

M:\Projects\Land Development\Auss\Venice Four Points by Sheraton\DWG\201607_RMEC.dwg - COVER SHEET - 3/27/2016 3:15 PM - RMEC.dwg

LEGAL DESCRIPTION

LOTS 9,10, 11, 12, 13 & 14, BLOCK D, COUNTRY CLUB ESTATES, UNIT 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 29A, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA

TOGETHER WITH:

A TRACT OF LAND IN THE SOUTH 1/2 OF SECTION 18, TOWNSHIP 39 SOUTH, RANGE 19 EAST, PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 18; THENCE RUN NORTH ALONG THE EAST LINE OF SAID SECTION, 869 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF THE TAMAMI TRAIL (U.S. HIGHWAY 41); THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 50°15' WEST 2128.02 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE NORTH 50° 15' WEST 175 FEET TO THE EAST RIGHT-OF-WAY LINE OF PINE GROVE DRIVE (FORMERLY WADIAC DRIVE -SAID POINT BEING THE SAME POINT DESCRIBED AS POINT OF BEGINNING IN OFFICIAL RECORDS BOOK 685, PAGE 349) THENCE NORTH 39° 45' EAST 195 FEET; THENCE SOUTH 50° 15' EAST 175 FEET; THENCE SOUTH 39° 45' WEST 195 FEET TO THE POINT OF BEGINNING. SAID PROPERTY BEING THE SAME PROPERTY HAVING THE SAME EXACT BOUNDARIES AS THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 685, PAGES 349 AND 350, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

STOP! CALL BEFORE YOU DIG!

811

Know what's below.
Call before you dig.

NOTICE TO ALL CONTRACTORS:
IT'S THE LAW IN FLORIDA.
2 BUSINESS DAYS BEFORE YOU DIG CALL
SUNSHINE 1-800-432-4770.
STATE, COUNTIES AND CITIES ARE NOT
PART OF THE ONE CALL SYSTEM; THEY
MUST BE CALLED INDEPENDENTLY.

VERTICAL DATUM NOTE

ELEVATIONS BASED ON NATIONAL GEODETIC VERTICAL DATUM NAVD88. CONVERSION FROM NGVD29 TO NAVD88: NGVD29-1.129' = NAVD88.

SITE DEVELOPMENT PLANS FOR

VENICE FOUR POINTS BY SHERATON

PART OF SECTION 18, TOWNSHIP 39S, RANGE 19E,
775 S. TAMAMI TRAIL
VENICE, FLORIDA 34285

PREPARED FOR/OWNED BY:
DAUS CAPITAL, LLC
5959 CANOGA AVENUE, SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

PROJECT LOCATION MAP

NOT TO SCALE

PROJECT SITE MAP

NOT TO SCALE

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C.01	COVER SHEET
C.02	NOTES, LEGENDS AND ABBREVIATIONS
C.03	EXISTING CONDITIONS, TOPO AND AERIAL MAP
C.04	SITE PLAN
C.05	DRAINAGE PLAN
C.06	PAVING, GRADING AND DRAINAGE DETAILS
C.07	NUTRIENT REMOVAL FILTRATION SYSTEM DETAILS
C.08	UTILITY PLAN
C.09	EROSION CONTROL PLAN AND DETAILS

ATTACHMENTS

SHEETS	SHEET TITLE
A00 to A05	ARCHITECTURAL FLOOR PLANS AND ELEVATIONS
L-1 to L-5	LANDSCAPE PLANS AND DETAILS
PH-1.00	SITE LIGHTING AND PHOTOMETRIC PLAN

PLANS ARE FOR REGULATORY REVIEW ONLY
AND ARE NOT FOR CONSTRUCTION

RMEC LLC

ENGINEERING | WATER RESOURCES | ENVIRONMENTAL

RMEC, LLC

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FORT MYERS, FLORIDA 33901
Tel (239) 789-1951
e-mail: yourteam@rmec-llc.com
<http://www.rmec-llc.com>
CA#32266

SITE PLAN SUBMITTAL #1	MARCH 8, 2018	<div>RONALD M. EDENFIELD, P.E. STATE OF FLORIDA LICENSE NO. 45200</div>
SITE PLAN SUBMITTAL #2	JULY 12, 2018	
SITE PLAN SUBMITTAL #3	APRIL 19, 2019	
SITE PLAN SUBMITTAL #4	MAY 28, 2019	
SITE PLAN SUBMITTAL #5	JULY 17, 2019	
PROJECT NO: 2016-007		SHEET NO: C.01

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STANDARD ABBREVIATIONS	
TERM	ABBR
ACCESS EASEMENT	AE
AIR RELEASE VALVE	ARV
AMERICAN WITH DISABILITIES ACT	ADA
AUTOMATIC FLUSHING DEVICE	AFD
BACK OF CURB	BOC
BACKFLOW PREVENTOR	BFP
BASE LINE	BL
BLOW-OFF	BO
CABLE TV	CATV
CENTER LINE	CL
CLEAN OUT	CO
CONTROL ELEVATION	CE
CONTROL STRUCTURE	CS
CORRUGATED ALUMINUM PIPE	CAP
CORRUGATED METAL PIPE	CMP
COLLIER COUNTY UTILITY EASEMENT	CUE
DEPARTMENT OF TRANSPORTATION	DOT
DIAMETER	DIA
DIMENSION RATIO	DR
DRAINAGE EASEMENT	DE
DUCTILE IRON PIPE	DIP
EDGE OF PAVEMENT	EOP
ELEVATION	ELEV
ELLIPTICAL REINFORCED CONCRETE PIPE	ERCP
FIBER REINFORCED CONCRETE PIPE	FRCP
FIRE CONTROL DISTRICT	FCD
FIRE DEPARTMENT CONNECTION	FDC
FIRE HYDRANT ASSEMBLY	FH
FLORIDA DEPARTMENT OF TRANSPORTATION	FDOT
FLORIDA POWER & LIGHT	FPL
FLOW LINE	FL
GATE VALVE	GV
HIGH DENSITY POLYETHYLENE	HDPE
INSIDE DIAMETER	ID
INVERT	INV
LAKE MAINTENANCE EASEMENT	LME
LANDSCAPE BUFFER EASEMENT	LBE
LEE COUNTY UTILITY EASEMENT	LCUE
LEFT	LT
LINEAL FEET	LF
MANHOLE	MH
MECHANICAL JOINT	MJ
NATIONAL GEODETIC VERTICAL DATUM	NGVD
NORTH AMERICAN VERTICAL DATUM	NAVD
OUTSIDE DIAMETER	OD
PERMANENT SAMPLE POINT	PSP
PLUG VALVE	PV
POINT OF CURVATURE	PC
POINT OF TANGENCY	PT
POINT OF VERTICAL INTERSECTION	PVI
POLYVINYL CHLORIDE	PVC
POST INDICATOR VALVE	PIV
PROPERTY LINE	PL
PUBLIC UTILITY EASEMENT	PUE
PUMP STATION	PS
RADIUS	(X)"R
REFLECTIVE PAVEMENT MARKER	RPM
REINFORCED CONCRETE PIPE	RCP
RECLAIMED WATER MAIN	ROWM
RIGHT	RT
RIGHT OF WAY	ROW
SANITARY SEWER	SS
STATION	STA
STORM STRUCTURE	STR
TEMPORARY	TEMP
TEMPORARY BACKFLOW	TBF
TEMPORARY BLOW-OFF ASSEMBLY	TBO
TEMPORARY SAMPLE POINT	TSP
TYPICAL	TYP
UTILITY EASEMENT	UE

WATER, IRRIGATION AND SEWER NOTES:

- ALL ONSITE SEWER FACILITIES WHICH ARE TURNED OVER TO THE CITY SHALL BE OWNED AND MAINTAINED BY CITY OF VENICE UTILITIES.
- ALL ONSITE POTABLE WATER FACILITIES WHICH ARE TURNED OVER TO THE CITY SHALL BE OWNED AND MAINTAINED BY CITY OF VENICE UTILITIES.
- ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CITY OF VENICE STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- ALL EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE RECORD INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE APPROPRIATE EXISTING UTILITIES AND REPORT DISCREPANCIES TO ENGINEER IMMEDIATELY.
- INSTALLATION OF SUBSURFACE CONSTRUCTION, TO INCLUDE, WATER AND IRRIGATION LINES, SEWER LINES, PUBLIC UTILITIES AND STORM DRAINAGE IS REQUIRED PRIOR TO COMPACTION OF SUBGRADE AND ROADWAY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL UTILITY LINES AND SERVICES DAMAGED DURING CONSTRUCTION, INCLUDING IRRIGATION LINES AND SERVICES. THE APPROPRIATE UTILITY SHALL BE NOTIFIED OF ALL DAMAGED LINES PRIOR TO REPAIR. ALL NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY UPON DAMAGE OF LINE, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE 48 HOURS WRITTEN NOTICE TO THE ENGINEER AND UTILITY COMPANY PRIOR TO THE FOLLOWING TO ALLOW FOR INSPECTIONS REQUIRED BY ORDINANCE 2004-31 SECTION 9.4.2.2
 - 7.A. COMMENCEMENT
 - 7.B. CHANGES TO APPROVED SCHEDULES, SUBCONTRACTORS, OR RESIDENT SUPERINTENDENT.
 - 7.C. POTABLE, IRRIGATION, WASTEWATER AND GENERAL SYSTEMS
 - 7.C.A. HOT TAPS TO POTABLE WATER LINES LARGER THAN 6" AND WASTEWATER SYSTEMS GREATER THAN 4". *
 - 7.C.B. MASTER METER AND BYPASS PIPING.
 - 7.C.C. JACK & BORE CASINGS. *
 - 7.C.D. PRESSURE TESTS. *
 - 7.C.E. INFILTRATION/EXFILTRATION TESTS. *
 - 7.C.F. LIFT STATION INSTALLATION, PRIOR TO COVER-UP AND START-UP. *
 - 7.C.G. LIFT STATION START-UP. *
 - 7.C.H. LAMPING OF SEWER LINES. *
 - 7.C.I. PIGGING AND FLUSHING OF WASTEWATER LINES, FORCE MAINS, POTABLE WATER MAINS, AND NON-POTABLE IRRIGATION LINES. * NOTE: FULL BORE FLUSHING AND PIGGING OF POTABLE WATER LINES NEED ONLY WATER DEPARTMENT INSPECTION.
 - 7.C.J. TELEVISION VIDEO TAPINGS OF WASTEWATER LINES AT END OF CONSTRUCTION AND THE WARRANTY PERIOD ("IN-OFFICE REVIEW").
 - 7.C.K. CONFLICT CONSTRUCTION. *
 - 7.C.L. CONNECTIONS TO EXISTING POTABLE WATER, NON-POTABLE IRRIGATION WATER AND WASTE WATER SYSTEMS. *
 - 7.C.M. 8" DIAMETER OR LARGER CASING INSTALLATIONS. *
 - 7.C.N. OTHER SPECIAL REQUIREMENTS AS SPECIFIED BY THE COUNTY STAFF AT THE TIME OF CONSTRUCTION DOCUMENT APPROVAL.
- 7.C.O. CHLORINATION OF WATER LINES AND REFRESHING OF LINES AFTER CHLORINATION (NEEDS WATER DEPARTMENT INSPECTION ONLY). *
- 7.C.P. INSTALLATION OF TEMPORARY METERS/BACKFLOWS. *
- 7.C.Q. BACTERIOLOGICAL SAMPLING (NEEDS WATER INSPECTION ONLY). *
- 7.C.R. HOT TAPS TO ANY WATER CONCRETE MAINS, PRESSURE TESTS ON LINES 20" OR GREATER, AND CONNECTIONS TO EXISTING POTABLE SYSTEMS GREATER THAN 12" NEED TO BE INSPECTED BY THE WATER DEPARTMENT AND THE CITY OF VENICE. *
- 7.C.S. FIRE FLOW TESTING.
- 7.C.T. A CITY OF VENICE INSPECTOR OR OTHER QUALIFIED EMPLOYEE MUST BE PRESENT AT THE INSPECTIONS NOTED WITH *** ABOVE.

- FITTINGS SHALL BE USED TO MAINTAIN PLAN ALIGNMENT OF POTABLE WATER MAINS AND FORCE MAINS. DEVIATION FROM PLAN ALIGNMENT SHALL NOT BE MORE THAN 12" FROM PLAN CENTERLINE OF MAIN. CONTRACTOR SHALL PREPARE RECORD DRAWING OF ALL FITTINGS NOT SHOWN ON THIS PLAN.
- MINIMUM COVER FOR ALL WATER MAINS AND FORCE MAINS SHALL BE MEASURED FROM FINISHED GRADES, MINIMUM DEPTH OF 36" MAXIMUM DEPTH OF 48". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE MINIMUM COVER, REGARDLESS OF EXISTING GRADE. PERIODIC CHECKS FOR MINIMUM COVER WILL BE MADE BY CITY OF VENICE AND ENGINEER.
- CONTRACTOR SHALL CONSTRUCT ALL WATER AND SEWER APPURTENANCES INCLUDING METER BOXES, BLOW-OFFS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, ETC. TO FINISHED GRADE. CONTRACTOR SHALL COORDINATE DURING THE CONSTRUCTION STAKEOUT AND PRIOR TO CONSTRUCTION OF SAID APPURTENANCES WITH OWNER AND ENGINEER REGARDING FINISHED GRADE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE CONSTRUCTION OF SAID APPURTENANCES TO FINISHED GRADE.
- ALL POTABLE WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER BY A MINIMUM HORIZONTAL DISTANCE OF TEN FEET MEASURED EDGE TO EDGE AND A VERTICAL DISTANCE OF 18" MEASURED BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE. WHERE MINIMUM SEPARATION CANNOT BE MAINTAINED, SEE CROSSOVER DETAIL REQUIREMENTS.
- REFER TO PLAT AND/OR BOUNDARY SURVEY FOR EASEMENTS OF RECORD.
- MINIMUM 18" VERTICAL SEPARATION AND 5' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN WATER/SEWER AND CONDUITS FOR ANY OTHER UTILITY.
- NON-POTABLE IRRIGATION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BOIL WATER NOTICES AND BACTERIOLOGICAL SAMPLING FOR ANY EXISTING WATER MAINS THAT ARE POTENTIALLY CONTAMINATED DURING CONSTRUCTION.
- WATER METERS ARE OWNED AND MAINTAINED BY CITY OF VENICE UTILITIES.
- WATER METERS TO BE SIZED PER CITY OF VENICE UTILITIES.
- CONTRACTOR WILL INSTALL WATER SERVICE LINES & METER BOXES PER CITY OF VENICE UTILITIES.
- ALL FIRE HYDRANTS REFERENCED IN THIS PLAN SET INCLUDE HYDRANT, HYDRANT VALVE, HYDRANT LEAD AND TEE.
- FIRE HYDRANTS AND WATER SERVICES MAY BE USED FOR TEMPORARY SAMPLE POINTS (TSP) AS SHOWN ON THE PLANS.
- FOR CONNECTIONS TO EXISTING MANHOLES, ALL EXISTING MANHOLES SHALL BE SUPPORTED AS NECESSARY TO PREVENT ANY CRACKING TO EXISTING MANHOLE OR PIPE CONNECTIONS.
- NON-POTABLE IRRIGATION MAINS SHALL BE CONSTRUCTED OF PANTONE PURPLE 522C PIPING, COLOR CODED "PURPLE".
- ALL WATER SERVICE LINES SHALL BE 1-1/2 INCH DIAMETER POLYETHYLENE WITH 24" MINIMUM COVER UNLESS NOTED OTHERWISE ON PLANS.
- ALL WATER METER COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO "NSF" STANDARD 61.
- NO LANDSCAPING WILL BE ALLOWED WITHIN 3' OF THE WATER METER OR THE BACK-FLOW PREVENTOR.
- ALL BENDS SHALL BE MECHANICAL JOINTS WITH RETAINER GLANDS.
- THE CONTRACTOR SHALL CALL SUNSHINE ONE (811) FOR FIELD LOCATIONS 48 HOURS BEFORE DIGGING NEAR UNDERGROUND UTILITIES.
- ALL COSTS AND EXPENSES OF ANY AND ALL REPAIRS, REPLACEMENTS, MAINTENANCE AND RESTORATIONS OF ABOVEGROUND IMPROVEMENTS PERMITTED WITHIN A CUE SHALL BE THE SOLE FINANCIAL RESPONSIBILITY OF THE GRANTOR, ITS SUCCESSORS OR ASSIGNS.

FIRE PROTECTION NOTES:

- PRIOR TO THE ACCUMULATION OF COMBUSTIBLE BUILDING MATERIALS ON SITE, PROPOSED FIRE HYDRANTS MUST BE OPERABLE. WITH THE REQUIRED FIRE FLOWS (TEMPORARY BACK FLOW PREVENTERS MUST BE USED, GAP CONFIGURATIONS UNACCEPTABLE) AND IMPROVED, STABILIZED EMERGENCY APPARATUS ACCESS WAYS (MIN. 20' WIDE) MUST BE AVAILABLE TO WITHIN 100' OF THE STRUCTURES.
- ALL FIRE HYDRANTS, FDC'S AND PIV'S SHALL BE VISIBLE AND ACCESSIBLE. THEY SHALL NOT BE OBSTRUCTED VISUALLY OR FUNCTIONALLY BY TREES OR LANDSCAPING.
- FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER APPROVED BY THE VENICE FIRE DISTRICT.
- A 36" CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS PER FFPC 5TH ED. 1-18.5.3 THROUGH THE LIFE OF THE PROPERTY.

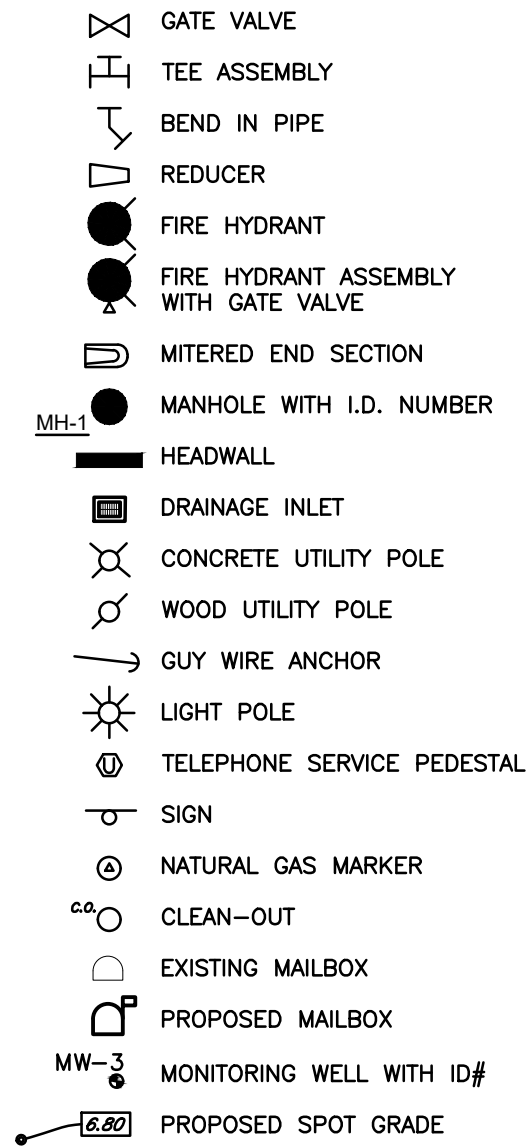
GENERAL NOTES:

- ALL NON-UTILITY ONSITE INFRASTRUCTURE AND STORMWATER IMPROVEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER.
- ALL IMPROVEMENTS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF CITY STANDARD DETAILS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO ENGINEER IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER AND OWNER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- MAINTENANCE OF SITE DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER.
- THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT AUTHORIZE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EASEMENTS OF RECORD.
- RECYCLING COLLECTION WILL BE HANDLED VIA CITY OF VENICE PUBLIC WORKS DEPARTMENT.
- TRASH COLLECTION WILL BE HANDLED VIA CITY OF VENICE PUBLIC WORKS DEPARTMENT.
- ALL ELEVATIONS REFERENCED WITHIN THIS PLAN SET ARE VERTICAL DATUM NAVD 88, UNLESS OTHERWISE STATED. CONVERSION TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) IS -1.129'.
- SUBJECT PARCEL APPEARS TO BE IN F.E.M.A. FLOOD ZONE X, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S DIGITAL FLOOD INSURANCE RATE MAP (D.F.I.R.M.) MAP NUMBER 12115C0329F, EFFECTIVE DATE: 11/4/16.
- REFER TO PLAT AND/OR BOUNDARY SURVEY FOR EASEMENTS OF RECORD.
- FOR ALL INLETS AND DRAINAGE STRUCTURES, REFERENCE FDOT INDEX NO. 200-235.
- ALL ROADS WITHIN THE PROJECT SITE ARE CONSIDERED PRIVATE.
- ALL PROHIBITED EXOTIC VEGETATION SHALL BE REMOVED FROM THE SITE AND IT SHALL BE MAINTAINED FREE OF EXOTICS IN PERPETUITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD, AND BEST AVAILABLE RECORD DRAWING INFORMATION. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA; AND, THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES BEFORE AND DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL MUCK AND OTHER UNSUITABLE MATERIAL FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL MUCK AND UNSUITABLE MATERIAL SHALL BE STOCKPILED AS DETERMINED BY OWNER.
- ALL SIDEWALKS (IF ANY) TO BE CONSTRUCTED BY SITE CONTRACTOR.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL BY OWNER.
- A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH CITY OF VENICE ENGINEERING INSPECTORS PRIOR TO THE START OF CONSTRUCTION.
- SIGN PERMITS ARE PERMITTED AND APPROVED SEPARATELY FROM THE SITE DEVELOPMENT PLAN OR PLAN AND PLAT APPROVAL.
- ALL SIDEWALKS, CURBS RAMPS & PEDESTRIAN CROSSINGS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT EDITION OF THE AMERICANS WITH DISABILITY ACT.
- REFERENCE F.D.O.T. INDEX # 304 FOR ADDITIONAL SPECIFICATIONS AND TRUNCATED DOME DETAILS.
- DEVIATIONS FROM THIS PLAN WITHOUT DOCUMENTED WRITTEN SIGNED & SEALED AUTHORIZATION FROM ENGINEER OF RECORD SHALL BE CONSIDERED THE PROPERTY OWNER AND CONTRACTORS FULL RESPONSIBILITY. THE OWNER AND CONTRACTOR SHALL TAKE ON FULL LIABILITY FOR SAID DEVIATIONS.
- EROSION AND SEDIMENT CONTROL DEVICES SUCH AS INLET PROTECTION & SILT FENCE SHALL BE INSTALLED IN THE VICINITY OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. (SEE EROSION CONTROL PLAN)
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES, UNDERGROUND UTILITIES, OR NEAR CANAL BANKS.
- AN EDGE SHALL BE MAINTAINED ALONG ANY PRESERVE BOUNDARIES TO PREVENT ENCROACHMENT OF ANY SOD FOR THE BERM LOCATED ADJACENT TO NATIVE PRESERVES.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPLICABLE COUNTY AND/OR STATE RIGHT-OF-WAY WORK PERMITS. ALL WORK IN COUNTY AND/OR STATE RIGHT-OF-WAYS MUST OBTAIN RIGHT-OF-WAY DEPARTMENT APPROVAL AND PERMITS.

