

FOR

# TUSCAN GARDENS OF VENETIA BAY MC & ALF

SECTION 06, TOWNSHIP 39S, RANGE 19E  
CITY OF VENICE, FLORIDA

NOTE:  
OWNERSHIP & UNIFIED CONTROL: TUSCAN GARDENS OF VENETIA BAY PROPERTIES, LLC

EXISTING SITE    PERVIOUS SURFACE 6.289 AC 100.0% IMPERVIOUS 0.000 AC 00.0%  
PROPOSED SITE PERVIOUS SURFACE 2.247 AC    35.7% IMPERVIOUS 4.042 AC 64.3%

ENGINEER'S QUANTITY ESTIMATE OF INFRASTRUCTURE IMPROVEMENTS

LINEAR FEET OF RECLAIMED WATER	0.0 LF
LINEAR FEET OF POTABLE WATER MAIN	0.0 LF
LINEAR FEET OF GRAVITY SEWER MAIN	0.0 LF
LINEAR FEET OF FORCE MAIN	0.0 LF
NUMBER OF MANHOLES	0

REQUIRED NOTES:

1. ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW PERMIT.
2. ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITTED.
3. TREE REMOVAL PERMIT MUST BE OBTAINED FROM SARASOTA COUNTY NATURAL RESOURCES DEPARTMENT.
4. POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
5. ALL FIRE SERVICE BACKFLOW ASSEMBLES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, AND OR V CERTIFICATION OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521
6. CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION
7. ALL UTILITIES WHETHER PUBLIC OR PRIVATE SHALL MEET CITY OF VENICE STANDARDS.
8. CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

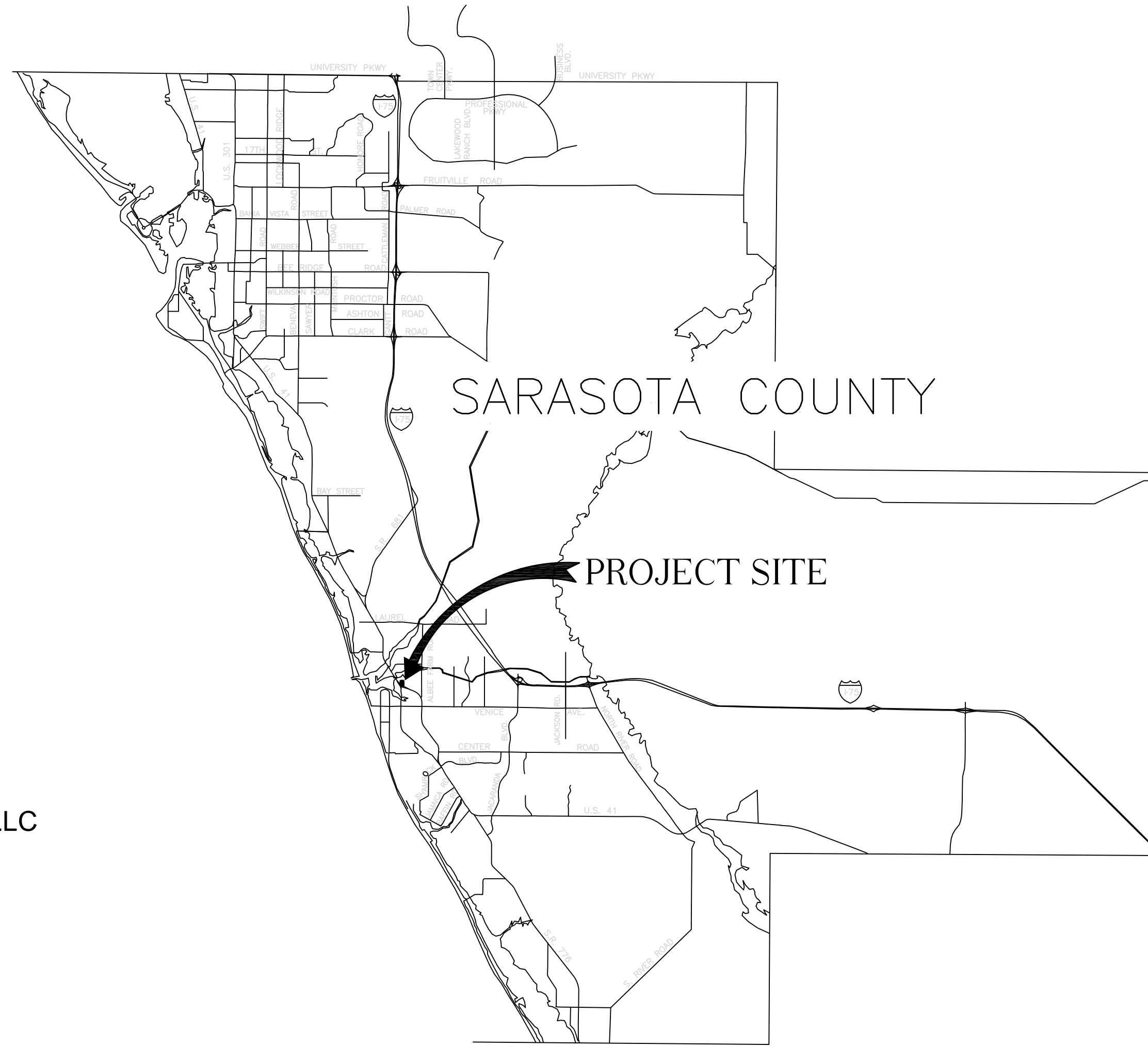
OWNER: **TUSCAN GARDENS OF VENETIA BAY PROPERTIES, LLC**  
189 S. ORANGE AVE.  
SUITE 1650  
ORLANDO, FL 32801  
Phone: 409-206-6577

