



*Rezone Petition
City of Venice, 01-1RZ*

Venetian Golf and River Club, A Watermark Communities, Inc. Development

Prepared for:
Watermark Communities, Inc.

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Kimley-Horn
and Associates, Inc.

VENETIAN GOLF AND RIVER CLUB

**REZONE PETITION
CITY OF VENICE, 01-1RZ**

A WATERMARK COMMUNITIES, INC. DEVELOPMENT

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Project No.: 048117010

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VENETIAN GOLF & RIVER CLUB

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Engineering _____ Date: _____

Utilities _____ Date: _____

Public Works _____ Date: _____

Growth Management _____ Date: _____

Police _____ Date: _____

Fire _____ Date: _____

**VENETIAN GOLF & RIVER CLUB
A WATERMARK COMMUNITIES, INC. DEVELOPMENT**

EXECUTIVE SUMMARY

OVERVIEW

The applicant proposes to construct 1,599 residential units within 1,049 acres of land. The project is located in Section 25, 26, and 27, Township 38 South, Range 19 East, Sarasota County, Florida. It lies approximately 0.5 miles east of Interstate 75 on Laurel Road. The site was annexed into the City of Venice in June 2000.

The proposed improvements require compliance with the City of Venice Comprehensive Plan, the Annexation Agreement executed as conditions to annexation into the city and the rezoning conditions and requirements of the City of Venice.

EXISTING CONDITIONS

The site has been previously used for agricultural purposes and as such has been heavily impacted. The majority of the site has been cleared with bahia grass pastures established for grazing. There are several wetlands located throughout the site. It site is bordered along the east by the Myakka River and along the south by Laurel Road. The westerly and northerly perimeters of the project adjoin privately owned lands utilized for commercial purposes including a recreational vehicle park and Venice Minerals mining operations.

PROPOSED USES

The uses proposed within the development of Venetian Golf & River Club include the following:

- **Residential**

Residential opportunities will be provided by the creation of various types of housing. The types have been established to meet the needs of the City of Venice as indicated within the City of Venice Comprehensive Plan. Within the project there is proposed four types of housing.

Large Lot, Single Family- Designated as Type A units on the Land Use Element, these units consist of single family residential homes constructed on lots having a typical lot width of 90 feet.

Medium Lot, Single Family- Designated as Type B units on the Land Use Element, these units consist of single family residential homes constructed on lots having a typical width of 70 feet.

Small Lot, Single Family- Designated as Type C units on the Land Use Element, these units consist of single family or duplex residential homes constructed on lots having a typical width of 55 feet.

Multi-Family, Quad- Designated as Type D units on the Land Use Element, these units consist of multi-family residential homes constructed on parcels rather than individually described lots.

- **Neighborhood Commercial**

The commercial activity within the development is intended to serve some of the needs of the residents within the Venetian Golf & River Club. Although the commercial activity within the project may help serve the needs of the residents from surrounding areas, it is intended to primarily serve the residents of the project. A modification to the existing Neighborhood Commercial standards proposed by this development is the inclusion as a permitted principal use Assisted Living Facilities.

- **Passive Recreation**

Passive recreation is described as a recreational activity which does not require involvement in a prescribed event or active effort. Passive recreation uses proposed to occur within Venetian Golf & River Club include hiking, bird watching, canoeing, quiet reflection and like uses.

- **Active Recreation**

Active recreation is described as providing for persons to be engaged actively in recreational activities. The active recreational uses proposed to occur within Venetian Golf & River Club include golf and tennis.

AMENITIES

Within the proposed development, and consistent with the Annexation Agreement as well as the City of Venice Comprehensive Plan there are included several amenities. These include the following:

Conservation Areas

The area immediately adjacent to the Myakka River will be maintained as a Greenway / Buffer in a manner to allow passive uses within the natural setting of the river and its' wetlands and forests. As indicated within the City of Venice Comprehensive Plan, the maintenance of the Greenway / Buffer is required to be as indicated within the proposed development and allows for the launching of canoes, hiking, enjoyment of the natural setting and like uses.

In addition to the Greenway / Buffer area along the Myakka River, there are included within the project several wetlands which have buffers prescribed to be maintained at their boundaries. Several of these areas have been provided connection to the internal walkways, bike and cart paths to provide access to them for use in passive recreation.

Parks

The need for parks is addressed by the provision of several internally contained local parks as well as the provision for a regional park at the southeast corner of the project. The local parks are designed to allow residents to participate in passive recreation. Access to these local parks is through the internal road and pathway system. The regional park consists of 10.0 acres of area contiguous with the Greenway / Buffer along the Myakka River. It is intended to provide passive recreation and access to the Greenway / Buffer areas. Access is provided to the regional park through connection with the internal pathway system with the primary vehicular access being from Laurel Road.

Golf Course

There is included within the development an 18-hole golf course with supporting clubhouse facilities. The golf course is proposed to allow public access, however, the clubhouse may remain private.

GOALS, OBJECTIVES, AND POLICIES

The primary focus of this project is to provide expanded residential opportunities with quality of life being enhanced through the provision of amenities and recreation facilities. This focus allows compliance with the Goals, Objectives, and Policies of the City of Venice Comprehensive Plan, the Annexation Agreement for this parcel and provides the zoning standards for this project.

**VENETIAN GOLF & RIVER CLUB
A WATERMARK COMMUNITIES, INC. DEVELOPMENT**

REZONE PETITION

I. PROJECT DESCRIPTION AND OVERVIEW

The purpose of this rezone petition is to request the Planned Unit Development zoning designation be provided for Venetian Golf & River Club. The Venetian Golf & River Club is designed as a mixed-use Planned Unit Development (PUD) consisting of approximately 1,049 acres, to be developed through multiple phases. The project is located in Section 25, Section 26, and Section 27, Township 38 South, Range 19 East, Sarasota County, Florida. It is situated east of Interstate 75 and north of Laurel Road within the corporate limits of the City of Venice. The site is bounded on the east by the Myakka River. The project area of 1,049 acres includes 10.0 acres set aside for a Regional Park.

It is anticipated that the project shall be comprised of the following uses:

- Single family dwelling units
- Multi-family dwelling units
- Commercial Neighborhood
- Golf Course, with public access allowed (with option to privatize in future)
- Clubhouse and Restaurant
- Private Parks
- Green Space and Open Space
- Lakes and Stormwater Management Systems
- Wetland and River Conservation Areas

The purpose of this development is to provide expanded residential opportunities within the City of Venice while addressing the aesthetic, recreational and infrastructure needs of the City of Venice as a sustainable community.

II. EXISTING CONDITIONS

The site has been historically utilized for agricultural purposes including both farming and ranching operations. A large portion of the project area has been cleared and maintained as open grass pastures. There were numerous ditches established to help control surface water elevations and to provide system interconnection and drainage. There are several dirt roads throughout the project area which were

previously established to provide access throughout the site. There are Florida Power and Light overhead transmission lines traversing the project in a north / south direction.

Isolated Wetlands

There are numerous isolated wetlands on site with various Seasonal High Water Elevations associated with them. These have been located and established by Biological Research Associates, Inc. (BRA) and are documented in the attached report and shown on the Wetland Delineation Element of the attached Land Use Map Series. The proposed project will minimize or avoid impacts to the isolated wetlands and provide conservation buffers and easements where possible.

Riverine Wetlands

The project is bordered on the easterly side by the Myakka River. There is a riverine wetland and buffer system associated with this river which is approximately delineated by the presence of an Oak Hammock along the easterly portion of the project area. This system is specifically mentioned within the Future Land Use Map (FLUM) and City of Venice Comprehensive Plan and has been afforded extra protection through the "Myakka River Wild and Scenic Designation and Protection Act." This system has been located and indicated in the BRA report and is shown on the Wetland Delineation Element. The riverine wetland system will be maintained in its existing condition through a Conservation Easement and through the dedication of a 10.0 acre passive use / environmentally responsible Regional Park within the system.

Uplands

As previously indicated, the upland portion of the project area has been utilized for farming and ranching operations for several decades. Therefore, very little of the upland portion remains native. The majority consists of bahia grass pastures with an interconnecting open swale drainage system.

III. LAND USE AND DEVELOPMENT STANDARDS

It is proposed to develop the project area as **RESIDENTIAL**, consisting of both single family residential and multi-family residential, and **COMMERCIAL NEIGHBORHOOD** uses. In support of the indicated uses, it is proposed that the requisite infrastructure together with public and private parks, walks and pathways, as well as golf course and clubhouse amenities be developed.

It is currently proposed to provide a maximum of 1,599 total combined residential units within the project area. The purpose of this use is to provide expanded residential opportunities within the City of Venice. Single Family units will comprise approximately 1,100 units of the maximum 1,599 residential units

within the development with the remaining 499 units being made up of Multi-Family residential and Commercial Neighborhood uses, or any combination thereof.

The site consisting of 1,049 acres has been analyzed to verify the development potential and has been found to be suitable for the proposed development. A site specific wetland delineation has been completed and is indicated within the Wetland Delineation Sheet of the attached Conceptual Master Site Plan map series. A report of the soils on site has also been completed to further verify suitability for development, a copy of which is attached. The proposed development is in compliance with the City of Venice Comprehensive Plan and the City of Venice Future Land Use Map for this area, by incorporating the following design standards:

A. LAND USES

As a Planned Unit Development (PUD), Venetian Golf & River Club proposes a maximum number of 1,599 mixed use dwelling units as agreed to in the Annexation Agreement between City of Venice and the developer at Stipulation 28, “DEVELOPER’S INTENT”. Based on a project development area of 1,049 acres more or less with the Regional Park being removed, an overall average project density of less than 1.52 dwelling units per gross acre is achieved. The specific density for each proposed use area or “development unit” (a development unit is a group of dwelling units) is indicated on the Conceptual Master Site Plan, attached hereto.