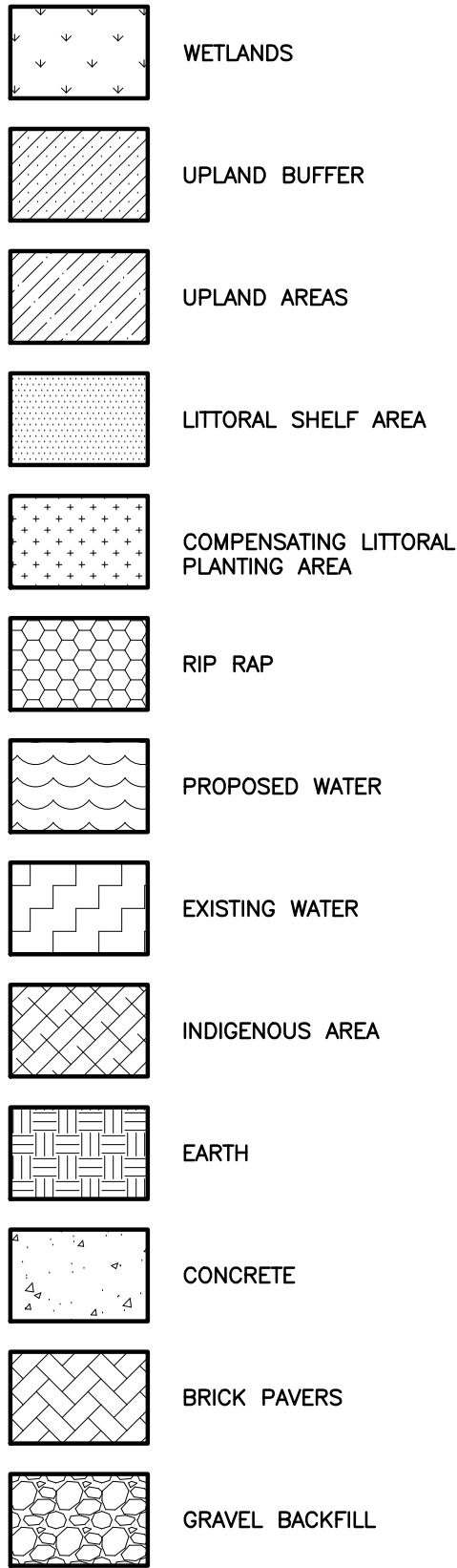
DEMOLITION NOTES:

- CONTRACTOR SHALL REMOVE EXISTING STRUCTURES, BUILDINGS, PILES, AND OTHER FEATURES WITHIN THE LIMITS OF THE PROJECT BOUNDARY, UNLESS NOTED OTHERWISE.
- ALL ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AT THE EXPENSE OF THE CONTRACTOR, INCLUDING ALL DUMPING FEES, UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE REMOVED TO A DEPTH OF 2' BELOW EXISTING GRADE, OR 2' BELOW THE INVERT OF ANY PROPOSED UTILITIES. EXISTING UTILITIES SERVING BUILDINGS TO BE REMOVED SHALL BE PLUGGED BELOW EXISTING GRADE AND BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE AND THE ENGINEER IMMEDIATELY.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED SHALL BE REMOVED TO A MINIMUM OF THE BOTTOM OF THE PROPOSED LIMEROCK IN PAVED AREAS AND TO 12" BELOW FINISHED GRADE IN UNPAVED AREAS. EXISTING LIMEROCK THAT HAS BEEN REMOVED MAY BE USED TO STABILIZED THE SUBGRADE OF THE PROPOSED PAVEMENT AREAS IF IT MEETS THE REQUIREMENTS AS NOTED IN THE ENGINEER'S TECHNICAL SPECIFICATIONS.
- THIS PLAN IS NOT INTENDED TO BE ALL INCLUSIVE OF EXISTING FACILITIES OR MATERIALS TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SCOPE OF WORK IN REGARD TO MODIFICATIONS OF THE SITE TO ACCOMMODATE PROPOSED IMPROVEMENTS. THIS PLAN DOES NOT ADDRESS EXISTING UNDERGROUND UTILITIES/FACILITIES WHICH MAY BE ENCOUNTERED DURING DEMOLITION OR IMPROVEMENTS. CONTRACTOR SHALL PROTECT AND/OR REPLACE THOSE EXISTING UTILITIES REQUIRED TO ACCOMMODATE THIS PROJECT. OTHER UNDERGROUND UTILITIES TO BE REMOVED OR ABANDONED SHALL BE DISCARDED, DISENGAGED OR REMOVED IN A MANNER CONSISTENT WITH INDUSTRY SAFETY STANDARDS, AS REQUIRED BY OWNER'S REPRESENTATIVE.
- ALL ASPHALT PAVEMENT TO BE REMOVED SHALL BE MECHANICALLY SAW-CUT IN ORDER TO ENSURE CLEAN, STRAIGHT EDGES. CONTRACTOR SHALL COORDINATE THE LIMITS OF THE ASPHALT REMOVAL WITH THIS DEMOLITION PLAN.
- CONTRACTOR SHALL COORDINATE THE REMOVAL OF THE EXISTING FACILITIES WITH THE OWNER'S REPRESENTATIVE WITH REGARDS TO WHEN THE INDIVIDUAL ITEMS ARE TO BE REMOVED.
- CONTRACTOR SHALL PROVIDE A SAFE, OPERABLE SITE FOR EMPLOYEES AND PUBLIC FOR THE CONSTRUCTION AND FUNCTIONS THAT WILL CONTINUE TO OCCUR DURING THE CONSTRUCTION ACTIVITIES.

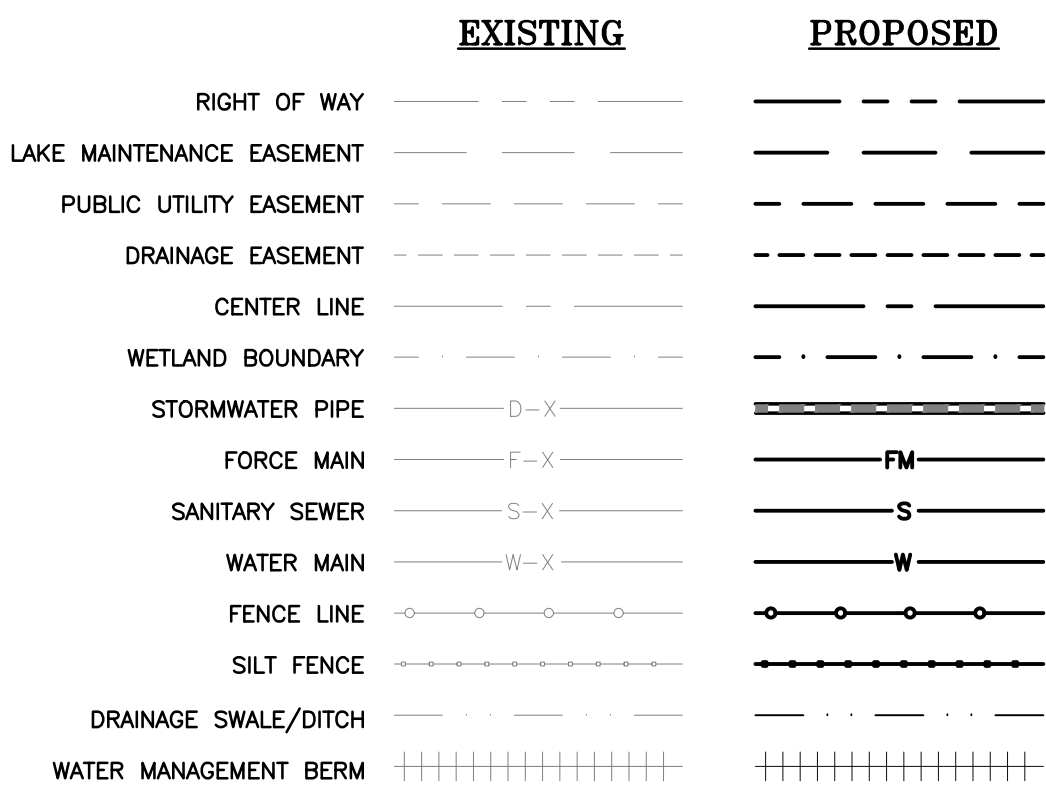
SYMBOLS



HATCH PATTERNS



LINETYPES



UTILITIES PROVIDING SERVICE			
SERVICE AREA NAME	CONTACT	PHONE	UTILITY TYPE
CITY OF VENICE UTILITIES	TRACY SELF	941-480-3333	WATER/SEWER
CITY OF VENICE PUBLIC WORKS DEPT.	RICKY SIMPSON	941-486-2422	WASTE/RECYCLING
CITY OF VENICE FIRE RESCUE STATION 51	LT. STEPHEN WOROBEL	941-480-3030	FIRE DEPARTMENT
FRONTIER	GARY REEVE	941-955-2908	CATV/PHONE/FIBER
FPL - SARASOTA	PAM DURHAM	941-927-4236	ELECTRIC
TECO			NATURAL GAS

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER RM1	7/7/18
2	REVISED PER RM1	7/7/18
3	REVISED PER RM1	7/7/18
4	REVISED PER RM1	7/7/18
5	REVISED PER RM1	7/7/18

CLIENT:

DAUS CAPITAL, LLC
5959 CANOGA AVENUE
SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

PROJECT:

VENICE FOUR POINTS
BY SHERATON
775 S. TAMAMI TRAIL
VENICE, FLORIDA 34286
SARASOTA COUNTY, FLORIDA

SHEET TITLE:

NOTES, LEGENDS
AND ABBREVIATIONS

DATE:

MARCH 8, 2018

PROJECT NO:

2016-007

FILE NO:

18 39S 19E

SCALE:

NO SCALE

SHEET NUMBER

C.02

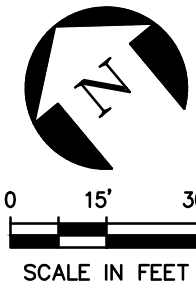
RONALD M. EDENFIELD, P.E.
FLORIDA LICENSE NO. 45200

M:\Projects\Land Development\Assess\Venice Four Points by Sheraton\DWG\201607\MEC.dwg - 1/27/2018 3:13 PM - RMEC.DAT



LEGEND

- = CONCRETE MONUMENT FOUND, (SIZE & L.D. NOTED)
- = 5/8" IRON ROD FOUND (L.D. NOTED)
- = 5/8" CHIPPED IRON ROD SET (L.D. #0630)
- = NAIL & BOX (L.D. NOTED)
- = FOUND METAL BOX (L.D. NOTED)
- = IRON PIPE FOUND (NO L.D., SIZE NOTED)
- (C) = PLAT DIMENSION
- (M) = MEASURED DIMENSION
- (C) = CALCULATED DIMENSION
- (D) = DEEDED DIMENSION
- U & D = UTILITY & DRAINAGE
- L.S. = LAND SURVEYOR
- P.C. = POINT OF CURVATURE
- P.O. = POINT OF BEGINNING
- P.I. = POINT OF INTERSECTION
- C.M. = CONCRETE MONUMENT
- R/W = RIGHT-OF-WAY
- C/L = CENTER LINE
- R.C.P. = REINFORCED CONCRETE PIPE
- S.D. FT. = SQUARE FEET
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- T.B. = TOP OF BANK
- F.D.E.P. = FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
- (TYP.) = TYPICAL
- CONC. = CONCRETE
- L.D. = IDENTIFICATION
- A/C = AIR CONDITIONER
- F.F. = FINISHED FLOOR
- E.L. ELEV. = ELEVATION
- 2.00' = EXISTING ELEVATIONS
- F.I.R.M. = FLOOD INSURANCE RATE MAP
- INV. = INVERT ELEVATION
- T.B.M. = TEMPORARY BENCH MARK
- OWL = OVERHEAD UTILITY LINES
- = UTILITY POLE
- = TELEPHONE RISER
- = CABLE TELEVISION RISER
- = VERIZON HAND HOLE
- = BACKFLOW PREVENTER
- = WATER METER
- = SANITARY CLEWOUT
- = WELL
- = TORTOISE HOLE (NOT ACTIVE)
- = SIGN
- = DRAINAGE GRATE INLET
- = ELECTRIC METER
- = GUY ANCHOR
- = MONITORING WELL
- = FIRE HYDRANT (FHT)
- = G.T.E. MAN HOLE
- = STORM MAN HOLE
- = SANITARY SEWER MAN HOLE
- = LIGHT POLE
- = GATE VALVE
- = MELALEUCA TREE (SIZE NOTED)
- = ORNAMENTAL TREE (SIZE NOTED)
- = PINE TREE (SIZE NOTED)
- = OAK TREE (SIZE NOTED)
- = PALM TREE (SIZE NOTED)



REVISIONS		CLIENT		PROJECT		SHEET TITLE	
NO.	DESCRIPTION	DATE	DAUS CAPITAL, LLC	VENICE FOUR POINTS BY SHERATON	EXISTING CONDITIONS, TOPO AND AERIAL MAP	DATE	DATE
1	REVISED PER RUM 1	7/7/2018	5959 CANOGA AVENUE	775 S. TAMAMI TRAIL		MARCH 8, 2018	
2	REVISED PER RUM 2	7/7/2018	SUITE #500	VENICE, FLORIDA 34286		PROJECT NO:	2016-007
3	REVISED PER RUM 3	4/19/19	WOODLAND HILLS, CALIFORNIA 91367	SARASOTA COUNTY, FLORIDA		FILE NO:	18 395 19E
4	REVISED PER RUM 4	5/28/19				SCALE:	1" = 30'
5	REVISED PER RUM 5	7/7/19				SHEET NUMBER	
						C.03	

RONALD M. EDENFIELD, P.E.
FLORIDA LICENSE NO. 45200

MEC LLC
ENGINEERING | WATER RESOURCES | ENVIRONMENTAL
2223 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33901
(239) 789-1951 | CA#32266

USE INFORMATION - ZONING		
DESCRIPTION	CURRENT USE	PROPOSED USE
NORTHWEST PARCEL	CG - COMMERCIAL GENERAL	CG - COMMERCIAL GENERAL
SOUTHEAST PARCEL	OPI - OFFICE, PROFESSIONAL, INSTITUTIONAL	CG - COMMERCIAL GENERAL

TYPE	AREA (ACRES)	PERCENTAGE
BUILDING FOOTPRINT AREA 18,003 SF MAIN HOTEL 156 SF POOL BATH 156 SF POOL EQUIP.	0.42	20.9%
IMPERVIOUS PAVEMENT	1.07	53.1%
OPEN GREEN SPACE	0.53	26.1%
TOTAL PROPERTY AREA	2.01	100.0%

NOTES:
OTHER NON-A/C BUILDING AREAS INCLUDE:
- MAIN PORTE COCHERE (1778 SF)
- REAR CANOPY (405 SF)
- POOL AREA (2954 SF)

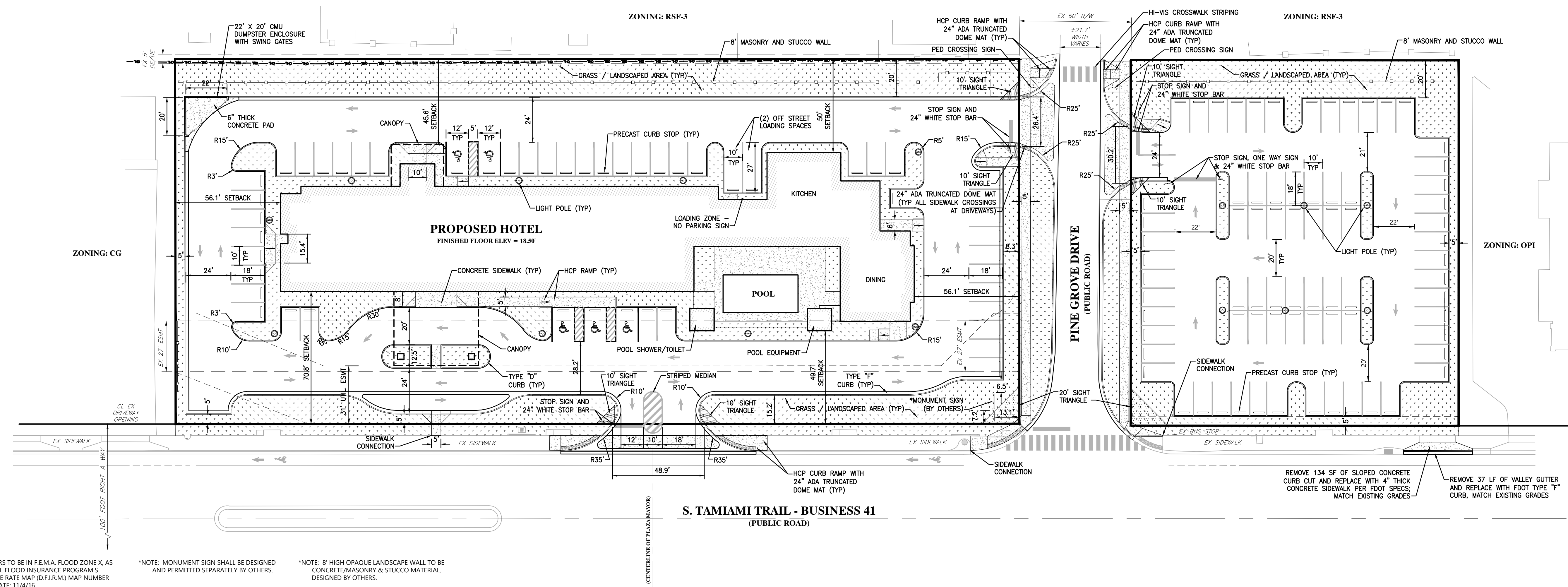
TYPE	AREA (ACRES)	PERCENTAGE
BUILDING FOOTPRINT AREA	0.00	0.0%
IMPERVIOUS PAVEMENT	0.60	76.9%
OPEN GREEN SPACE	0.18	23.1%
TOTAL PROPERTY AREA	0.78	100.0%

TYPE	AREA (ACRES)	PERCENTAGE
BUILDING FOOTPRINT AREA	0.41	14.7%
IMPERVIOUS PAVEMENT	1.67	59.9%
OPEN GREEN SPACE	0.71	25.4%
TOTAL PROPERTY AREA	2.79	100.0%

BUILDING HEIGHT TABLE	
BUILDING HEIGHT	ALLOWED BY PERMIT
MAXIMUM PERMITTED HEIGHT	35 FEET
ALLOWED BY VARIANCE APPROVAL	42 FEET
REQUESTED BUILDING HEIGHT	42 FEET
PROPOSED BUILDING HEIGHT	42 FEET

PARKING CALCULATION TABLE				
DESCRIPTION	QUANTITY OF AREA	PARKING CALC	SPACES REQUIRED	SPACES PROVIDED
HOTEL ROOMS	103 ROOMS	1.1 PER ROOM	113	113
RESTAURANT	30 SEATS	1 SPACE PER 3 SEATS	10	10
LOADING	70,068 GFA	1 PER FIRST 40,000 SF & 1 PER NEXT 60,000 SF	2	2
TOTAL PARKING SPACES	OVERALL SITE		125	125

SETBACK TABLE		
BUILDING HEIGHT	FRONT	SIDE
MINIMUM SET BACK	25 FEET	8 FEET
ADDITIONAL FOR EXTRA BUILDING HEIGHT = 1' per 3' of BUILDING HEIGHT OVER 35' = 42'-35'=7' = 7 / 3 = 2.33'	N/A	2.33 FEET
REQUIRED RE-CALCULATED SETBACK	25 FEET	10.33 FEET
PROPOSED MINIMUM SETBACK	49.7 FEET	56.1 FEET



M:\Projects\Land Development Areas\Venice Four Points by Sheraton\DWG\201607\MEC.dwg - SITE PLAN - 1/27/2018 3:15 PM - RMCC, CAD

NOTE: SUBJECT PARCEL APPEARS TO BE IN F.E.M.A. FLOOD ZONE X, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S DIGITAL FLOOD INSURANCE RATE MAP (D.F.I.R.M.) MAP NUMBER 12115C0329F, EFFECTIVE DATE: 11/4/16

*NOTE: MONUMENT SIGN SHALL BE DESIGNED AND PERMITTED SEPARATELY BY OTHERS.

*NOTE: 8' HIGH OPAQUE LANDSCAPE WALL TO BE CONCRETE/MASONRY & STUCCO MATERIAL. DESIGNED BY OTHERS.

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER RM1	7/17/18
2	REVISED PER RM2	7/17/18
3	REVISED PER RM3	4/19/19
4	REVISED PER RM4	5/28/19
5	REVISED PER RM5	7/17/19

DAUS CAPITAL, LLC

5959 CANOGA AVENUE
SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

CLIENT:

VENICE FOUR POINTS
BY SHERATON
775 S. TAMAMI TRAIL
VENICE, FLORIDA 34286
SARASOTA COUNTY, FLORIDA

PROJECT:

SITE PLAN

SHEET TITLE:

DATE: MARCH 8, 2018

PROJECT NO: 2016-007

FILE NO: 18_39S_19E

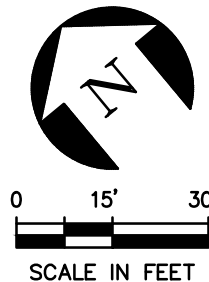
SCALE: 1" = 30'

