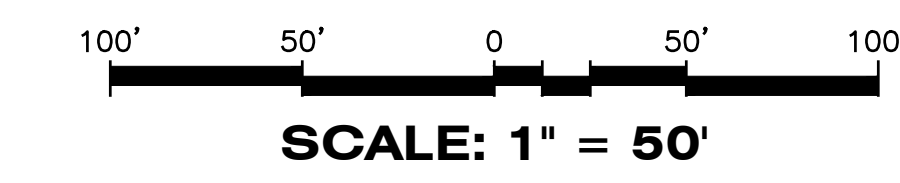


- KEYMAP NOT TO SCALE
- LEGEND
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

MATCHLINE SEE PAGE L9

STREET TREE PER PUD CONDITION F.1 ONE TREE PER LOT, 3" CALIPER MIN. TREES MAY BE ADJUSTED TO AVOID DRIVEWAY AND UTILITY CONFLICTS.

MATCHLINE SEE PAGE L11



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

Clearview LAND DESIGN, P.L.L. Engineering Business C.A. No.: 28858 3010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919		PERMIT LANDSCAPE PLAN	
JOB NO. JEN-RU-009		RUSTIC ROAD SOUTH PHASES 1 & 2	
DESIGN JD		JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC.	
DRAWN NG		PREPARED FOR:	
DATE 06-10-2021		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet	
FILE PLP		SHEET L10 OF L18 SHEETS	

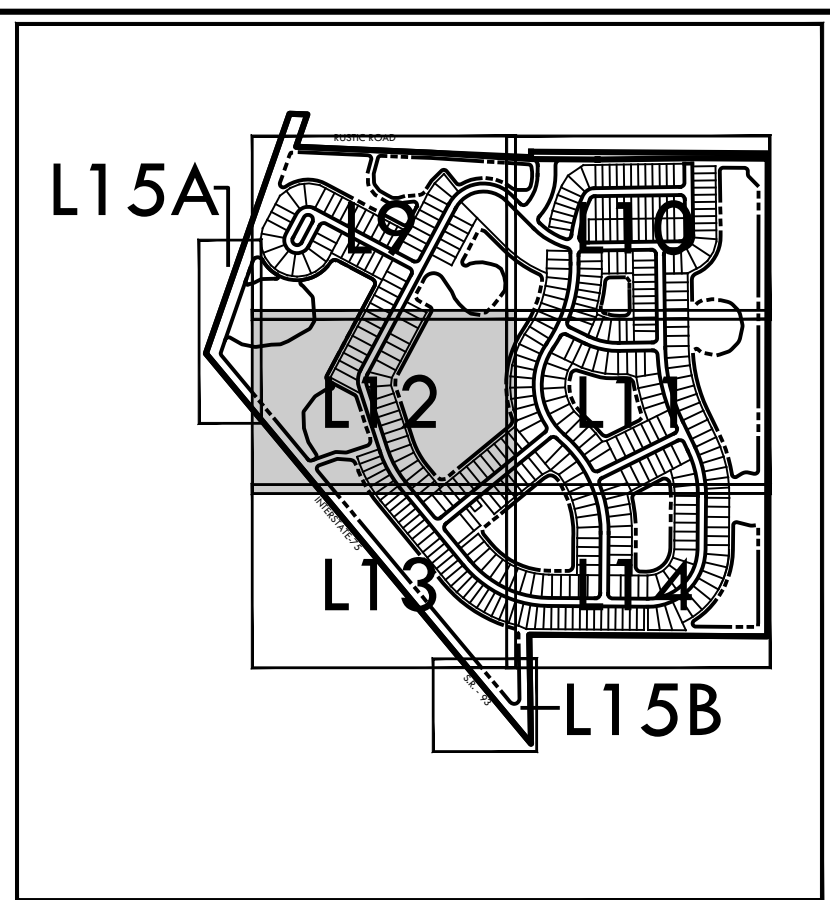
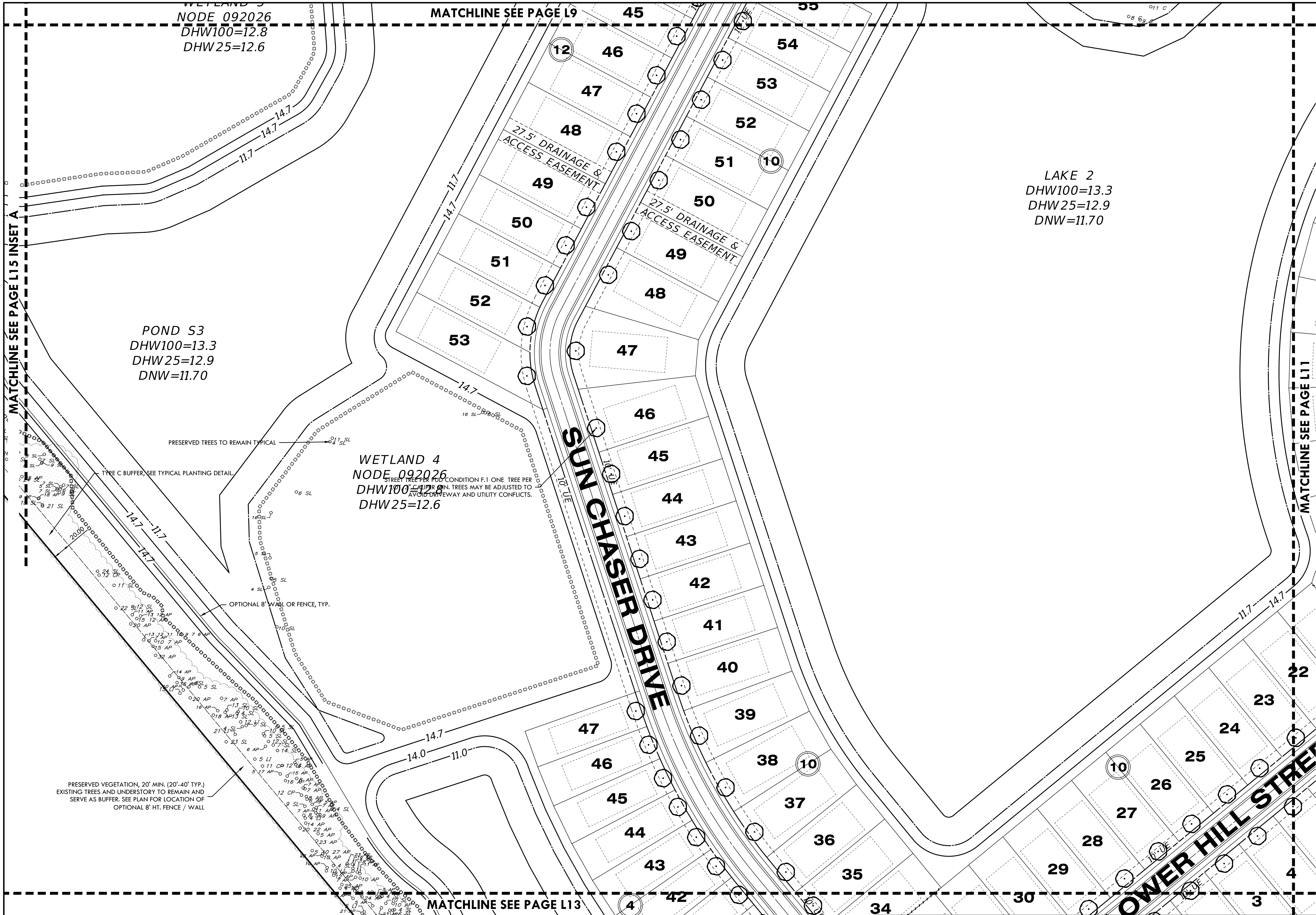
06-10-2021 PER CITY COMMENTS REVIEW SUBMITTAL AA INI

DATE DESCRIPTION REVISIONS BY

DATE: 06-10-2021

JOHN DEL VITTO RLA #6667327

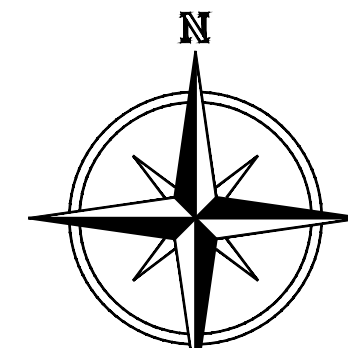
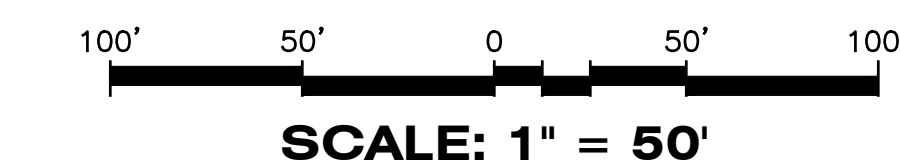
FLORIDA REGISTERED LANDSCAPE ARCHITECT