The residential dwelling units proposed within this PUD include single family residential, multi-family residential and commercial neighborhood uses as described:

1. SINGLE FAMILY

a. Large Lot Single Family- Designated as Type A units on the Land Use Element, these units consist of single family residential homes constructed on lots having a typical lot width of 90 feet, measured at the setback line and a sideyard setback of 7.5 feet. The area reserved for Type A units is 50.67 acres at a maximum density of 3.35 units per acre for a total number of 169 dwelling units of this type.

b. Medium Lot Single Family- Designated as Type B units on the Land Use Element, these units consist of single family residential homes constructed on lots having a typical width of 70 feet, measured at the setback line and a sideyard setback of 7.5 feet. The area reserved for Type B units is 154.82 acres at a maximum density of 4.00 units per acre for a total number of 619 dwelling units of this type.

c. **Small Lot Single Family-** Designated as Type C units on the Land Use Element, these units consist of single family or duplex residential homes constructed on lots having a typical width of 55 feet, measured at the setback line and a sideyard setback of 7.5 feet or 0 feet (zero lot line) with 15 feet separation between buildings. The area reserved for Type C units is 51.25 acres at a maximum density of 6.25 units per acre for a total number of 320 dwelling units of this type.

ZONING CONDITIONS AND STANDARDS FOR SINGLE FAMILY LAND USE

These units will consist of single family residences occupying a single lot or unit within the project and are intended to provide a low-density use. Within this category the following uses shall be deemed appropriate:

1. One Single Family dwelling per lot;
2. One Duplex Family dwelling per lot;
3. Public or Private Schools with conventional academic curriculums;
4. Parks, playgrounds, playfields, golf courses and public libraries;
5. Essential Services per Section 122-401, Venice Code;
6. Community residential homes having six or fewer residents;
7. Private Clubs, as defined in Section 122-5, Venice Code;
8. Buildings and Structures not in excess of 35 feet in height;

Minimum Lot Size:

Area	7,150 square feet
Width	55 feet minimum, measured at the front setback line;

Maximum Lot Coverage:

75 % impervious, including driveway to right of way line.

Minimum Setback Dimensions:

Front	20 feet;
Side	0 or 7.5 feet
Rear	20 feet;
Driveway	0 feet;
Exterior	2 times the Proposed Building Height

NOTE: The determination and definition of Front, Side and Rear yards is as described within the Venice Zoning Code, as currently adopted. There is no minimum side setback for driveways.

The minimum separation from an exterior project limit line is twice the proposed building height per COV PUD zoning requirements.

Maximum Building Height:

35 feet

MODIFICATIONS AND WAIVERS TO SINGLE FAMILY LAND USE

The standards indicated herein emulate those for Residential Single Family districts within the City of Venice Zoning Code. However, these standards are modified from those provided for the typical zoning designation or land use within the City of Venice Zoning Code, as follows:

Duplex units are a principal permitted use and structure within these standards. The provision of duplex units within the Single Family residential area will help to meet the City of Venice Comprehensive Plan housing goals within the development.

Private Clubs are a principal permitted use and structure within these standards. The provision of Private Clubs within Single Family Housing areas will allow the roadways, pathways and amenities proposed within the Venetian Golf & River Club to be more efficiently utilized.

Maximum lot coverages have been increased to 75 percent to allow the inclusion all impervious surfaces, including drives and walkways. The typical standard within City of Venice single family districts accounts for building coverages only.

Minimum setback of driveway from the property has been decreased from 5 feet to 0 feet for this development. This reduction will facilitate the inclusion of a wider variety of housing types and styles, including duplex housing types into the single-family areas. In addition, a reduction in minimum driveway setback will allow landscape and driveway designs to be more effectively combined.

2. MULTI-FAMILY

Multi-Family, Quad- Designated as Type D units on the Land Use Element, these units consist of multi-family residential homes constructed on parcels having no sideyard setback and a minimum separation of 15 feet between buildings. The area reserved for Type D units is 75.5 acres at a maximum density of 10.00 units per acre for a total number of 754 dwelling units of this type.

ZONING CONDITIONS AND STANDARDS FOR MULTI-FAMILY LAND USE

Multi Family is proposed to consist of both residential and assisted living facility units and is intended to provide a moderate to medium density use within it's respective development unit.

Within this category, the following uses shall be deemed appropriate:

1. Multiple Family dwellings
2. Patio Houses
3. Two-family dwellings
4. Townhouses and cluster houses
5. Community residential homes
6. Housing for the aged
7. Assisted Living Facilities
8. Neighborhood Commercial, as described hereafter
9. Community Center or Clubhouses
10. Essential services per Section 122-401, Venice Code
11. Public or Private Schools with conventional academic curriculums
12. Parks, playgrounds, playfields, golf courses and public libraries
13. Private Clubs, as defined in Section 122-5, Venice Code
14. Buildings and Structures in excess of 35 feet in height

Minimum Lot Size:

Area	7,150 square feet
Width	55 feet minimum, measured at the front setback line;

Maximum Lot Coverage:

85 % impervious, including driveway to right of way line.

Minimum Setback Dimensions:

Front	20 feet;
Side	N/A; A minimum 15 feet separation is required between adjacent, separate, free standing buildings.

Rear	15 feet;
Driveway	0 feet;
Exterior	2 times the Proposed Building height;

NOTE: The determination and definition of Front, Side and Rear yards is as described within the Venice Zoning Code, as currently adopted. There is no minimum side setback for driveways. The minimum separation from an exterior project limit line is twice the proposed building height per COV PUD zoning requirements.

Maximum Building Height:

45 feet

MODIFICATIONS AND WAIVERS TO MULTI-FAMILY LAND USE

The standards indicated herein emulate those for Residential Multi-Family district within the City of Venice Zoning Code. However, these standards are modified from those provided for the typical zoning designation or land use within the City of Venice Zoning Code, as follows:

Housing for the Aged is a principal permitted use and structure within these standards. The provision of housing for the aged within the Multi-Family residential areas will help meet the housing goals established in the City of Venice Comprehensive Plan.

Assisted Living Facility is a principal permitted use and structure within these standards. The inclusion of Assisted Living Facility within multi-family areas provides a more diverse community and helps meet the housing goals established in the City of Venice Comprehensive Plan.

Neighborhood Commercial are principal permitted uses and structures within these standards. The primary anticipated use within neighborhood commercial is Assisted Living Facilities. The inclusion of neighborhood commercial and assisted living facilities within the multi-family designated areas will provide more efficient land uses throughout the community. Multi-family is intended to provide a transition zone from single family housing to the neighborhood commercial and assisted living facility uses and the inclusion of neighborhood commercial will further this objective.

Private Clubs are a principal permitted use and structure within these standards. Within the typical district, private clubs are permitted as a special exception. The provision of Private

Clubs within multi-family housing areas will allow the roadways, pathways and amenities proposed within the Venetian Golf & River Club to be more efficiently utilized.

Maximum lot coverages have been increased to 75 percent to allow the inclusion all impervious surfaces, including drives and walkways. The typical standard within City of Venice districts accounts for building coverages only.

Minimum setback of driveway from the property has been decreased from 5 feet to 0 feet for this development. This reduction will facilitate the inclusion of a wider variety of housing types and styles, including duplex housing types into the single-family areas. In addition, a reduction in minimum driveway setback will allow landscape and driveway designs to be more effectively combined.

3. NEIGHBORHOOD COMMERCIAL

The neighborhood commercial uses within Venetian Golf & River Club have been fashioned after existing City of Venice Neighborhood Commercial uses, with standards reflecting the intended CN nature of this particular development. Therefore, it is intended that the commercial uses proposed within the development be for the primary use of the residents within the project and the standards have been described to indicate such.

The location of the neighborhood commercial use area is intended to provide convenient access to the establishments selected for the development of Venetian Golf & River Club. Its residential density calculation is based on an equivalent dwelling unit basis of 10 dwelling units per acre of CN proposed.

The CN district is intended to provide areas where selected establishments may be located to serve within convenient traveling distance from the project area. It is not intended to provide an automotive oriented commercial district, therefore, automotive service stations, vehicle repair and sales, and similar automotive oriented activities are prohibited. Professional and business offices are encouraged. Compatibility with the neighborhood is critical. Within this category, the following uses shall be deemed appropriate:

ZONING CONDITIONS AND STANDARDS FOR CN LAND USE

Those Permitted Principal Uses and Structures, uses as defined and described in Section 122-348,(b), *and including*,

- a. Multi-Family Residential, as previously described herein;
- b. Housing for the aged;
- c. Assisted Living Facilities;
- d. Community Center or Clubhouses;
- e. Essential services per Section 122-401, Venice Code;
- f. Public or Private Schools with conventional academic curriculums;
- g. Parks, playgrounds, playfields, golf courses and public libraries;

Minimum Lot Size:

Not Applicable. No minimum Lot Size is prescribed herein.

Maximum Lot Coverage:

Unrestricted, except to meet landscape and site development requirements of City of Venice

Minimum Setback Dimensions:

Front	20 feet;
Side	10 feet; A minimum 20 feet separation is required between adjacent, separate, free standing buildings.
Rear	20 feet;
Driveway	0 feet;
Exterior	2 times the Proposed Building height;

NOTE: The determination and definition of Front, Side and Rear yards is as described within the Venice Zoning Code, as currently adopted. There is no minimum side setback for driveways.

Maximum Building Height:

45 feet

Signage:

As provided for within Section 122-348 (k) *Limitations on signs*; City of Venice Zoning Code.