SHEET NUMBER

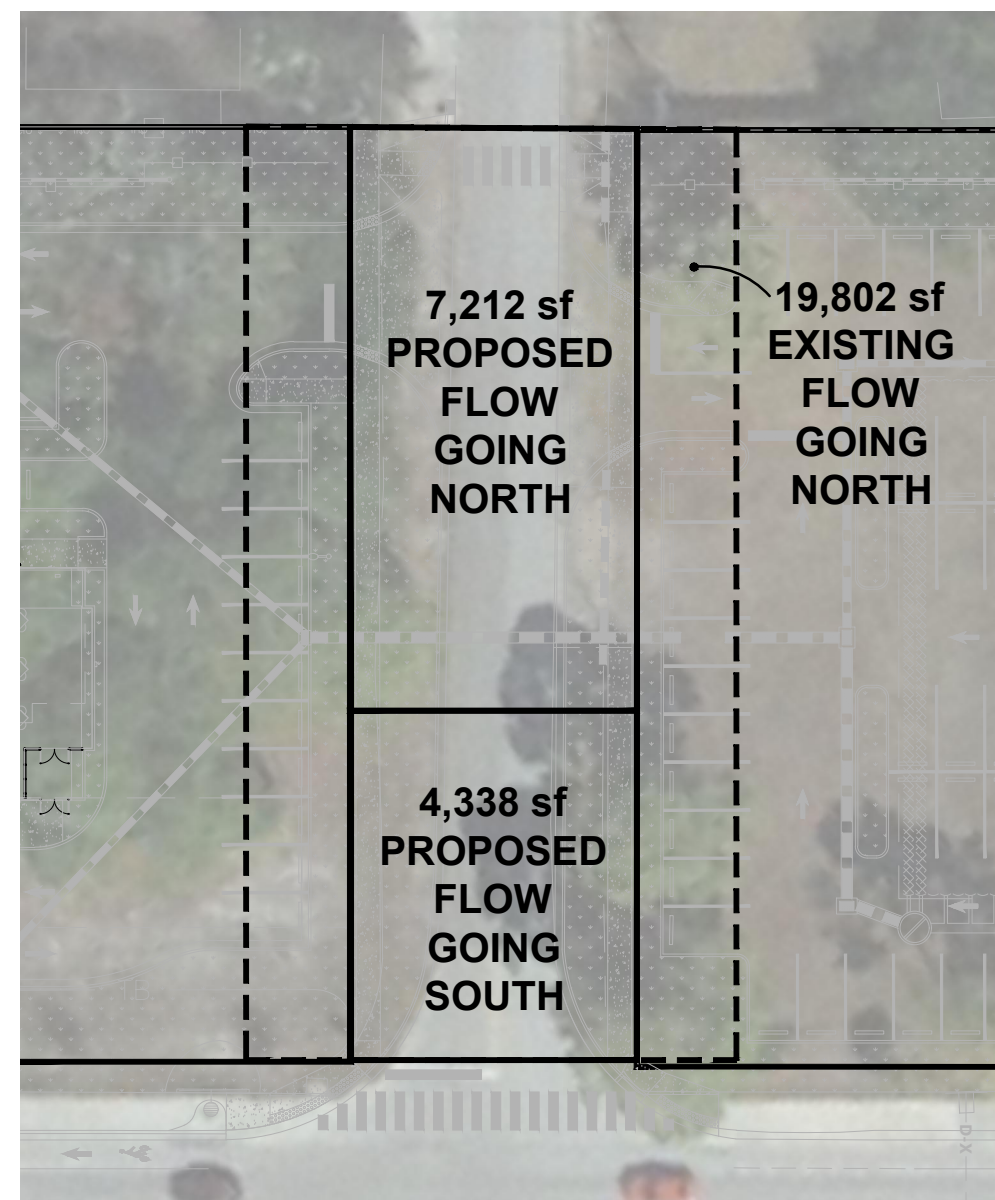
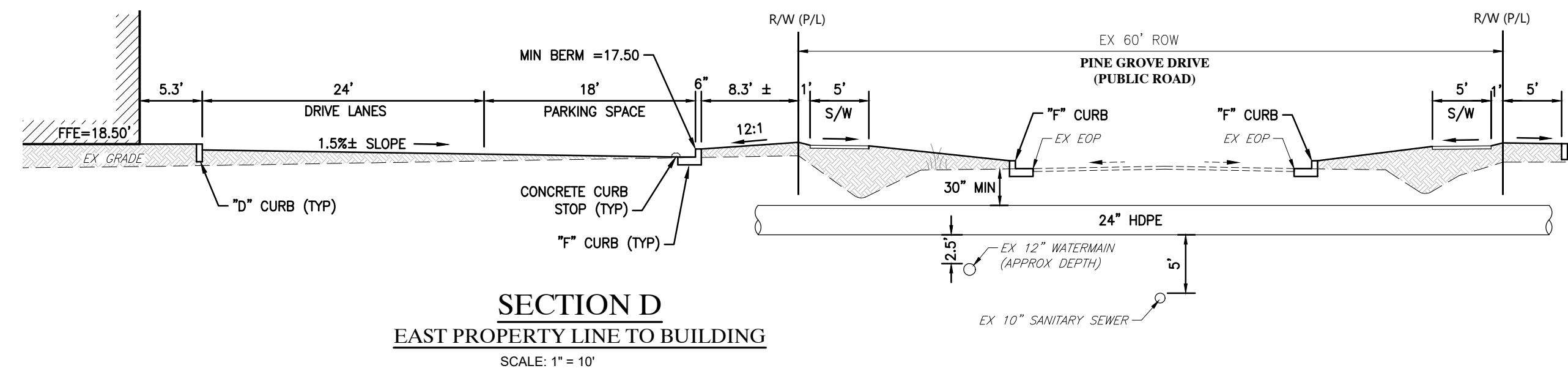
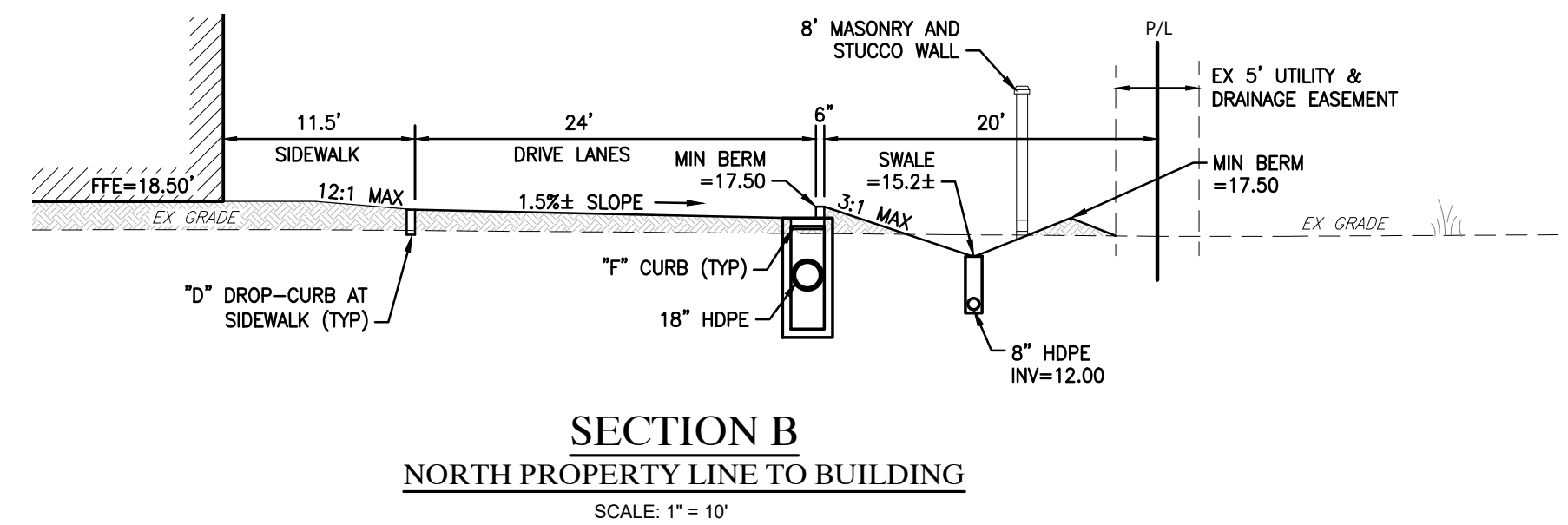
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RONALD M. EDENFIELD, P.E.
FLORIDA LICENSE NO. 45200

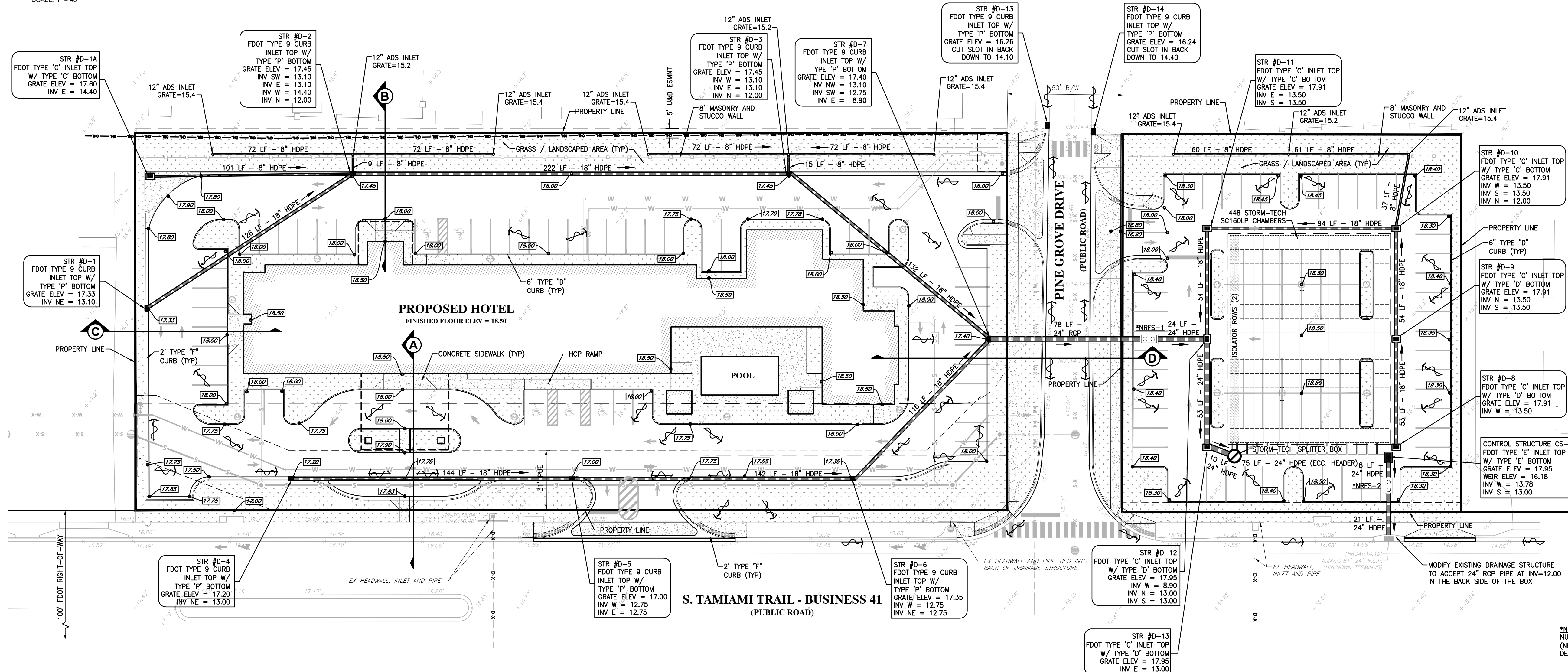
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2223 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33901
(239) 789-1951 | CA#32266



DESCRIPTION	ELEVATION (NAVD88)
CONTROL ELEVATION	16.18
MIN. PROPOSED PAVEMENT ELEVATION	17.00
MINIMUM BERM ELEVATION	17.50
MIN. PROPOSED FINISHED FLOOR	18.50
WET SEASON WATER TABLE	13.30



PRE / POST DRAINAGE FLOW EXHIBIT



***NOTE:**
NUTRIENT REMOVING FILTRATION SYSTEM
(NRFS-1 AND NRFS-2) BOXES ARE
DETAILED ON SHEET C.07

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER RA#1	7/12/18
2	REVISED PER RA#2	11/21/18
3	REVISED PER RA#3	4/19/19
4	REVISED PER RA#4	5/28/19
5	REVISED PER RA#5	7/17/19

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FLORIDA LICENSE NO. 45200

MEC LLC
ENGINEERING | WATER RESOURCES | ENVIRONMENTAL
2223 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33909
(239) 789-1951 | CA#3226600

CLIENT: DAUS CAPITAL, LLC
5959 CANOGA AVENUE
SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

**VENICE FOUR POINTS
BY SHERATON
775 S. TAMiami TRAIL
VENICE, FLORIDA 34285
SARASOTA COUNTY, FLORIDA**

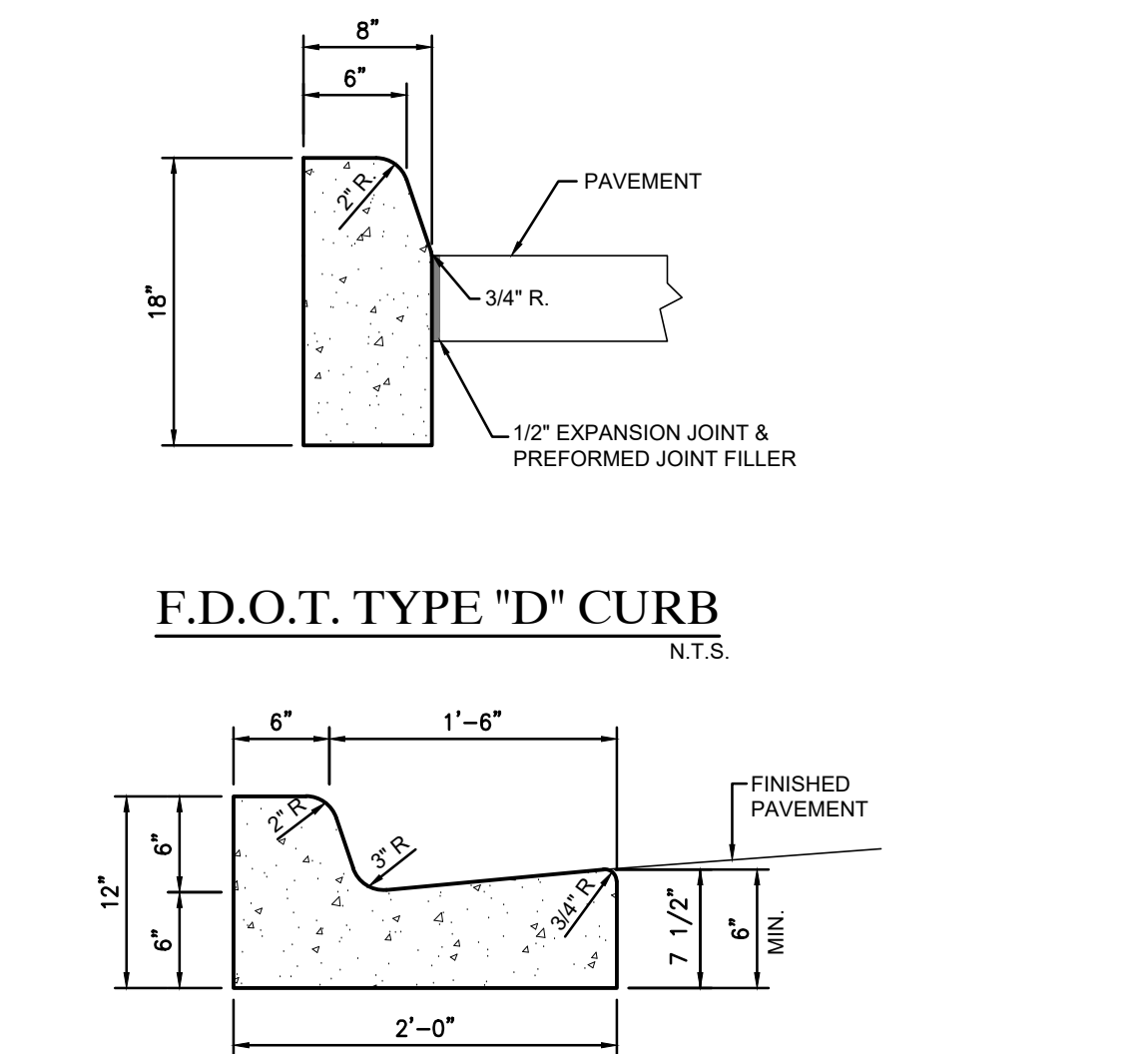
DRAINAGE PLAN

DATE:	MARCH 8, 2018
PROJECT NO:	2016-007
FILE NO:	18 39S 19E
SCALE:	1" = 30'

SHEET NUMBER

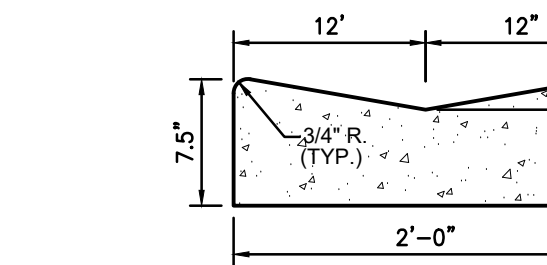
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M:\Projects\Land Development\Access\Venice Four Points - 1/27/2018 3:15 PM - RMC.dwg -- PAVING, GRADING AND DRAINAGE DETAILS -- 1/27/2018 3:15 PM -- RMC.dwg



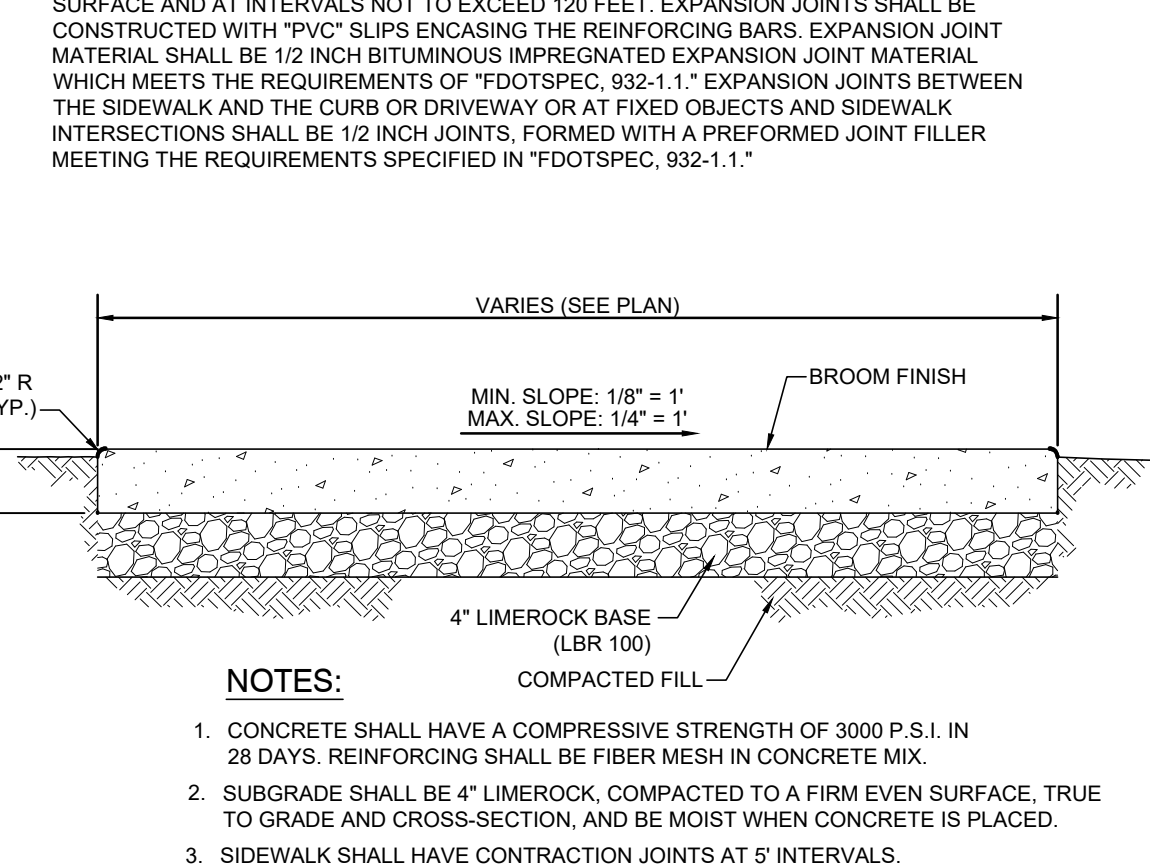
F.D.O.T. "F" CURB AND GUTTER

N.T.S.



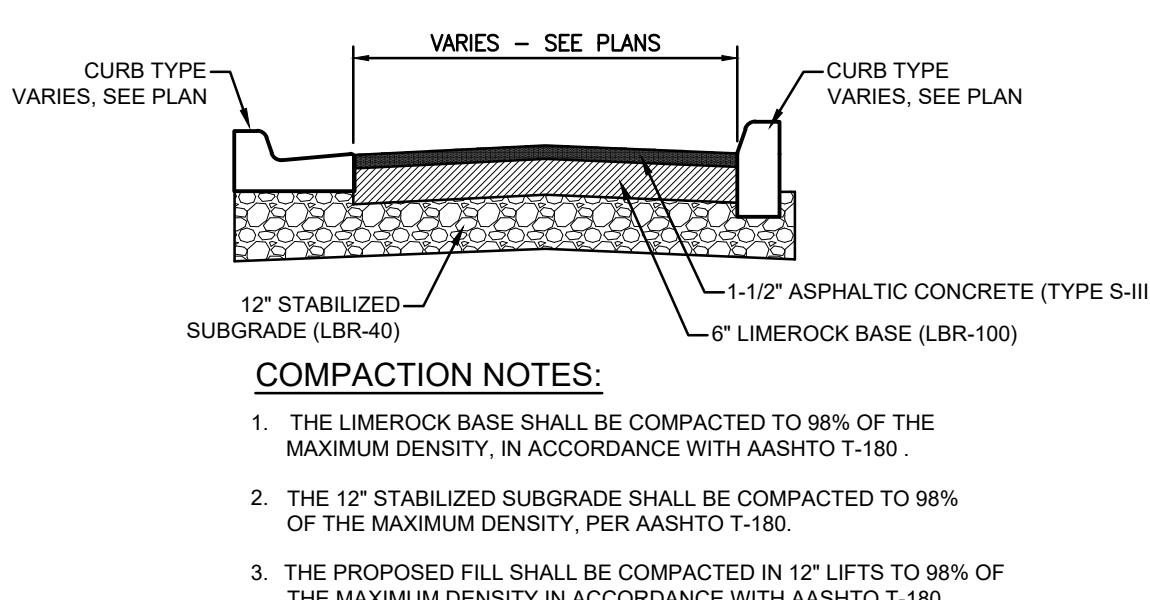
CURB NOTES:

- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
- WHEN USED ON THE HIGH SIDE OF THE ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT, THE THICKNESS OF THE FACE WILL BE LESS.
- CONTRACTION JOINTS FOR CURBS AND GUTTERS, AND VALLEY GUTTERS SHALL BE CONSTRUCTED WITH CONTRACTION JOINTS AT INTERVALS OF 10 FEET EXCEPT WHERE SHORTER INTERVALS ARE REQUIRED FOR CLOSURES, BUT NO JOINT SHALL BE CONSTRUCTED AT INTERVALS OF LESS THAN 4 FEET. SIDEWALKS AND CONCRETE MEDIANS SHALL BE CONSTRUCTED WITH CONTRACTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE WALK OR MEDIAN RESPECTIVELY UNLESS OTHERWISE NOTED ON PLANS. CONTRACTION JOINTS MAY BE OF THE OPEN TYPE OR SAVED. CONSTRUCTION PROCEDURES OF CONTRACTION JOINTS SHALL CONFORM TO THE SPECIFICATIONS SET FORTH IN THE "FDOTSPEC."
- EXPANSION JOINTS FOR CURBS, CURB AND GUTTERS, AND VALLEY GUTTERS SHALL BE CONSTRUCTED WITH EXPANSION JOINTS AT ALL INLETS, ALL RADIUS POINTS, ALL POINTS WHERE OPERATIONS CEASE FOR ANY CONSIDERABLE TIME AT INTERVALS OF NOT MORE THAN 500 FEET. WALKS AND CONCRETE MEDIANS SHALL BE CONSTRUCTED WITH EXPANSION JOINTS AT POINTS OF WALK OR MEDIAN TERMINATION AGAINST AN UNYIELDING SURFACE AND AT INTERVALS NOT TO EXCEED 120 FEET. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH TPVC SLIPS ENCASED THE REINFORCING BARS. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH BITUMINOUS IMPREGATED EXPANSION JOINT MATERIAL WHICH MEETS THE REQUIREMENTS OF "FDOTSPEC, 932-1.1" EXPANSION JOINTS BETWEEN THE SIDEWALK AND THE CURB OR DRIVEWAY OR AT FIXED OBJECTS AND SIDEWALK INTERSECTIONS SHALL BE 1/2 INCH JOINTS, FORMED WITH A PREFORMED JOINT FILLER MEETING THE REQUIREMENTS SPECIFIED IN "FDOTSPEC, 932-1.1."