- KEYMAP** NOT TO SCALE
- LEGEND**
- WETLAND LINE
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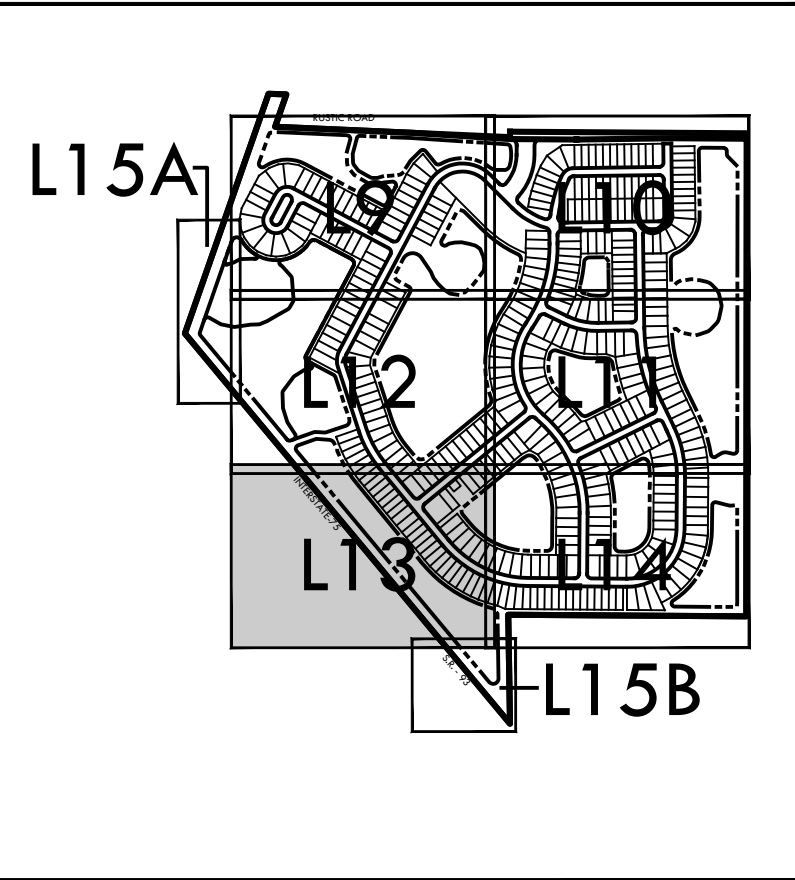
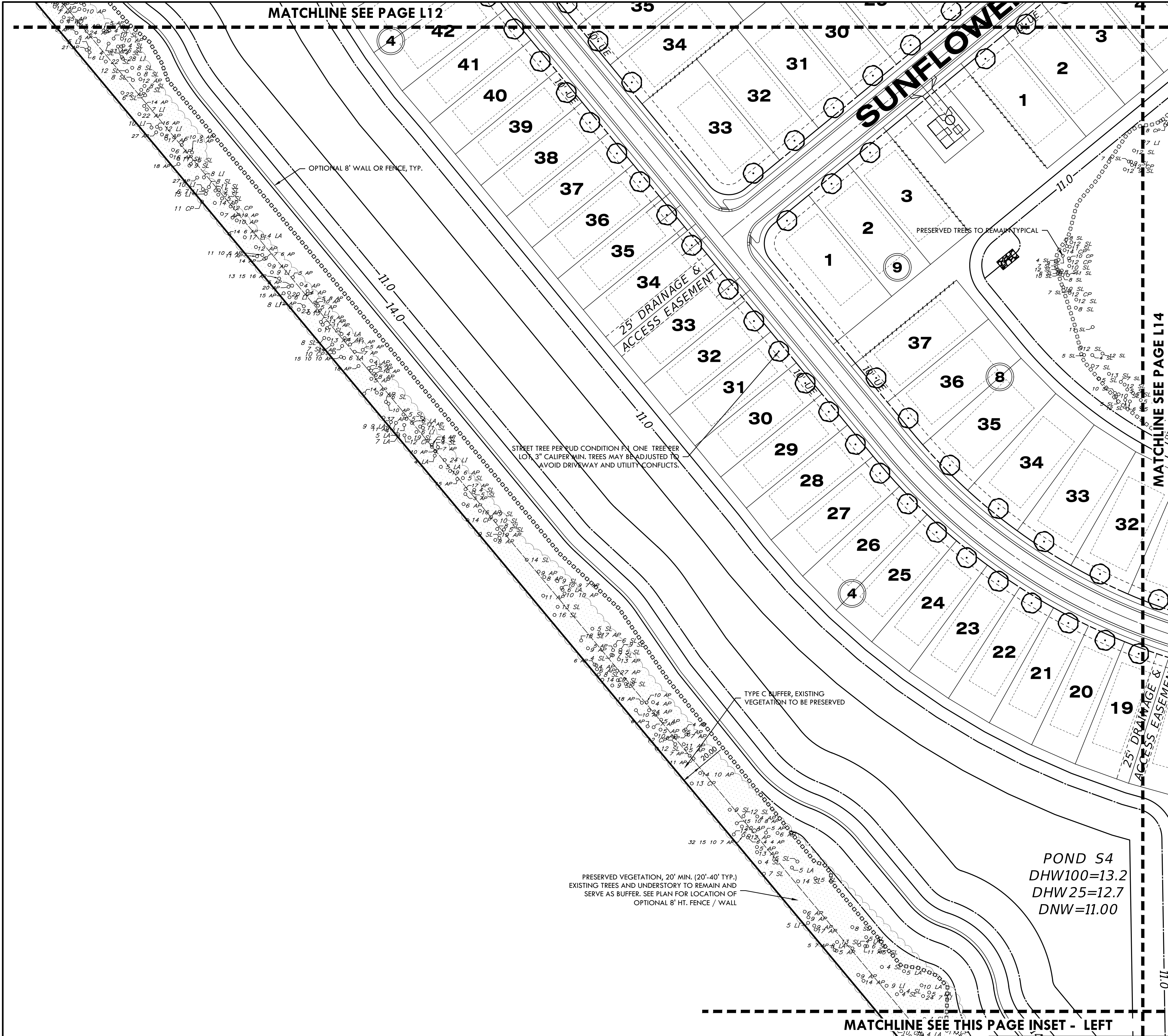
MATCHLINE SEE PAGE L15 INSET A