MODIFICATIONS AND WAIVERS TO CN LAND USE

The standards indicated herein emulate those for Neighborhood Commercial districts within the City of Venice Zoning Code. However, these standards are modified from those provided for the typical zoning designation or land use within the City of Venice Zoning Code, as follows:

Multi-Family Residential, as previously described herein, is a principal permitted use and structure within these standards. The provision of multi-family residential within neighborhood commercial areas will allow the roadways, pathways and amenities proposed within the Venetian Golf & River Club to be more efficiently utilized. It facilitates the conversion of Commercial Neighborhood to multi-family residential more efficiently should market conditions within the City warrant it. This would address the housing goals of the Comprehensive Plan.

Community Center or Clubhouse is a permitted use and structure within these standards. This use is compatible with the neighborhood commercial activities which may occur within the development such as professional and business offices, private clubs and libraries.

Parks, playgrounds, playfields, golf courses and public libraries are permitted uses and structures throughout the development. It is expected that the inclusion of these uses throughout the development will help to provide a community atmosphere and will provide more efficient access and utilization of the proposed amenities by the development.

Housing for the Aged is a principal permitted use and structure within these standards. The provision of housing for the aged within the neighborhood commercial areas will help meet the housing goals established by the City of Venice Comprehensive Plan. It will provide more convenient access from the Housing for the Aged to the neighborhood commercial activities within the development.

Assisted Living Facility is a principal permitted use and structure within these standards. The inclusion of Assisted Living Facility within neighborhood commercial areas helps meet the housing goals established in the City of Venice Comprehensive Plan.

Minimum setback of driveway from the property has been set at 0 feet for this development. This will facilitate the inclusion of multiple access or common drives rather than several drives to each of several uses within the neighborhood commercial area.. In addition, a reduction in minimum driveway setback will allow landscape and driveway designs to be more effectively combined. It is anticipated that drives will connect onto the internal roadway system. However, it may become necessary to allow access onto Laurel Road directly from within the development. Should this become necessary, any such access will be subject to review and approval by the Zoning Administrator and others as deemed necessary by the Zoning Administrator.

Maximum building heights are set at 45 feet. This will accommodate the expected building design for Assisted Living Facilities and Housing for the Aged. The setback of two times the building height from peripheral property lines assures that buildings will not overshadow adjoining uses or roadways.

Both the single family use and multi-family use dwelling unit calculations are based on a per unit equivalence factor. However, the Commercial Neighborhood CN dwelling unit calculation is based on a residential dwelling unit equivalence of 10 dwelling units per acre of CN proposed.

The purpose for the inclusion of the CN as a land use based on equivalent dwelling units, is to provide a supporting commercial use, community center and village atmosphere while maintaining development flexibility. Should the developer encounter market conditions dictating the conversion of CN designated areas into Multi-Family Residential units, then said conversion would be permissible within the maximum density limitations previously agreed to in the Annexation Agreement and adhered to within this development plan. It is understood that any said conversion would require current City of Venice review and approval processes to be completed.

In addition to allowing the aforescribed residential uses, as a Planned Unit Development, Venetian Golf & River Club is specifically allowed the inclusion of Golf Courses, Club Houses, and Community Centers within its proposed land uses.

4. **BOULEVARDS**

The proposed development provides internalized private roadways with gated access connecting to Laurel Road. Laurel Road is to be developed as previously discussed to provide access from City of Venice roadways to the development. The transportation design indicated within this development accomplishes the intent of the City of Venice Comprehensive Plan Goals Objectives and Policies for Transportation Standards. The design also satisfies the Annexation Agreement Stipulations 10(a) and 10(b), Stipulation 17, which requires all private roadways to be designed with pedestrian facilities and encourages conformity with John Nolen's design features in the original city plan (i.e., palm lined streets, landscaped medians, etc.) Within the development there are improvements proposed to Laurel Road as well as four typical roadway sections, described in Section B herein, as follows:

ROADWAY IDENTIFICATION TABLE		
Street Type	Right-of-Way	Sidewalks Width and Location
Laurel Road	80'	5' one side only (only along Venetian Golf & River Club frontage from westerly P/L to the gated emergency and service access)
Private street with median entry boulevard – closed drainage	110'	5' both sides or 5' one side and 8' one side
Private street, without median entry boulevard – open drainage	100'	8' one side only
Private street, without median secondary entrance – closed drainage	80'	5' both sides
Private, neighborhood street – closed drainage	50'	5' both sides
Buffer roads along west and north	100'/50'	N/A

5. LAKES

The project has been developed to minimize the impacts of stormwater on the site by providing treatment and attenuation facilities that reduce pollutant loadings while controlling post development rates of discharge to pre development levels for a 25 year 24 hour storm event. There are proposed 165.9 acres of lakes which will provide the volumes necessary to accomplish this task.

6. PARKS

There is included within the site 10.0 acre regional park within the Myakka River Buffer which is contiguous with the 74.7 acres of Myakka River and Conservation Area. In addition to this regional park and the River Conservation / Buffer, there are provided within the site an additional 6.83 acres of community parks. The provision of these parks and their location is designed to meet the intent of the Zoning Standards as well as satisfying Stipulation 20 within the Annexation Agreement requiring park lands be set aside.

7. **WETLANDS**

Wetlands have been preserved where possible through the provision of conservation easements and buffers. As previously indicated a wetland delineation was completed for the development. This delineation was the basis for the creation of the wetland conservation and buffer areas. There are 108.2 acres of wetland conservation and buffer areas within the Venetian Golf and River Club.

8. **OPEN SPACE**

As indicated previously, the density proposed within the development is 1,599 equivalent dwelling units per 1,049 gross acres or less than 1.6 dwelling units per gross acres. The open space provided within the proposed development is 63.82 percent. This is being met through the use of Preservation Areas, Public and Private Park Areas, Wetland Conservation Areas, Golf Course, and the project stormwater management system.

9. **MYAKKA RIVER CONSERVATION AND BUFFER AREA**

A Greenway / River Buffer has been provided along the Myakka River to provide a greenway through the City and to help preserve the Myakka River, in accordance with the FLUM objectives. Furthermore, as agreed to in the Annexation Agreement at Paragraph 20 and Paragraph 21, a Regional Park consisting of 10 acres is set aside for Public Use within the river buffer area and has been removed from the development calculations.

10. **GOLF COURSE / AMENITIES**

The development is designed to provide both public and private amenities. The proposed amenities include an 18 whole golf course with a clubhouse open to the public. The golf course occupies 158.9 acres within the development and provide a portion of the required open space. There are tennis courts, which may be reserved for the use of residents only, located near the main entrance to the project.

LAND USE SUMMARY TABLE

		Minimum Setbacks					Percent of Project	
Land Use	Area (acres)	Units	Front	Side	Rear	Drive	Required	Provided
<u>RESIDENTIAL</u>								
Single Family*	256.7	1,100	20'	0'/7.5'	10'	0'	N/A	24.47%
Multi-Family*	75.5	400	20'	N/A	20'	0'	N/A	7.20%
TOTAL RESIDENTIAL	332.2	1,500						31.67%
<u>COMMERCIAL</u>								
Neighborhood	9.9	99					5% max	0.94%
TOTAL COMMERCIAL	9.9	99						0.94%
<u>BOULEVARD/ STREETS & LAUREL ROAD</u>								
	33.7	Acres					N/A	3.21%
TOTAL ROADWAYS	33.7	Acres						3.21%
<u>OPEN SPACE</u>								
Proposed Lakes	165.9	Acres						15.82%
Parks	16.8	Acres						1.60%
Wetlands	108.2	Acres						10.31%
Reserved Open Space	148.7	Acres						14.18%
Greenway/Buffer	74.7	Acres						7.12%
Golf Course	158.9	Acres						15.15%
TOTAL OPEN SPACE	673.2	Acres						64.18%
PROJECT TOTAL	1,049.0	Acres						100.00%

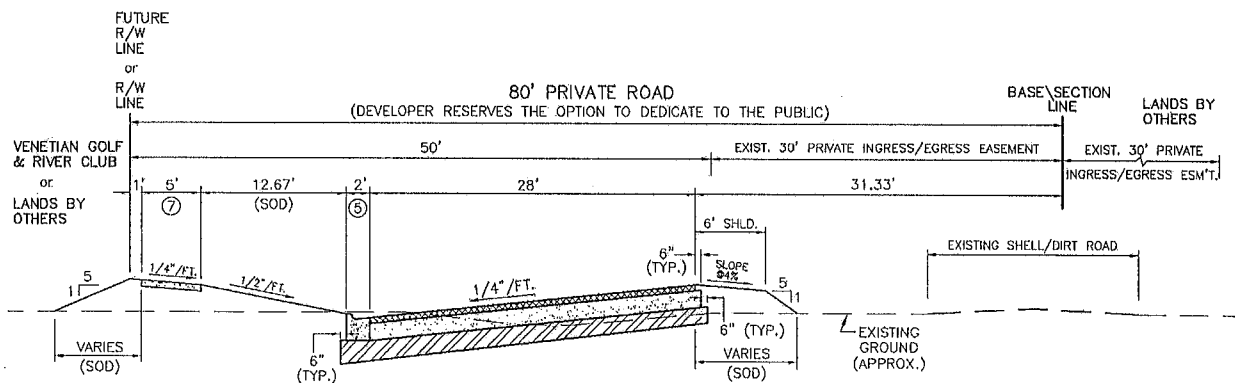
*THE UNIT BREAKDOWN OF SINGLE FAMILY, MULTI-FAMILY AND COMMERCIAL NEIGHBORHOOD IS ESTIMATED. ACTUAL NUMBERS OF EACH MAY VARY DEPENDING ON MARKET CONDITIONS; HOWEVER, IN NO CASE SHALL THE TOTAL EXCEED 1,599 TOTAL RESIDENTIAL UNITS.