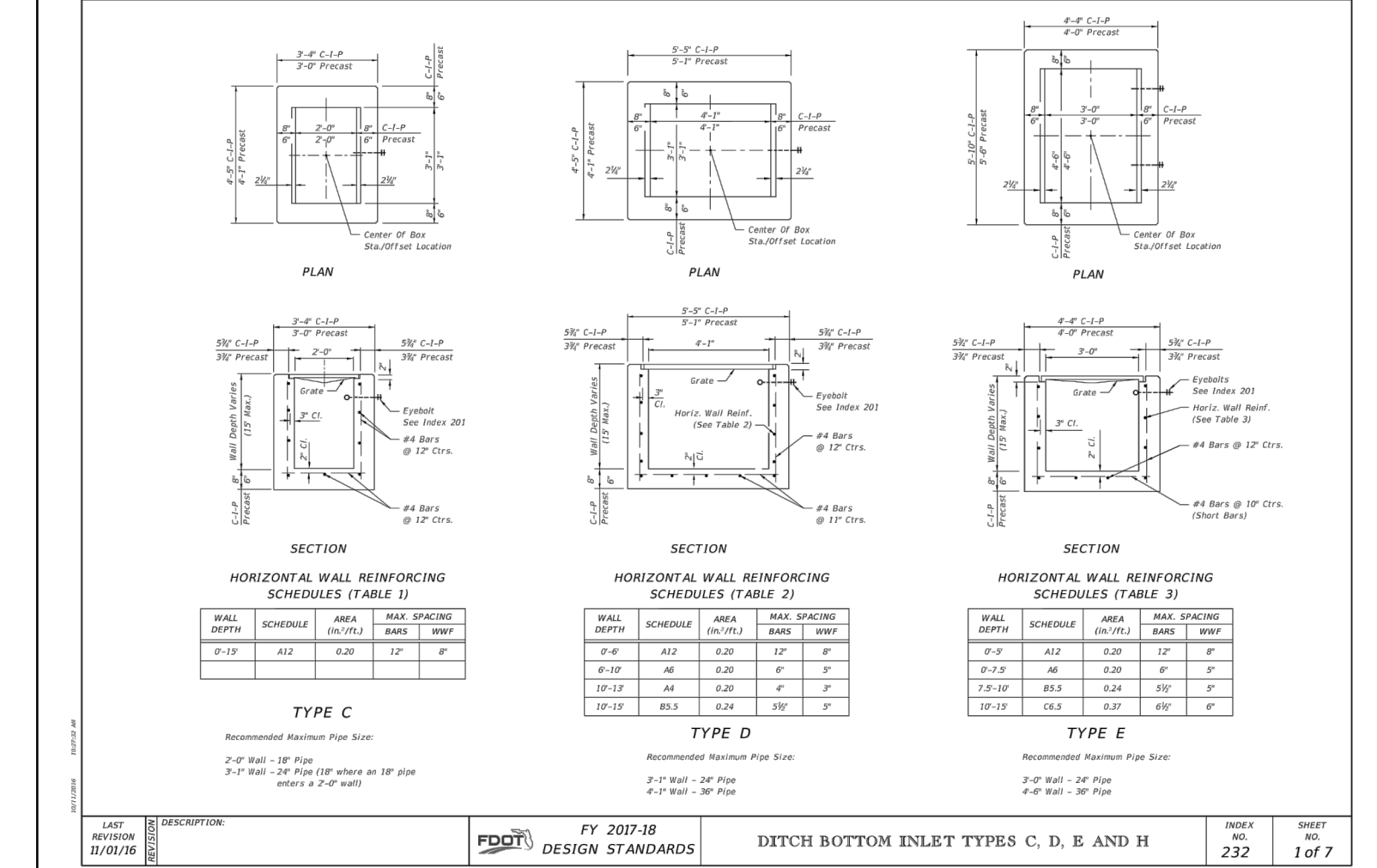
TYPICAL PRIVATE PAVEMENT SECTION

N.T.S.



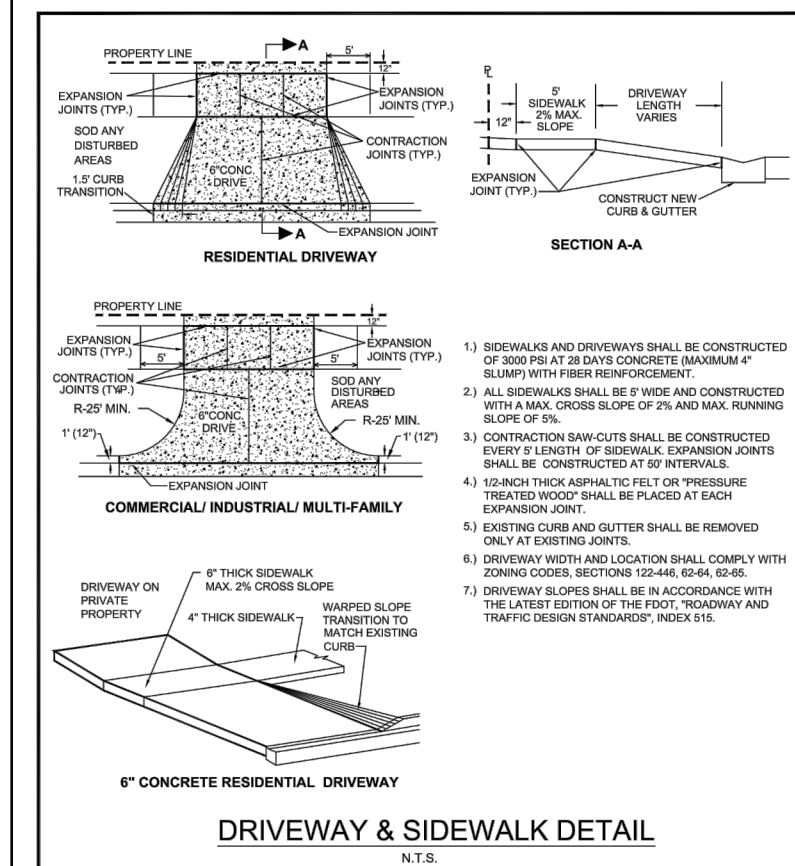
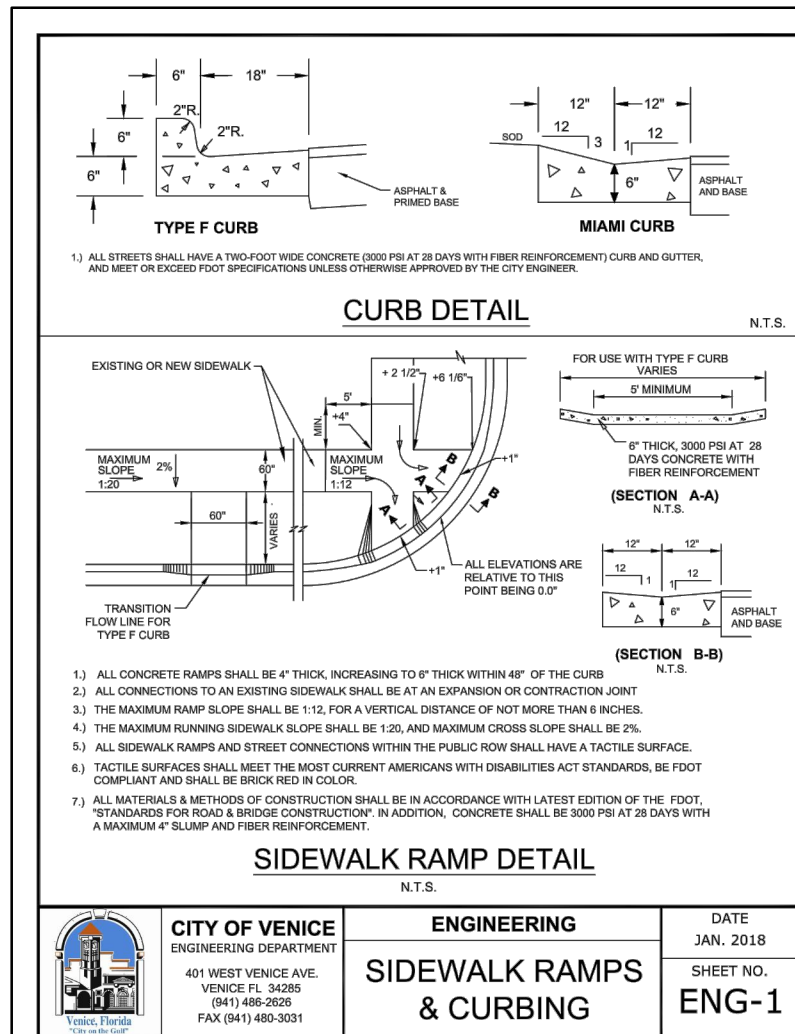
TYPICAL PRIVATE PAVEMENT SECTION

N.T.S.



DRAINAGE NOTE:

ALL INLETS TO HAVE A 24" SUMP BELOW LOWEST PIPE INVERT.

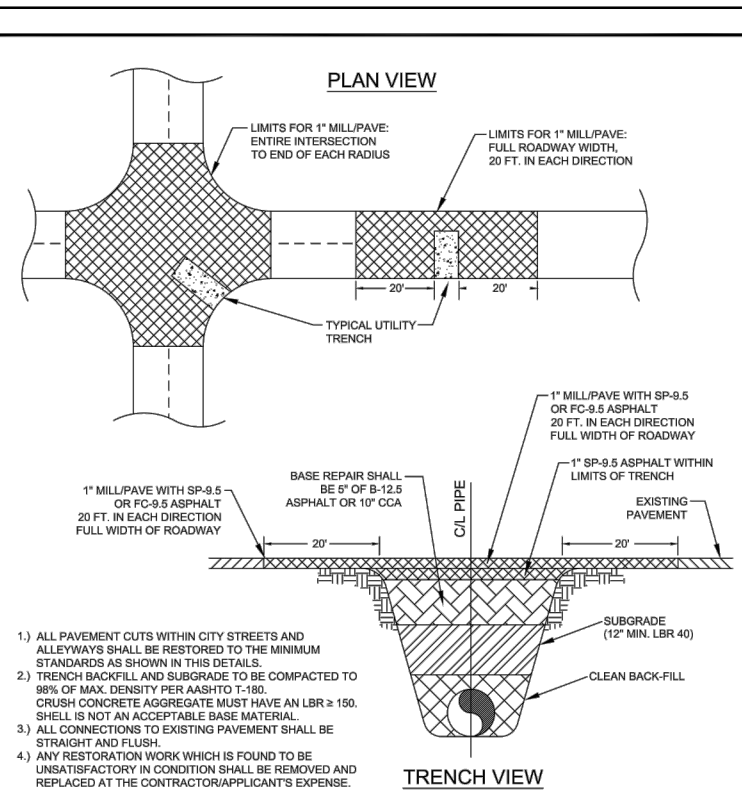


CITY OF VENICE

ENGINEERING DEPARTMENT
401 WEST VENICE AVE.
VENICE, FL 33596
(813) 480-2000
FAX (813) 480-3001

ENGINEERING

SIDEWALK RAMPS & CURBING
SHEET NO. ENG-1
DATE JAN. 2018

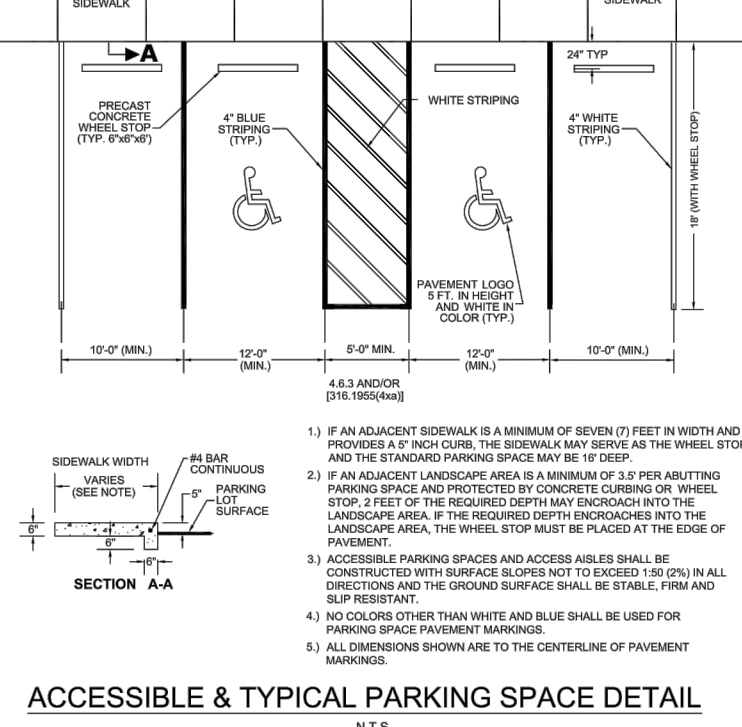


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401 WEST VENICE AVE.
VENICE, FL 33596
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FAX (813) 480-3001

ENGINEERING

PAVEMENT RESTORATION
SHEET NO. ENG-2
DATE JAN. 2018

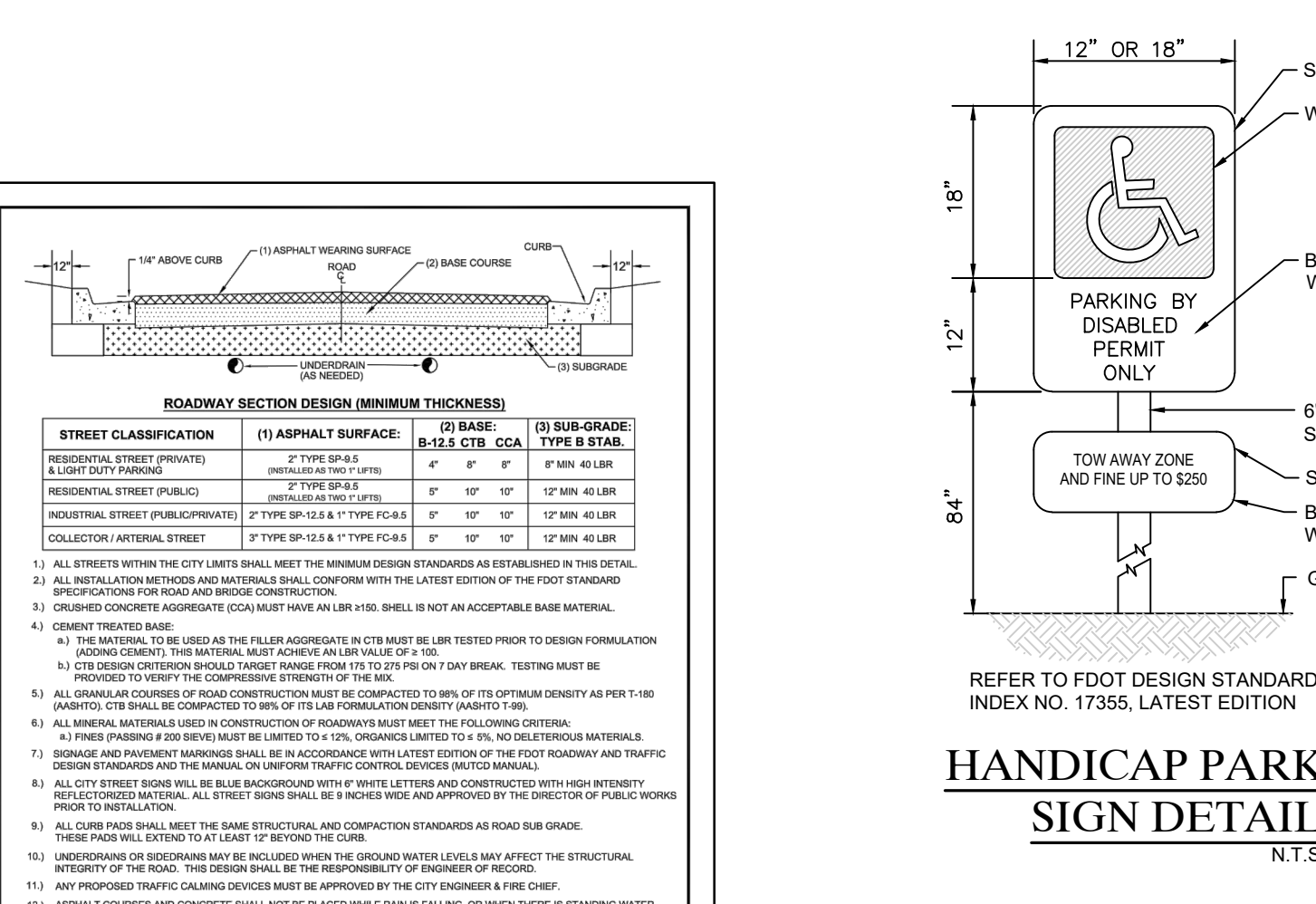
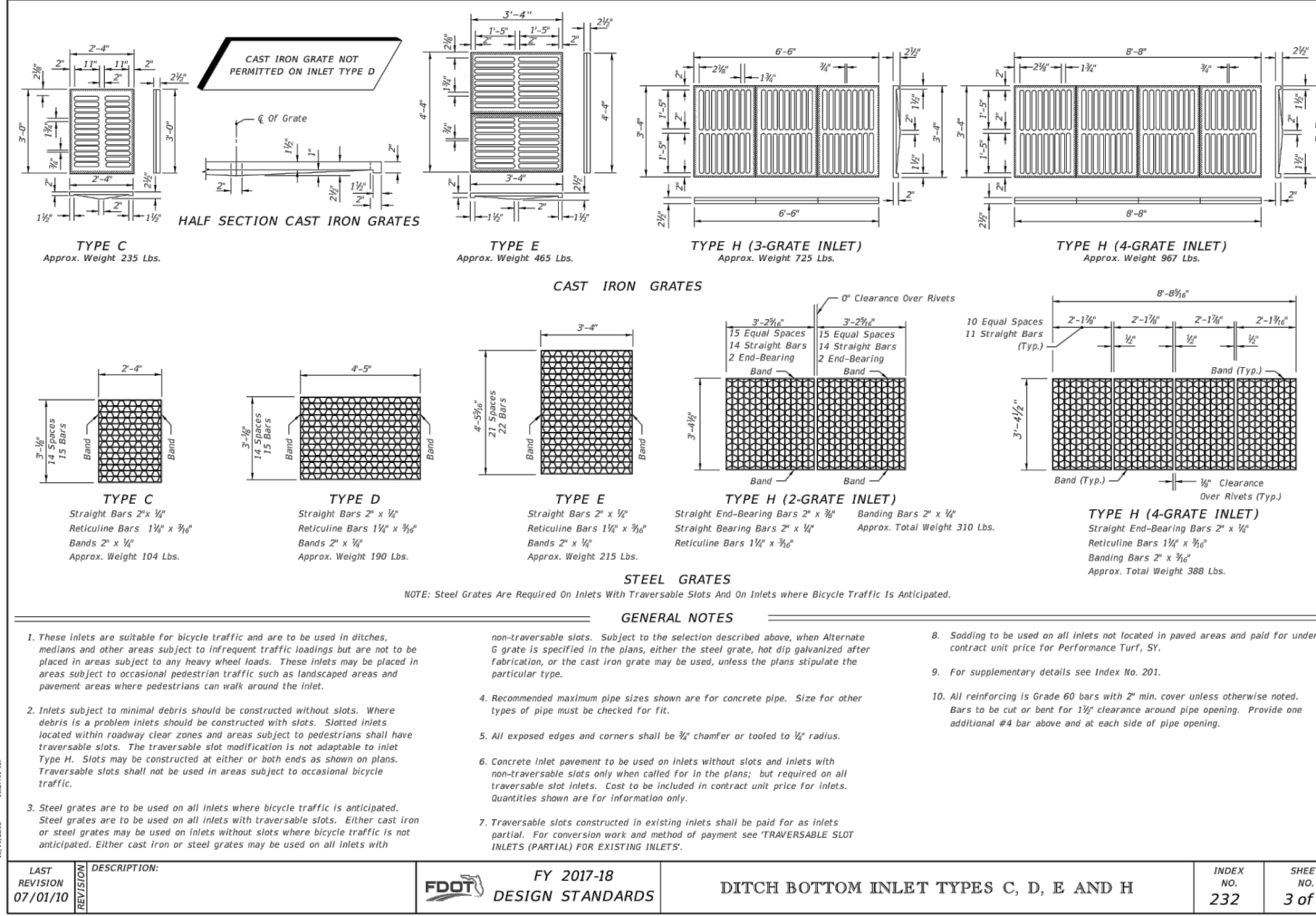


CITY OF VENICE

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ENGINEERING

ACCESSIBLE & TYPICAL PARKING
SHEET NO. ENG-5
DATE JAN. 2018

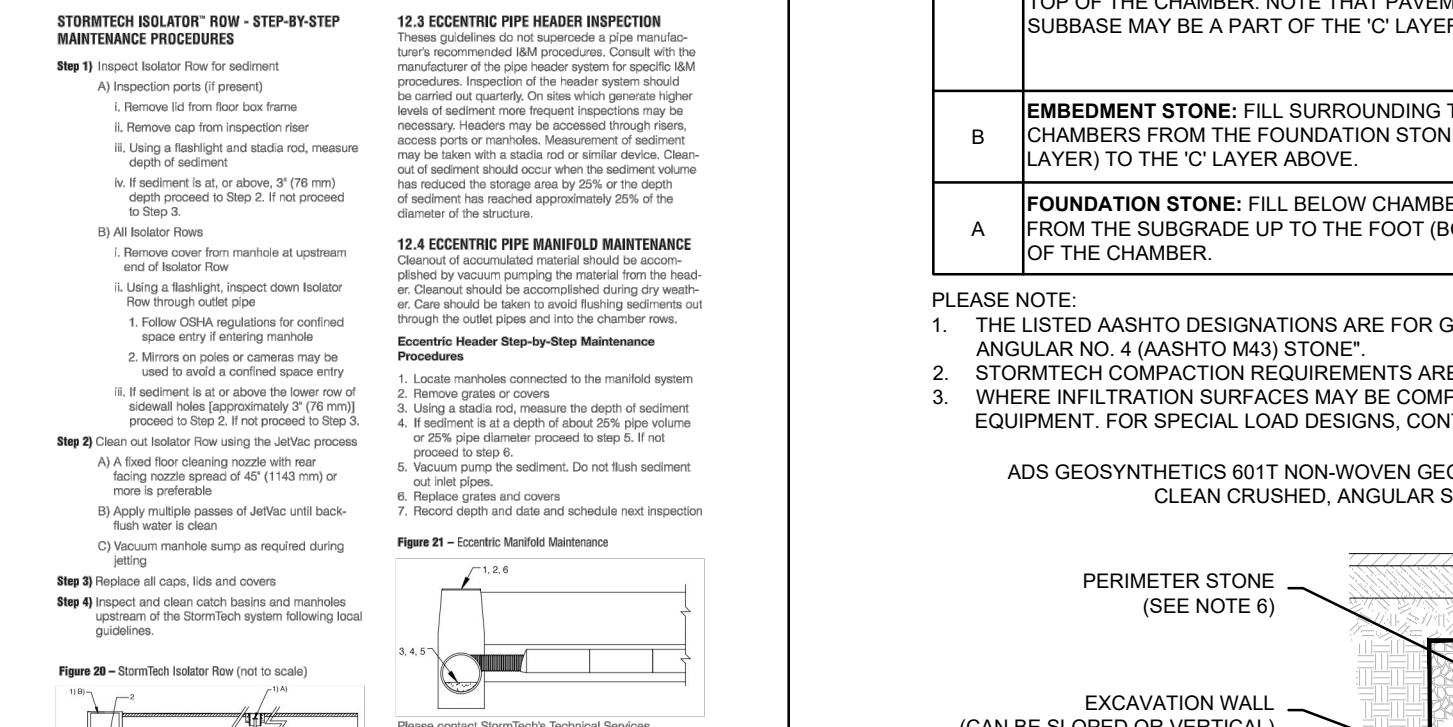


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(813) 480-2000
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ENGINEERING