MATCHLINE SEE PAGE L17

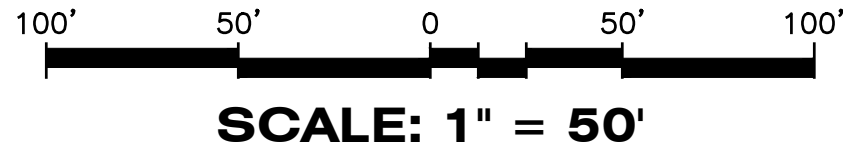


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<div><div>06-10-2021</div><div>PER CITY COMMENTS REVIEW SUBMITTAL</div><div>DATE</div></div> <div><div>AA</div><div>INI</div><div>BY</div></div>			<div><div>REGISTERED LANDSCAPE ARCHITECT</div><div>MAHMOUD DEAN MANSOUR</div><div>LA 6667074</div><div>STATE OF FLORIDA</div></div>		<div><div>Clearview LAND DESIGN, P.L.L.C.</div><div>Engineering Business C.A. No.: 28858</div><div>3010 W Azele St., Suite 150, Tampa, Florida 33609</div><div>Office: 813-223-3919</div></div> <div><div>This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</div><div>DATE: JOHN DEL VITTO RLA #6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT</div></div>		<div><div>PERMIT LANDSCAPE PLAN</div><div>JEN-RU-009</div><div>DESIGN ID</div><div>DRAWN NG</div><div>DATE 06-10-2021</div><div>FILE PLP</div></div> <div><div>RUSTIC ROAD SOUTH PHASES 1 & 2</div><div>JEN TAMPA 1, LLC.</div><div>FOR: C/O BANYAN LAND CAPITAL, LLC.</div><div>Elevations based on North American Vertical Datum 1988 (NAVD 88)</div><div>Conversion from NAVD 88 to NGVD 29 = +1.11 Feet</div><div>SHEET L12 OF L18 SHEETS</div></div>
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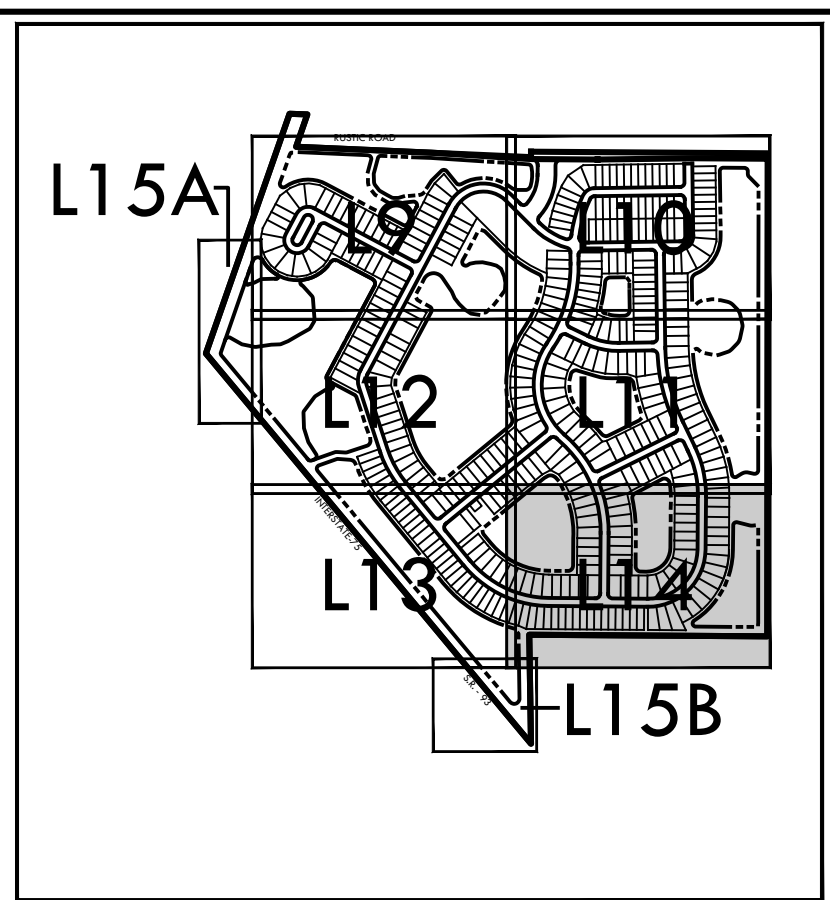
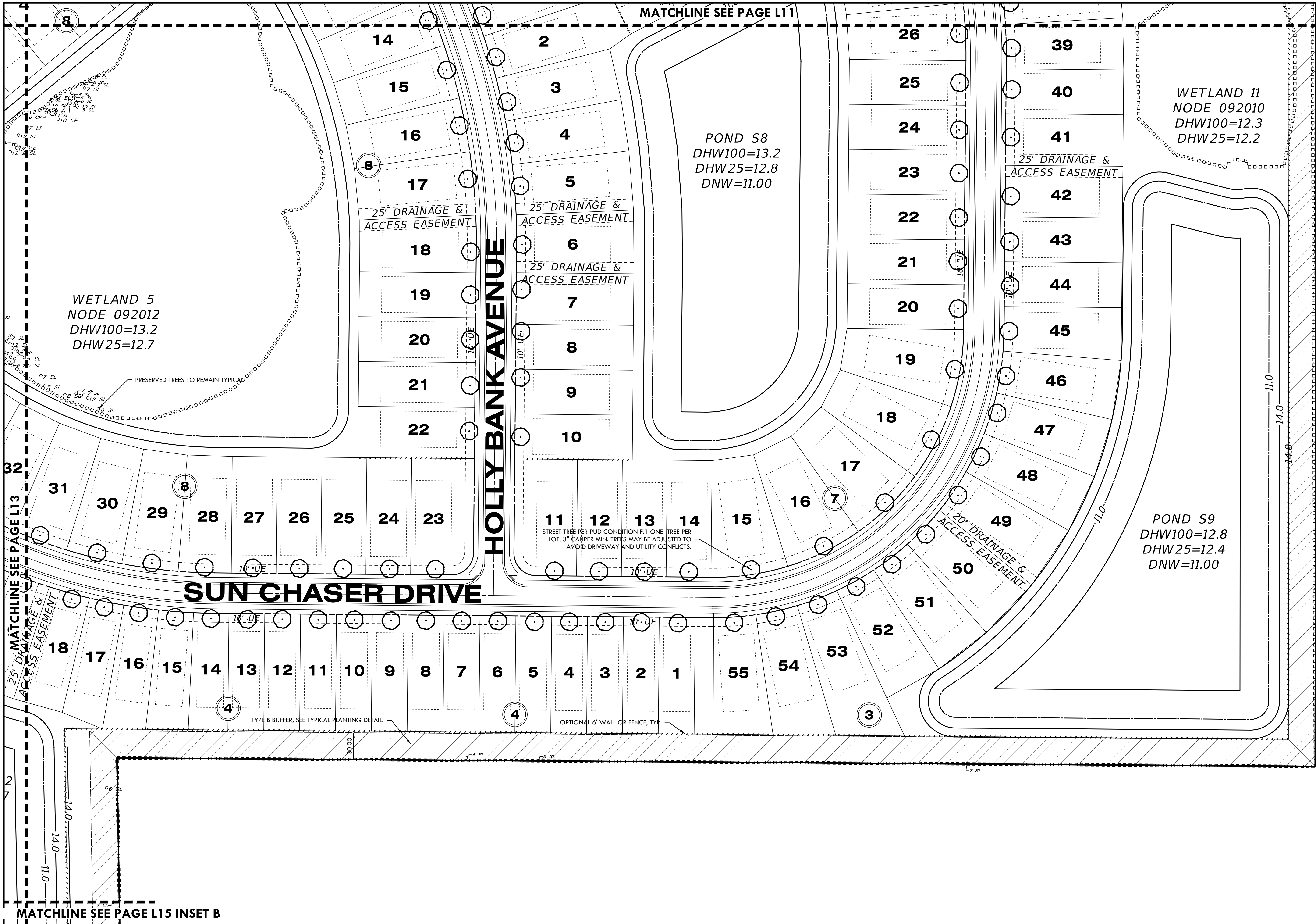


- KEYMAP** **NOT TO SCALE**
- LEGEND**
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER



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 Engineering Business C.A. No.: 28858 3010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919		PERMIT LANDSCAPE PLAN	
JOB NO. JEN-RU-009		RUSTIC ROAD SOUTH PHASES 1 & 2	
DESIGN JD		JEN TAMPA 1, LLC.	
DRAWN NG		FOR: C/O BANYAN LAND CAPITAL, LLC.	
DATE 06-10-2021		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet	
FILE PLP		SHEET L13 OF L18 SHEETS	
DATE 06-10-2021		DATE 06-10-2021	
DESCRIPTION PER CITY COMMENTS REVIEW SUBMITTAL		DESCRIPTION JOHN DEL VITTO RLA #6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT	
BY AA INI		BY AA INI	



- KEYMAP** NOT TO SCALE
- LEGEND**
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

100' 50' 0 50' 100'

SCALE: 1" = 50'