ENGINEER: **GAP ENGINEERING AND PLANNING, LLC**  
5605 Marquesas Circle  
Sarasota, Florida 34233  
Phone: 941-923-6900

ARCHITECT: **BESSOLO DESIGN GROUP, INC**  
556 CENTRAL AVENUE  
ST. PETERSBURG, FLORIDA 33701  
Phone: 727-894-4453

SURVEYOR: **BRITT SURVEYING, INC**  
606 CYPRESS AVENUE  
VENICE, FLORIDA 34285  
Phone: 941-493-1396

ENVIRONMENTAL  
CONSULTANT: **CONSULTANT**  
ADDRESS 1  
ADDRESS 2  
Phone: ###-###-####



LOCATION MAP  
N.T.S.

PREPARED BY:

**GAP** ENGINEERING AND PLANNING, LLC  
5605 Marquesas Circle, Sarasota, Florida 34233  
(941) 923-6900 fax: (941) 923-6933

APRIL 2014

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UTILITY COMPANIES:

FLORIDA POWER & LIGHT 5657 NORTH McINTOSH ROAD SARASOTA, FLORIDA 34230	TECO GAS 8261 VICO COURT SARASOTA, FLORIDA 34240-7844
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VERIZON 1701 RINGLING BLVD. SARASOTA, FLORIDA 34230	COMCAST CABLE 5205 FRUITVILLE ROAD SARASOTA, FLORIDA 34242
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UTILITY WARNING NOTE:  
ABOVE GROUND OR UNDERGROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT. PROCEED WITH CAUTION. CALL SUNSHINE 811 OR VISIT WWW.SUNSHINE811.COM AND CALL OR OTHERWISE CONTACT OTHER UTILITY OWNERS A MINIMUM OF TWO FULL DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

Cover  
SITE & DEVELOPMENT/CONSTRUCTION PLANS

**TUSCAN GARDENS**  
831 VENETIA BAY BLVD  
VENICE, FLORIDA 34285

**GAP** Engineering & Planning, LLC

5605 MARQUESAS CIRCLE  
SARASOTA, FL 34233  
(941) 923-6900 Fax: 941-927-5154  
FL CA #28016

DRAWN BY: DMW  
DATE: SEPTEMBER 2014  
CHECKED BY: DMW  
PROJECT #: ###  
SCALE: N/A  
SHEET NUMBER

1 of 13

SIGNATURE/LICENSE/DATE

ALL ELEVATIONS REFER TO N.G.V.D. 1929.