TYPICAL ROADWAY SECTION
SHEET NO. ENG-3
DATE JAN. 2018

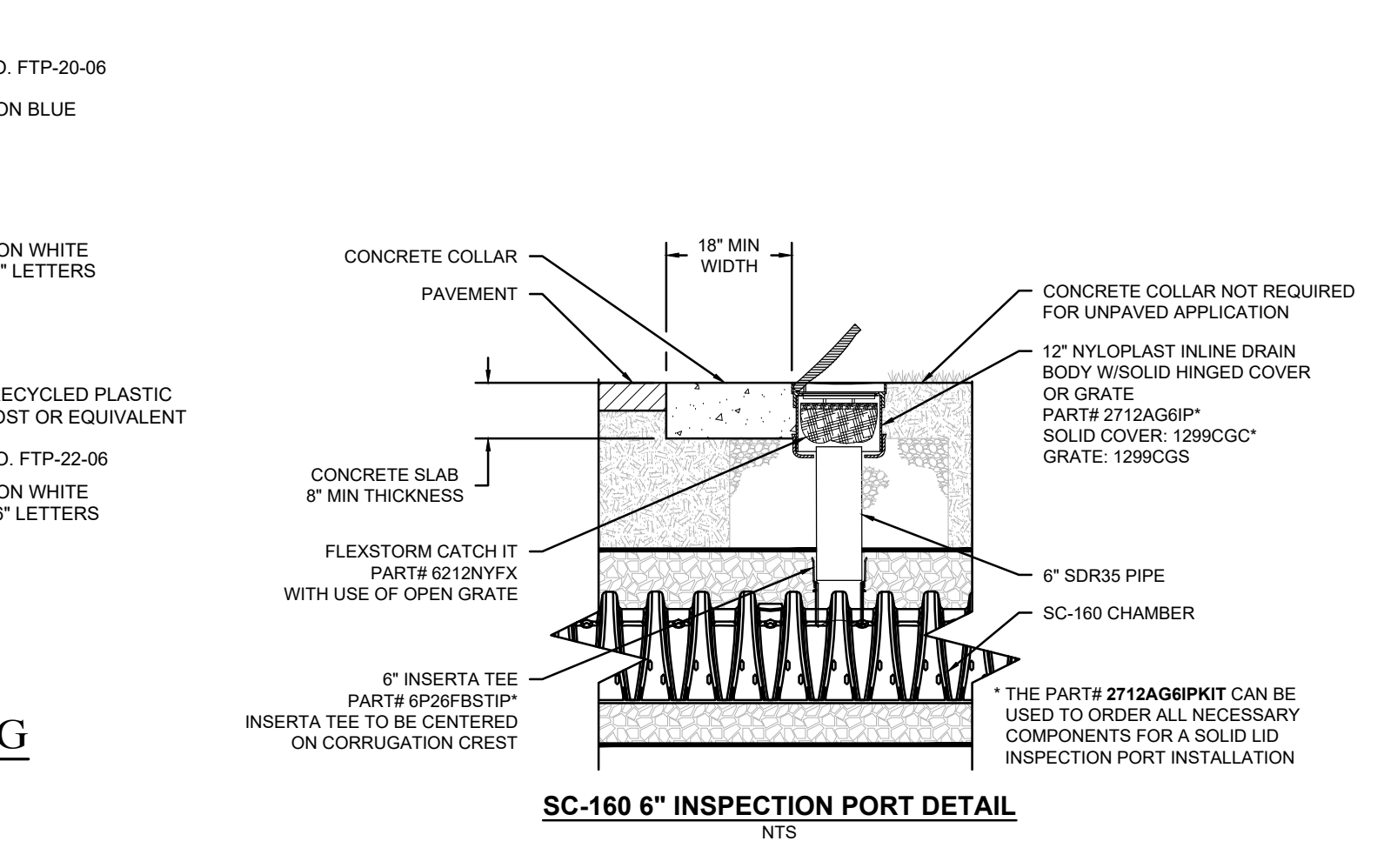
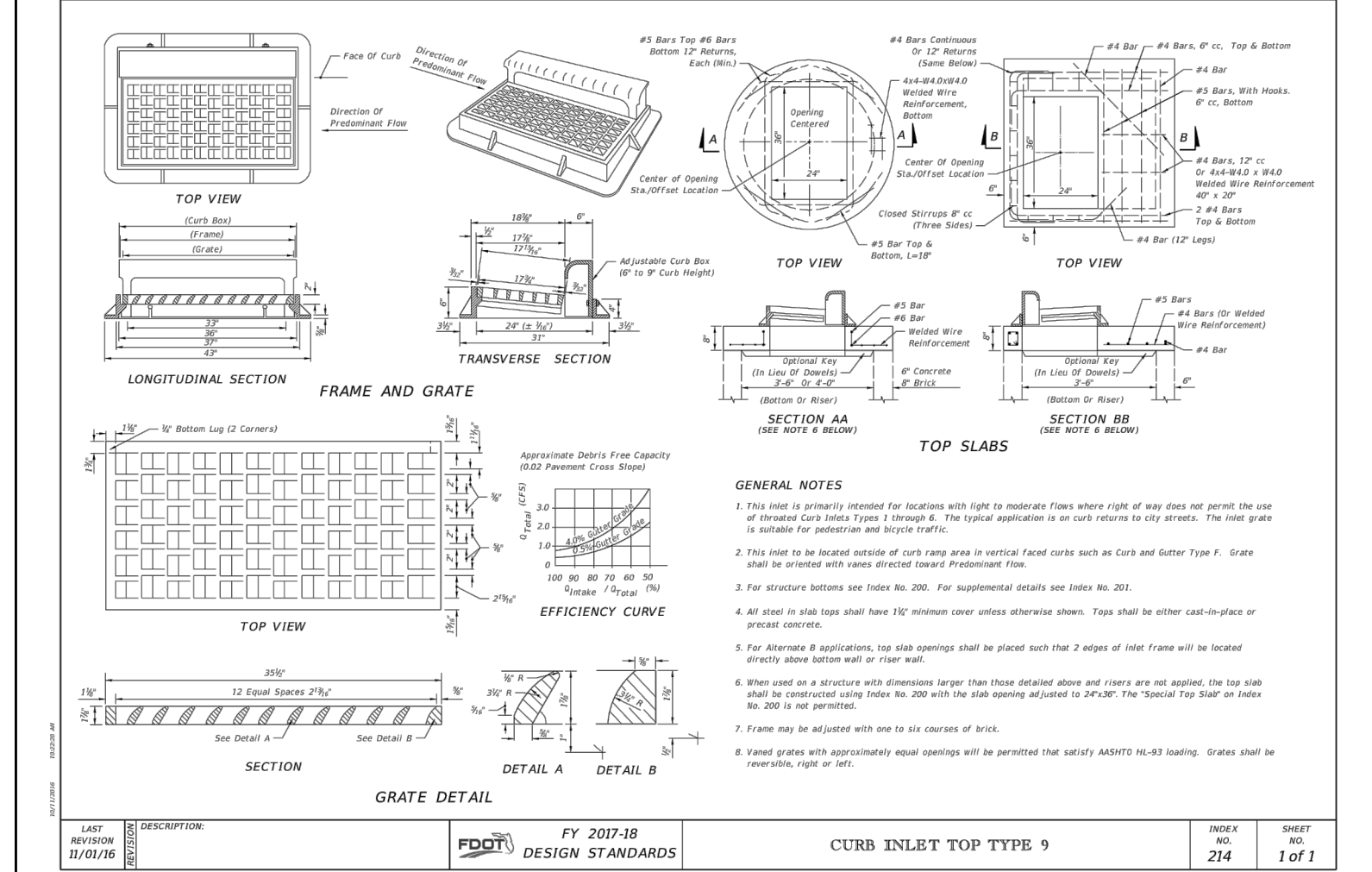


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(813) 480-2000
FAX (813) 480-3001

ENGINEERING

ACCESSIBLE & TYPICAL PARKING
SHEET NO. ENG-5
DATE JAN. 2018

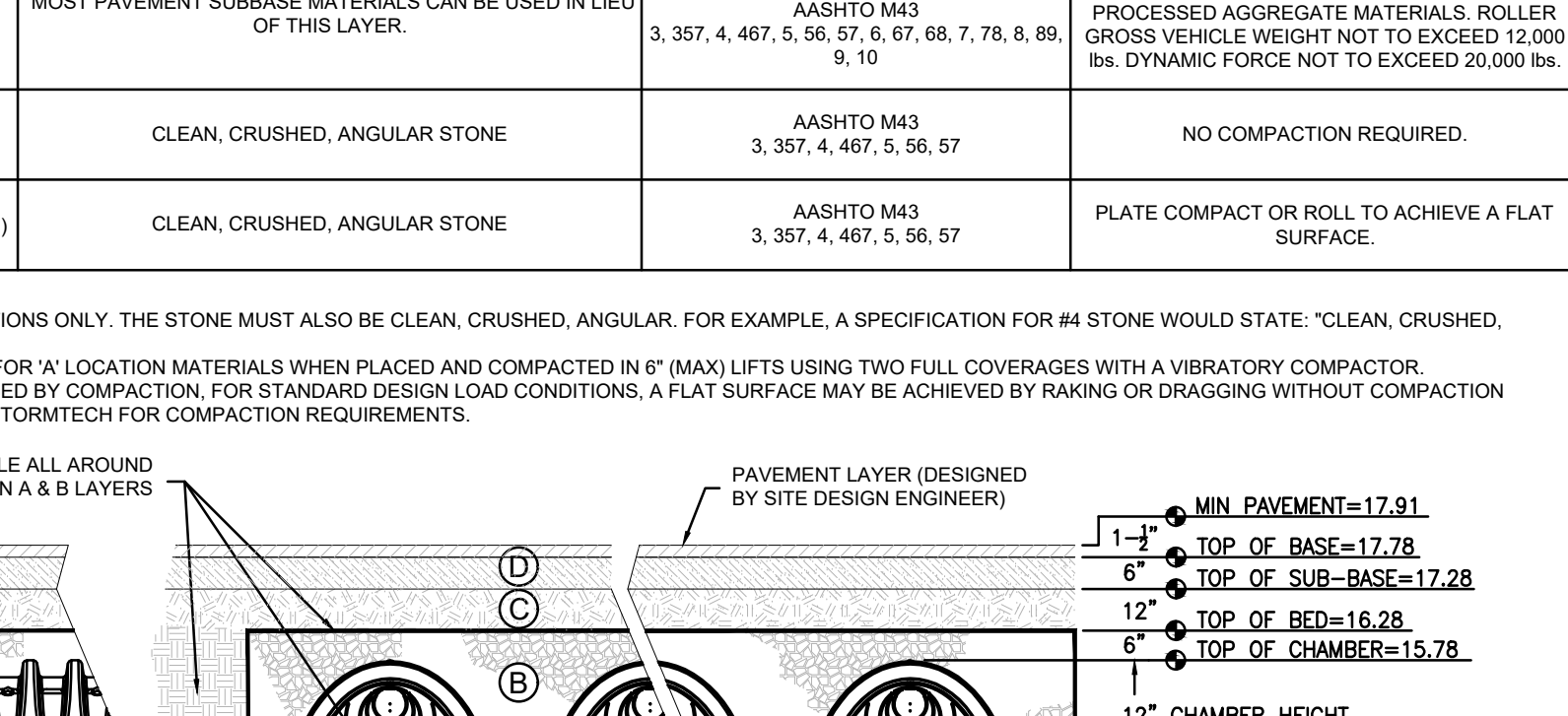


CITY OF VENICE

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401 WEST VENICE AVE.
VENICE, FL 33596
(813) 480-2000
FAX (813) 480-3001

ENGINEERING

TYPICAL ROADWAY SECTION
SHEET NO. ENG-3
DATE JAN. 2018

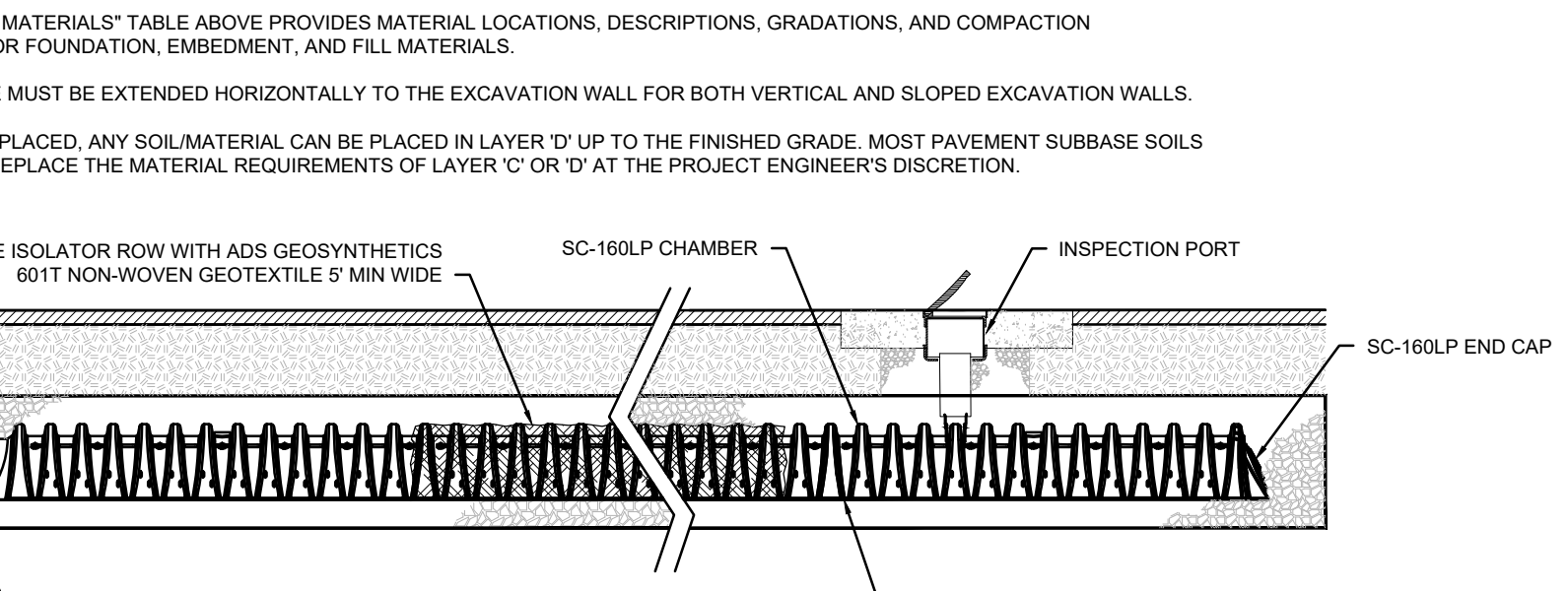


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ENGINEERING

TYPICAL ROADWAY SECTION
SHEET NO. ENG-3
DATE JAN. 2018



CITY OF VENICE

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ENGINEERING

TYPICAL ROADWAY SECTION
SHEET NO. ENG-3
DATE JAN. 2018

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER RMT	7/7/2018
2	REVISED PER RMT	11/14/2018
3	REVISED PER RMT	4/10/2019
4	REVISED PER RMT	5/28/2019
5	REVISED PER RMT	7/7/2019

PROJECT

VENICE FOUR POINTS
BY SHERATON
DRAINAGE DETAILS

CLIENT:

DAUS CAPITAL, LLC
5959 CANOGA AVENUE
SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

SHEET TITLE:

PAVING, GRADING AND
DRAINAGE DETAILS

DATE:

MARCH 8, 2018

PROJECT NO.:

2016-007

FILE NO.:

18 395 19E

SCALE:

AS NOTED

SHEET NUMBER

C.06

Inspection Information



Inspection Summary

Suntree Technologies, Inc.* recommends the following inspection guidelines:

The Bold & Gold® media is positioned vertically between two layers of river rock. The layer of rock below the Bold & Gold® should be 6"-10" thick and the layer above should be 6" thick. The Bold & Gold® layer itself should be 30" thick and is possible to never need servicing. To determine if the media bed requires servicing, visually inspect the top layer of the media bed for any type of debris. It is safe to assume that the top layer of the media bed is the only place that would accumulate any debris. The decision to service the NRFS® is based on the amount of debris accumulated on top of the media bed and if it is negatively impacting treatment flow rates. All inspections must be documented using the included inspection checklist.

- Visually inspect the vault from the surface for broken or missing hinges / handles.
- Open all access points (Manholes / Hatches) and secure each of them properly.
- Visually inspect the sediment chamber to determine the approximate accumulated sedimentation capacity.
- Inspect the conditions of all joints and the inflow / outflow pipe grout areas for cracks and wear.

Nutrient Removing Filtration System™ Operation and Maintenance Manual

NRFS® Inspection Checklist



Inspection Checklist and Maintenance Guidance: Nutrient Removing Filtration System™

* To be Completed at Time of Inspection or Maintenance.

Owner Name: DAUS CAPITAL, LLC

Location: VENICE FOUR POINTS BY SHERATON

Address: 775 S. TAMiami TRAIL, VENICE, FL 34285

Phone:

Date & Time:

Site Conditions:

Inspection Items	Recommended Interval	Comments
1 Access Openings	Quarterly	
2 Sediment Chamber	Quarterly	
3 Vault Condition	Quarterly	

- 1 Inspection items are to determine accessibility into the Nutrient Removing Filtration System™.
- 2 Inspect sediment chamber for estimated quantity.
- 3 Inspect general condition of vault for any clogged areas.

Maintenance Items	Volume Collected	Date	Comments
1 Sediment Chamber			

- 1 After opening access points, vacuum out sediment chamber. (Estimate Volume Collected)

Nutrient Removing Filtration System™ Operation and Maintenance Manual

Service Requirements and Parts



Minimum Equipment Requirements

The use of a vacuum truck is required for servicing of the Nutrient Removing Filtration System™. Service crews are recommended to check all local, state and federal guidelines for servicing and disposal of any collected debris and sediments.

Structural Components

The structural components of the NRFS® are designed to have a life span of several decades. Structural inspections are not required unless stipulated in guidelines set by the local municipality, state or federal agencies.

Replacement Parts

All interior components are designed and sized to be assembled and removed from the NRFS® for servicing or for parts replacement. This can easily be accomplished via the access ports atop the structure.

For any replacement parts or further instructions please contact Suntree Technologies, Inc.*:

Suntree Technologies Inc.*
798 Clearlake Road, Suite 2
Cocoa, Florida 32922

Phone: 321.637.7552
Fax: 321.637.7554
Web: www.suntreetech.com
Email: info@suntreetech.com

Nutrient Removing Filtration System™ Operation and Maintenance Manual

Caution!

Any Service Work done in Traffic Areas must meet all DOT Roadway Work guidelines and necessary Safety Procedures.

Warning!

All OSHA confined space requirements must be met while cleaning any of the Nutrient Removing Filtration System™ structures.

NRFS® Maintenance



Maintenance Summary

The Nutrient Removing Filtration System™ is easily serviced with the use of a vacuum truck combined with the equipped HydroSlide® service system. The HydroSlide® system allows the media to be back flushed and reused during servicing without removal. Furthermore, the vacuum system eliminates the need for confined space entry.

Vacuum Servicing

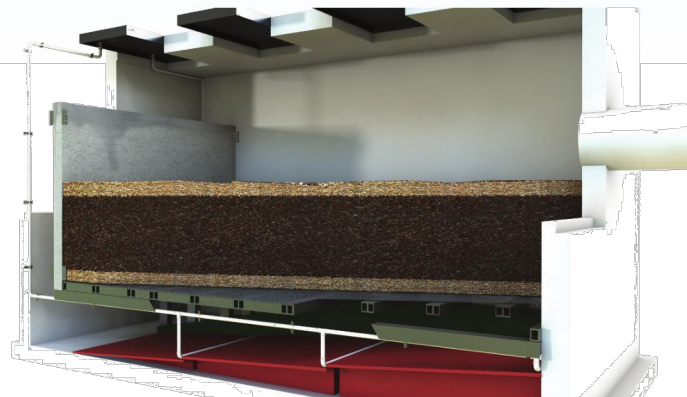
- Remove the manhole covers or open hatches.
- Lower the vacuum truck hose into the vault closest to the inflow pipe.
- Attach the vacuum truck water supply hose to the HydroSlide® service system quick connector.
- Start the HydroSlide® service system using the vacuum truck hose while operating the vacuum line. Debris will be quickly and easily flushed toward the vacuum line and removed.
- Remove vacuum line and disconnect truck water supply hose.
- Replace manhole covers or close top hatches.



The use of a vacuum truck allows for easy debris removal without entering the structure.



HydroSlide® quick connector with vacuum truck water supply hose attached for debris removal.



Each Nutrient Removing Filtration System™ comes equipped with the HydroSlide® service system (seen below the media in above image) for easy maintenance via a vacuum truck.

Nutrient Removing Filtration System™ Operation and Maintenance Manual

Bold & Gold® Replacement



Media Replacement Procedure (If Necessary)

It is estimated that the physical filtration and biological activity of Bold and Gold® may last indefinitely. However, the sorbent surface bonding may diminish after a period of 15 years and therefore may require replacement. It is important to determine a baseline removal efficiency of the unit when the system is first installed. If it is determined that the Bold & Gold® is to be replaced, proceed with the following steps for replacement:

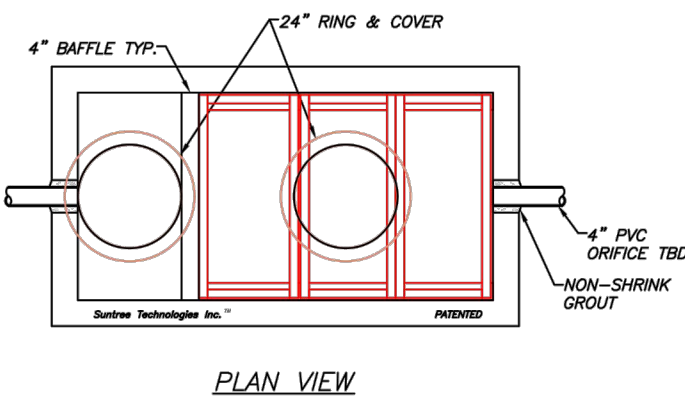
- 1 Determine the appropriate amount of Bold & Gold® needed for replacement by first contacting Suntree Technologies Inc® or your local distributor. Stone can be purchased from local distributors.
- 2 Open all access points.
- 3 Using a vacuum truck, suction out all media and stone from the media bed. When the vacuum line reaches the lower layer of stone be careful to not move or dismount the underdrain. The underdrain pipes will not be glued into the pipe fittings and can be disassembled to more easily remove the stone and debris underneath the pipes.
- 4 Reassemble the underdrain pipe system.
- 5 Install the new stone around the underdrain pipes to a depth of 10" thick. Be careful when placing the stone over the underdrain pipes to avoid any damage.
- 6 Install the new Bold & Gold® to form a layer 30" thick.
- 7 Install the top layer of stone to form a 6" thick layer.
- 8 Close all access points.

Nutrient Removing Filtration System™ Operation and Maintenance Manual

SUNTREE TECHNOLOGIES INC.™ NUTRIENT REMOVING FILTRATION SYSTEM™ MODEL NO: NRFS-4-8-96

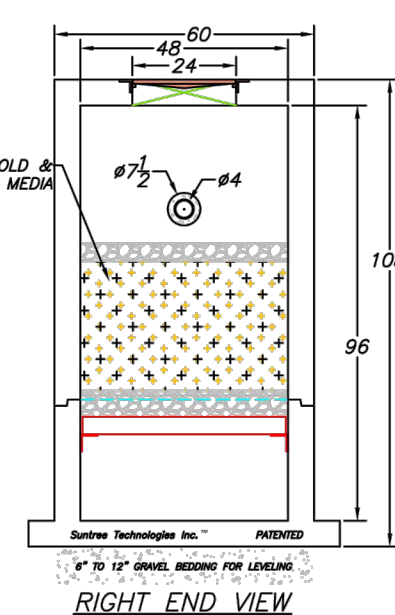
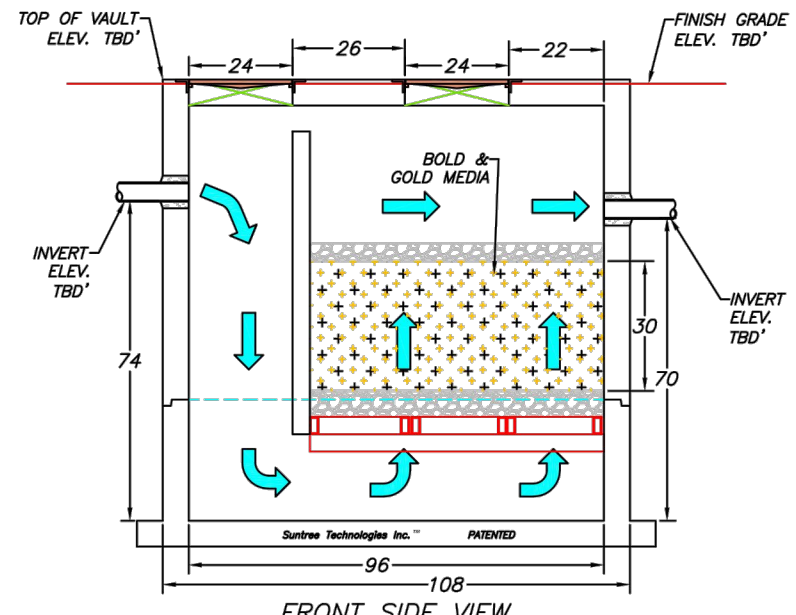
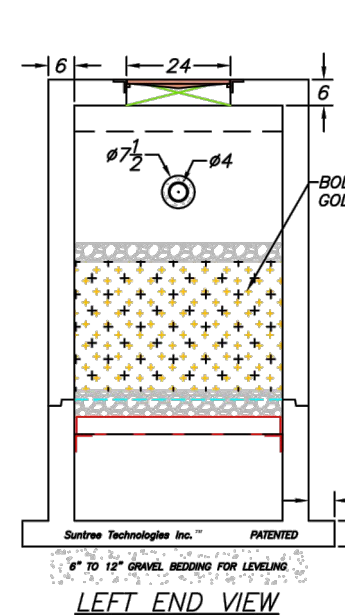
GENERAL NOTES:

1. Pipe inflow area = TBD ft²
2. Cubic feet of Media = 56.66 ft³
3. Cubic feet of Rock = 18.88 ft³
4. FLOOR OF VAULT TO HAVE HYDRO-SLIDE SYSTEM.
5. CONCRETE 28 DAY COMPRESSIVE STRENGTH FC=5000 PSI
6. REINFORCING: ASTM A-615 GRADE 60
7. SUPPORTS AN H20 LOADING AS INDICATED BY AASHTO.
8. JOINT SEALANT: BUTYL RUBBER SS-S-00210
9. ALL WALLS 6", BOTTOM 6", & TOP TO BE 6"
10. INFLOW AND OUTFLOW PIPES ARE TO BE FLUSH WITH THE INSIDE SURFACE OF THE CONCRETE STRUCTURE. (CAN NOT INTRUDE BEYOND FLUSH)
11. MANUFACTURER TO SUPPLY ALL MATERIALS UNLESS OTHERWISE NOTED
12. MINIMUM CRITICAL DIMENSIONS ARE SHOWN IN A PENTAGON BLOCK



INSTALLATION NOTES:

1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM OF 8" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
3. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). ALL PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
4. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
5. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES (UNLESS CAST INTO THE TOP). CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISH SURFACE UNLESS SPECIFIED OTHERWISE.
6. HEAVIEST PICK POINT TO BE 19,000 LBS.