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

06-10-2021	PER CITY COMMENTS REVIEW SUBMITTAL	AA
01-11-2021		INI
DATE	DESCRIPTION	BY
	REVISIONS	

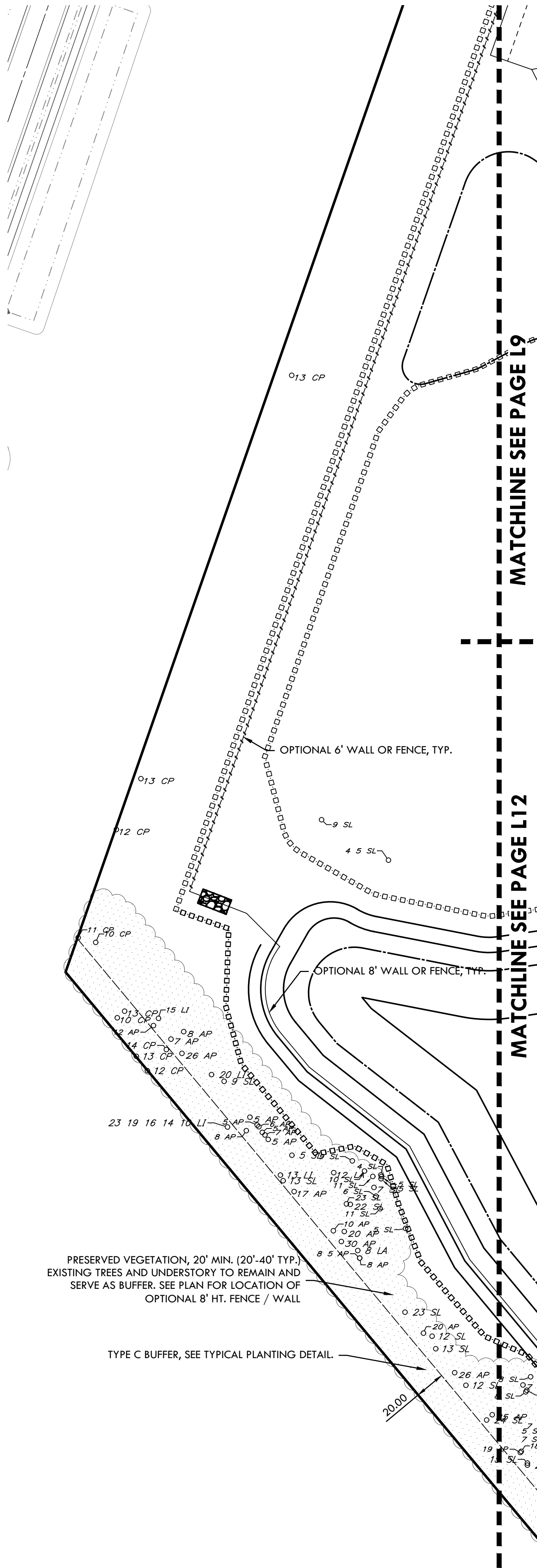
Clearview
LAND DESIGN, P.L.L.C.

Engineering Business C.A. No.: 28858
3010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919

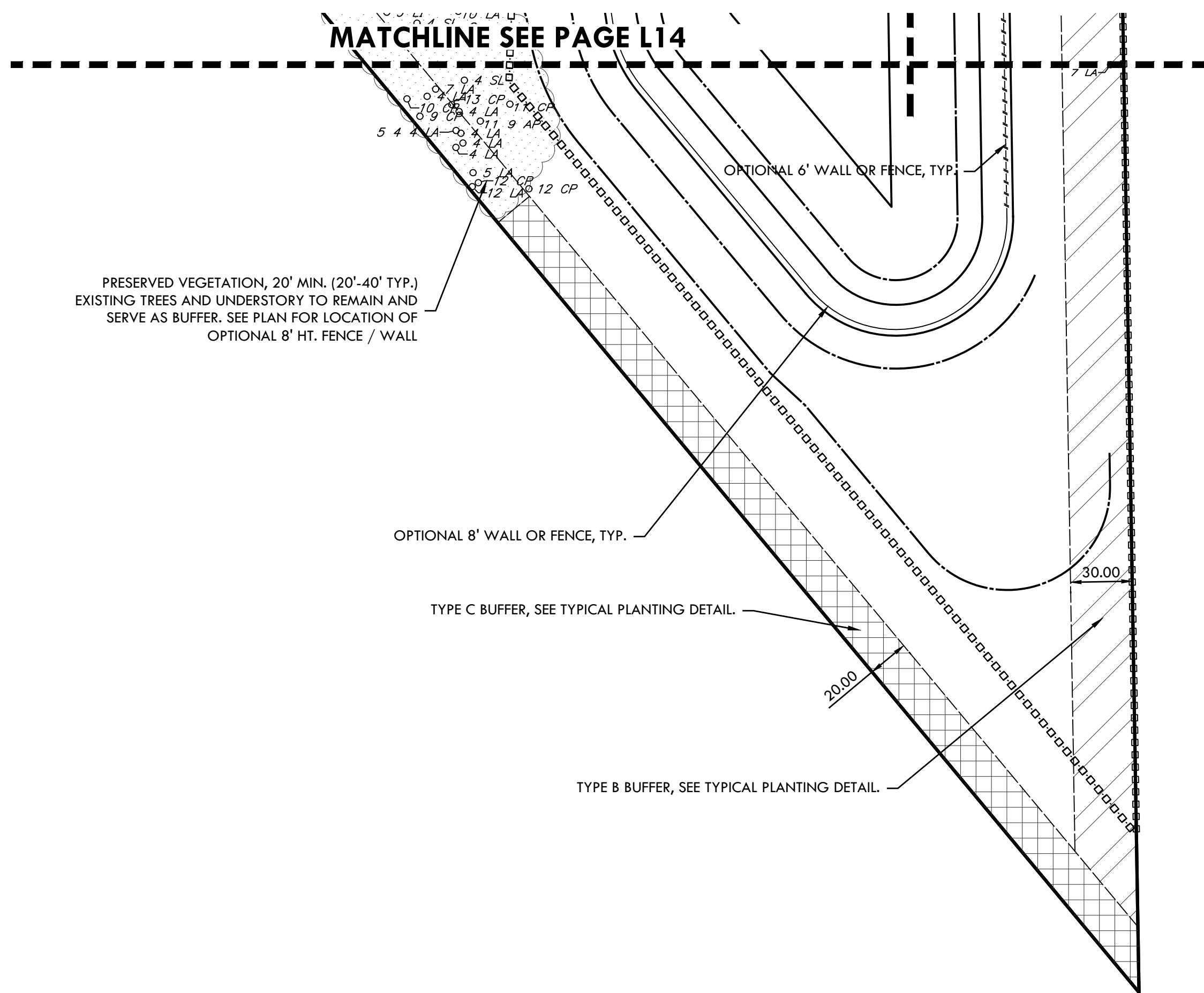
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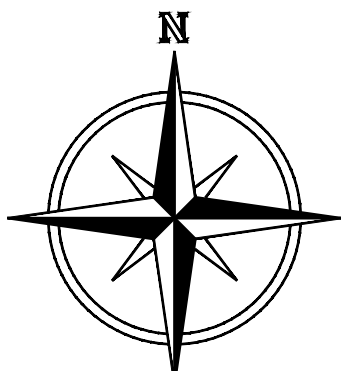
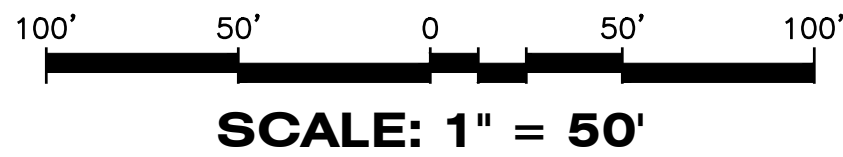
PERMIT LANDSCAPE PLAN	
JOB NO. JEN-RU-009	RUSTIC ROAD SOUTH PHASES 1 & 2
DESIGN JD	
DRAWN NG	JEN TAMPA 1, LLC. FOR: C/O BANYAN LAND CAPITAL, LLC.
DATE 06-10-2021	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet
FILE PLP	SHEET L14 OF L18 SHEETS