B. TRANSPORTATION

LAUREL ROAD

In order to provide primary access to the project site without creating or generating traffic along local streets in residential areas or districts outside the project, Laurel Road will be developed as a two lane roadway within an 80 feet right of way. It will be improved from the existing end of Laurel Road just east of Knights Trail to the project's main entry drive. The developer shall reserve the option to dedicate this right of way and road to the public. If dedicated, the existing 30' wide access easement may be included within the dedicated right-of-way. The majority of the existing shell roadway of Laurel Road will remain in place and continue to provide access to those residents currently utilizing the roadway as a method of minimizing disruptions to the neighborhood. For access management and traffic control purposes, the western most portion of the shell roadway is to be removed from the existing end of pavement to the first street intersection, being Linda Lane.

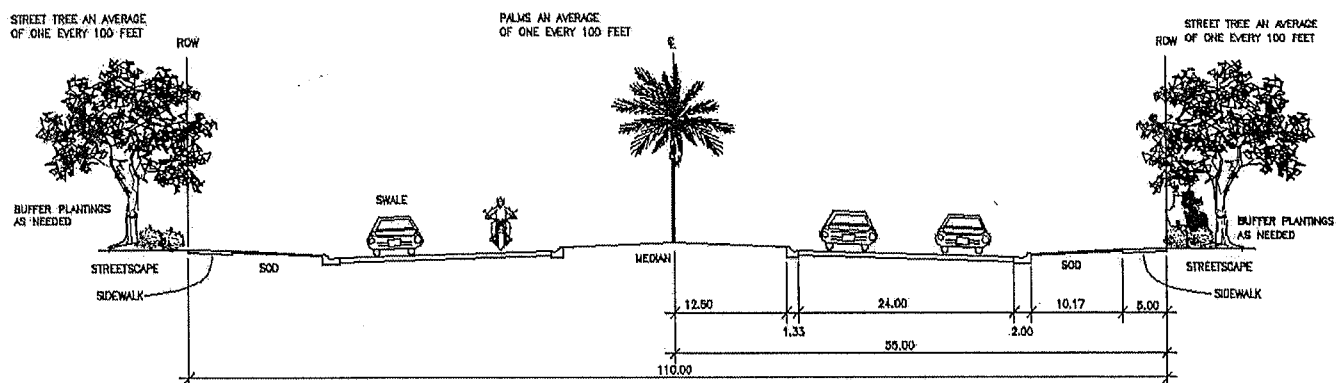
Laurel road will be developed with a five (5) feet sidewalk along the north side of Laurel Road from the westerly property line of the Venetian Golf and River Club to the gated emergency access road east of the project's main entrance.



ENTRY BOULEVARD, CLOSED DRAINAGE

The primary entrance from Laurel Road into the development, shown as ENTRY BOULEVARD, CLOSED DRAINAGE is proposed to consist of four travel lanes, two enter and two exit, with a raised landscaped median within 110 feet of right of way. This roadway will include a gated entrance and guardhouse for security. This roadway will incorporate a sidewalk five (5) feet in width on both sides of the roadway, or a five (5) feet sidewalk one side with an eight (8) feet sidewalk on the other side of the roadway. This will provide a transition from the five feet sidewalk on provided on both sides of the roadway at the entrance to the single eight feet sidewalk proposed to meander along one side of the roadway further into the development. The purpose and use of a single eight feet sidewalk is only within the ENTRY BOULEVARD, OPEN DRAINAGE roadway section and is discussed within that section.

The Entry Boulevard, Closed Drainage roadway is proposed to be landscaped with a street tree being planted an average of one tree per 100 feet of roadway on each side. This is a quantitative requirement and clustering is allowed. The median is proposed to contain palms trees at an average of one palm every 100 feet of roadway as a quantitative basis. Buffer plantings and understory vegetation is to be provided at the developer's discretion. The purpose of this roadway design is to provide consistency with John Nolen's plan for the City of Venice, the prevalent landscape theme existing within the city and the City of Venice Comprehensive Plan.



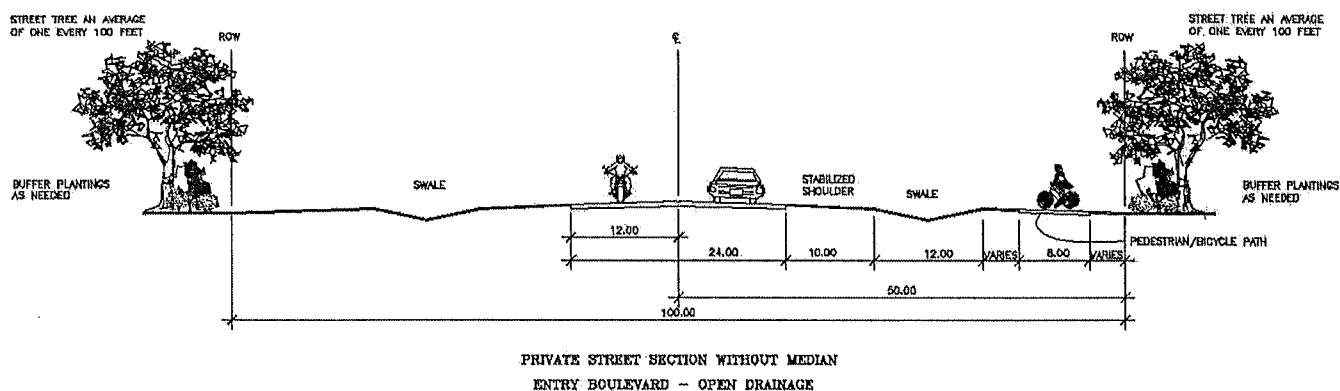
PRIVATE STREET SECTION WITH MEDIAN
ENTRY BOULEVARD - CLOSED DRAINAGE

ENTRY BOULEVARD, OPEN DRAINAGE

The Entry Boulevard, Open Drainage roadway consists of two lanes having no median. It is proposed to be within a 100 feet right of way having open roadside drainage and a single eight (8) feet sidewalk along only one side.

The purpose of providing a single eight feet sidewalk on only one side of the roadway is to create a winding effect along the roadway and to provide flexibility in the use of landscape. This winding effect will be increased by the provision of an additional five (5) feet sidewalk easement beyond the road right of way adjacent to the eight feet sidewalk. Street crossings are provided from all streets to the eight feet sidewalk.

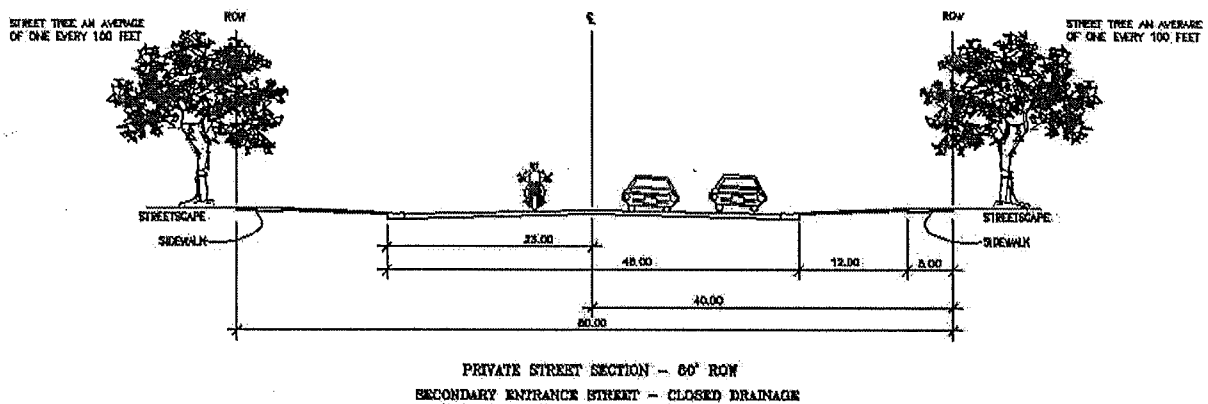
The Entry Boulevard, Open Drainage roadway is proposed to be landscaped with a street tree being planted an average of one tree per 100 feet of roadway on each side. This is a quantitative requirement and clustering is allowed. Buffer plantings and understory vegetation is to be provided at the developer's discretion. The purpose of this roadway design is to provide consistency with John Nolen's plan for the City of Venice, the prevalent landscape theme existing within the city and the City of Venice Comprehensive Plan.



SECONDARY ENTRANCE, CLOSED DRAINAGE

The Secondary Entrance, Closed Drainage roadway consists of four (4) travel lanes having no median. It is proposed to be within an 80 feet right of way having closed roadside drainage and a five (5) feet sidewalk along each one side.

The Secondary Entrance, Closed Drainage roadway is proposed to be landscaped with a street tree being planted an average of one tree per 100 feet of roadway on each side. This is a quantitative requirement and clustering is allowed. Buffer plantings and understory vegetation is to be provided at the developer's discretion. The purpose of this roadway design is to provide consistency with the prevalent landscape theme existing within the city and the City of Venice Comprehensive Plan.



NEIGHBORHOOD STREET, CLOSED DRAINAGE

The Neighborhood Street, Closed Drainage roadway consists of two (2) travel lanes having no median. It is proposed to be within a 50 feet right of way having closed roadside drainage and a five (5) feet sidewalk along each one side.