PATENTED
AND PATENTS PENDING

Suntree Technologies Inc.
798 Clearlake Road, Cocoa, Florida 32922
PH: 321-637-7552, Fax: 321-637-7554

PROJECT NO:	CAD:	REVISIONS:	DATE:
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PROJECT NAME:			
VENICE FOUR POINTS			
BY SHERATON			
CHECKED BY: ---			
PO # 00000			
00-00-00-00-00			

REVISIONS		DATE
NO.	DESCRIPTION	
5	REVISED PER RM5	7/17/19

RONALD M. EDENFELD, P.E.
FLORIDA LICENSE NO. 45200



CLIENT: DAUS CAPITAL, LLC
5959 CANOGA AVENUE
SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

PROJECT: VENICE FOUR POINTS
BY SHERATON
775 S. TAMiami TRAIL
VENICE, FLORIDA 34286
SARASOTA COUNTY, FLORIDA

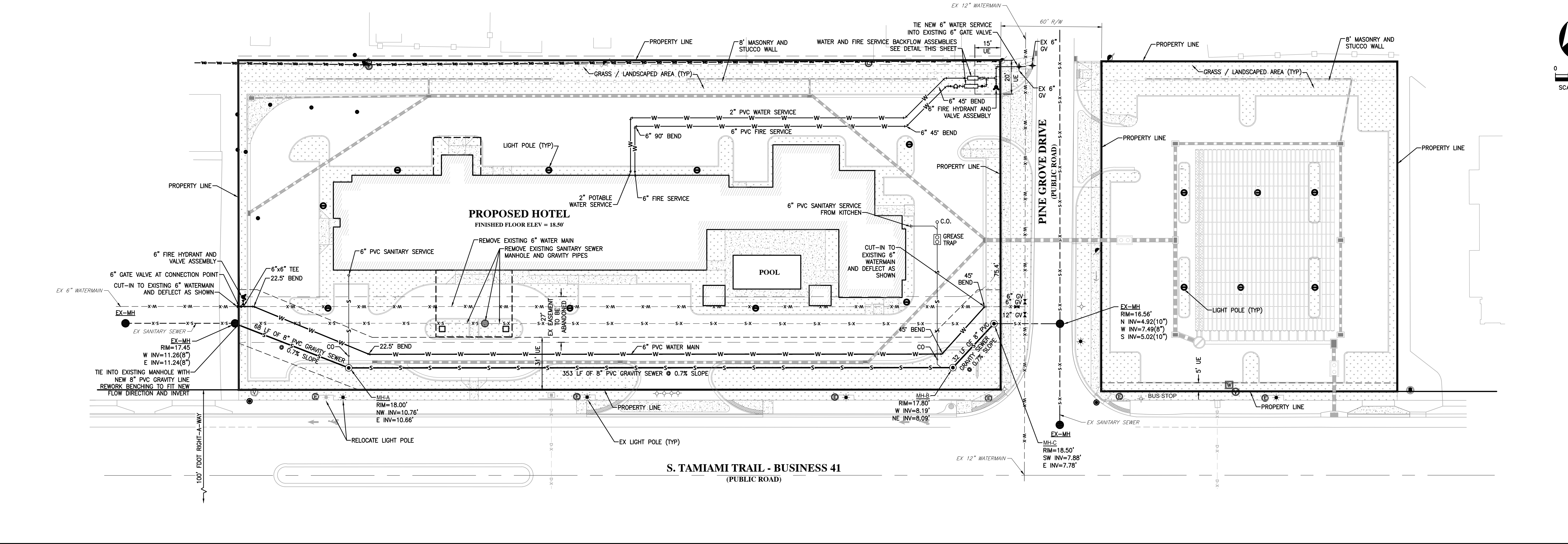
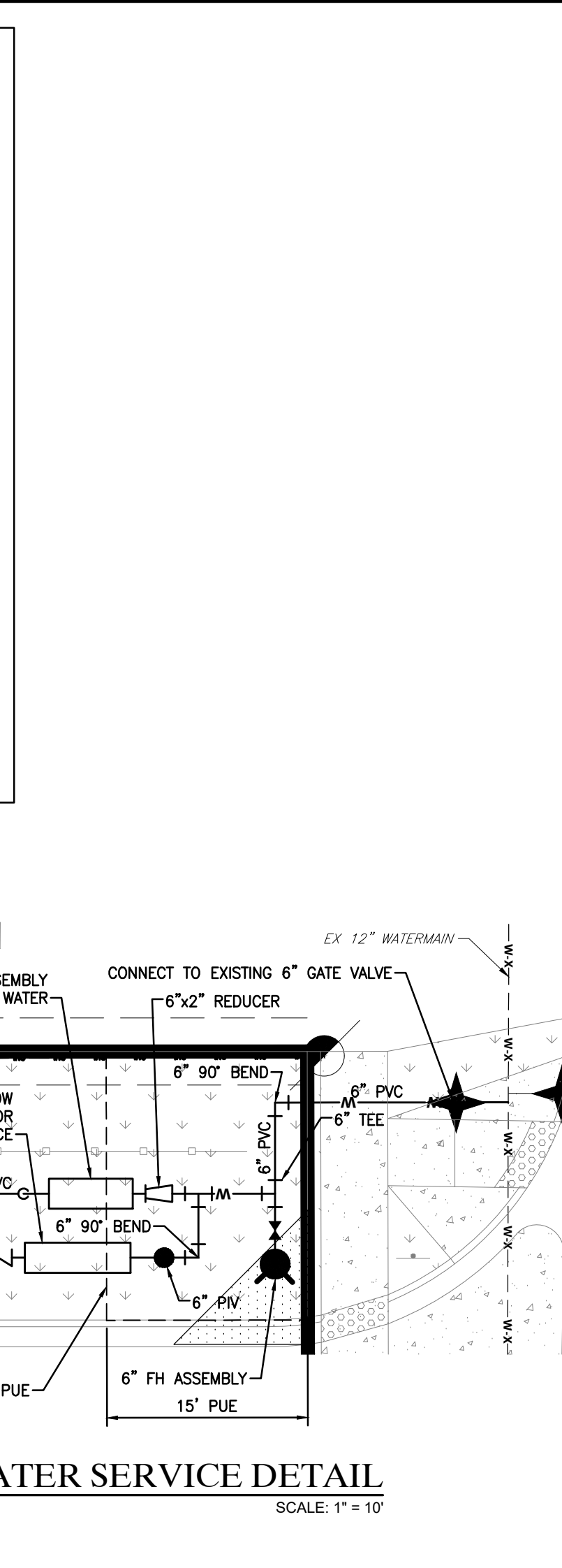
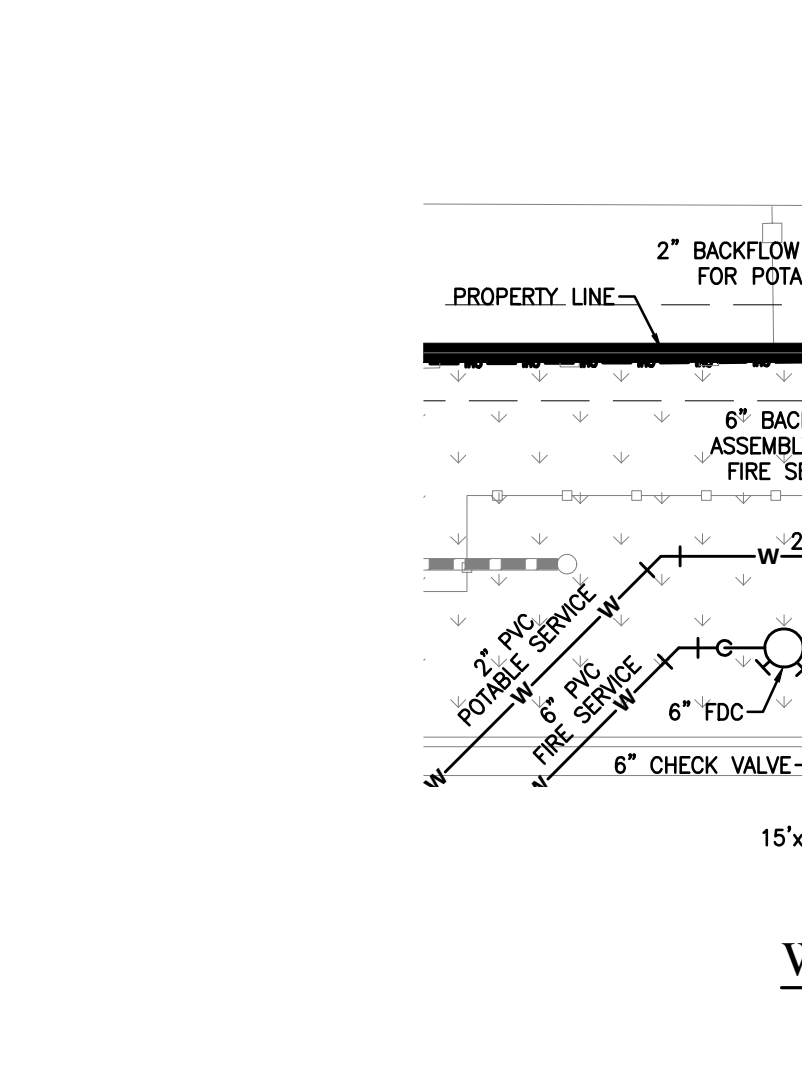
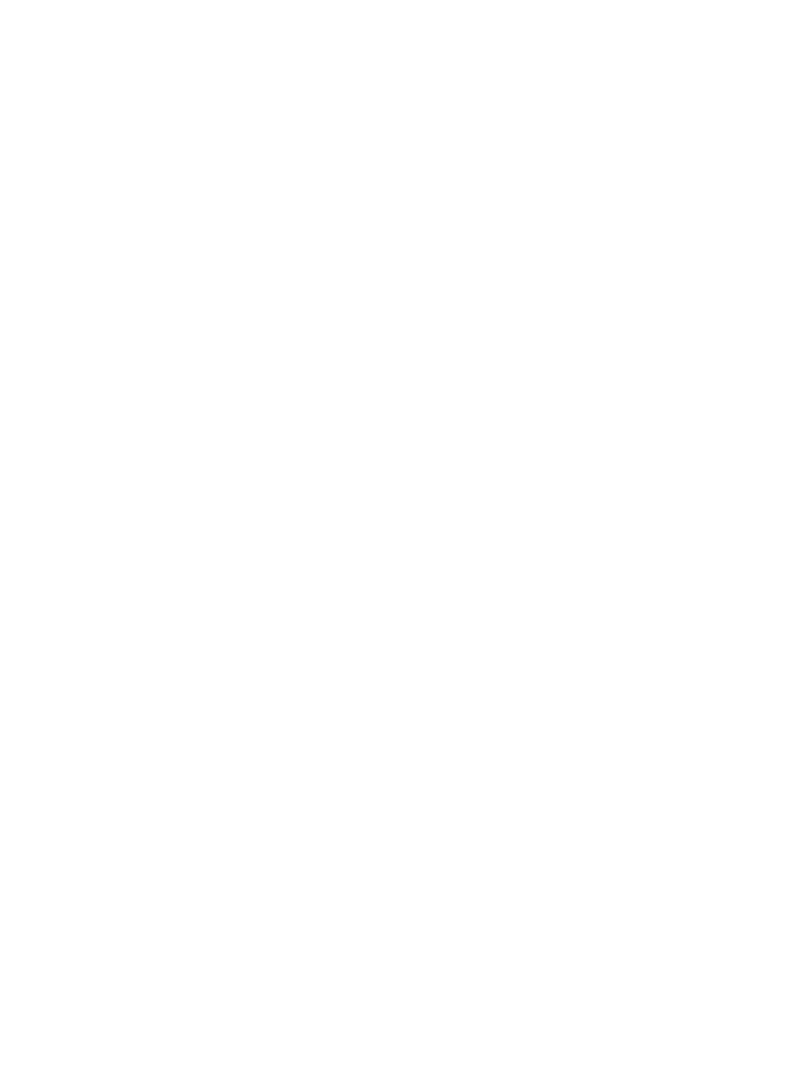
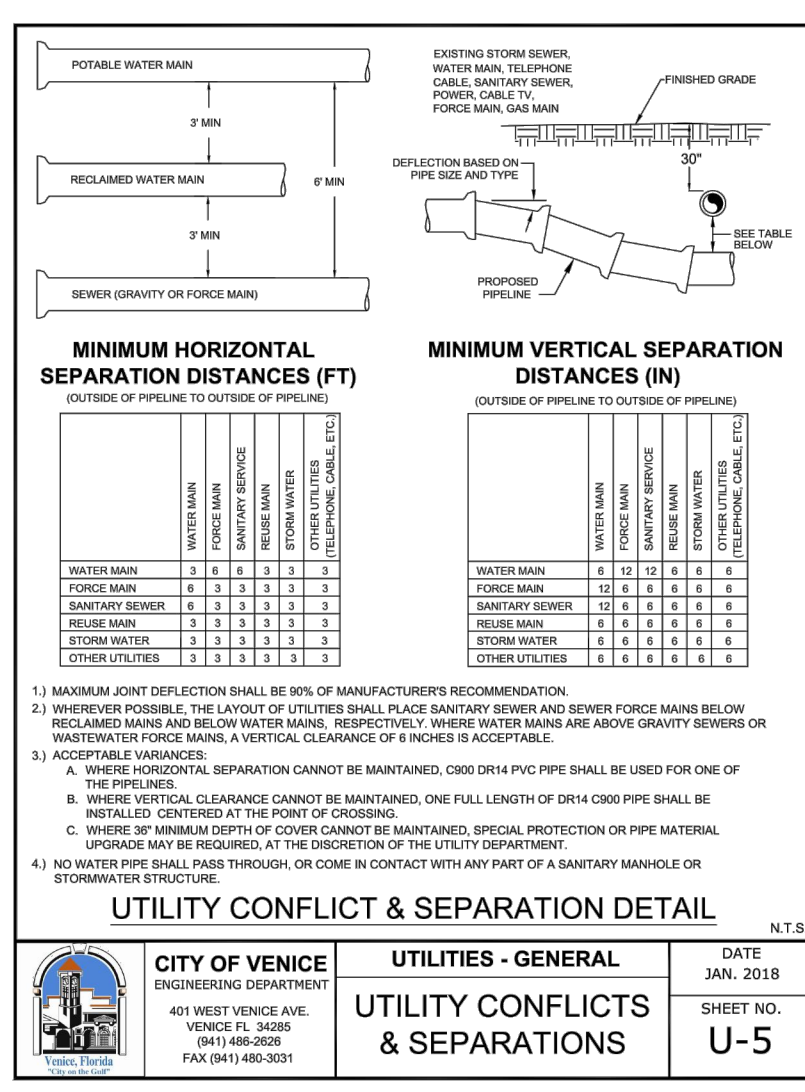
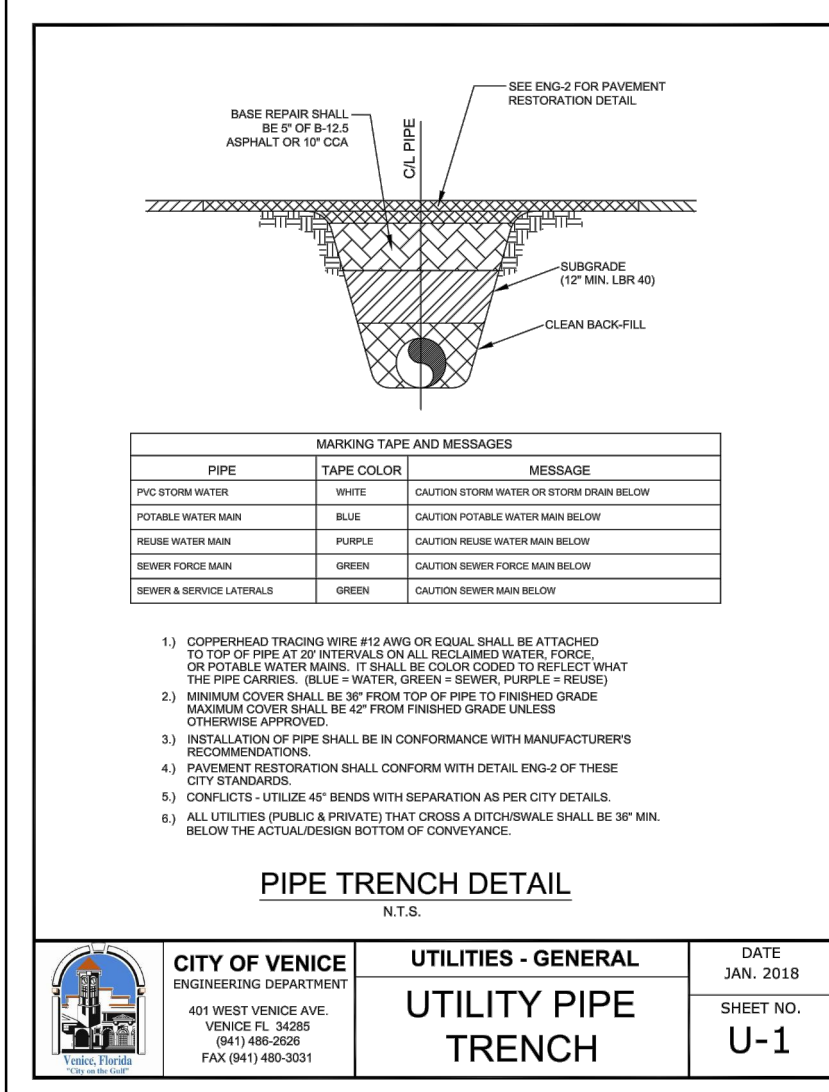
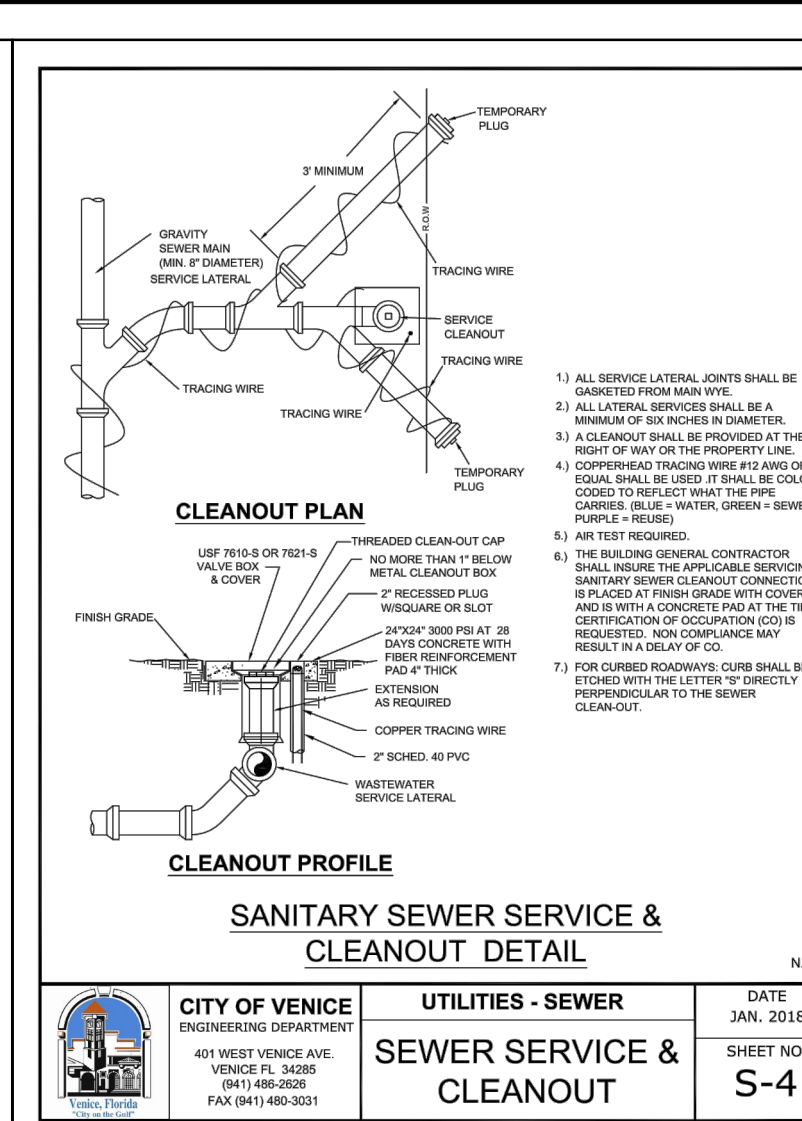
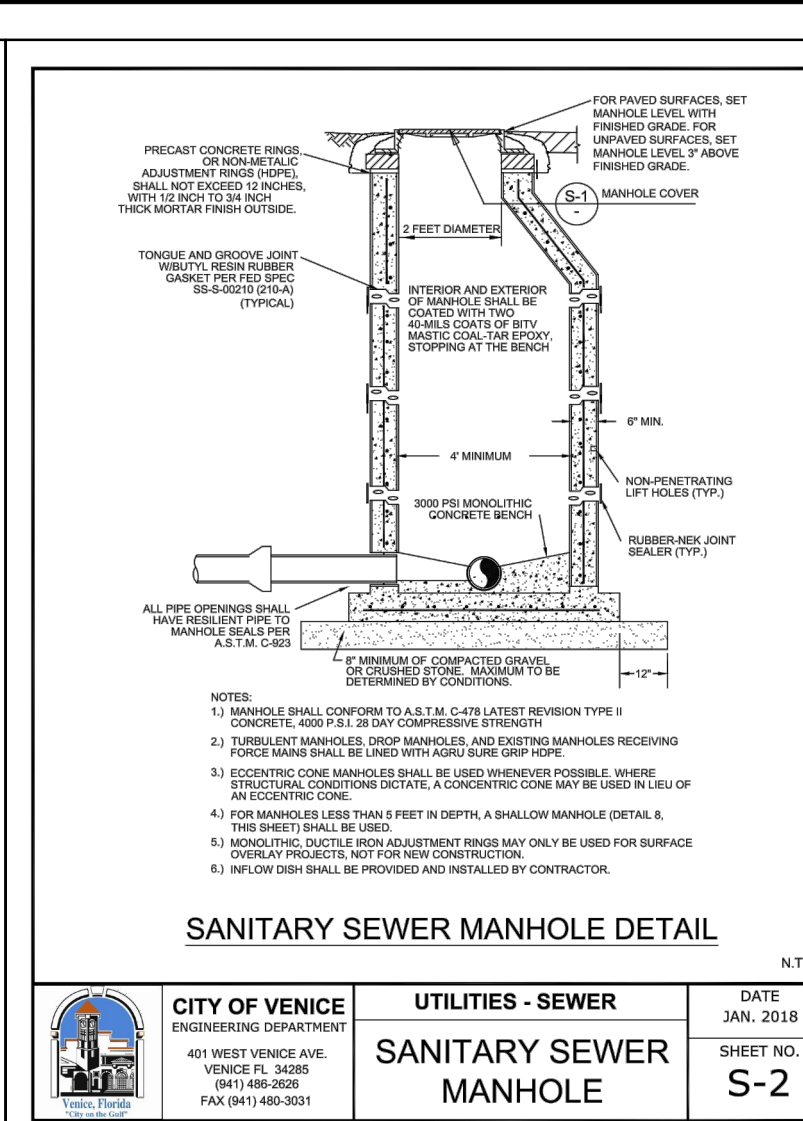
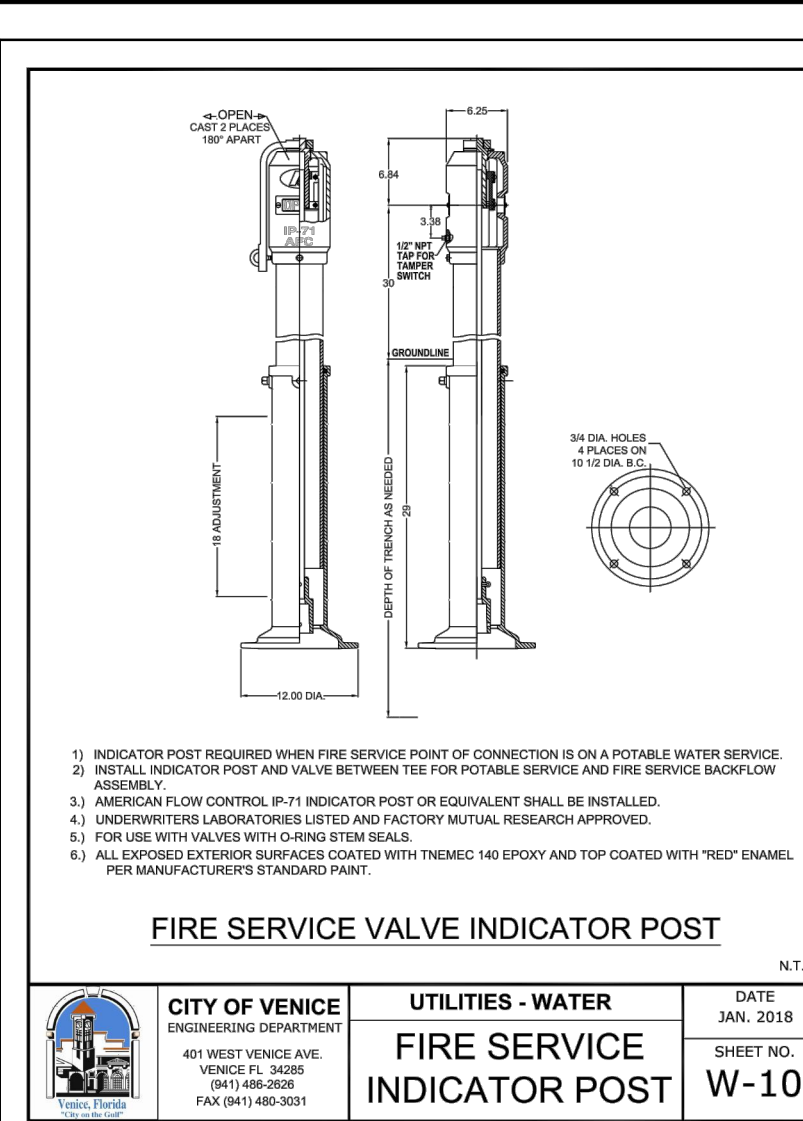
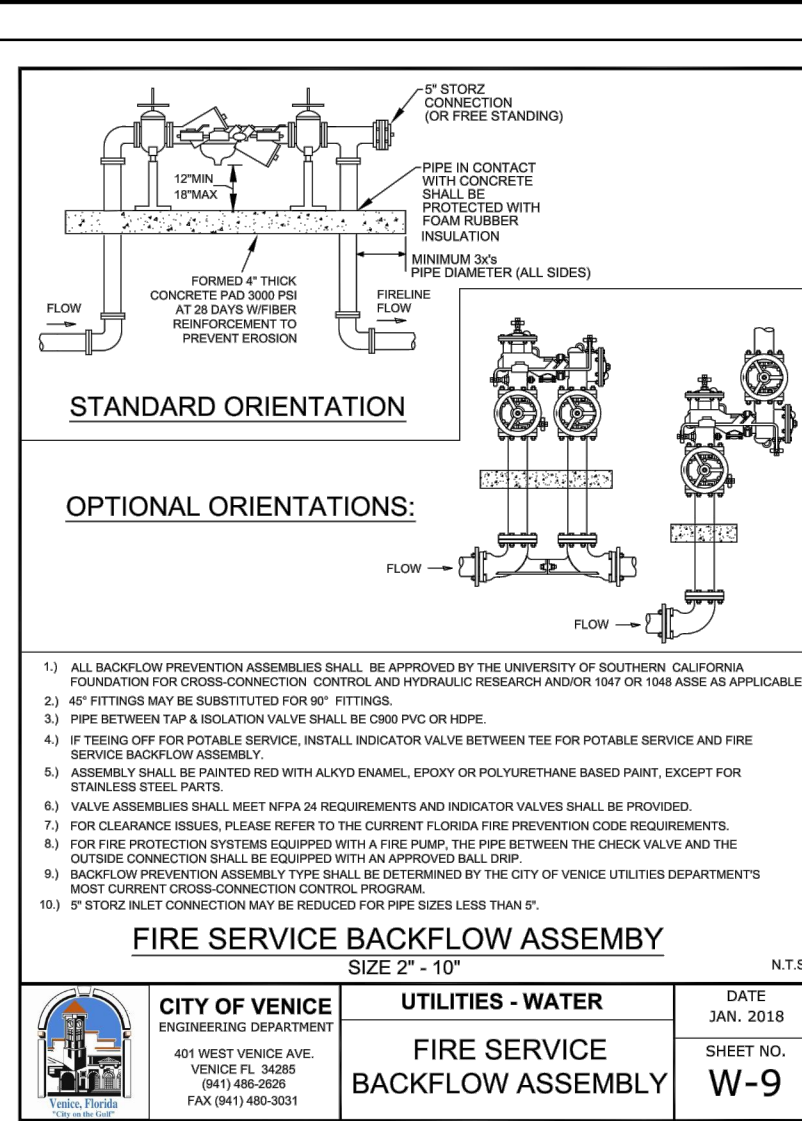
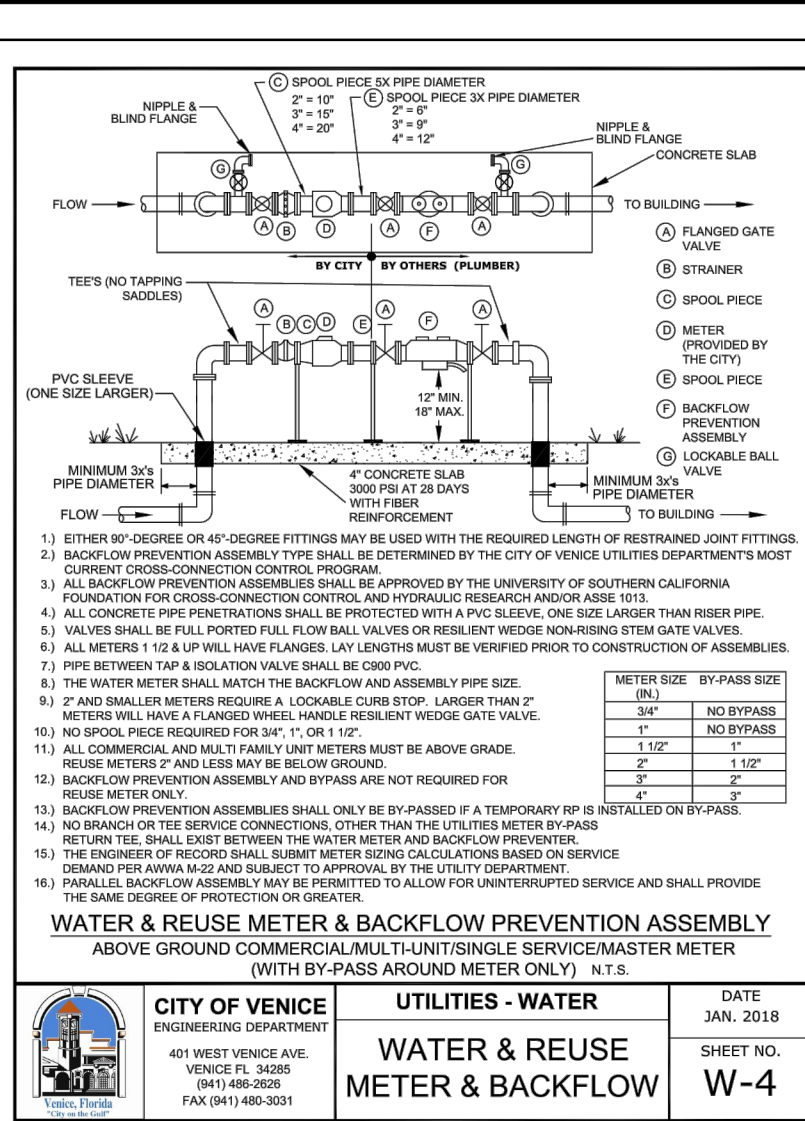
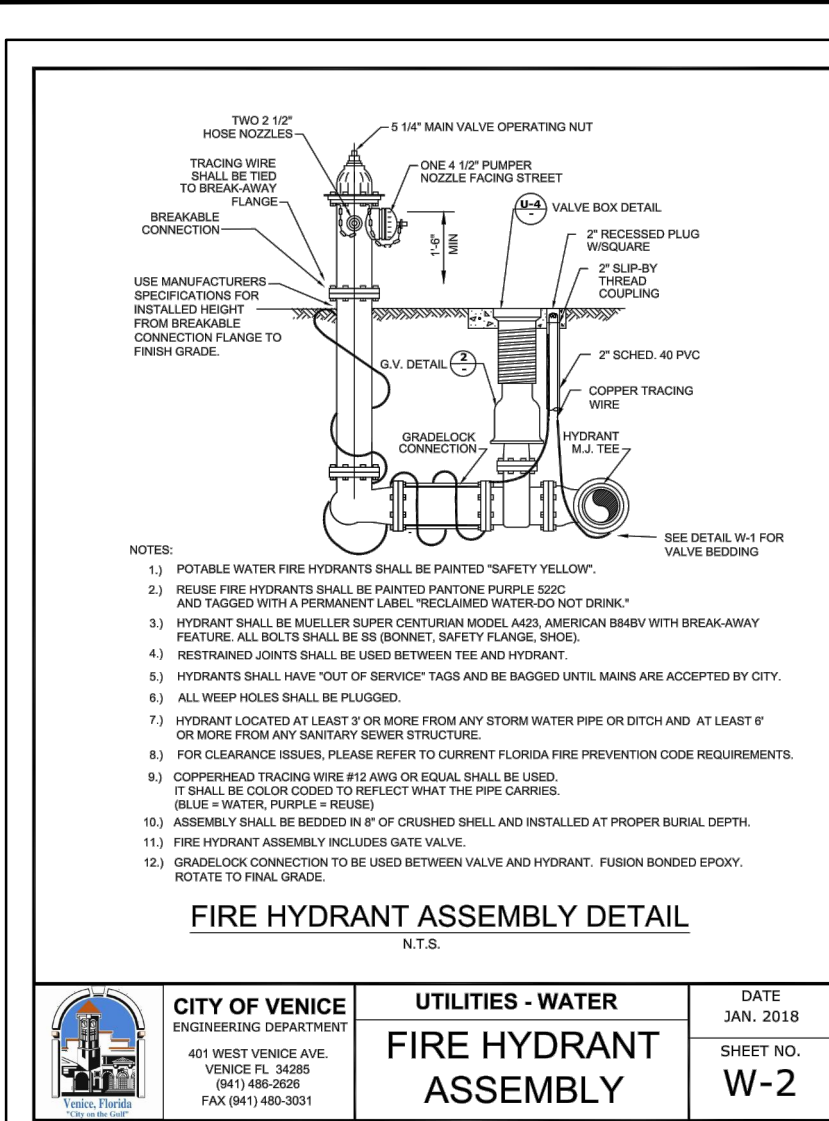
SHEET TITLE: NUTRIENT REMOVAL
FILTRATION SYSTEM (NRFS)
DETAILS & MAINTENANCE