REFUSE COLLECTION: THE OWNERS SHALL BE RESPONSIBLE FOR MEETING THE RECYCLING REQUIREMENTS OF CITY OF VENICE MANDATORY RECYCLING ORDINANCE IN EFFECT AT THE TIME OF CONSTRUCTION PLANS APPROVAL.

MAINTENANCE OF COMMON FACILITIES: THE OWNER SHALL BE REQUIRED TO MAINTAIN THE APPEARANCE AND FUNCTION OF ANY PRIVATE DRAINAGE FACILITIES TO BE CONSTRUCTED ON THE SITE, INCLUDING RETENTION PONDS AND DRAINAGE DITCHES, IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, OR LOCAL REGULATIONS.

ALL IMPROVEMENTS ON PRIVATE PROPERTY ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND WILL NOT BE DEDICATED TO THE PUBLIC.

HELD IN RESERVE.

ACCESSIBILITY: ALL LANDSCAPING, SIGNAGE, LIGHTING, PAINT MARKINGS AND ACCESS AT CURBS, GUTTERS, SIDEWALKS AND INTERSECTIONS WILL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS DCA ACCESSIBILITY REQUIREMENTS, THE LATEST ADA REQUIREMENTS AND COMPLIANCE WITH THE FLORIDA ACCESSIBILITY CODE 1997 EDITION. ALL SITE IMPROVEMENTS WILL CONFORM TO APPLICABLE ORDINANCES AND REGULATIONS OF CITY OF VENICE. ALL HANDICAP RAMPS ARE TO BE EMBOSSED WITH FDOT INDEX 304 TACTILE SURFACING.

LIGHTING: ALL EXTERIOR LIGHTING ON SITE SHALL BE DIRECTED ONLY TOWARD THE SUBJECT SITE AND AWAY FROM THE ADJACENT PROPERTIES AND STREETS.

PAVEMENT MARKINGS: PAVEMENT MARKINGS SHALL CONFORM TO FDOT SECTION 711 – THERMOPLASTIC TRAFFIC STRIPES AND MARKINGS. ALL PAVEMENT MARKINGS, EXCEPT FOR PARKING STALLS, SHALL BE "ALKYD THERMOPLASTIC 90-MILS IN THICKNESS".

ROADWAY/TRAFFIC SIGNAGE: SIGNAGE SHALL CONFORM TO FDOT SECTION 700 – HIGHWAYS SIGNING AND SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD DRAWING 17302, ALL TRAFFIC SIGN POSTS SHALL BE 2" x 2" SQUARE BREAK-AWAY 14 GAUGE GALVANIZED STEEL WITH PUNCHED HOLES. ALL TRAFFIC CONTROL SIGNS SHALL BE MANUFACTURED USING DIAMOND GRADE REFLECTIVE SHEETING (OR EQUIVALENT). ALL SIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUTCD CRITERIA FOR SIGN SIZE AND SHAPE AND LETTERING DIMENSIONS.

WELLS: ANY WELLS DISCOVERED DURING CONSTRUCTION SHALL BE REPORTED TO THE CITY OF VENICE – ENGINEERING DEPARTMENT AND THE ENGINEER WITHIN 24 HOURS OF DISCOVERY. EXISTING WELLS SHALL BE PROTECTED FOR FUTURE USE OR SHALL BE PLUGGED BY A LICENSED WELL CONTRACTOR IN A APPROVED MANNER.

SEPTIC: EXISTING SEPTIC SYSTEMS SHALL BE CRUSHED AND FILLED BY A LICENSED SEPTIC CONTRACTOR.