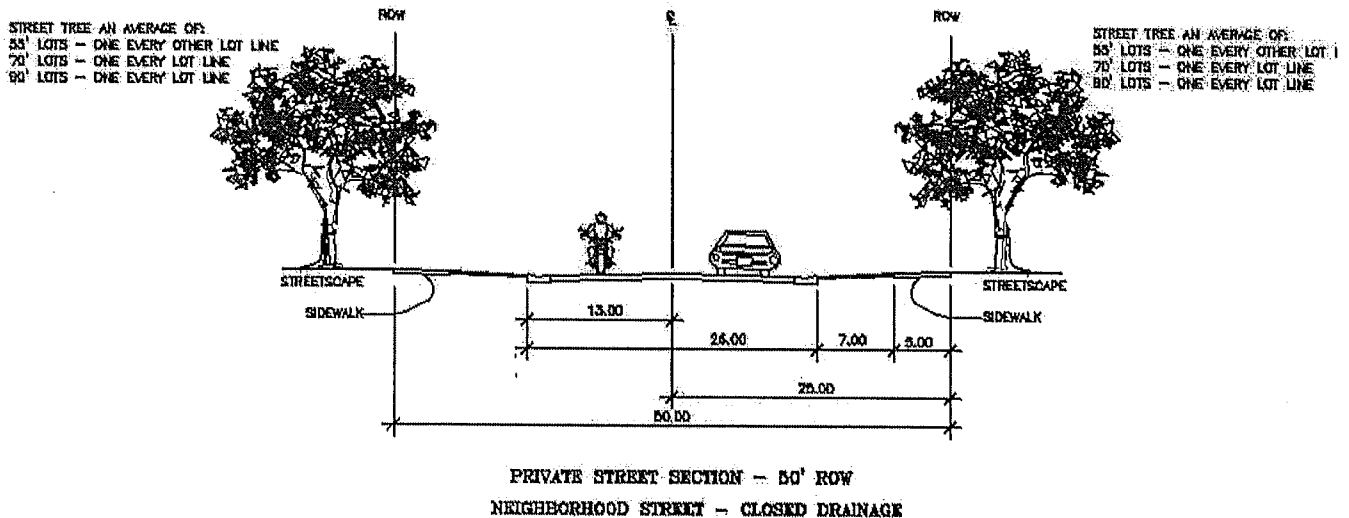
The Neighborhood Street, Closed Drainage roadway is proposed to be landscaped with a street tree being planted as follows:

Type C Units (55' Lots) - An average of one tree every other lot line, each side of the roadway.

Type B Units (70' Lots) - An average of one tree every lot line, each side of the roadway.

Type A Units (90' Lots) - An average of one tree every lot line, each side of the roadway.

This is a quantitative requirement and clustering is allowed. Buffer plantings and understory vegetation is to be provided at the developer's discretion. The purpose of this roadway design is to provide consistency with the prevalent landscape theme existing within the city and the City of Venice Comprehensive Plan.

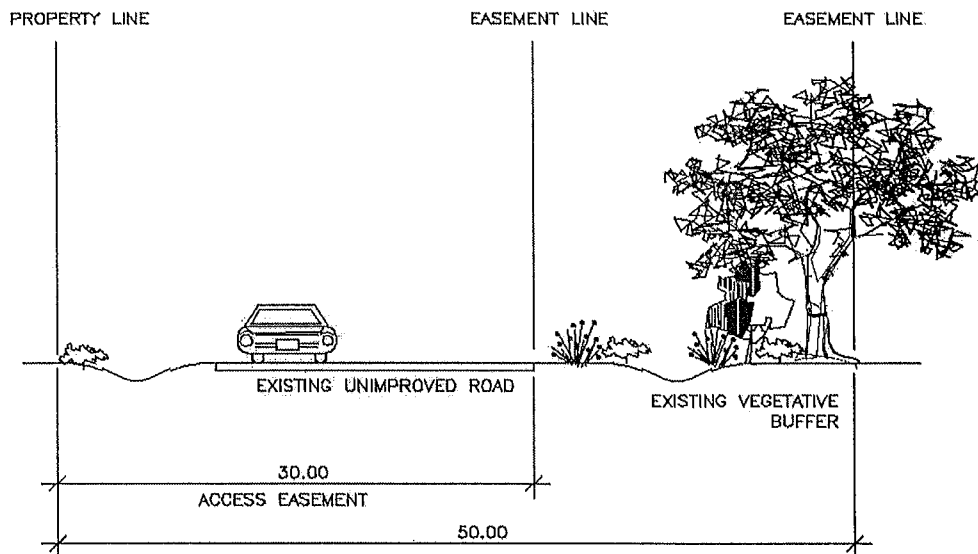


MISCELLANEOUS ROADWAYS

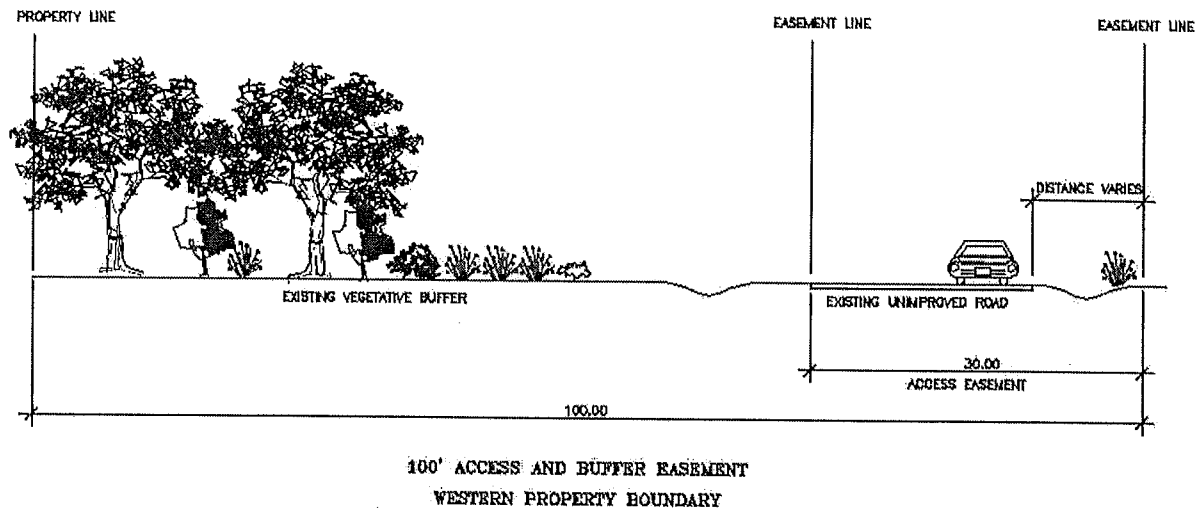
GATED EMERGENCY AND SERVICE ACCESS Within the neighborhood street, closed drainage, roadway network a Gated Emergency and Service Access is provided onto Laurel Road just east of the main entry drive into the project. It will consist of a The Gated Emergency Access shall incorporate an Emergency Vehicle 'YELP' activated Siren Operated Sensor. An Alternate Access Point is proposed at the westerly portion of the project. The Alternate Access Point is optional to the developer. The provision of a secondary emergency access point also specifically addresses Stipulation 16 of the Annexation Agreement.

The Gated Emergency and Service Access is not proposed to be landscaped since it is intended to serve only as an emergency and service access road.

ACCESS AND BUFFER EASEMENTS There is an access and buffer easement along the westerly and northerly perimeters of the development being 100 feet and 50 feet, respectively. Each of these utilizes an existing shell roadway and is not intended for routine access and use by the residents of the development. They will serve as a means of access for golf course and utility maintenance personnel. There is proposed a City of Venice well site along the westerly perimeter which will use this access and buffer easement as a primary means of ingress and egress for the well site. There exists along the access and buffer easements sufficient natural vegetation to satisfy current City of Venice buffer requirements. Therefore, no landscape elements beyond what is existing are proposed.



50' ACCESS AND BUFFER EASEMENT
NORTHERN PROPERTY BOUNDARY



WALKS AND PATHWAYS

The design of the development incorporates sidewalks along the roadways with pathways providing connections between adjoining streets. The purpose of this interconnection is to provide more direct access to the amenities, parks and facilities within the development to all residents.

C. UTILITIES

The design of the project includes the installation of all utilities necessary to provide central water distribution and sanitary collection systems, including fire hydrants, lift stations and force mains and all easements, as needed.

The construction and payment responsibility of each of these issues was previously addressed through the annexation agreement at Stipulations 4, 5, 6, and 7(a) and 7(b) to ensure that the objectives of this requirement are adequately met.