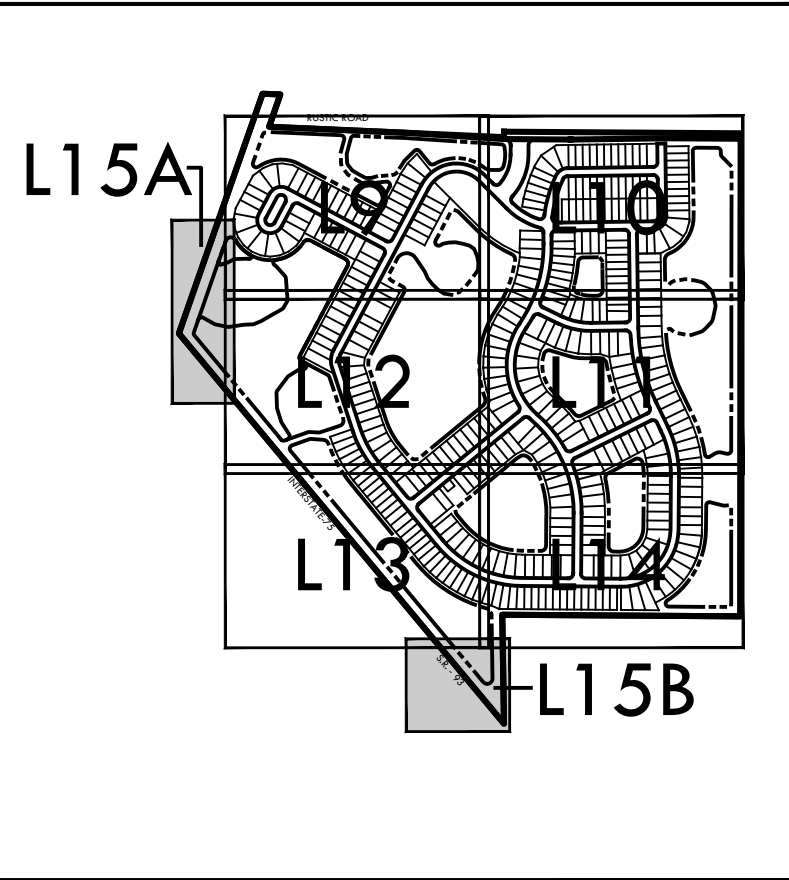
INSET A



INSET B






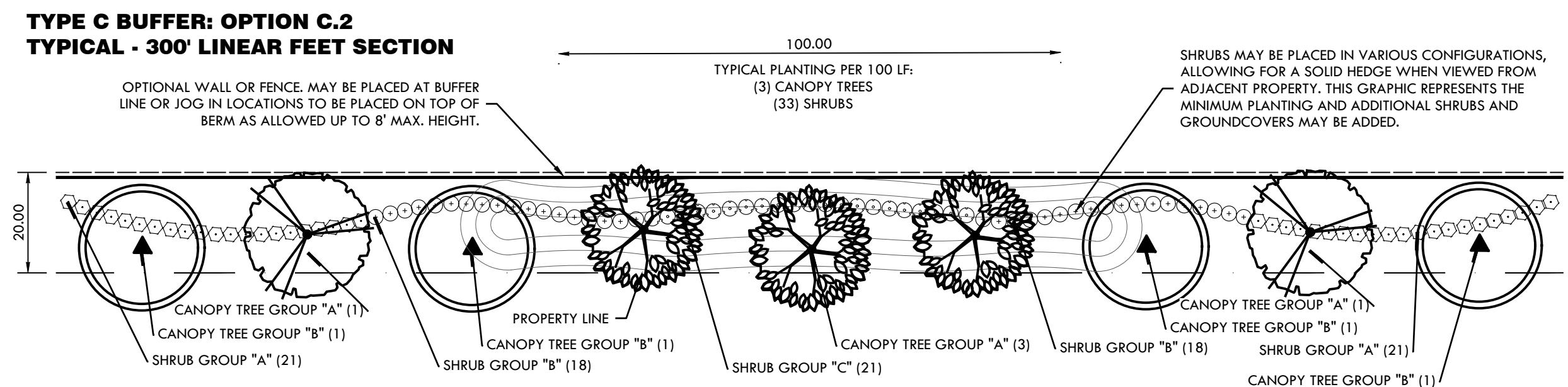
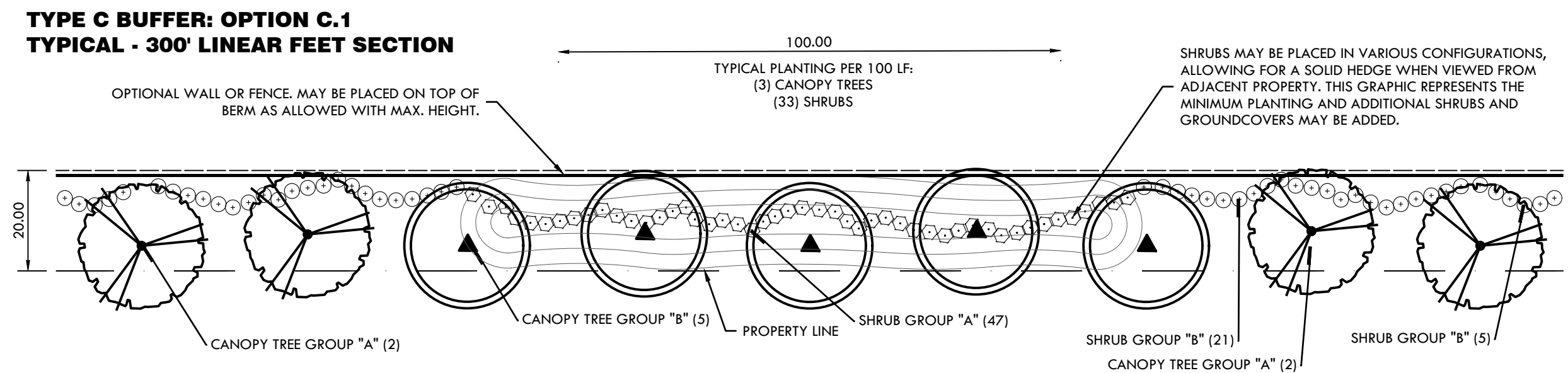
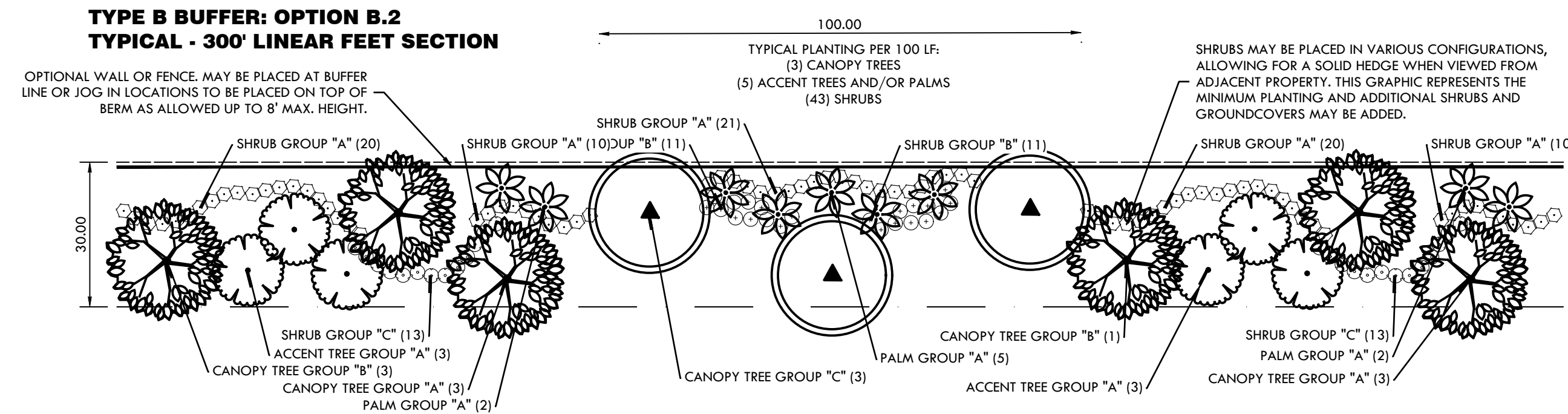
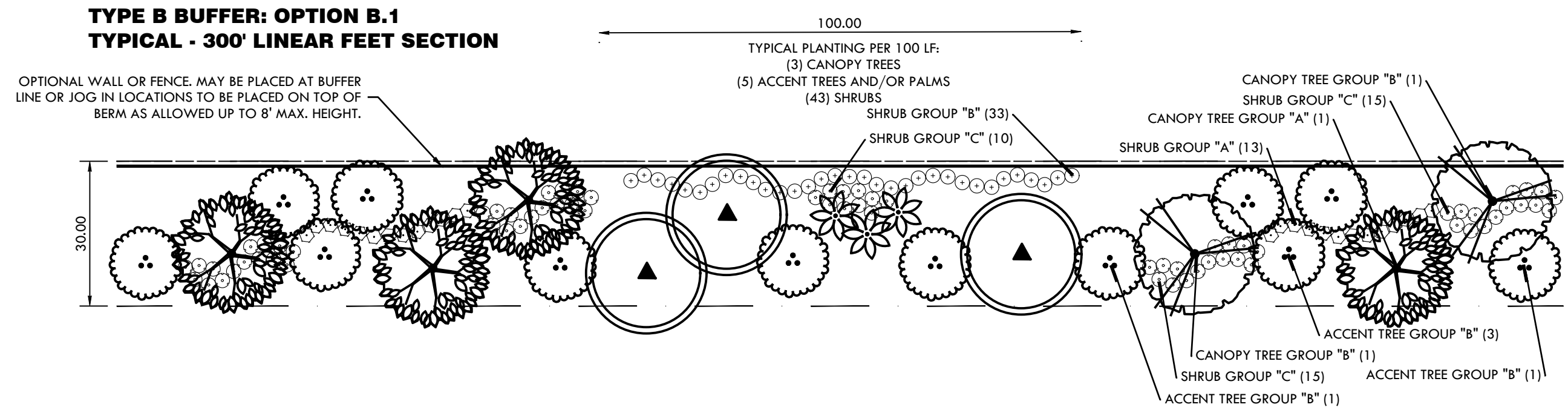
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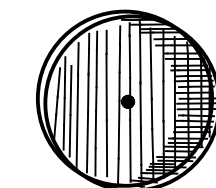
KEYMAP NOT TO SCALE