EXISTING UTILITIES: THE LOCATION OF EXISTING UTILITIES SHOWN HEREIN ARE BASED ON THE BEST AVAILABLE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF WATER SERVICES ARE SUBJECT TO FIELD ADJUSTMENTS. A VERTICAL CLEARANCE OF 18 INCHES (MIN.) REQUIRED AT CROSSING OF WATER AND SEWER MAINS. A HORIZONTAL CLEARANCE OF 10 FEET (MIN.) REQUIRED BETWEEN WATER AND SEWER MAINS. SEE "UTILITY NOTIFICATION" DISCLAIMER, THIS SHEET.

NOTIFY "SUNSHINE STATE ONE" CALL (1-800-432-4770), CITY OF VENICE UTILITIES DEPARTMENT, FLORIDA POWER AND LIGHT, VERIZON TELEPHONE AND ANY OTHER UTILITIES (GAS, CABLE, T.V., etc...) PRIOR TO CONSTRUCTION OPERATION AND PRIOR TO ANY CONNECTION TO EXISTING UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT EXISTING UTILITIES FROM DAMAGE. SEE "UTILITY NOTIFICATION" DISCLAIMER, THIS SHEET.

IT IS THE CONTRACTORS RESPONSIBILITY, PRIOR TO BIDDING, TO INSPECT THE JOB SITE AND TO BE TOTALLY FAMILIAR WITH THE PLANS, THEIR INTENT AND ANY PERMIT CONDITIONS.

CONSTRUCTION SITE MUST COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS. (I.E. FIRE PROTECTION, WATER SUPPLY AND EMERGENCY VEHICLE ACCESS, ETC.)

PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, PRESERVE AREAS WITHIN AND ADJOINING THE AREA OF CONSTRUCTION ACTIVITY SHALL BE PROTECTED BY ERECTION OF TREE PROTECTION BARRICADES AND/OR SILT BARRIERS. TREE PROTECTION BARRICADES SHALL MEET THE STANDARDS OF THE CITY OF VENICE TREE PROTECTION ORDINANCE. SILT BARRIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES DETAIL DRAWING. THE CONTRACTOR SHALL NOTIFY THE CITY OF VENICE WHEN PRESERVE AREA BARRICADES AND BARRIERS ARE IN PLACE, NO CLEARING WITH HEAVY EQUIPMENT OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED. THE PROTECTED ROOT ZONE IS DEFINED AS A MINIMUM OF SIX FEET OR ONE-HALF THE DISTANCE FROM THE TRUNK TO THE DRIP LINE OF THE TREE, WHICHEVER IS GREATER. ONLY HAND CLEARING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF TREES TO BE SAVED. EXTREME CAUTION SHALL BE USED WHEN WORKING AROUND THE INSTALLING IMPROVEMENTS NEXT TO THE TREES TO BE SAVED. ALTHOUGH HALF DRIP LINE PROTECTION IS REQUIRED, FULL DRIP LINE PROTECTION IS PREFERRED AND STRONGLY RECOMMENDED TO MINIMIZE ROOT DAMAGE AND THEREFORE INCREASE A TREE'S CHANCES FOR LONG-TERM SURVIVAL.

WHERE EXCAVATION IS IN CLOSE PROXIMITY TO TREES, THE CONTRACTOR SHALL NOT DAMAGE THE ROOT SYSTEM, NO EQUIPMENT, SUPPLIES, OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES DESIGNATED TO REMAIN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL OF THEIR EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.

LAY SOD AROUND ALL INLETS, MITERED END WALLS, HEADWALLS, SWALES, LAKE SLOPES, ADJACENT TO EDGE OF PAVEMENT AND ADJACENT TO BACK OF CURB AS SHOWN ON "BEST MANAGEMENT PRACTICES DETAILS" SHEET AND AS DIRECTED BY THE ENGINEER.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING CONSTRUCTION TO CONTROL EROSION AND PREVENT THE TRANSPORT OF SEDIMENT TO SURFACE STORM DRAINS AND/OR ADJACENT PROPERTIES. SILT SCREENS, HAY BALES AND/OR FILTER FABRIC, OR OTHER APPROVED MEANS, SHALL BE EMPLOYED. SODDING AND/OR SEEDING SHALL BE ACCOMPLISHED AS SOON AS PRACTICAL AFTER EXCAVATION AND GRADING IS COMPLETE. THE CONTRACTOR SHALL SUBMIT A PROJECT SCHEDULE INDICATING EXCAVATION AND GRADING ACTIVITIES TOGETHER WITH SILTATION/EROSION CONTROL MEASURES TO BE EMPLOYED. SEE "BEST MANAGEMENT PRACTICES DETAILS" SHEET FOR ADDITIONAL INFORMATION.

