



City of Venice Land Development Code Update

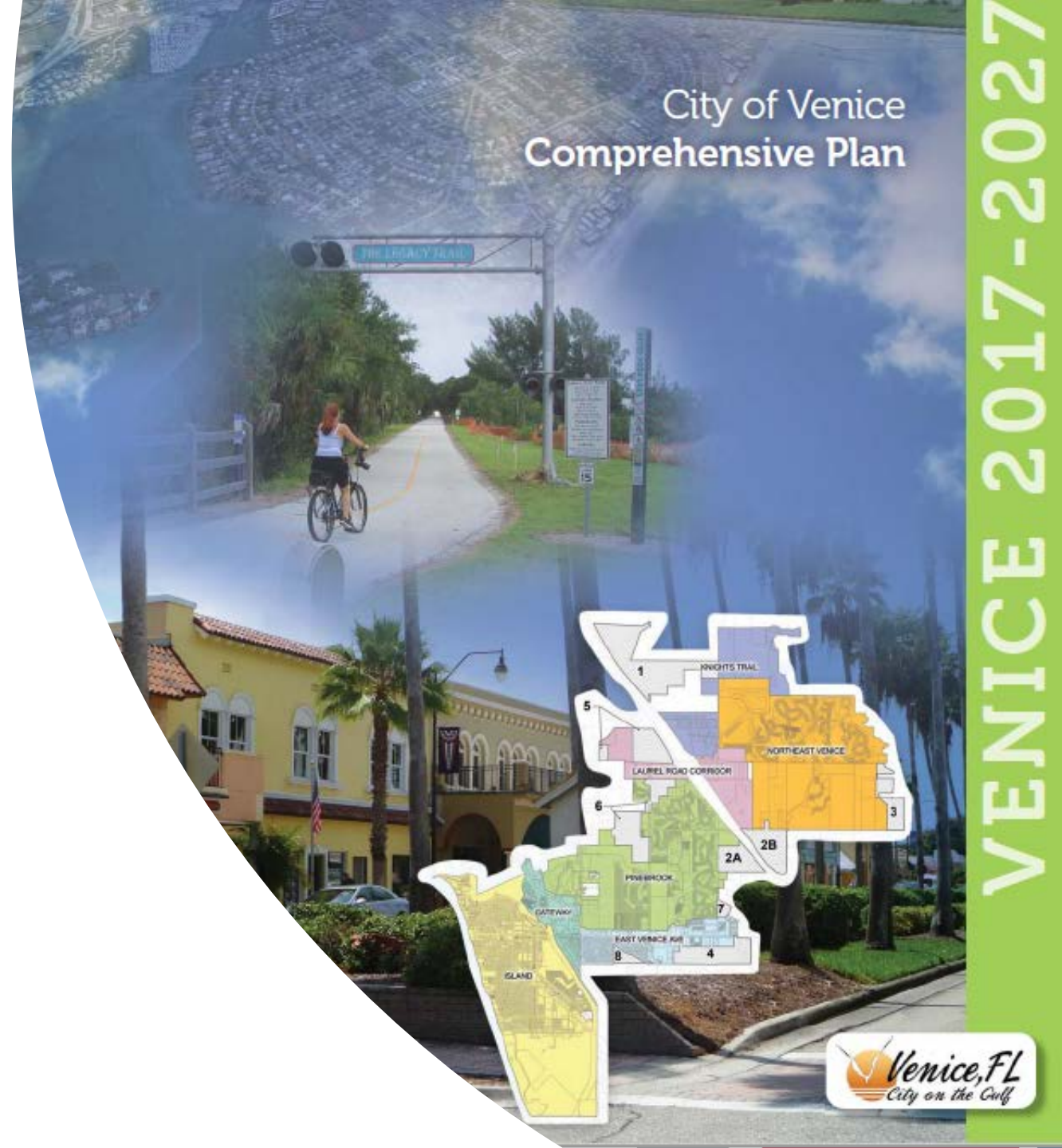
October 2019

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Background & Purpose

The City of Venice Land Development Code Update

- Updates the Zoning Code to implement the City's 2017-2027 Comprehensive Plan
- Proposes traditional and innovative approaches to the code
- Reorganizes the code for increased understanding, predictability, and usability



Overview of Today's Workshop

Topics/Sections for Review:

- Table of Contents
- Section 6 – Use Definitions and Use Standards
- Section 7.3 – Signs
- Section 7.4 – Parking Requirements