DATE: MARCH 8, 2018
PROJECT NO: 2016-007
FILE NO: 18 395 19E
SCALE: AS NOTED

SHEET NUMBER

C.07

M:\Projects\Land Development\Areas\Venice Four Points by Sheraton\DWG\2016007_RISE.dwg - 3/27/2018 3:15 PM - RMEC.CAD



REVISIONS	
NO.	DESCRIPTION
1	REVISED PER RM 1
2	REVISED PER RM 2
3	REVISED PER RM 3
4	REVISED PER RM 4
5	REVISED PER RM 5

DATE	DESCRIPTION
7/7/18	REVISED PER RM 1
7/7/18	REVISED PER RM 2
7/7/18	REVISED PER RM 3
7/7/18	REVISED PER RM 4
7/7/18	REVISED PER RM 5

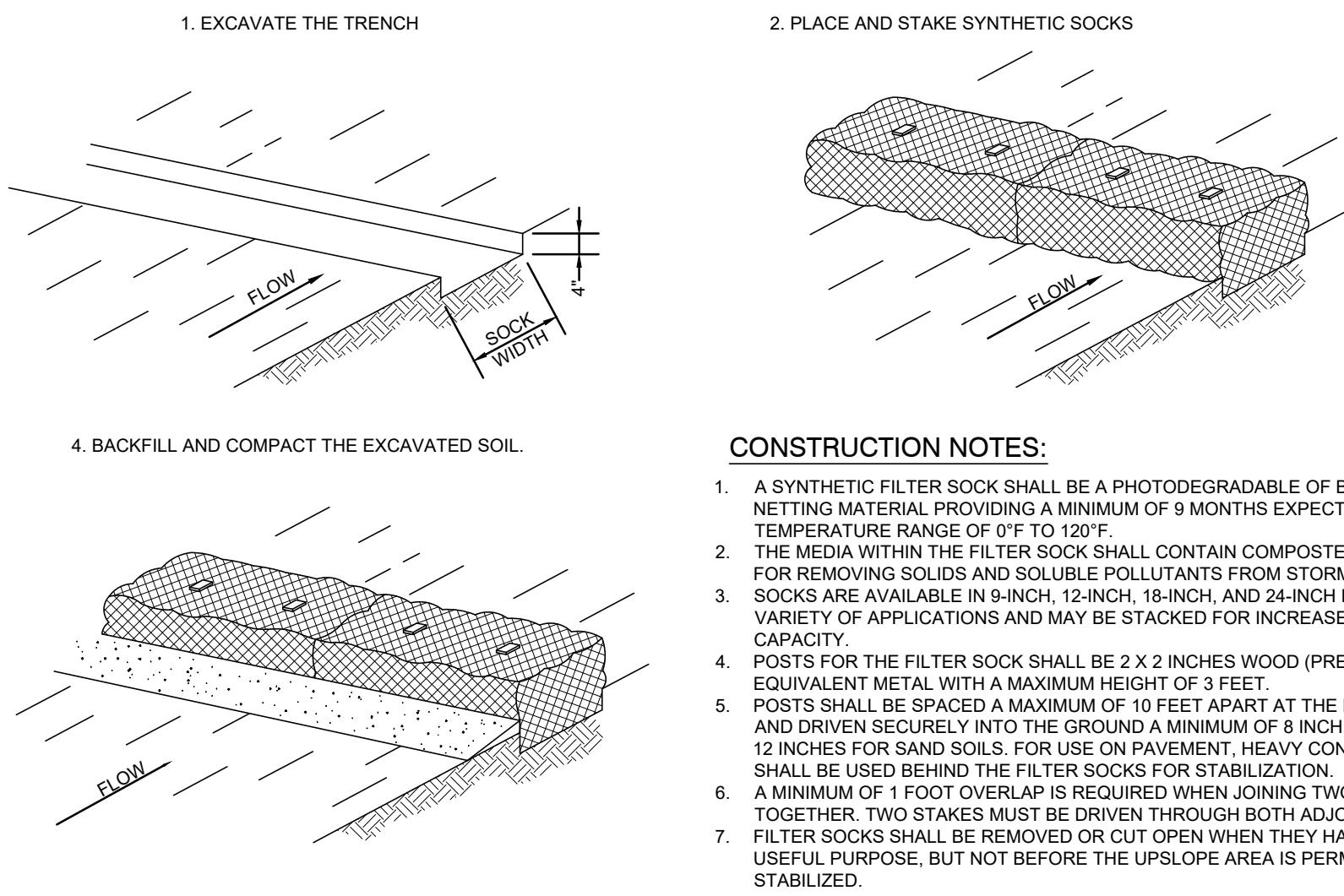
DAUS CAPITAL, LLC
5959 CANOGA AVENUE
SUITE #600
WOODLAND HILLS, CALIFORNIA 91367

VENICE FOUR POINTS
BY SHERATON
775 S. TAMAMI TRAIL
VENICE, FLORIDA 34286
SARASOTA COUNTY, FLORIDA

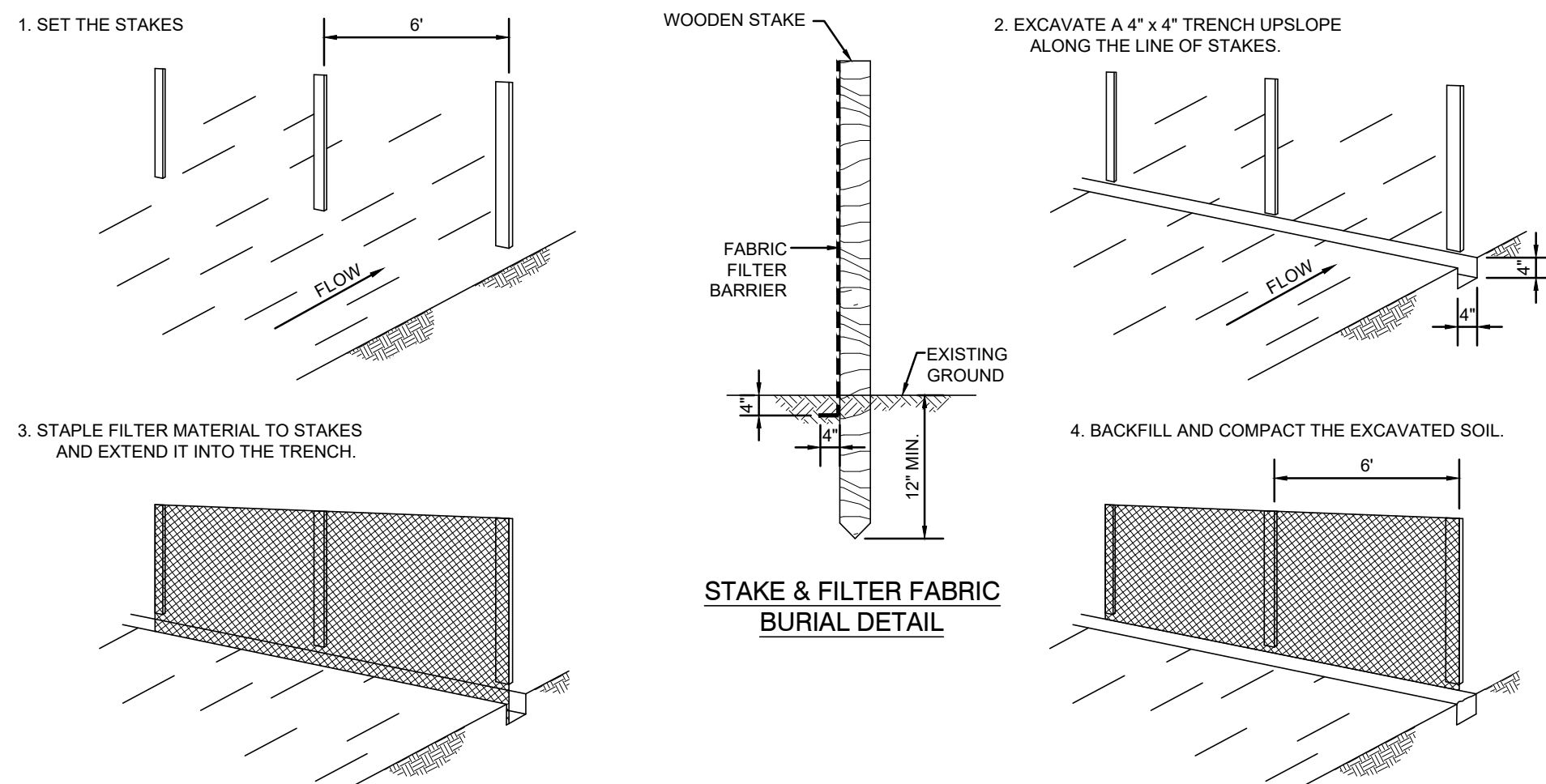
UTILITY PLAN

SHEET TITLE: PROJECT: CLIENT: DATE: MARCH 8, 2018 PROJECT NO: 2016-007 FILE NO: 18 395 19E SCALE: 1" = 30' SHEET NUMBER: C.08