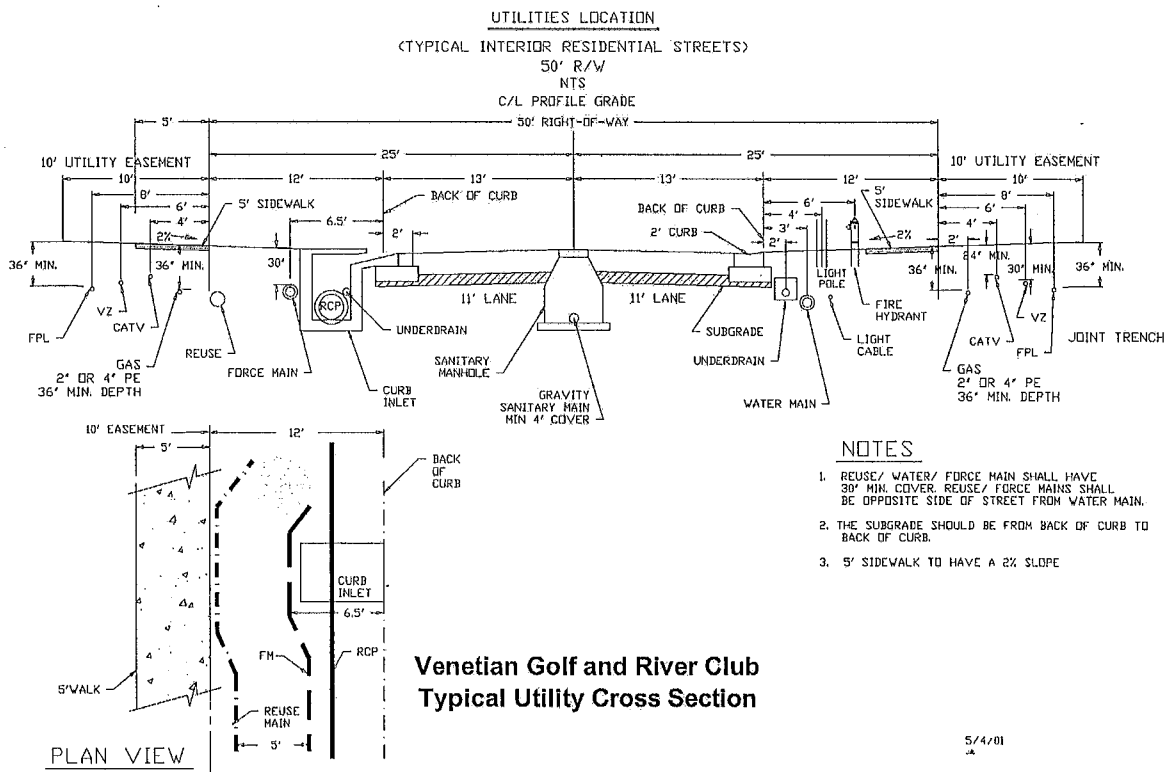
The public safety issue of fire hydrants is specifically addressed within Stipulation 15. At the time of Site and Development Plan approval, the exact location and spacing of the fire hydrants shall be provided.

In addition to the minimum standards established in Section 122-898, it is further agreed in the Annexation Agreement that the applicant shall bear the cost of constructing an internal re-use water

irrigation distribution system to service the subject property, if the City commits to providing re-use water within five (5) years of the project approval and shall connect to the City's reuse water system within 180 days of notification of availability by the City at the subject property line.

It is also noted that in addition to addressing the minimum distribution and collection issues, it is agreed within Stipulation 12 of the Annexation Agreement that the developer shall allow the City four (4), 25 feet x 25 feet potable water well sites on the Subject Property. This requirement is being met within this development as indicated on the Utility Element of the Conceptual Master Site Plan.

All utilities including telephone, television cable and electrical systems, shall be installed underground. Appurtenances to these systems which require aboveground installation must be effectively screened and thereby may be excepted from this requirement. Primary facilities providing service to the site may be excepted from this requirement. Where necessary, easements and sufficient right of way widths shall be provided to accommodate said installation. This is in accordance with the Annexation Agreement and is consistent with the City of Venice Comprehensive Plan.



D. ARCHITECTURAL / LANDSCAPE ELEMENTS

The architectural elements of the project are to be Mediterranean / Italian Renaissance and will be reviewed at the site and development review level. This architectural theme applies to the residential housing styles as well as the Neighborhood Commercial units. Typical architectural elevations of the various residential uses as well as the entry gate and guardhouse are included to provide an example of the architectural theme proposed for Venetian Golf and River Club.

The intent of the landscape element is to be consistent with John Nolen's plan for the City of Venice. It includes features of palm lined streets, landscaped medians and pedestrian facilities. Within the proposed development there are several uses of these features such as the Entrance Boulevards, Gates and Guardhouses and the interconnected walks and pathways.

IV. SUPPLEMENTAL ZONING CONDITIONS AND STANDARDS

In addition to the aforementioned and described uses and standards, the following supplemental standards are provided:

- A. Total Dwelling Units shall not exceed 1599 Units. Residential development areas vary between the categories shown on the Conceptual Master Site Plan with various densities. Densities and designations on individual blocks may be adjusted between the categories to maintain the maximum number of units up to 1,599.
 1. Individual blocks and phases are shown by unit number and will be developed in phases to be determined in the future, not necessarily in numeric order.
 2. Uses shall be as shown on the plan with Unit 22 being limited to neighborhood commercial uses as permitted in the Venice Code book for CN commercial neighborhood district as well as multi family residential uses. ALF is considered a permitted use in the plan on Units 2, 3, 4, 21 or 22 as an acceptable multi-family residential use.
 3. Building designs shall be substantially in conformance with the elevations provided and are in the Italian Renaissance style.
 4. Water well sites as shown on the Conceptual Master Site Plan shall be dedicated to the City of Venice when required by the City of Venice Utility Department.

5. Drainage shall be in conformance with the Conceptual Drainage Plan to be approved by SWFWMD.
6. Cross sections are attached for various street standards including sidewalk locations. These sections are for locational criteria only, construction details shall be provided in the Site Development Plans for each phase. The two lane collector road may be upgraded to an enclosed (curb and gutter) system at the developer's option.
7. Community parks are shown on the parks overlay plan and will be maintained by the Homeowners Association or other controlling force as created by the Developer for control of common areas. The Myakka River Conservation and Buffer area is considered one of the Community Parks as defined in the annexation agreement it will be an active park with nature paths, boardwalks, a canoe launch, exercise stations, viewing stands, benches, pavilions and like active uses allowed within the restrictions as put forth in the pre annexation agreement. All other parks as shown on the plan are quiet landscape spaces/open spaces which will not require vehicular access. Access to the River park area will be through adjacent sidewalks, bike paths and the parking area to be provided at the River Club. Impervious surfaces shall be limited to 10% of the Myakka River Conservation and Buffer area and the other scattered Open Space Parks. Impervious surfaces allowed but not required in the landscape space/open space parks would include benches, sidewalks, pavilions, patios and the like.
8. The River Club will include parking for the clubhouse area and may include a restaurant, bar, swimming pool, health spa, fitness center, meeting rooms, game rooms, locker rooms, and other recreational facilities. A maximum floor area ratio of 0.40 is allowed with open space requirements being met by the adjacent Myakka River Conservation and Buffer area. Maximum Building heights will be 45 feet setbacks from adjacent residential and roadways shall be 20 feet and a 10 foot landscape buffer shall be provided from adjacent residential tracts.
9. The emergency shelter as required in the annexation agreement shall be located at the River Club, Golf Club or a facility on Unit 22, Neighborhood Commercial/residential site.
10. A second emergency access shall be located via the maintenance area and will provide for access to emergency vehicles by alarm triggered gate automated gate openers other similar devices as must be approved by the Venice Fire Department.

11. The Maintenance Area shall be for use by the Golf Course and common area maintenance crews and shall provide for storage of equipment, offices, employee parking, material storage, vehicular maintenance facilities, golf cart storage and other uses typically associated with Golf Course or Landscape Maintenance facilities. The facility shall be buffered from adjacent properties by fence, wall, earthen berm, 70% opaque landscaping material or a combination thereof being 6 feet in height or greater.
12. The boulevard concept as shown on the Conceptual Master Site Plan cross section is designed to be similar to that which was developed by John Nolen, for the original plans for the City of Venice. This design indicates palm lined Avenues and separated internal bicycle and walking paths. Several pedestrian interconnects are shown on the Conceptual Master Site Plan for the pedestrian circulation patterns to allow access beyond the roadways. The neighborhood interconnections will be 6' wide paths, mulched with paving as a developer option. Construction details for these roads and paths shall be provided on the construction plans to be permitted by the City.
13. Wetland Conservation area delineations are shown on the attached aerial and are on file with the SWFWMD and the Army Corps of Engineers and are incorporated into the Conceptual Master Site Plan by reference. Any activity involving the Wetland Conservation areas will require permitting by the appropriate jurisdictional agencies. Wetland setback buffers shall be maintained in conformance with SWFWMD standards and permits.
14. Only that portion of the Myakka River Conservation and Buffer Area depicted on the wetland delineation as jurisdictional wetlands shall be considered wetland conservation area, the remainder shall be considered buffer area and no further buffer shall be required. Uses within this area shall comply with the Greenway/River Buffer future land use category.
15. The western most and northern most boundaries will be lined with access/buffer areas which shall accommodate both the access required per existing easements and a buffer area from adjacent properties consisting of existing vegetation.
16. Setbacks shall be as follows:

Use	Front Setback	Rear Setback	Side Setback
Single Family	20 foot	20 foot	7.5/0 foot ⁽¹⁾
Multi-Family	20 foot	15 foot	7.5/0 foot ⁽¹⁾
Commercial Clubs	20 foot	20 foot	10 foot

17. Setbacks as required in Sec. 122-346 (i) shall be determined from the original boundaries of the PUD. Otherwise setbacks as indicated above shall apply.
18. There shall be no required side setback for driveways.
19. Maximum heights shall be 35' for residential and 45' for commercial and club facilities.
20. Temporary Modular Buildings shall be allowed for interim Golf and Country Club and for Sales offices on residential or commercial sites. Such Buildings shall be allowed for a maximum span of 5 years from certificate of occupancy.

In the event of a conflict with City Code, these standards and those set forth on the Conceptual Site Development Plan shall control. In all other respects City codes and standards as existing on the effective date of the PUD rezoning shall control.

V. COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

The purpose of this section is to review the land use planning and design of the project as it relates to the residents and users of Venetian Golf & River Club to verify that the Rezone Petition is in accordance with the City of Venice Comprehensive Plan, the Annexation Agreement for the project and the Planned Development Zoning Standards as indicated within the Venice Code, Zoning, ARTICLE VII.

City of Venice Comprehensive Plan Consistency Analysis

The development of Venetian Golf & River Club has been specifically designed to be compliant with the City of Venice Comprehensive Plan by addressing the following Goals, Objectives and Policies (GOPs) of the Comprehensive Plan. In the order of their inclusion into the City of Venice Comprehensive Plan, to wit:

Housing Element

Objective 1: Ensure the coordination of residential development with utilities and public facilities.