Table of Contents

Chapter 87 - Land Development Code

☐ Section 1 – Introductory Provisions

☐ Section 2 – Comprehensive Plan and Relationship to LDC

☐ Section 3 – Review Bodies and Review Processes

☐ Section 4 – Traditional Districts

☐ Section 5 – Mixed-Use Districts

✓ **Section 6 – Use Definitions and Use Standards**

☐ Section 7 – Design and Development

☐ 7.1 – Architecture

☐ 7.2 – Subdivision and Site and Development

✓ **7.3 – Signs**

✓ **7.4 – Parking**

☐ 7.5 – Landscaping, Trees and Buffering

☐ 7.6 – Fences and Walls

☐ 7.7 – Lighting

☐ 7.8 – Alcohol Beverages

☐ 7.9 – Telecommunications

☐ 7.10 – Airport

☐ 7.11 – Historic

☐ Section 8 – Nonconformities

☐ Section 9 – General Definitions

Chapter 88 – Building Regulations

- ☐ Section 1 – General Provisions
- ☐ Section 2 – Administration
- ☐ Section 3 – Property Maintenance Standards
- ☐ Section 4 – Contractors
- ☐ Section 5 – Miscellaneous Regulations

SUBJECT TO CHANGE

Chapter 89 – Environmental Regulations

☐ Section 1 – Purpose and Intent

☐ Section 9 – General Definitions

☐ Section 2 – Open Space and Natural Resources

SUBJECT TO CHANGE

☐ Section 3 – Marine Turtle Protection

☐ Section 4 – Air and Water Quality Provisions

☐ Section 5 – Floodplain Management Administration

☐ Section 6 – Flood-Resistant Development

☐ Section 7 – Structures Over Water

☐ Section 8 – Amendments to the Florida Building Code

Approach

For each section, we will discuss:

- Centerpieces
- Policy Decisions
- “Major” Changes
- Comprehensive Plan Implementation





SECTION 6

Use Definitions and Use Standards

Use Definitions & Use Standards

- Characteristics
- Accessory Uses
- Examples
- Exceptions
- Use Standards

- Acts as a framework for other sections of the Code to reference
- Organization of uses (Structure)
- More comprehensive, provides more information for determinations where necessary



Major Changes

- More comprehensive definitions for uses
- All uses are defined and are included in Use Tables for zoning districts
- Consistent definitions that do not change throughout the code and act as a framework for other sections (including parking)

Current Method

Office professional means an office for the use of persons generally classified as professionals, such as architects, engineers, attorneys, accountants, doctors, veterinarians, psychiatrists, psychologists and the like.



Proposed Method

6.5. Office Uses

A. Professional Office

1. *Characteristics.* A building, or portion of a building, wherein activities are performed involving predominately administrative, record keeping, professional, and/or clerical operations and, where in the case of professions such as dentists, physicians, lawyers or engineers, the facility where such professional services are rendered.
2. *Accessory uses.* Accessory uses may include cafeterias, day care facilities, health facilities, parking, or other amenities primarily for the use of employees in the firm or building.
3. *Examples.* Examples include professional services such as lawyers, accountants, engineers, or architects; real estate agents; travel agencies, employment agencies, data processing; sales offices; and TV and radio studios.
4. *Exceptions.*
 - a. Offices that are part of and are located with a firm in another category are considered accessory to the firm's primary activity.
 - b. Contractors and others who perform services off-site are included in the office category if equipment and materials are not stored on the site and fabrication, services, or similar work is not carried on at the site.
 - c. Government office, which are considered Other Government Use.