- LEGEND
- WETLAND LINE
 - WETLAND BUFFER
 - PROPERTY (PARCEL) BOUNDARY
 - BUFFER - TYPE B
 - BUFFER TYPE C
 - EXISTING TREE TO REMAIN
 - PROPOSED STREET TREE (BY BUILDER)
 - NORMAL WATER

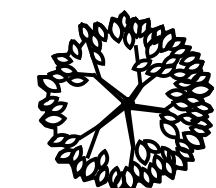
								PERMIT LANDSCAPE PLAN			
				<p>This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</p>		JOB NO. JEN-RU-009		RUSTIC ROAD SOUTH PHASES 1 & 2			
		DESIGN JD									
						DRAWN NG		PREPARED FOR: C/O BANYAN LAND CAPITAL, LLC.	JEN TAMPA 1, LLC.		
				DATE: JOHN DEL VITTO RLA #6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT		DATE 06-10-2021		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet			
						FILE PLP		SHEET L15 OF L18 SHEETS			
06-10-2021	PER CITY COMMENTS	AA									
01-11-2021	REVIEW SUBMITTAL	INI									
DATE	DESCRIPTION	BY									
	REVISIONS										



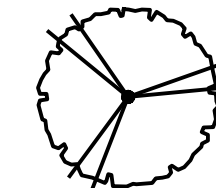
CONCEPT PLANT SCHEDULE



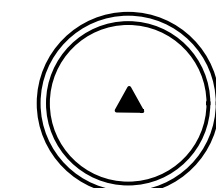
EXISTING TREE



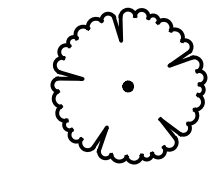
CANOPY TREE GROUP "A"
Canopy Trees with Spreading Crown
- 'Shady Lady' Black Olive
- West Indian Mahogany
- Live Oak
- Royal Poinciana



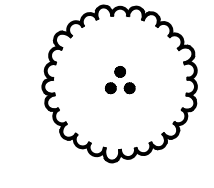
CANOPY TREE GROUP "B"
Deciduous Canopy Trees
- Red Maple
- Sweet Gum
- Shumard Oak
- Bald Cypress
- Pond Cypress
- American Elm
- Chinese Elm



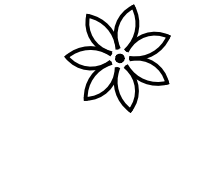
CANOPY TREE GROUP "C"
Evergreen Canopy Tree, Full to Ground and Conifers
- Japanese Blueberry
- Southern Magnolia
- Southern Red Cedar
- South Florida Slash Pine
- Long Leaf Pine



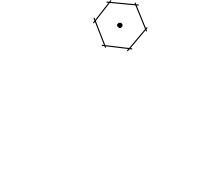
ACCENT TREE GROUP "A"
Evergreen Full to Ground Understory Trees
- Spanish Stopper
- Little Gem Magnolia
- Dahoon Holly



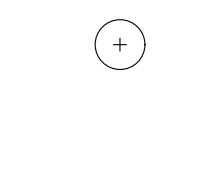
ACCENT TREE GROUP "B"
Spreading Crown Multi-Trunk Understory Trees
- Silver Buttonwood
- Pineapple Guava
- Yaupon Holly
- Weeping Yaupon Holly
- Crape Myrtle
- Ligustrum



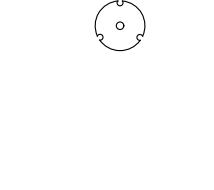
PALM GROUP "A"
Palmette Leaved Palms
- Sabal Palm
- Washington Palm
- Royal Palm



SHRUB GROUP "A"
Evergreen Hedge
- Florida Privet
- Florida Anise
- Simpson's Stopper
- Wild Coffee
- Water's Viburnum



SHRUB GROUP "B"
Texture Accent Hedge
- Red Tip Cocoplum
- Silver Buttonwood
- Pineapple Guava
- Texas Sage
- Awabuki Viburnum



SHRUB GROUP "C"
Color Accent Hedge
- Copperleaf
- Butterfly Bush
- Firebush
- Loropetalum

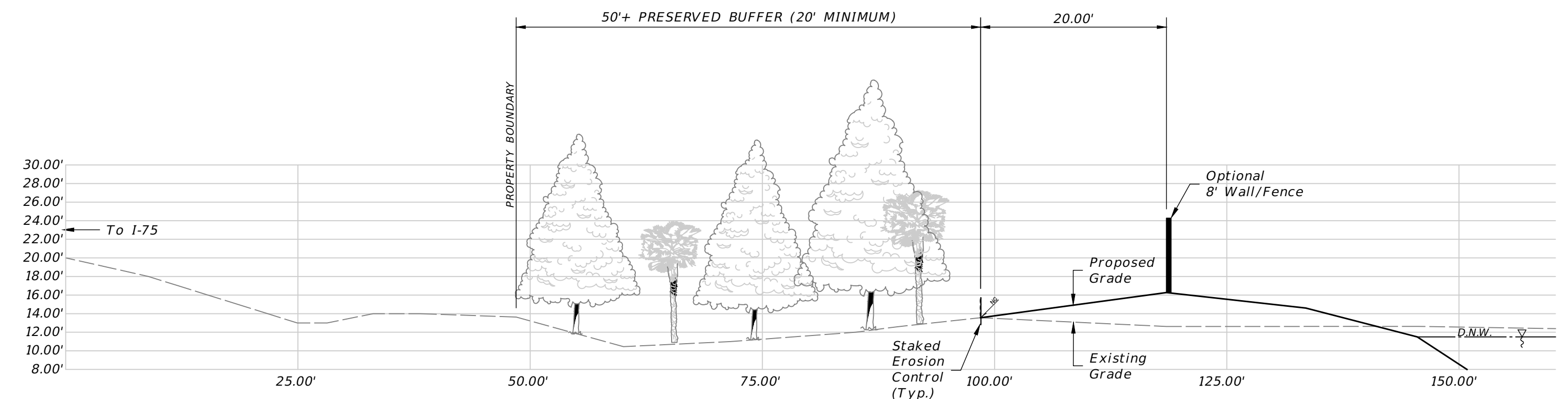
BUFFER NOTES:

TYPE B BUFFER:

1. A fence or wall up to 8' in height may be added and is optional.
2. Where wall/fence is provided, plantings to be placed on outside of wall/fence between wall/fence and property line.
8. Fence/wall, where provided, may jog to be placed atop berm where co-located.
9. Where existing trees are retained in buffer, they may count toward tree requirement.
10. Where overhead utilities are present, trees may be substituted and planted in accordance with trees approved by the governing utility company.

TYPE C BUFFER:

1. Existing trees/vegetation shall remain where possible to satisfy required buffer plantings.
2. The height of berm may range between 0'-10' per approved zoning.
3. Where provided within 20' buffer, berm will typically be 33% slope max. for a 2.8' height berm with 3' flat planting space on top of berm.
4. No buffer shall be required where existing wetlands are to remain.
5. No berming to be proposed in areas where existing vegetation is being saved to meet buffering.
6. To extent possible, shrubs required for screening are to be placed on top of berm.
7. Along I-75, a fence or wall up to 8' in height may be added and is optional.
8. Fence/wall, where provided, may jog to be placed atop berm where co-located.
9. Existing vegetation may be utilized to meet buffering.