Policy 1-1: Utilize the Comprehensive Plan to coordinate the development of housing and infrastructure.

Policy 1-2: Continue to utilize Site and Development Plans to review major construction.

Objective 2: Provide for a diversity of housing types and residential living environments to accommodate housing for low and moderate income households.

Policy 2-7: Ensure, through the zoning process, that sufficient land is available to provide for needed group homes and ALF facilities.

Policy 2-8: Continue to allow for cluster and zero lot line homes in single-family districts.

Policy 2-11: Identify vacant land suitable for residential uses and so designate on the Future Land Use Plan Map.

Sanitary Sewer Element

Objective 2: Coordinate wastewater facility improvements with land development to ensure adequate service.

Policy 2-1: Ensure that new development has an adequately designed and constructed wastewater collection system.

Objective 4: Continue to develop ways to reclaim treated wastewater to minimize use of the potable water supply.

Policy 4-1: By 2001, the city will expand the reuse distribution system into presently unserved regions of the utility service area as supply allows.

Policy 4-2: Continue to expand the reuse system for irrigation purposes.

Stormwater Management Element

Objective 1: Minimize the loss of life and property due to flooding.

Policy 1-1: Maintain FEMA's criteria for delineating and managing flood-prone areas.

Objective 2: Support the preservation of aquifer recharge and wetland areas.

Policy 2-1: Research techniques for preserving and conserving land and water areas in the city having environmental sensitivity or importance in maintaining ecological balances.

Objective 3: Ensure that all stormwater management issues are address in a cost-effective way.

Policy 3-5: The acceptable level of service for drainage shall require that the peak rate of discharge cannot exceed the pre-development peak rate established for a 24-hour rainfall over a 25-year period.

Policy 3-6: Continue to enforce the EPA's NPDES permit, concurrency Management ordinance and all other city codes and requirements which regulate stormwater drainage issues and new development.

Conservation Element

Objective 3: Protect wetlands, wildlife and wildlife habitats.

Policy 3-5: Ensure that development within and adjacent to wetlands will not impact the wetland functions and that minimum buffering and setback standards are established prior to development approval.

Objective 7: Protect the Myakka River from adverse impacts.

Policy 7-1: Development within the "Wild and Scenic Protection Zone" of the Myakka River as defined by Section 258.501(3)(j), Florida Statutes, shall meet or exceed standards developed pursuant to Section 285.501, Florida Statutes, the "Myakka River Wild and Scenic Designation and Preservation Act", including the standards found in the Myakka River Wild and Scenic Management Plan accepted by the Governor and Cabinet of the State of Florida on May 22, 1990.

Policy 7-2: Any activity proposed within the "river area" as defined by Section 258.501(3)(i), Florida Statutes, shall comply with Chapter 62D-15, Florida Administrative Code, as exercised by the Florida Department of Environmental Protection and, if required, shall receive specific authorization pursuant to Chapter 62D15, Florida Administrative Code, prior to the initiation of construction activities.

Recreation and Open Space Element

Objective 1: Provide for sufficient quality and quantity of available recreational and open spaces to meet the needs of an expanding population through the year 2015.

Policy 1-1: Maintain a minimum level of service of 7 acres of dedicated or designated parks for each 1,000 functional population.

Policy 1-2: Require, through local land development and subdivision regulations, that developers of large tracts of land contribute suitable open spaces to the city for development of parks, or for holding as publicly-owned open space.

Transportation Element

Objective 1: Develop and maintain a safe, convenient and energy efficient multimodal transportation system which will meet future as well as current transportation needs.

Policy 1-8: Adopt and maintain a Level of Service (LOS) standard of "C" peak hour volume for all roadways within the City, based on a 100th hourly volumes design, except as specified below:

- a. The same operating LOS standards as adopted by the Florida Department of Transportation in the FDOT 1995 LOS Manual shall be adopted for all State-maintained roadways within the City of Venice. These standards establish a LOS of "D" for SR-45 (Tamiami Trail) and SR-45A (Venice ByPass) from Venice Avenue to the south City limits. SR-45 and SR-45A are designated as backlogged facilities from the north City limits to Venice Avenue with a LOS of "E" and a directive to "maintain and improve". This directive means the Department of Transportation and local governments will commit to the avoidance of further degradation of operating conditions of the roadway below the current average travel speed until the roadway is upgraded. After roadway

or operational improvements are made, the roadway should operate at or above the adopted minimum standards.

- b. Those specific County-maintained arterial or collector roadways, as determined by the Sarasota County Transportation Department, which because of physical or financial constraints prevent the attainment of LOS "C" peak hour or better by adding additional lanes or intersection improvements shall have an adopted LOS of "D" peak hour.
- c. Requests for development orders on deficient roadways (those operating below LOS "C") shall be reviewed to ensure that approval will not degrade the existing LOS below that which existed on the date of adoption of this plan. Development orders will not be issued which would degrade the existing LOS on these roadways.

Objective 3: Coordinate the development of a transportation system within the City of Venice and with the plans of the surrounding unincorporated County.

Policy 3-5: Coordinate the review of site plan developments within the City with the MPO and Sarasota County Transportation Department to ensure consistency with the transportation plans of Sarasota County.

Future Land Use Element

Objective 1: Development patterns will be coordinated with the provision of utilities and public facilities and compatible with the physical characteristics of the City of Venice.

Policy 1-8: The City hereby establishes land use designations based on and consistent with the following densities and intensities, presuming concurrency requirements are satisfied, for residential and non-residential development as depicted on the Future Land Use Map:

Low-Density Residential consists of five dwelling units per acre or less. This includes most individual single-family lots, newer mobile home parks built to current standards, flexible development techniques such as planned unit developments, lower density cluster housing and

townhouses and patio (zero lot line) houses. The majority of the residential areas of the city have been developed for low-density uses. In addition, much of the vacant developable land is also intended for this use. These areas will be developed in accordance with zoning controls in a manner compatible with surrounding uses. Larger undeveloped areas within the city should utilize planned unit development techniques to provide flexibility of design while maintaining overall design review by the City. Such flexibility allows for open space, protection of environmentally sensitive areas and the most efficient utilization of public facilities, e.g., roads, water and sewer. The development of a parcel as a whole, rather than a series of small uncoordinated developments, provides a clear picture of future land use patterns.

Greenway/River Buffer is defined as the conservation corridor along the Myakka River established for purposes of protecting the river. The Greenway/River Buffer shall extend an average of approximately eight hundred (800) feet from the river's edge at normal water level but and the buffer width shall approximate the existing oak hammock/tree line. The boundaries of the Greenway/River Buffer are depicted on the Future Land Use Map. Uses allowed within the Greenway/River Buffer are restricted to passive and environmentally responsible recreational activities. As an example, these activities include walking trails, boardwalks, nature walks, observation and other similar uses that permit the land and water area to remain predominantly in its natural condition and that meet resource-based activities standards consistent with Policy 7-1 and 7-2 of the Conservation Element. Motorized boat access is prohibited.

Objective 2: Ensure compatibility and harmony among the various land use types.

Policy 2- 1: Confine higher density residential uses to high access locations near places of employment and shopping.

Policy 2-4: Locate neighborhood commercial activities within defined neighborhood areas along collector or arterial roads.

Policy 2-5: Concentrate commercial uses in specific patterns keyed to locations with high access and related higher intensity uses or service areas.

Policy 2-8: Continue to enforce subdivision regulations.

Policy 2-9: Continue to enforce signage regulations.

Objective 3: Ensure the protection of natural resources and maintain adequate open spaces.

Policy 3-1: Establish minimum standards for common open space and limitation of impervious surfaces for all new development.

Policy 3-2: Continue to enforce standards for on-site stormwater attenuation. (See Stormwater element).

Policy 3-3: Continue to protect natural resources through the application of Conservation Open Use district.

Objective 13: The City will continue to explore the expansion of the city limits eastward, to ensure compatible land use and development standards with Sarasota County.

Policy 13-1: The City will encourage the annexation of the "Potential Planning Service Area" into the City.

Objective 15: The City recognizes that existing undeveloped areas that are expected to undergo development on a large scale should be planned in a comprehensive manner that allows for a mixture of integrated uses that are predominantly self-supporting, rather than predominantly dependent on public funding for additional infrastructure. The City's existing Planned Unit Development zoning classification and site planning process provides the venue for achieving this objective.

Policy 15-1: Each PUD developed pursuant to these requirements shall be adopted by ordinance or resolution and shall identify the following:

1. Boundary of area subject to the PUD.
2. General depiction of land use configurations.
3. Activities permitted within each use.
4. Total dwelling units.

5. Total square footage and floor area ratio standards for nonresidential uses.
6. Specific requirements that will adequately protect the natural resources of the area.
7. Access requirements that consider impacts to the surrounding area and are consistent with future transportation corridors.
8. Facilities and development requirements to provide for alternative modes of transportation.
9. How the development will be coordinated with public facility expansions.
10. How the development will meet the recreational needs of the community.
11. How the unique characteristics of the area will be addressed.

Policy 15-2: The City hereby designates the Venice Myakka River Community Village Area as one of the areas within the City subject to these requirements. This area shall require, prior to commencement of development, a PUD and/or site planning approval as specified in the Zoning Regulations. The Venice Myakka River Community Village Area shall be displayed on the Future Land Use Map in an overlay fashion. The boundaries of the area are depicted on the adopted map.

Objective 16: In furtherance of the objective of Policy 13-1 and Objective 15 of the Future Land Use element, the City has identified that it is appropriate to provide a distinct review of tracts of land subject to Community Village Area designation. Future growth of these areas must occur in a timely manner that is compatible with natural resources and is supported by appropriate facilities and services. The following policies are supplemental to the other objectives and policies within the Comprehensive Plan which specifically apply to these areas.