SECTION 7.4

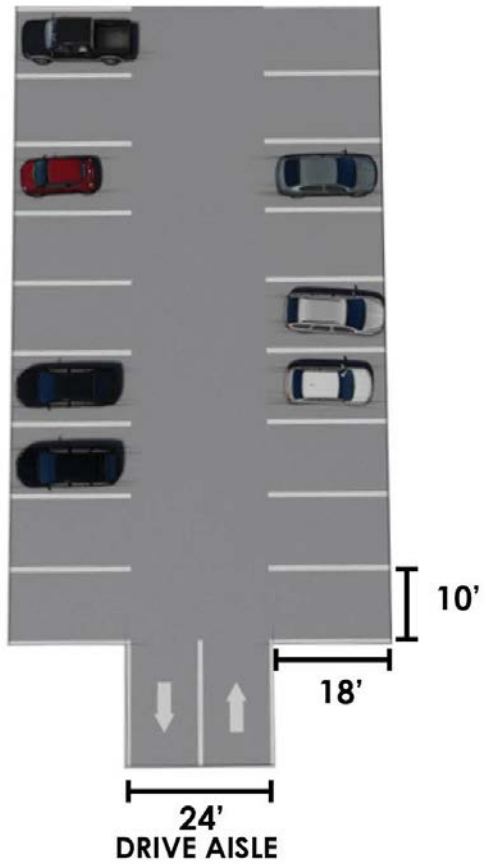
Parking Requirements

Centerpieces

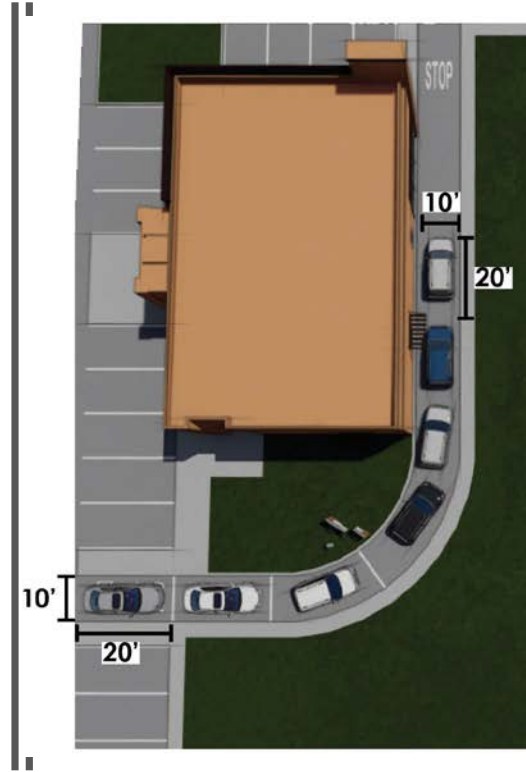
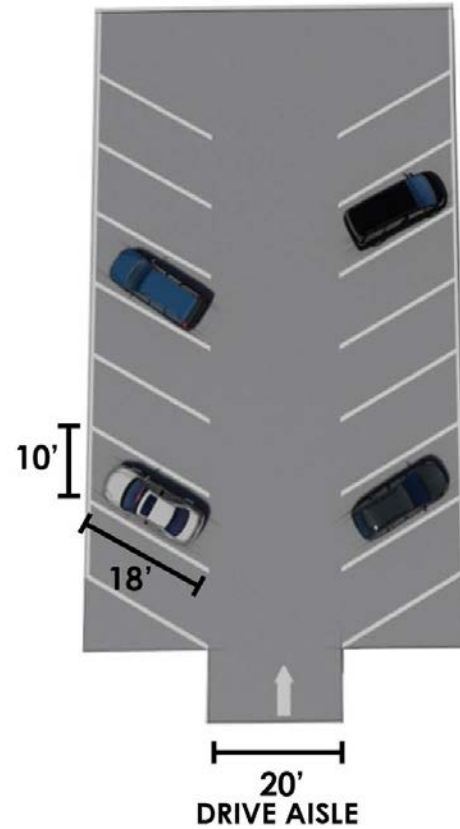
Parking Requirements Tied To Use Table

| CITY OF VENICE - PARKING REQUIREMENTS BY USE | | | |
|--|---------------------|--------------------|---|
| | MINIMUM REQUIRED | MAXIMUM ALLOWED | ADDITIONAL STANDARDS |
| RESIDENTIAL USE CLASSIFICATION | | | |
| RESIDENTIAL, AS LISTED BELOW: | | | |
| Dwelling, Single Family Detached | 1.0/Dwelling Unit | 2.0/Dwelling Unit | Exclusive of garage or parking structure, which shall not be included in minimum and maximum. |
| Dwelling, Single Family Attached | 1.0/Dwelling Unit | 1.5/Dwelling Unit | Maximum 10% additional guest parking of total parking count may be permitted. If above 10 dwelling units, Minimum Required shall be at a ratio of 0.75/Dwelling Unit. |
| Dwelling, Multifamily | .5/Dwelling Unit | 1.5/Dwelling Unit | |
| Dwelling, Manufactured Home | 1.0/Dwelling Unit | 2.0/Dwelling Unit | |
| RESIDENTIAL CARE, AS LISTED BELOW: | | | |
| Assisted Living Facility | 0.25/Bed | 0.5/Bed | |
| Independent Living Facility | 0.25/Dwelling Unit | 0.50/Dwelling Unit | |
| Community Care Facility | 0.25/Dwelling Unit | 0.50/Dwelling Unit | |
| Day Care, Home (6 or Less Persons) | 1.0 Dedicated Space | 4 Dedicated Spaces | |
| Group Living | 2.0/Dwelling Unit | 4.0/Dwelling Unit | |

90 DEGREE PARKING



30 DEGREE PARKING



Updated Graphics

Policy Decisions

Policy Decisions

- Establishing “Minimum” and “Maximum” parking requirements
 - Current LDC requires minimum parking only
 - Proposed approach shall include minimum AND maximum parking spaces allowed which helps prohibit excessive parking lots
- Confirmation of current parking space dimensions
- Change of surfacing requirement – variance required for change of surfacing materials



Major Changes

Major Changes

- Each principal use on the Use Table matches with the Parking Table
- Ensure minimum parking is provided, prohibit excessive parking lots
- Allowing for professional analysis of unique parking needs (alternative parking plan)
- General reduction in overall parking requirements
- A more standardized square footage based requirement for parking

Use Table

| RESIDENTIAL USE CLASSIFICATION | | | | | | | | | | |
|------------------------------------|---|---|---|---|---|---|---|---|---|-------|
| RESIDENTIAL, AS LISTED BELOW: | | | | | | | | | | |
| Dwelling, Single Family Detached | X | X | X | X | X | X | X | X | X | 6.2.A |
| Dwelling, Single Family Attached | X | P | X | X | P | X | C | C | C | 6.2.B |
| Dwelling, Multifamily | P | P | P | P | P | P | P | P | P | 6.2.C |
| Dwelling, Manufactured Home | X | X | X | X | X | X | X | X | X | 6.2.D |
| RESIDENTIAL CARE, AS LISTED BELOW: | | | | | | | | | | |
| Assisted Living Facility | X | C | P | X | C | P | P | P | P | 6.2.E |
| Independent Living Facility | X | C | P | X | C | P | P | P | P | 6.2.F |
| Community Care Facility | X | C | P | X | C | P | P | P | P | 6.2.G |
| Day Care, Home (6 or Less Persons) | P | P | P | P | P | P | P | P | P | 6.2.H |
| Group Living | P | P | P | P | P | P | P | P | P | 6.2.I |