EROSION/SEDIMENT CONTROL: BEST MANAGEMENT PRACTICES (BMP) IN ADDITION TO THOSE PRESENTED ON THESE PLANS AND OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTY OR ROADWAYS, OFFSITE STORMWATER CONVEYANCES, OR OFFSITE RECEIVING WATERS. BMPs SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR (CONTRACTOR) TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS THE AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT SITE NECESSARY TO ENSURE COMPLIANCE). CONTRACTOR TO ENSURE SURFACE WATER QUALITY CONDITIONS ARE IN COMPLIANCE WITH STATE WATER QUALITY STANDARDS AND CITY OF VENICE.

OFFSITE SURFACE WATER DISCHARGES WITH TURBIDITY IN EXCESS OF 29 NTU'S (NEPHELOMETRIC TURBIDITY UNITS) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO CITY OF VENICE WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND THE CORRECTIVE ACTIONS TAKEN.

THE OPERATOR (CONTRACTOR) SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)(1), FLORIDA ADMINISTRATION CODE, BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.

CLOSURE PLAN: IN THE EVENT THAT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION, ALL CONSTRUCTION AND STOCKPILED VEGETATION DEBRIS WILL BE REMOVED FROM THE SITE AND ALL FILL WILL BE GRADED AND STABILIZED.

VEGETATION FROM CLEARING/GRUBBING WILL BE DISPOSED OF OFFSITE IN AN APPROVED MANNER. TOP SOIL THAT IS DEEMED SUITABLE MAY BE USED ON SITE IN THE LANDSCAPE BERMS AND PLANTING BEDS PROVIDED IT IS BURIED ABOVE THE SHML GRADE. SUCH MATERIAL IS SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND ENGINEER PRIOR TO PLACEMENT. SOD LUMPS, DEBRIS AND STONES LARGER THAN 2 INCHES IN MAXIMUM DIMENSION MUST BE REMOVED FROM THE TOPSOIL.

OR DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL BY THE ENGINEER.

PAVED INVERTS WITHIN DRAINAGE BASINS SHALL PRECLUDE PONDED WATER, AND ALL DRAINAGE CULVERTS JOINTS SHALL BE WRAPPED PER FDOT INDEX 280. UNLESS OTHERWISE SPECIFIED, CONCRETE FOR ALL ROADWAY AND DRAINAGE STRUCTURES SHALL BE 3000 PSI (PER FDOT STANDARD SPECIFICATIONS SECTION 346).

FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS, SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO THE CITY OF VENICE. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICABLE.

FORTUITOUS FINDS AND UNMARKED HUMAN BURIALS: NO. 95-050, & 11, 6-6-1995; ORD. NO. 98-051, & XI, 5-26-1998)

THE FOLLOWING REQUIREMENTS APPLY TO ALL BUILDING CONSTRUCTION OR ALTERATION, OR LAND ALTERATION ACTIVITIES:

IF EVIDENCE OF THE EXISTENCE OF HISTORIC RESOURCES IS DISCOVERED OR OBSERVED AT THE DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AREA OF EFFECT AS DETERMINED BY THE DIRECTOR. THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE DEPARTMENT OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. EXAMPLES OF SUCH EVIDENCE INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS. THE DIRECTOR SHALL ACCESS THE SIGNIFICANCE OF THE FINDS AND MITIGATE ANY ADVERSE EFFECTS AS SOON AS POSSIBLE, BUT NOT LATER THAN WITHIN THREE WORKING DAYS OF NOTIFICATION.

IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITY, ALL WORK IN THE AREA MUST CEASE, AND THE PERMITEE MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE AND NOTIFY THE DEPARTMENT OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. ACCORDING TO F.S. CH. 872, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

HELD RESERVE

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY RETAINING OR STRUCTURAL, OR PERIMETER WALLS. (FOAM, MASONRY OR OTHERWISE)

THE WETLANDS, MESIC HAMMOCKS, AND ASSOCIATED UPLAND VEGETATIVE BUFFERS SHALL BE MAINTAINED IN ACCORDANCE WITH MANAGEMENT GUIDELINES CONTAINED WITHIN THE COMPREHENSIVE PLAN AS A PRESERVE. ALL ACTIVITIES INVOLVING BUT NOT LIMITED TO FILLING, EXCAVATING, WELL DRILLING, ALTERING VEGETATION (INCLUDING TRIMMING OF BOTH TREES AND UNDERSTORY) AND STORING OF MATERIALS SHALL BE PROHIBITED WITHIN PRESERVATION AREAS, UNLESS WRITTEN APPROVAL IS FIRST OBTAINED FROM THE CITY OF VENICE. EXCEPTION MAY BE GRANTED BY THE CITY OF VENICE TO FACILITATE IMPLEMENTATION OF APPROVED HABITAT MANAGEMENT PLANS OR THE HAND REMOVAL OF NUISANCE/INVASIVE VEGETATION.

THERE ARE NO GRAND TREES THAT ARE EXISTING ON THE SITE AND WILL BE PROTECTED OR MITIGATED PER SARASOTA COUNTY CRITERIA.

PRIOR TO DEMOLITION OF EXISTING STRUCTURES AN ASBESTOS SURVEY AND/OR NOTIFICATION MAY BE REQUIRED.

SIDEWALKS/BIKE PATHS TO HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 100-FEET AND CONSTRUCTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF SLAB, BUT NO MORE THAN 10-FEET AND NO LESS THAN 4-FEET.

THIS PROJECT SHALL BE CONSTRUCTED TO BE IN COMPLIANCE WITH THE AMERICAN DISABILITIES ACT AND THE FLORIDA ACCESSIBILITY CODE.

ARCHITECTURAL PAVERS USED IN EITHER TRAVELWAYS OR WALKWAYS SHALL CONFORM TO FDOT STANDARD SPECIFICATION NO. 526 (FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 EDITION).

IMPACTS TO STATE AND FEDERALLY PROTECTED SPECIES AS LISTED IN THE MOST CURRENT VERSION OF "FLORIDA'S ENDANGERED SPECIES, THREATENED SPECIES AND SPECIES OF SPECIAL CONCERN: OFFICIAL LISTS" PREPARED BY THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWC) ARE NOT AUTHORIZED BY THIS PERMIT. THESE SPECIES MAY INCLUDE, BUT ARE NOT LIMITED TO, FLORIDA SCRUB JAY, AMERICAN BALD EAGLE, SHERMAN'S FOX SQUIRREL, BURROWING OWL, GOPHER TORTOISE, GOPHER FROG, AND EASTERN INDIGO SNAKE. PROTECTION EXTENDS TO THE NESTS, BURROWS AND HABITAT UTILIZED BY THESE SPECIES. IF A LISTED SPECIES (OR ITS EVIDENCE, SUCH AS BURROWS, NESTS, SCAT, TRACKS) THAT WAS NOT ADDRESSED IN THIS PERMIT IS OBSERVED PRIOR TO OR DURING CONSTRUCTION, ALL CLEARING AND EARTHMOVING ON-SITE SHALL CEASE. THE PERMITEE SHALL CONSULT WITH THE FWC REGIONAL OFFICE AND/OR THE U.S. FISH AND WILDLIFE SERVICE REGIONAL OFFICE REGARDING NECESSARY PROTECTION MEASURES AND PROVIDE EVIDENCE OF SUCH CONSULTATION TO THE CITY OF VENICE PRIOR TO RESUMING WORK.