Policy 16-1: The arrangement of land uses within the community is a major factor in maintaining the original vision for the City as developed by John Nolen and in achieving the Venetian Theme. The following statements of intent express, in part, the overall vision for the development patterns intended for the Venice Myakka River Community Village Area and shall be achieved and demonstrated through the Planned Unit development and site planning process:

1. Provide opportunity for residential, shopping, employment and recreation uses;
2. Promote housing and nonresidential activity in proximity to each other;
3. Provide for a range of housing opportunities;

4. Encourage a mix of complimentary and accessory land uses;
5. Ensure that land uses will be appropriate to location, access and surrounding land use; and
6. Ensure that land uses are consistent with the protection of existing environmental features.

Policy 16-2: To serve additional local residential demands, enhance the livability of future neighborhoods and prevent an undue burden on external infrastructure, development within the Venice Myakka River Community Village Area shall incorporate supporting commercial uses.

Policy 16-3: The intent of requiring the PUD review process shall be to encourage and require the development of urban living and work spaces that minimize impacts to the natural environment and ensure neighborhood and inter-site compatibility through implementing site planning and design criteria that require objectionable impacts of particular land use activities to be internally located within a site or building design or through landscape and setback buffering methods.

Policy 16-4: Objectionable impacts of service and delivery areas, refuse and recycling areas, as well as any outdoor storage and work areas generally associated with commercial and residential development shall be designed to minimize off-site impacts.

Policy 16-5: Each PUD application for the Venice Myakka River Community Village Area shall provide for the following development standards:

1. Mass and height compatible with adjacent uses.
2. Adequate buffering, screening, landscaping and architectural treatment.
3. Sufficient parking designed to minimize noise and visual impact and to provide safe internal and external vehicular and pedestrian circulation.
4. Access management and design standards.

Policy 16-6: Development in the Venice Myakka River Community Village Area shall reflect the following development scenario:

1. A maximum of 1600 residential dwellings.
2. A maximum of 6.43 gross acres of industrial / commercial uses.

3. A minimum greenway/river buffer area at an average setback to the river of 800 feet.
4. A minimum of 340 gross acres of conservation and open space.
5. A maximum of 34 gross acres of accessory retail and office uses.

Capital Improvements Element

Objective 4: Future development will bear proportionate costs of facility improvements required to serve the development under the adopted LOS standards.

Policy 4-3: The City shall continue to negotiate with developers for dedication of land for neighborhood parks and other needed public facilities.

Objective 6: The City's Concurrency Management System, as provided for within the adopted Concurrency Management Ordinance, shall provide an ongoing mechanism to ensure that public facilities and services needed to support development are available concurrent with the impacts of new development.

Policy 6-1: The City's Development Review Committee shall prepare and evaluate all development orders prior to final action by the Planning Commission or City Council. A concurrency determination, which shall be included within an approved development order, shall be established during the land development application process at the time in which the actual impacts are anticipated.

VI. ZONING – FAVORABLE FINDINGS OF FACT

Sec. 122-186. Contents of planning commission report.

- (a) Rezoning amendments. When pertaining to the rezoning of land, the report and recommendations of the planning commission to the city council required by section 122-185 shall show that the planning commission has studied and considered the proposed change in relation to the following, where applicable:

- (1) Whether the proposed change is in conformity to the comprehensive plan.

RESPONSE

The project area has been annexed into the City of Venice and has been found to be consistent with the Future Land Use Map as a Potential Planning Service Area which was intended to be incorporated into the City. The requested zoning district, principal permitted uses and the proposed land uses are in conformity with the applicable Goals, Objectives and Policies of the previously discussed Chapters of the City of Venice Comprehensive Plan, as adopted.

- (2) The existing land use pattern.

RESPONSE

The subject property is bounded on the east by the Myakka River, on the north and northwest by the mining operation of Venice Minerals, along the west by various commercial sites, and on the south by Laurel Road. It is proposed by Sarasota County that Jacaranda Boulevard be extended northward to intercept Laurel Road at the westerly area of this project.

- (3) Possible creation of an isolated district unrelated to adjacent and nearby districts.

RESPONSE

The proposed land uses and zoning districts are consistent with the City of Venice Future Land Use Map designation for Low Density Residential. The proposed uses and zoning districts are consistent with the applicable Goals, Objectives and Policies of the City of Venice Comprehensive Plan as outlined in the Consistency Analysis. The likelihood of the creation of an isolated district unrelated to adjacent and nearby districts is minimized given the development patterns already anticipated for these areas.

- (4) The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.

RESPONSE

The proposed district and uses provide increased residential opportunities within the City of Venice, and Sarasota County as a whole, while the supporting amenities and uses such as golf

courses, regional and local parks, commercial neighborhood uses, and Assisted Living Facilities address the broad needs of a sustainable community.

The thoroughfare plan of Sarasota County provides for the extension of Jacaranda Boulevard to Laurel Road. Laurel Road is to be improved by the proposed development from the existing shell road to a paved surface to connect with the existing paved portion of Laurel Road.

There is included within the Annexation Agreement various stipulations to insure adequate utility extension and the capacity to serve the project as well as provide for potable water well sites which will serve the needs of the City of Venice, as a whole.

Furthermore, the requested change in zoning is compliant with the City of Venice Comprehensive Plan and specifically addresses several of the Goals, Objectives and Policies, therein. Therefore, the proposed changes do not overtax the load on public facilities.

- (5) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

RESPONSE

The existing district boundaries, as provided by the current surrounding Sarasota County Zoning classification, are not properly prepared to implement the Low Density Residential designation indicated for the subject property by the City of Venice Comprehensive Plan, as adopted. The Annexation Agreement for the subject property also requires rezone to an applicable district within the City of Venice code.

- (6) Whether changed or changing conditions make the passage of the proposed amendment necessary.

RESPONSE

The inclusion of the extension of Jacaranda Boulevard into the Sarasota County thoroughfare program from Border Road to Laurel Road will change the current 'rural' character of the site and surrounding area to a more 'urban' setting. The improvement of Jacaranda Boulevard by Sarasota County and Laurel Road as a result of this development will provide a secondary means

of access to Interstate 75 and existing urban areas. Therefore, the proposed rezoning is necessary in order for the site to be in harmony with anticipated growth patterns in this area.

- (7) Whether the proposed change will adversely influence living conditions in the neighborhood.

RESPONSE

The proposed changes, both as to the requested zoning district and the proposed uses will not adversely influence living conditions in the neighborhood since the existing zoning of Sarasota County, Open Use Rural, the potential zoning of Sarasota County, being Major Employment Center and Open Use Rural and Low Density Residential as indicated by the City of Venice permit the majority of the requested uses and structures either principally or as a special exception to the district. Any modifications are specifically addressed and supported within the Land Use section of this petition.

- (8) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

RESPONSE

The Traffic Study prepared for the project demonstrates that the proposed district and uses through the improvement of Laurel Road as access to and from existing County and State roads does not create or excessively increase traffic congestion nor otherwise affect public safety.

- (9) Whether the proposed change will create a drainage problem.

RESPONSE

The project has been designed to address both the City of Venice and Southwest Florida Water Management District requirements for design and operation of surface water management systems. Surface water management systems will address treatment, attenuation and discharge conveyance concerns.

- (10) Whether the proposed change will seriously reduce light and air to adjacent areas.

RESPONSE

The proposed zoning district and uses has set forth standards which dictate the location and height of the structures relative to the peripheral perimeters of the project as well as open space requirements and conservation area requirements. Therefore, the proposed structures within the districts shall be located so as to provide ample green space which together with the inclusion of parks, golf course and supporting facilities will not seriously reduce light and air to adjacent areas.

- (11) Whether the proposed change will adversely affect property values in the adjacent area.

RESPONSE

The proposed uses and structures are compatible and in harmony with other uses and structures which have been or may be permitted on adjacent or nearby City and County properties. The provision of landscaping, streets in accordance with the John Nolen plan for the City of Venice (i.e., palm lined roads), an Italian Renaissance architectural theme, recreational facilities, local and regional parks and amenities, together with full compliance with applicable development codes assures that the proposed uses will not adversely affect property values in the adjacent area.

- (12) Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.

RESPONSE

Given that the proposed change is not contrary to Sarasota County Future Land Use Map nor the City of Venice Comprehensive Plan, the proposed change will not be a deterrent to the improvement or development of adjacent property whether within the City of Venice or Sarasota County, in accord with existing regulations, respectively.

- (13) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

RESPONSE

The proposed change does not constitute a grant of special privilege to the owner as contested with the public welfare. The subject petition has been shown to be consistent with the Comprehensive Plan and has been reviewed consistent with all City of Venice policies and procedures. Furthermore, it will be subject to review at public hearings and proceedings in accordance with adopted policies, as is afforded to all persons upon filing petition and paying the necessary fees to rezone their property.

- (14) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

REZONE

As a Stipulation to the Annexation Agreement, the petitioner is required to rezone the subject property to a district or districts within the City of Venice Code. Therefore, the rezoning of the subject property cannot remain as currently zoned by Sarasota County.

- (15) Whether the change suggested is out of scale with the needs of the neighborhood or the city.

RESPONSE

The change requested is not out of scale with the needs of the neighborhood or the city. The proposed district and uses have been shown to be compliant with the City of Venice Comprehensive Plan and are in accordance with the Annexation Agreement for the subject property.

- (16) Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use.

RESPONSE

The proposed improvements and amenities are of a nature requiring the capacity to develop on a large scale. There does not currently exist within the corporate limits of the City of Venice a site adequate for the needs of the proposed improvements and amenities.