Matches With

Parking Table

| RESIDENTIAL USE CLASSIFICATION | | | |
|------------------------------------|---------------------|--------------------|---|
| RESIDENTIAL, AS LISTED BELOW: | | | |
| Dwelling, Single Family Detached | 1.0/Dwelling Unit | 2.0/Dwelling Unit | Exclusive of garage or parking structure, which shall not |
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Comprehensive Plan Implementation

Transportation Strategies

- Comprehensive Plan does not contain many specific items related to parking
- These strategies are more applicable to the two Mixed-Use Districts which will be more fully discussed in Section 5 Mixed-Use Districts Parking Requirements

Strategy TR-GW 1.1.7 - Parking

The City will evaluate and update its current parking standards using best management practices such as Transportation Demand Management and availability of parking facilities and transit opportunities. The City will ensure that these areas have adequate parking facilities for existing and new development through the consideration and use of various means, including:

- A. On and off-site parking facilities
- B. On and off-street parking facilities
- C. Public and private parking facilities
- D. Surface and structures parking facilities
- E. Shared use and single use parking facilities
- F. Specific use parking demand analysis
- G. Alternative modes of transportation

Strategy TR-IS 1.1.8 - Parking Strategy

The City will evaluate and update its current parking standards for downtown and beach areas using best management practices such as Transportation Demand Management and availability of parking facilities and transit opportunities. The City will ensure that these areas have adequate parking facilities for existing and new development through the consideration and use of various means, including:

- A. On and off-site parking facilities.
- B. On and off-street parking facilities.
- C. Public and private parking facilities.
- D. Surface and structures parking facilities.
- E. Shared use and single use parking facilities.
- F. Specific use parking demand analysis.
- G. Alternative modes of transportation.