I-75 PERIMETER TYPICAL PROFILE

- NO SCALE -

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

06-10-2021 01-11-2021	PER CITY COMMENTS REVIEW SUBMITTAL	AA INI	DATE	DESCRIPTION REVISIONS	BY		 Engineering Business C.A. No.: 28858 3010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 This item has been digitally signed and sealed by JOHN A. DEL VITTO, R.L.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. DATE: JOHN DEL VITTO RLA #6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT	PERMIT LANDSCAPE PLAN	
							JOB NO. JEN-RU-009 DESIGN JD DRAWN NG DATE 06-10-2021 FILE PLP	RUSTIC ROAD SOUTH PHASES 1 & 2 JEN TAMPA 1, LLC. C/O BANYAN LAND CAPITAL, LLC. Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +1.11 Feet SHEET L16 OF L18 SHEETS	

CITY OF VENICE STANDARD LANDSCAPE NOTES:

3. This Landscape Plan is a permitting purposes only. Additional trees, shrubs, groundcovers, and landscape materials may be added for aesthetic or environmental benefits. Additional landscape shall comply with City of Venice requirements and standards.
2. No reference to engineering or survey shall be made from this Landscape Plan.
3. JEN TAMPA 1, LLC, and/or successors shall be responsible for maintenance of all landscaped areas.
4. All materials shall be Florida #1 or better quality as per most current publication of "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services.
5. Trees.
 - Trees utilized to meet requirements of the code shall be chosen from the Master Tree Species List provided in Section 118-13 of the City of Venice Land Development Regulations.
 - All replacement canopy trees shall be a minimum of 2.5" caliper measured no closer than six inches from the ground.
 - All replacement understory trees shall be a minimum of 1.5" caliper measured no closer than six inches from the ground.
 - Trees utilized to meet minimum landscape requirements shall be a minimum of ten feet in overall height and four feet in spread and a minimum of three inches in diameter measured six inches above the ground immediately after planting.
 - Trees shall be maintained in a clean condition over five feet of clear wood. (Exception to full to ground species where applicable)
 - At a minimum, 75 percent of replacement trees shall be large and medium sized canopy trees, unless canopy trees are not suitable, as reasonable determined by the director and/or director's designee in the area to be planted.
 - Where ten or more trees are to be planted, no single species shall constitute more than 50 percent of the total replacement planting.
 - No more than 25 of the required tree plantings may be of the *Pinus* (commonly referred to as pine) species.
6. Palms:
 - (Cabbage palm) *Sabal Palmetto* may be planted at a rate equivalent to three palms to one required tree (2½ tree inches). Other Florida-Friendly palm species may be proposed at the same three to one ratio for approval of the city arboret.
 - Palms shall not constitute more than 25 percent of the required tree inches. It is not the intent of this restriction to prevent the planting of additional palm trees in excess of the required tree inches.
7. Shrubs and hedge plants. Shrubs shall be a minimum of two feet in height when measured immediately after planting. Hedge plants, where required, shall be planted not more than three feet on center, and maintained so as to form a continuous, unbroken, solid visual screen within a maximum of one year after time of planting.
8. Vines shall be a minimum of 30 inches in height immediately after planting and may be used in conjunction with fences, screens or walls to meet physical barrier requirements as specified.
9. Ground covers in lieu of grass in whole or in part shall be planted in such a manner as to present a finished appearance and reasonably complete coverage and shall be used with a decorative mulch such as pine or cypress bark or other material of a similar nature.
10. Lawn grass. Grass areas shall be planted in species normally grown in permanent lawns in the city area. Grass areas may be sodded, plugged, sprigged or seeded; except that solid sod shall be used in swales or other areas subject to erosion. In areas where other than solid sod or grass seed is used, nurse grass seed shall be sown for immediate effect and protection until coverage is otherwise achieved.
11. Required planting materials shall be appropriate for the USDA Hardiness Zone for the specific location where they are to be planted.
12. Trees and shrubs shall be drought tolerant species.
13. Existing Vegetation.
 - The retention of "existing vegetation" shall be maximized within the proposed landscape, parking and buffer areas. When retaining existing vegetation within the landscape buffer area, only clearing methods that do not disturb the root structure shall be allowed within the dieline of tree canopies.
 - Existing trees may be used to meet the landscape requirements. For the purpose of meeting requirements, existing palms shall not be considered trees.
14. Design, Installation and Establishment Standards.

- Standards for Planting and Florida Nursery Growers and Landscape Association.
- Location of plants and design of landscaping, including maintenance, shall be according to sound landscape and horticultural principles.
- Trees of species whose roots are known to cause damage to public roadways or other public works shall not be planted closer than six feet to such public works, unless the tree root system is completely contained within a barrier for which the minimum interior dimensions shall be five feet square and five feet deep, and for which the construction requirements shall be four-inch-thick concrete reinforced with #6 wire mesh (six by six by six) or equivalent. All trees shall be approved by the zoning administrator.
- Tree and shrub installation and establishment shall follow the guidelines provided in the current edition of the ANSI A300 Planting Standards (American Standards Institute). All Container Stock requires root ball remediation and shearing at the time of installation.
- All landscape buffer areas shall have non-compacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash, except where structural soils have been approved by the City of Venice. All compacted soil, contaminated soil or roadbase fill shall be removed. Under no circumstances shall soils with greater than five percent or less than 0.5 percent organic matter be accepted.
- All new planting beds and trees shall be mulched with 2"-3" natural material mulch.
- Remove mulch from canopies of shrubs and properly tuck in mulch along planting bed edges. Smooth all lines between turf and mulch to eliminate jagged edges.
- Do not pile mulch around the base of tree trunks or shrubs. Provide a 3' diameter mulch ring around planted trees that are not contained within a planting bed.

- Harmful nuisance trees and shrubs shall be excluded from any landscaping plan and shall be removed from the developed portions of project.
 - Such species include those listed by Florida Exotic Pest Plant Council (FLEPPC).
 - Invasive species shall not be planted to fulfill landscape requirements.
16. Maintenance Responsibility.
- The responsibility for maintenance of a required landscape buffer shall remain with the owner of the property, his or her successors, heirs, assignees or any consenting grantee.
 - All plantings shall be maintained in an attractive and healthy condition.
 - Maintenance shall include, but not be limited to, watering, mulching, fertilizing and pest management, mowing, weeding, removal of litter and dead plant material, and necessary pruning and trimming, which includes structural pruning as specified in ANSI A300 Part 1, current edition.
 - Buffers shall be kept free of nuisance and invasive species.
 - Landscaping and landscaped areas shall present a healthy, neat and orderly appearance, free from refuse and debris.
 - Dead or dying plant materials shall be promptly removed and replaced by materials meeting the requirements of this subdivision.
 - A water source shall be supplied within 50 feet of any planting requiring continuing watering.
 - Where nonnative or non-drought tolerant native vegetation is incorporated into the plan, irrigation systems shall meet the standards for water efficient landscapes.
17. Residential Lots.
- For all single- and two-family residential uses on individually platted lots, a minimum of one third of the required front yard area shall be planted with lawn grass, ground cover or shrubs and hedge plants.
 - Per PUD Condition F.1, each lot shall plant one (1) street tree, placed within or adjacent to the right of way. Street trees to be 3" caliper minimum at time of installation.

PERMIT IRRIGATION NOTES:

1. Plants with similar water requirements shall be irrigated on the same zone. Installed trees and other vegetation shall be spaced and located to accommodate their mature size on the site and not interfere with irrigation spray patterns of coverage. No plants shall be planted under roof overhangs. When utilizing organic Mulch a minimum depth of

- three inches shall be applied in Plant Beds and around individual trees and palms.
2. Irrigation Systems shall be designed and installed for efficient and effective use of water to the Landscaped Area. Irrigation Systems shall have separate High and Low Water Use Zones for independent operation. Turfgrass areas, annual flowerbeds and vegetable gardens shall be irrigated on separate irrigation zones from tree, shrub, and groundcover beds. No water spray from Irrigation Systems shall be applied under roof overhangs.
3. Sprinklers and rotors for Turf areas shall be installed so as to minimize overspray onto paved surfaces, structures, and nonvegetated areas; minimize Runoff of irrigation water; and operate at their designed overlap pattern of 75 percent to 100 percent. (A pattern of 100 percent overlap would represent head-to-head coverage). Pop-up Sprinklers and rotors will not be mixed in the same zone.
4. Reclaimed or other nonpotable water source shall be used for irrigation if available. If the water supply for the Irrigation System is from a well, a Constant Pressure Flow Control device or Pressure Tank with adequate capacity shall be required to minimize pump "cycling".
5. Micro-irrigation systems that have low volume Emitters shall be required for tree, shrub and Ground Cover beds if permanent irrigation is provided for these areas. A "Y" type Filter shall be installed at the head end of such systems. In-line pressure regulators to reduce pressure to no more than 15 P.S.I. shall also be utilized.
6. A Rain Sensing Shutoff Device shall be required on automatic Irrigation Systems to avoid irrigation during periods of sufficient rainfall. Said equipment shall consist of an automatic sensing device or switch which will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred. It must be placed where it is exposed to unobstructed natural rainfall.
7. Where reuse water is available from, the developer shall be required to install reuse lines throughout the development.
8. All new construction/new buildings shall connect to available reuse lines (if applicable) prior to issuance of Temporary or permanent Certificate of Occupancy.

SIGHT VISIBILITY NOTES.

1. Where an access-way intersects a public right-of-way, all landscaping shall provide unobstructed cross-visibility at a level between 2.5 feet and ten feet within the areas of property on both sides of an access-way formed by the intersection of each side of the access-way and public right-of-way lines, with two sides of each triangle being ten feet in length from the point of intersection and the third side being a line connecting the ends of the two other sides; provided that trees having limbs and foliage trimmed in such a manner that no limbs or foliage extend into the cross-visibility area shall be allowed, provided they are located so as not to create a traffic hazard. No buffer, structure or landscaping, except required grass or ground cover, shall not be located closer than three feet to the edge of any access-way pavement.