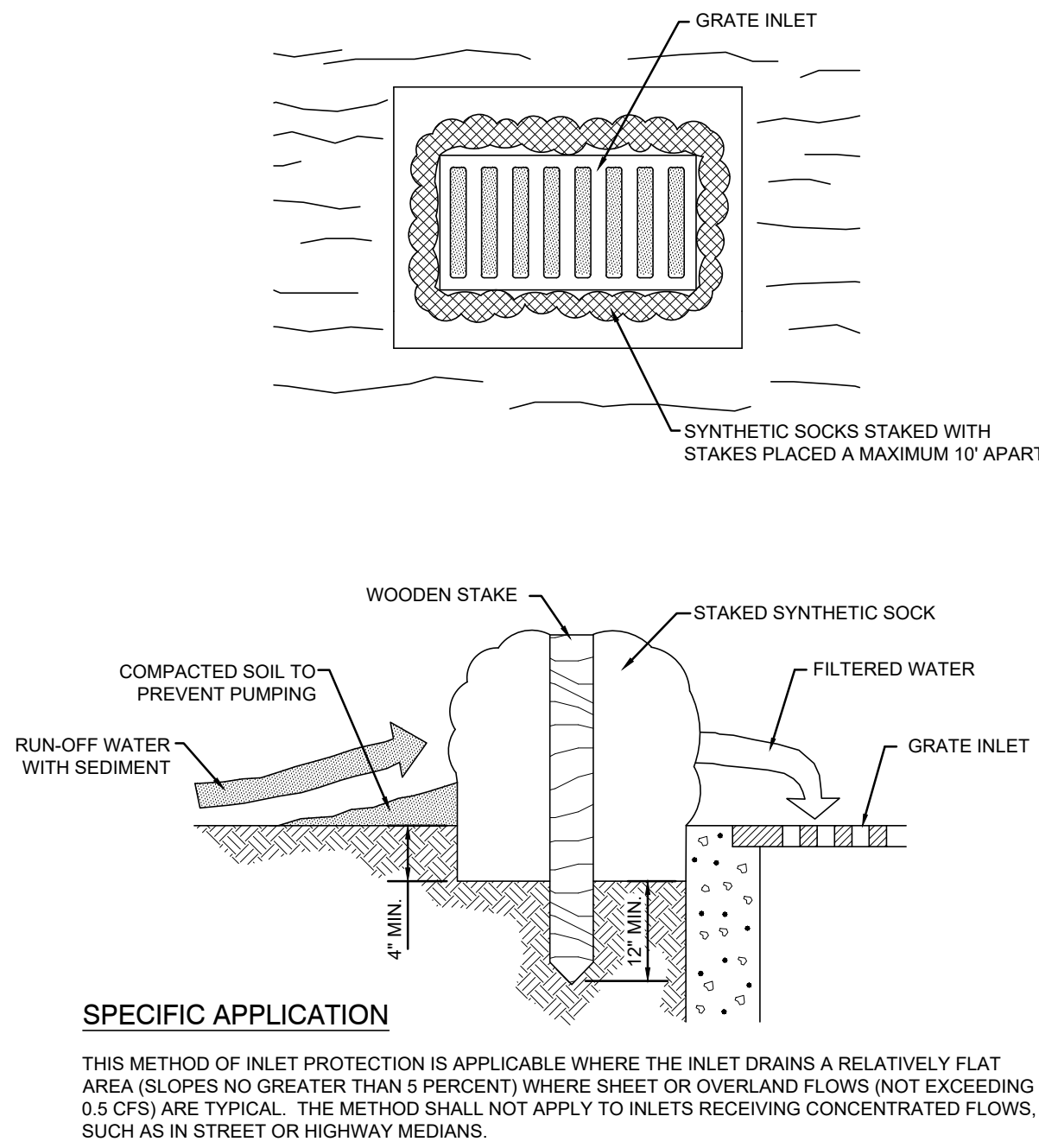
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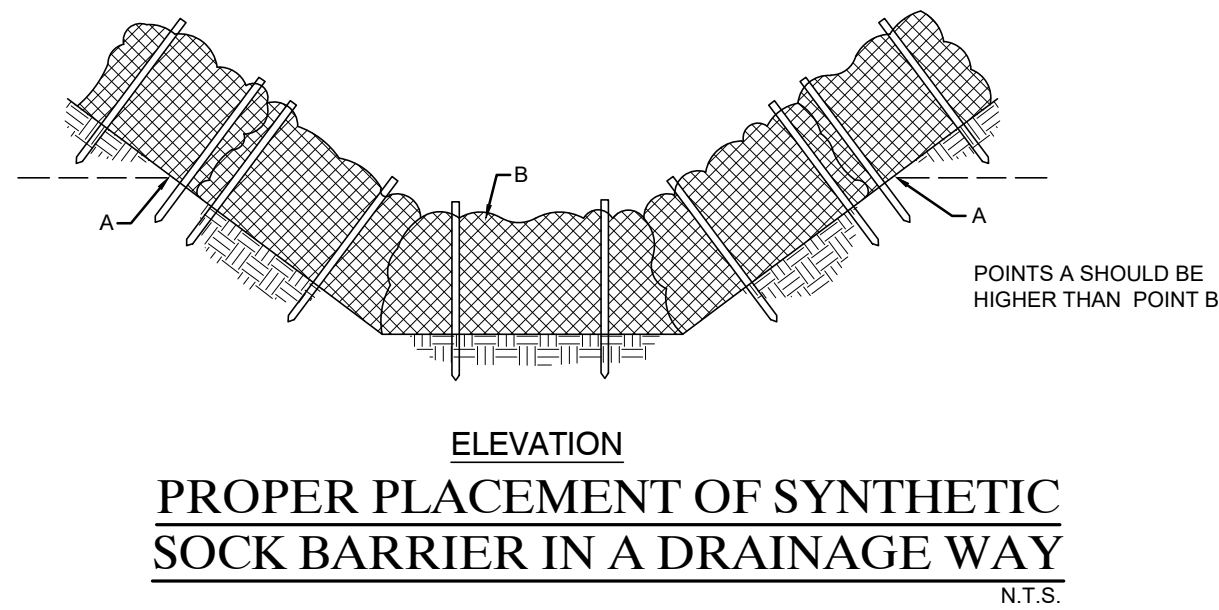
CONSTRUCTION OF A SYNTHETIC SOCK BARRIER
N.T.S.



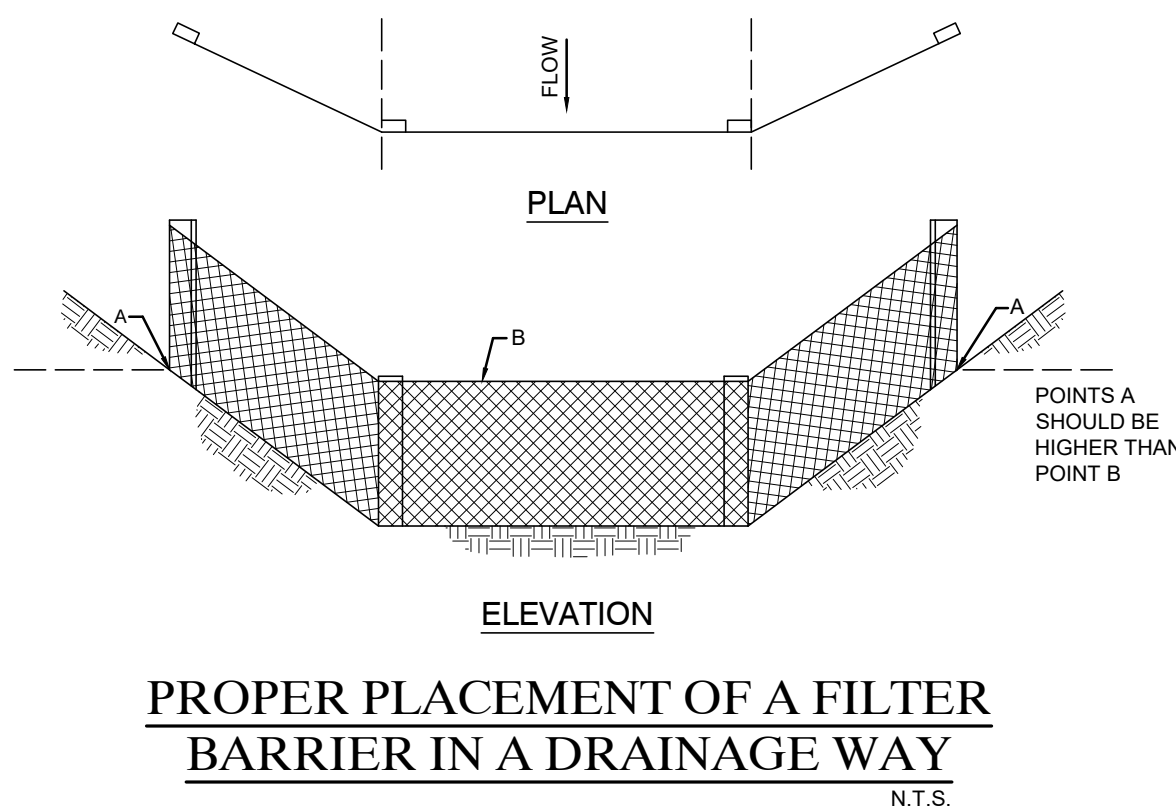
CONSTRUCTION OF A FILTER BARRIER
N.T.S.



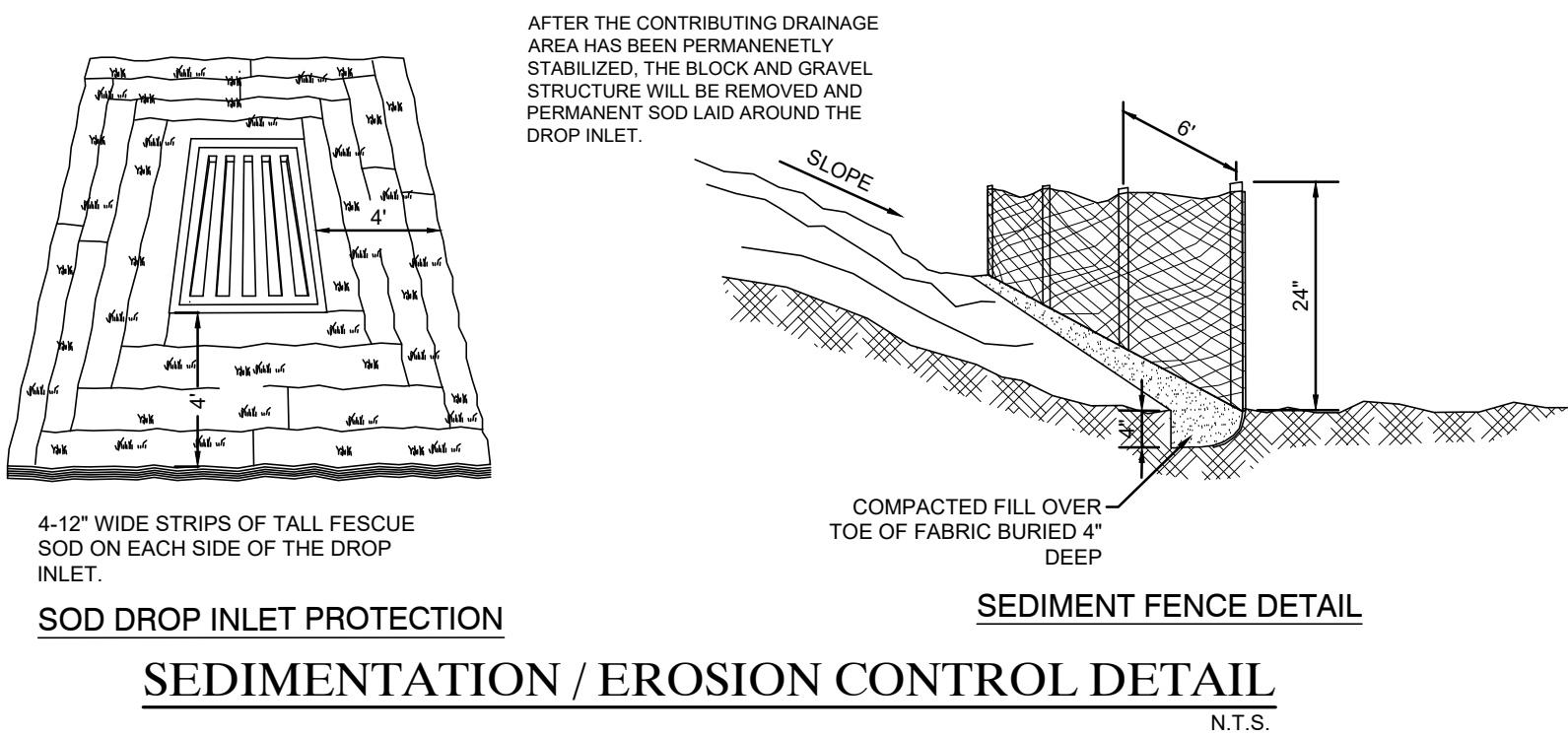
SYNTHETIC SOCK DROP
INLET SEDIMENT FILTER
N.T.S.



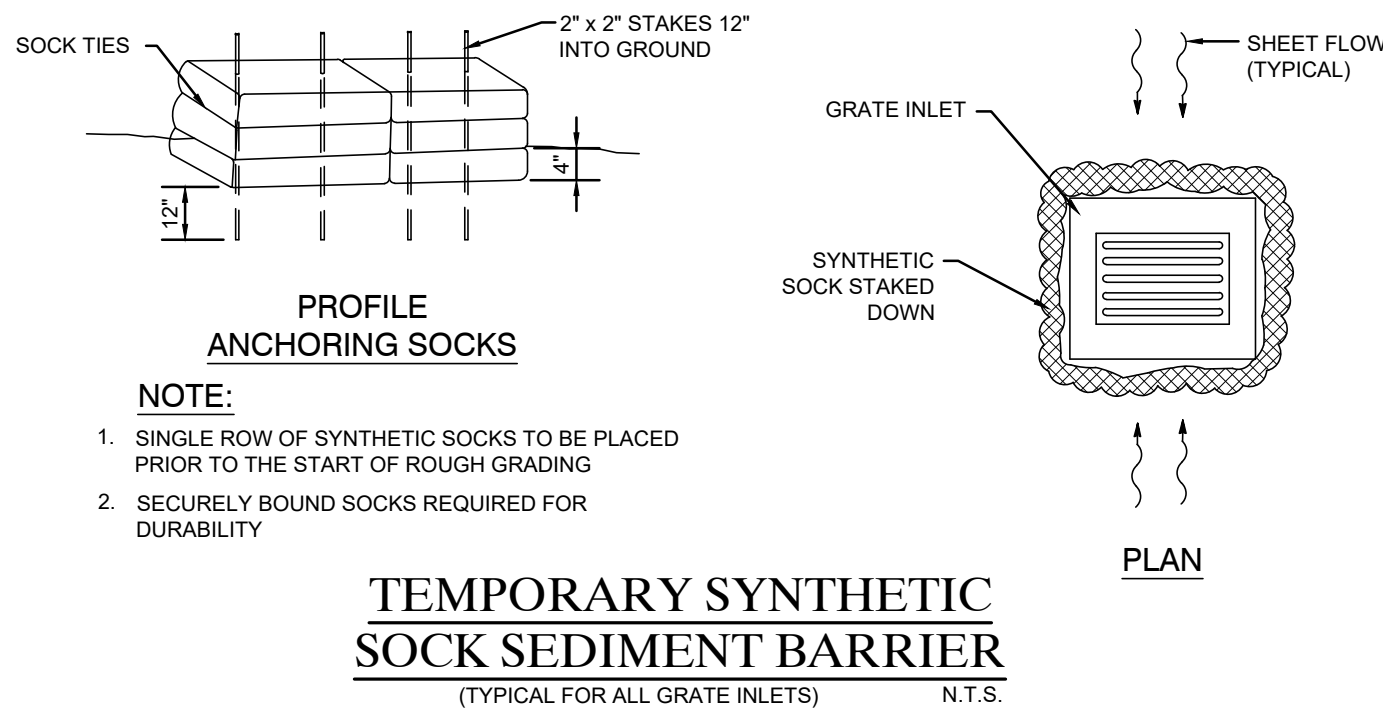
PROPER PLACEMENT OF SYNTHETIC
SOCK BARRIER IN A DRAINAGE WAY
N.T.S.



PROPER PLACEMENT OF A FILTER
BARRIER IN A DRAINAGE WAY
N.T.S.

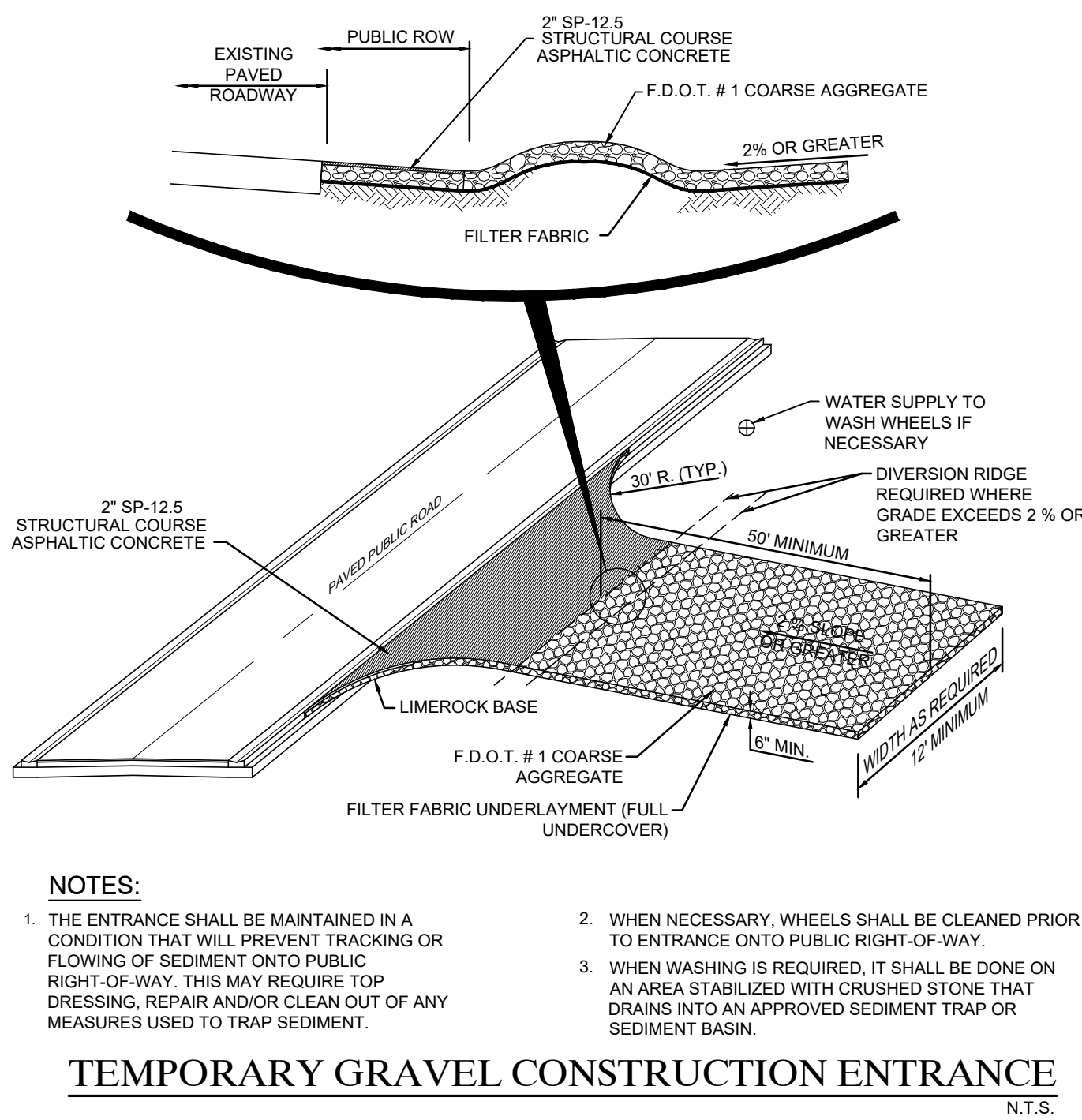


SEDIMENTATION / EROSION CONTROL DETAIL
N.T.S.

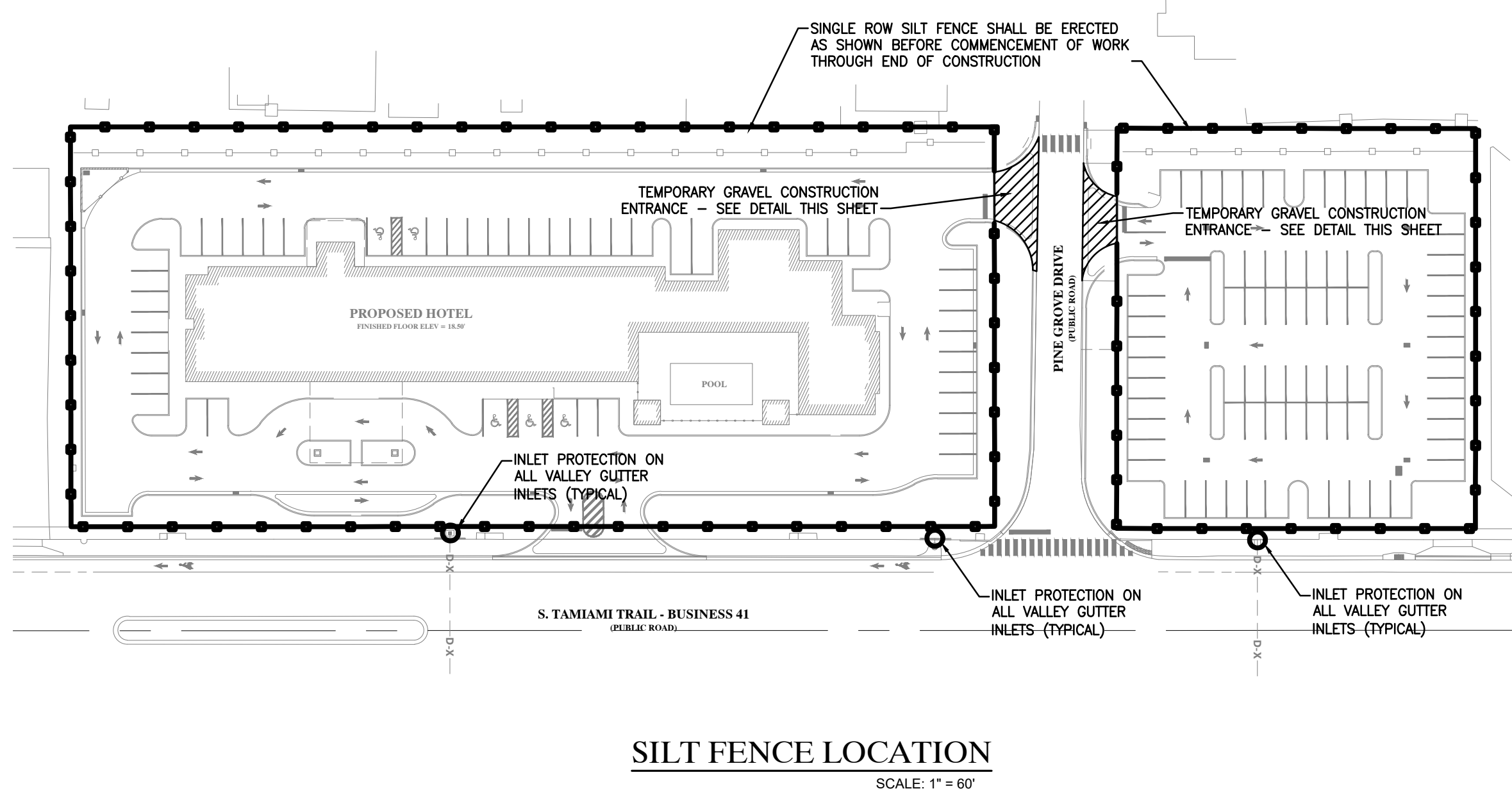


TEMPORARY SYNTHETIC
SOCK SEDIMENT BARRIER
(TYPICAL FOR ALL GRATE INLETS)
N.T.S.

GENERAL NOTES:
PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL THE SURROUNDING AREAS ARE ESTABLISHED. THE FOLLOWING MINIMUM REQUIREMENTS ARE RECOMMENDED: (REFERENCE FLORIDA DEVELOPMENT MANUAL, FDER, PPS 6-301 TO 6-500).
THESE BEST MANAGEMENT PRACTICES (BMP) ARE TYPICAL OF REQUIREMENTS FOR SOIL EROSION CONTROL PER LOCAL REQUIREMENTS. THEY MAY NOT CONSTITUTE COMPLETE REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND SPECIFIC PERMIT CONDITIONS.
A) BMP 1.01 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
B) BMP 1.05 SYNTHETIC SOCK BARRIER
C) BMP 1.06 SILT FENCE
D) BMP 1.08 STORM INLET DRAIN PROTECTION



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



SILT FENCE LOCATION
SCALE: 1" = 60'

REVISIONS	
NO.	DESCRIPTION
1	REVISED PER RM 1
2	REVISED PER RM 2
3	REVISED PER RM 3
4	REVISED PER RM 4
5	REVISED PER RM 5

DATE
7/7/2018
7/7/2018
7/7/2018
7/7/2018
7/7/2018

RONALD M. EDENFIELD, P.E.
FLORIDA LICENSE NO. 45200

RMEC LLC
ENGINEERING | WATER RESOURCES | ENVIRONMENTAL
2223 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33901
(239) 789-1951 | CA#32266

CLIENT: **DAUS CAPITAL, LLC**
5959 CANOGA AVENUE
SUITE #500
WOODLAND HILLS, CALIFORNIA 91367

PROJECT: **VENICE FOUR POINTS
BY SHERATON**
775 S. TAMAMI TRAIL
VENICE, FLORIDA 34286
SARASOTA COUNTY, FLORIDA

SHEET TITLE: **EROSION CONTROL PLAN
AND DETAILS**

DATE: MARCH 8, 2018
PROJECT NO: 2016-007
FILE NO: 18 395 19E
SCALE: AS NOTED
SHEET NUMBER
C.09