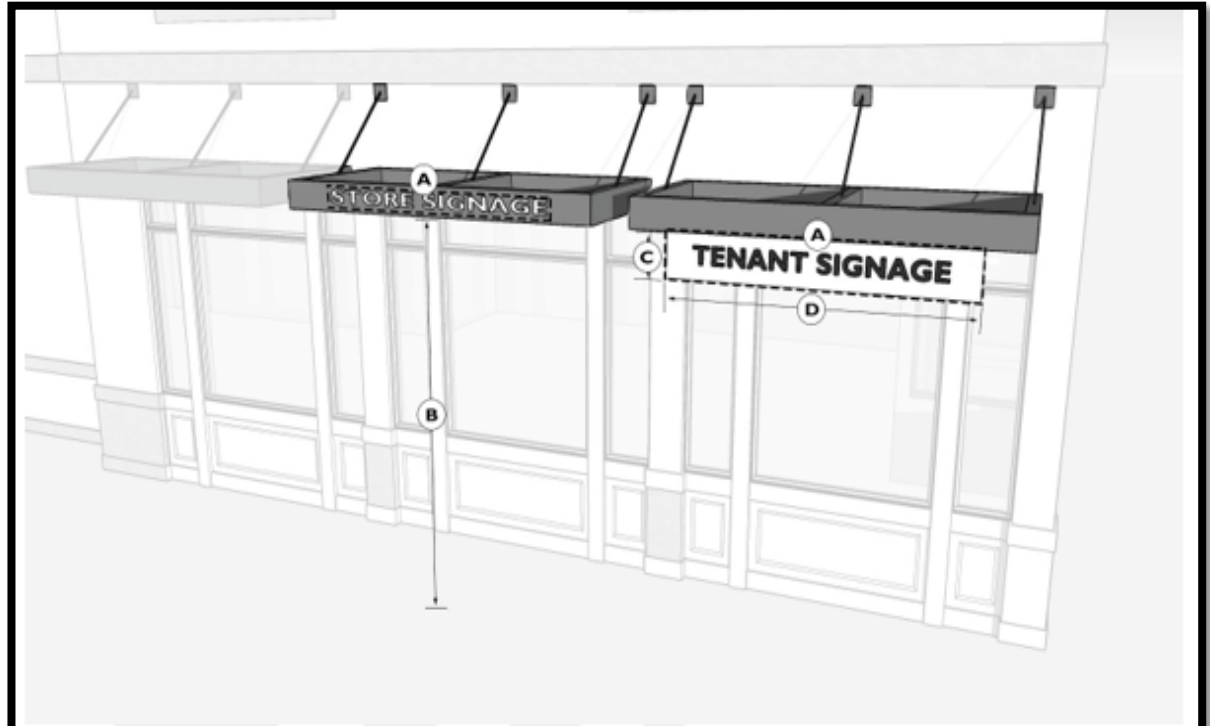
SECTION 7.3

Signs

Centerpieces

Permitted Sign Types

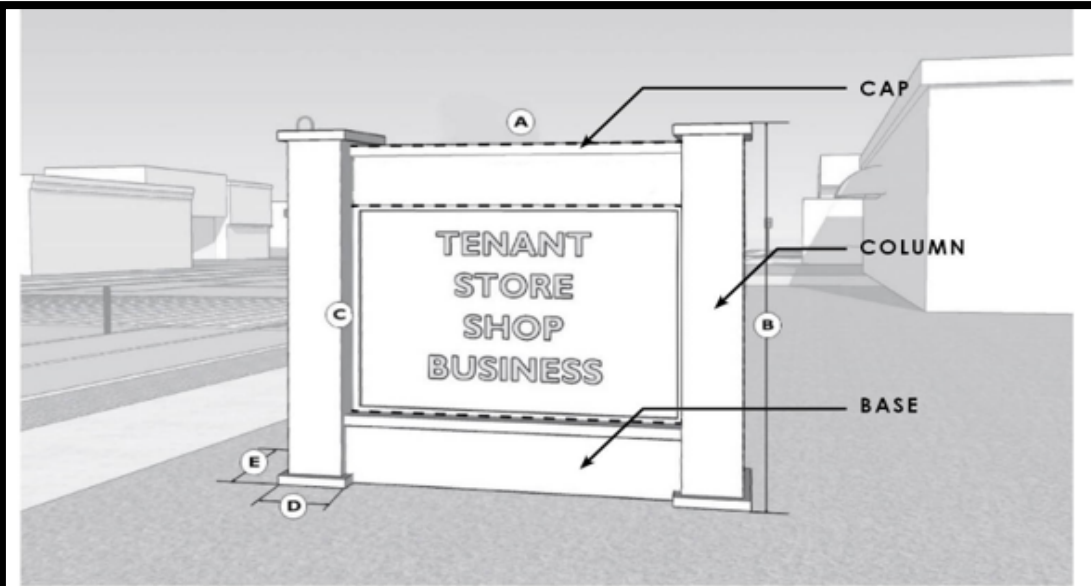
- Awning Sign



| | |
|------------------|---|
| 1. Description | An on-premise attached awning extending from the building with attached signage. |
| 2. Location | Awning signs shall have a minimum clearance of eight feet from the surface below and a maximum height of four feet above the clearance. |
| 3. Size | <u>Sign Area and Height:</u> A. Sign Area: Maximum 25 square feet B. Clearance: Minimum 8' C. Height of Lettering: 8" D. Length: Maximum 12' |
| 4. Miscellaneous | Signs shall not extend outside the overall length or width of an awning, or extend above the height of the building wall that the awning is attached. Shall not be illuminated. |