2. When the subject property abuts the intersection of two or more public rights-of-way, the following shall apply: On a corner lot, in any district except CBD and ILW, no fence, wall, hedge or other planting or structure that will materially obstruct vision between a height of 2½ and ten feet above the centerline grades of the intersecting streets shall be erected, placed or maintained within the triangular area formed by the right-of-way lines at such corner lots and a straight line joining the right-of-way lines at points which are 20 feet distant from the intersection of the right-of-way lines and measured along the right-of-way lines. Clear tree trunks, signposts, lampposts, fence posts (but not opaque fences) and the like are exempt from this requirement.

REQUIRED TREE MITIGATION	
PROJECT AREA	151.5 AC
REQUIRED TREES	40 INCHES PER ACRE = 6,060"
REQUIRED TREES (HERITAGE TREES)(*)	194 INCHES(*)
REQUIRED MIN. TREES	6,254"

TREE PLANTING SCHEDULE



SITE PLAN AREA	LANDSCAPE REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROVIDED
STREET TREES	1 TREE PER LOT PER PUD CONDITION F.1	400 LOTS X 1 PER LOT = 400 TREES	400 TREES @3" CAL = 1,200 INCHES
TYPE B BUFFER	3 CANOPY TREES + 5 ACCENT TREES PER 100 LF PER PUD CONDITION E	6,990 LF \pm = 210 CANOPY TREES + 350 ACCENT TREES	210 TREES @ 3" CAL = 630 INCHES + 350 TREES @ 1.5" CAL = 525 INCHES = 1,155 INCHES TOTAL
TYPE C BUFFER	3 CANOPY TREES PER 100 LF PER PUD CONDITION E	460 LF \pm = 14 CANOPY TREES	14 TREES @3" CAL = 42 INCHES
TYPE C BUFFER (EXISTING)	3 CANOPY TREES PER 100 LF PER PUD CONDITION E	2,360 LF \pm = 71 CANOPY TREES	MET WITH EXISTING VEGETATION
REMAINING MITIGATION TREES	BALANCE OF REQUIRED MINIMUM TREES	77 TREES @ 3" CAL = 230 INCHES	77 TREES @ 3" CAL = 230 INCHES
		TOTAL PROVIDED CREDIT INCHES	2,627 INCHES
		TOTAL RETAINED CREDIT INCHES	3,627 INCHES
		TOTAL INCHES PROVIDED ON SITE	6,254 INCHES

TREE PLANTING LIST

TREE TYPE	SPECIES SELECTION	SPECIFICATION/SIZE	
STREET TREE - Canopy Trees. Provided by Builder. 1 per Lot. Placed within right of way or behind walk. See plan. Locations to be adjusted for driveways and utilities.	Red Maple / <i>Acer rubrum</i>	3" caliper / 10' height x 4' spread	
	Green Buttonwood, Standard / <i>Conocarpus erectus</i>		
	Japanese Blueberry / <i>Elaeocarpus decipens</i>		
	Southern Magnolia / <i>Magnolia grandiflora</i>		
	Live Oak / <i>Quercus virginiana</i>		
	American Elm / <i>Ulmus americana</i>		
	Chinese Elm / <i>Ulmus parvifolia</i>		
CANOPY TREE GROUP "A" Canopy Trees with Spreading Crown	'Shady Lady' Black Olive / <i>Bucida buceras</i>	3" caliper / 10' height x 4' spread	
	West Indian Mahogany / <i>Swietenia mahagoni</i>		
	Live Oak / <i>Quercus virginiana</i>		
	Royal Poinciana / <i>Delonix regia</i>		
CANOPY TREE GROUP "B" Deciduous Canopy Trees	Red Maple / <i>Acer rubrum</i>		
	Sweetgum / <i>Liquidambar styraciflua</i>		
	Shumard Oak / <i>Quercus shumardii</i>		
	Bald Cypress / <i>Taxodium distichum</i>		
	Pond Cypress / <i>Taxodium ascendens</i>		
	American Elm / <i>Ulmus americana</i>		
	Chinese Elm / <i>Ulmus parvifolia</i>		
CANOPY TREE GROUP "C" Evergreen Canopy Tree, Full to Ground & Conifers	Japanese Blueberry / <i>Elaeocarpus decipens</i>		3" caliper / 10' height x 4' spread
	Southern Magnolia / <i>Magnolia grandiflora</i>		
	Southern Red Cedar / <i>Juniperus silicicola</i>		
	South Florida Slash Pine / <i>Pinus elliottii</i> 'Densa'		
	Long Leaf Pine / <i>Pinus palustris</i>		
ACCENT TREE GROUP "A" - Evergreen Full to Ground Understory Tree	Spanish Stopper / <i>Eugenia foetida</i>	1½" caliper / 5'-6' height x 2'-3' spread	
	Little Gem Magnolia / <i>Magnolia grandiflora</i> 'Little Gem'		
	Dahoon Holly / <i>Ilex cassine</i>		
ACCENT TREE GROUP "B" - Spreading Crown, Multi-Trunk Understory Tree	Silver Buttonwood Tree/ <i>Conocarpus erectus</i> 'Sericeus'	1½"-2" caliper / 5'-6' height x 3'-4' spread/Multi-trunk, Min. ½" caliper per trunk, Equally sized trunks	
	Pineapple Guava Tree / <i>Feijoa sellowiana</i>		
	Yaupon Holly / <i>Ilex vomitoria</i>		
	Weeping Yaupon Holly / <i>Ilex vomitoria</i> 'Pendula'		
	Crape Myrtle / <i>Lagerstroemia indica</i>		
	Ligustrum Tree / <i>Ligustrum japonicum</i>		
PALM GROUP "A"	Sabal Palm / <i>Sabal palmetto</i>	10' CT Min. Staggered Heights in Groups	
	Mexican Fan Palm / <i>Washingtonia robusta</i>		
	Royal Palm / <i>Roystonea regia</i>		

BUFFERING / SCREENING SHRUBS

SHRUB TYPE	SPECIES SELECTION	SPECIFICATION/SIZE
SHRUB GROUP "A" - Evergreen Hedge	Florida Privet / <i>Forestiera segregata</i>	30" height 30" height - 36" max. spacing
	Florida Anise / <i>Illicium floridanum</i>	
	Simpson's Stopper / <i>Myrcianthes fragrans</i>	
	Wild Coffee / <i>Psychotria nervosa</i>	
	Walter's Viburnum / <i>Viburnum obovatum</i>	
SHRUB GROUP "B" - Texture Accent Hedge	'Red Tip' Cocoplum / <i>Chrysobalanus icaco</i> 'Red Tip'	30" height 30" height - 36" max. spacing
	Silver Buttonwood / <i>Conocarpus erectus</i> 'Sericeus'	
	Pineapple Guava Tree / <i>Feijoa sellowiana</i>	
	Texas Sage / <i>Leucophyllum frutescens</i>	
	'Awabuki' Viburnum / <i>Viburnum odoratissimum</i> 'Awabuki'	
SHRUB GROUP "C" - Color Accent Hedge	Copperleaf / <i>Acalypha wilkesiana</i>	30" height 30" height - 36" max. spacing
	Butterfly Bush / <i>Buddleia</i> spp.	
	Firebush / <i>Hamelia patens</i>	
	Loropetalum / <i>Loropetalum chinensis</i>	

<div>06-10-2021 01-31-2021</div> <div>PER CITY COMMENTS REVIEW SUBMITTAL</div>		<div>AA INI</div>	<div></div>	<div><div><div>Clearview LAND DESIGN, P.L.L.</div><div>Engineering Business C.A. No.: 28858 3010 W Azeele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919</div><div><div>This item has been digitally signed and sealed by JOHN A. DEL VITTO, K.L.A., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</div></div></div></div> <div>DATE: JOHN DEL VITTO RLA #66679327 FLORIDA REGISTERED LANDSCAPE ARCHITECT</div>	<div>PERMIT LANDSCAPE PLAN</div> <div><div><div><div>JOB NO. JEN-RU-009</div><div>DESIGN JD</div><div>DRAWN NG</div><div>DATE 06-10-2021</div><div>FILE PLP</div></div><div><div>RUSTIC ROAD SOUTH PHASES 1 & 2</div><div>JEN TAMPA 1, LLC. FOR: C/O BANYAN LAND CAPITAL, LLC.</div><div>Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +111 Feet</div><div>SHEET L17 of L18 SHEETS</div></div></div></div>	
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