Permitted Sign Types

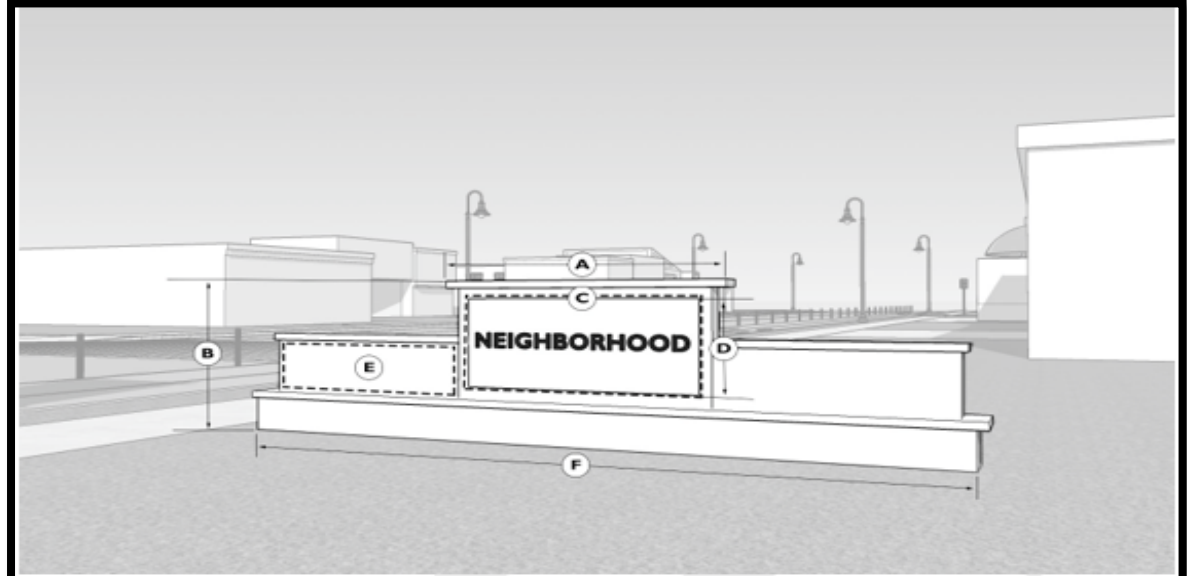
- Monument Sign



| | |
|----------------|---|
| 1. Description | A freestanding ground sign with a supporting structure with two columns on the end of the sign. A monument sign is not attached, supported or suspended to or from any building or structure. All monument signs shall include base, cap, and columns. All ground signs shall be in the form of monument signs. |
| 2. Location | 1 sign per site maximum. Additional signs allowed for dual frontage through conditional use. Street Frontage required minimum of 200'. Monument signs shall not be oriented toward a residential district except where the only street frontage is oriented toward a residential district. |
| 3. Size | <u>Sign Area and Height:</u> A. Sign Width: Maximum 10' B. Column Height: Maximum 15' C. Sign Area: Maximum 75 Square Feet D. Column Width: Maximum 16" E. Column Length: Maximum 18" |

Permitted Sign Types

- Neighborhood/Subdivision Sign



| | |
|------------------|---|
| 1. Description | A freestanding ground sign identifying entry to a mixed use district, neighborhood, or a residential subdivision. All neighborhood or subdivision signs shall be in the form of monument signs. |
| 2. Location | 1 sign per entrance. 2 may be permitted as a conditional use. ROW Encroachment allowed with administrative approval. |
| 3. Size | <u>Sign Area and Height:</u> A. Sign Area Width: Maximum 8' B. Total Sign Height: Maximum 7' C. Sign Area: Maximum 40 Square Feet D. Sign Area Height: Maximum 5' E. Sign Exposed Material: Total 80 square feet per side. F. Sign Structure Overall Width: 25' |
| 4. Miscellaneous | Neighborhood or subdivision signs may alternatively be placed on a subdivision wall or fence provided that no part of the wall or fence exceeds 6 feet in height and shall count toward the total. |

Permitted Sign Types

- Projecting Sign



| | |
|----------------|--|
| 1. Description | A sign attached directly to a supporting building wall and intersecting the building wall at a right angle. A projecting sign may be 2 or 3-dimensional. |
| 2. Location | 1 projecting sign per business. |
| 3. Size | <p><u>Sign Area and Height:</u></p> <p>A. Sign Length: Maximum 3'</p> <p>B. Sign Height: Maximum 3'</p> <p>C. Clearance: Minimum 8'</p> <p>D. Sign Area: Maximum 9 square feet</p> <p>A projecting sign which is not internally illuminated and is suspended to allow the sign to swing due to wind action is not allowed to exceed 6 square feet in area.</p> |

Permitted Sign Types

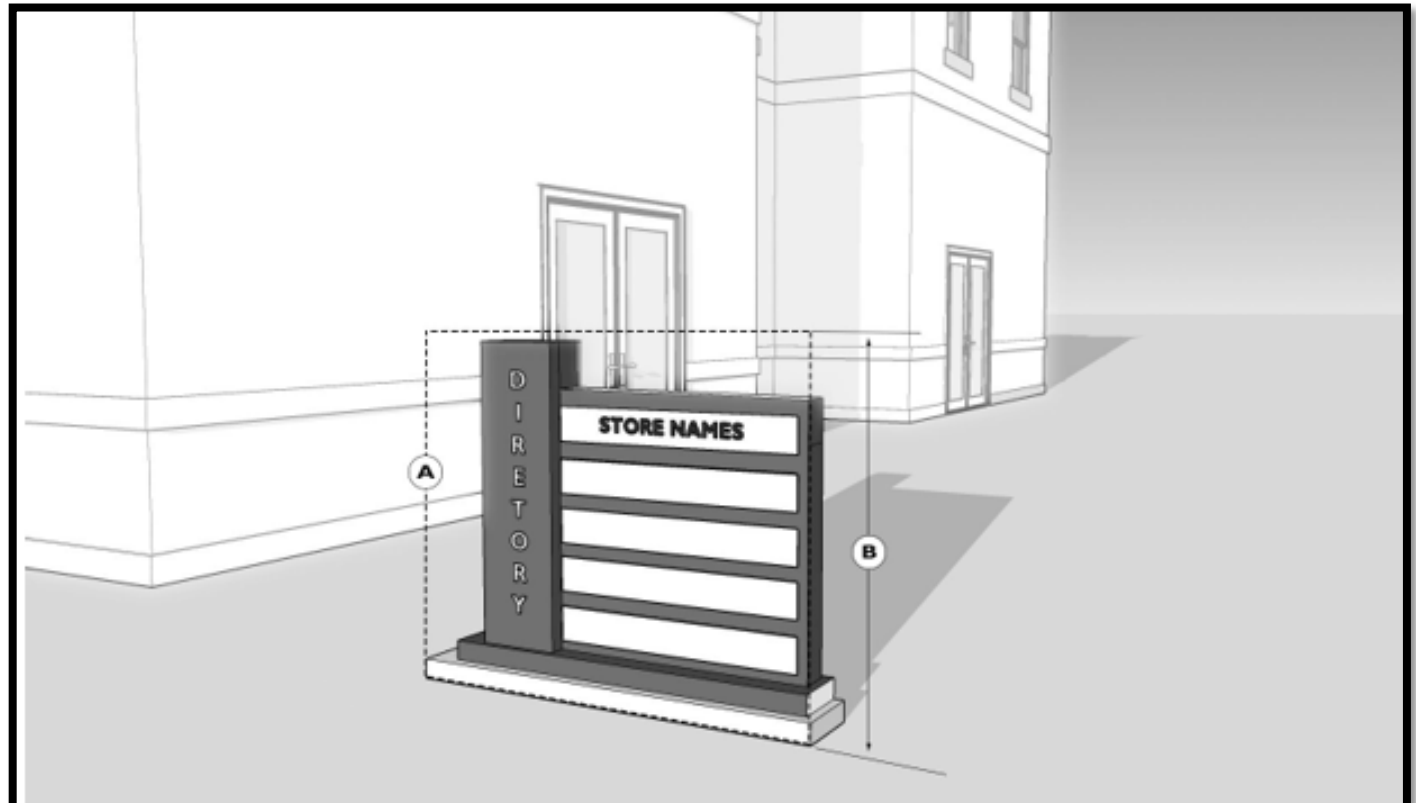
- Wall Sign



| | |
|----------------|---|
| 1. Description | An on-premise sign attached directly to a building wall above the given store front place. A wall sign shall include murals conveying the name of a business or a commercial message. A wall sign shall not extend more than 18 inches from the building. |
| 2. Location | Directly above store located on the supporting building wall. Wall signs are not allowed to extend above the roof line or the parapet wall. |
| 3. Size | <p><u>Sign Area and Height:</u></p> <p>A. Sign Area: 1.5 square feet for each linear foot of building frontage, maximum 400 square feet.</p> <p>B. Length: Varies based off storefront, maximum 100'.</p> <p>C. Height: Varies based off storefront, maximum 4'.</p> <p>D. Sign Lettering: Varies based off store name.</p> <p>E. Sign Lettering height: Maximum 36".</p> |

Permitted Sign Types

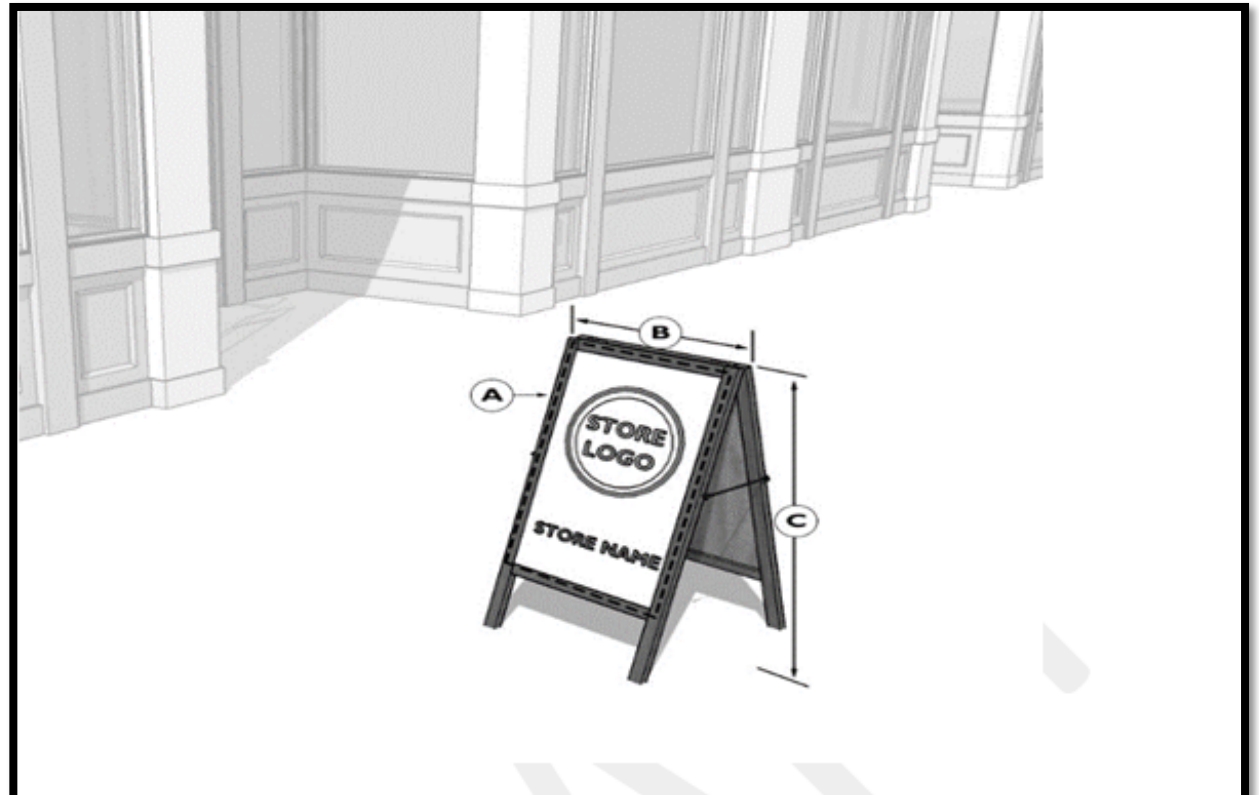
- Directory Sign



| | |
|----------------|---|
| 1. Description | A directory sign is a freestanding ground sign, located at the beginning or end of a commercial area, listing the store names. A directory sign is not attached, supported or suspended to or from any building or structure. A directory sign is intended primarily for pedestrian orientation, dissimilar to a monument sign which is intended primarily for vehicular orientation. |
| 2. Location | Developments less than ten (10) acres in size may have up to two (2) Directory Signs; developments greater than ten (10) acres in size may have one additional Directory Sign for each ten (10) acres |
| 3. Size | <u>Sign Area and Height:</u> A. Area: Maximum 20 square feet B. Height: Maximum 4' |

Permitted Sign Types

- Sandwich Board Sign

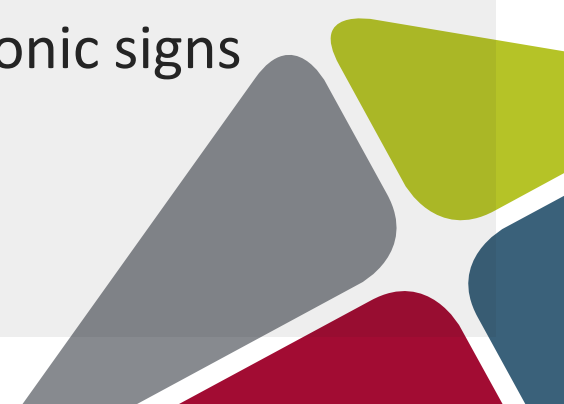


| | |
|----------------|---|
| 1. Description | Non-illuminated portable signs (i.e. sandwich board signs), consisting as single or two-faced A-frame sign. Florida Americans with Disability Accessibility Implementation Act standards shall be met. Portable signs shall be removed daily at closing of the business |
| 2. Location | Directly in front of business location. |
| 3. Size | <u>Sign Area and Height:</u> A. Sign Area: Maximum 6 Square Feet B. Sign Width Length: Maximum 2' C. Sign Height: Maximum 4' |

Policy Decisions

Policy Decisions

- Change of approach from text to visuals
- Sign code was recently adopted; proposed is a different approach as it does not differentiate as heavily based upon zoning district or use
- Removing driving speed limit of roadways as a determining factor for size of allowed signs
- Retain existing standards on electronic signs

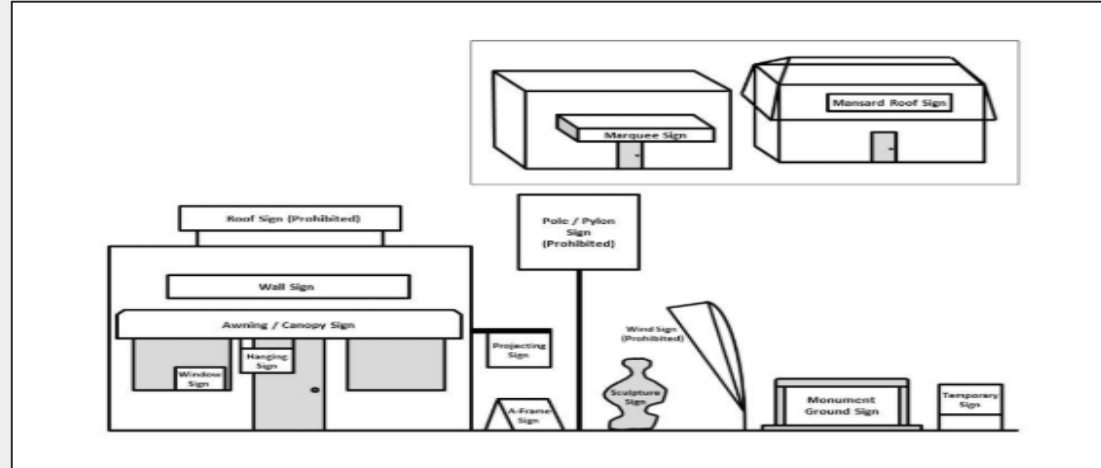


Major Changes

Major Changes

- Focus on readability and ease of applying standards
- Change a “text heavy” section (which is at times difficult to interpret) to images that are keyed to specific standards in a corresponding table
- Prohibit sculpture signs

Current Method



Proposed Method



Comprehensive Plan Implementation

- No specific implementations to note



Moving Forward

Overview of Next Steps

- Planning Board Workshops
 - Mixed-Use Districts
 - Traditional and Planned Districts
 - Design and Development Standards
 - Administration and Processes
 - Nonconformities, Environment, and Building Regulations
- Public Workshops





Questions, Comments