IF ANY TYPE A FILL (CLEAN EARTHEN MATERIAL) IS TO BE HAULED OFF-SITE, AN EARTHMOVING PERMIT OR LETTER OF EXEMPTION IS REQUIRED FROM THE CITY OF VENICE. IF ANY TYPE A FILL HAULED OFF-SITE IS TO BE STOCKPILED OR FILLED UPON PRIVATE PROPERTIES WITHIN THE INCORPORATED AREAS OF THE CITY OF VENICE, THE RECEIVING PROPERTY(S) SHALL POSSESS AUTHORIZATION IN THE FORM OF AN EARTHMOVING PERMIT, A WRITTEN EARTHMOVING EXEMPTION, A BUILDING PERMIT, OR CONSTRUCTION PLAN APPROVAL PRIOR TO RECEIVING SAID FILL. NO TYPE B (CONCRETE, BROKEN ASPHALT, ROCKS), TYPE C (VEGETATIVE LAND, CLEARING DEBRIS), OR TYPE D (GARBAGE, REFUSE, WOOD, METAL, PLASTIC, ETC.) FILL MAY BE BURIED WITHIN OR OUTSIDE APPROVED CONSTRUCTION LIMITS. TYPE D FILL MUST BE DISPOSED AT AN APPROVED LANDFILL OR RECYCLING FACILITY. TYPE B, C, AND D FILLS GENERATED ON-SITE SHALL NOT BE STOCKPILED ON-SITE FOR GREATER THAN SIX MONTHS. TYPE B, C, AND D FILLS SHALL NOT BE HAULED TO THE SITE FROM OFF-SITE SOURCES. FOR INFORMATION ABOUT EARTHMOVING PERMITS OR EXEMPTIONS, CONTACT CITY OF VENICE. IF FILL MATERIAL IS TO BE STOCKPILED WITHIN THE APPROVED CONSTRUCTION LIMITS, THE PROJECT ENGINEER MUST PROVIDE DETAILED DRAWINGS TO THE CITY OF VENICE FOR REVIEW AND APPROVAL.

ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHTS-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW PERMIT.

ALL WORK CONDUCTED IN THE CITY OF VENICE AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.

TREE REMOVAL PERMIT MUST BE OBTAINED FROM SARASOTA COUNTY NATURAL RESOURCES DEPARTMENT.

POST-DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR STORM EVENT.

ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521.

CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.

ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.

CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

SITE CONTRACTORS TO FIELD LOCATE AND VERIFY ALL UNDERGROUND UTILITY AND STORMWATER CONNECTIONS, INCLUDING VERTICAL AND HORIZONTAL LOCATIONS, PRIOR TO CONSTRUCTION.

53. LIGHT POLES ARE 20' HIGH. SEE PHOTOMETRIC PLAN BY OTHER.

NOTE: CITY OF VENICE STANDARD DETAILS SHALL SUPERSEDE ANY CONFLICTING REQUIREMENTS.

LAND USE DEVELOPMENT DATA:

PRESNET ZONING: OPI

PROPOSED DENSITY(ALT):

ALL UNITS ARE WITHOUT KITCHENS:  
198 BEDS / 6 BEDS PER UNIT = 33 UNITS.  
33 UNITS / 6.29 AC. = 5 UNITS PER ACRE.

MAXIMUM DENSITY(ALT):

55 UNITS / ACRE  
55 X 6.29 AC. = 345 UNITS

ABUTTING ZONING:

WEST: GU – PARKS  
EAST: RE – 2  
NORTH: PUD – PLANNED UNIT DEVELOPMENT  
SOUTH: US-41 (TAMIAMI TRAIL)

TOTAL PROJECT AREA: 6.29 ACRES

PROPOSED NUMBER UNITS SHOWN: 78 ASSISTED LIVING, 58 MEMORY CARE

LAND USE:

BUILDINGS (MAXIMUM LOT BUILDING COVERAGE 30%)	1.84 ACRES
SIDEWALKS, MULTI-MODAL PEDESTRIAN USE (IMPERVIOUS)	0.46 ACRES
WETLANDS (NOT INCLUDING BUFFERS)	0.00 ACRES
WETLAND BUFFERS & OTHER CONSERVATION AREAS	0.00 ACRES (N/A)
STORMWATER MANAGEMENT AREA	0.00 ACRES
ROADWAY & PARKING IMPERVIOUS AREA	1.12 ACRES
OTHER PERVIOUS AREA (AS OPEN SPACE)	2.87 ACRES

TOTAL ON-SITE AREA	6.29 ACRES
TOTAL SITE IMPERVIOUS AREA	3.42 ACRES (54.40%)

SETBACK REQUIREMENTS:  
PER SECTION 86-90(e)(9) ALL YARD SETBACKS REQUIRED 50'.

PROVIDED FRONT YARD (US45/SR41/TAMIAMI TRAIL): 77.0'  
PROVIDED FRONT YARD (VENETIA BAY BLVD.): 21.1'  
PROVIDED SIDE YARD (NORTHERLY): 186.4'  
PROVIDED SIDE YARD (EASTERLY): 25.3'

OPEN SPACE NO REQUIREMENT FOR OPEN SPACE):

WETLANDS & OTHER CONSERVATION AREAS	0.00 ACRES
STORM WATER MANAGEMENT AREA	0.00 ACRES
OTHER PERVIOUS AREA (AS OPEN SPACE)	2.87 ACRES
TOTAL OPEN SPACE	2.87 ACRES (38.5%)

WATER: POTABLE WATER SUPPLY WILL BE FROM CITY OF VENICE UTILITIES

SEWER: WASTEWATER SERVICES WILL BE BY CITY OF VENICE UTILITIES

IRRIGATION: IRRIGATION SERVICES WILL BE PROVIDED BY

REFUSE: REFUSE SERVICE WILL BE PROVIDED BY CITY OF VENICE

COMMON AREAS: TO BE MAINTAINED BY TUSCAN GARDENS OF VENETIA BAY MC & ALF

EASEMENTS: UTILITY EASEMENTS ARE PROVIDED FOR AND ARE DESIGNATED ON THE SURVEY.

TREE LOCATION: THE SITE IS PRESENTLY CLEARED.

FEMA DESIGNATION:

PROPERTY HEREON LIES WITHIN FLOOD ZONE AE (EL 11 & 12). THE BUILDING IS IN FLOOD ZONE EL 11 THEREFORE THE MINIMUM FLOOR ELEVATION IS 11' AS PER F.I.R.M. PANEL 125144 0327 E, REVISION DATE SEPT 3, 1992.

BASE FLOOR ELEVATION CALCULATIONS:

FEMA ELEVATION: 11.00 + 1.00' FOR FLOOD ZONE FREEBOARD: 12.00.  
FDEP CCCL FIRST FLOOR ELEVATION: NOT APPLICABLE, SITE IS NOT SEAWARD OF THE CCCL.  
AVERAGE CROWN OF ADJACENT ROADS: 8.16.  
AVERAGE UNDISTURBED NATURAL GROUND ELEVATION: 6.2.  
GREATEST OF FOUR BASE ELEVATION CALCULATIONS IS FEMA + FREEBOARD: 12.00

ENVIRONMENTAL AND SURFACE WATER MANAGEMENT SYSTEM:

ONSITE DRAINAGE SYSTEM WILL BE MAINTAINED BY TUSCAN GARDENS OF VENETIA BAY MC & ALF

STATEMENT OF OWNERSHIP AND UNIFIED CONTROL: TUSCAN GARDENS OF VENETIA BAY MC & ALF

"COMMON AREAS" INCLUDING, BUT NOT LIMITED TO, PRIVATE RECREATION AREAS, OPEN SPACE AND LANDSCAPED AREAS, DRAINAGE AREAS, LAKES, ROADWAYS, SANCTUARIES AND ENTRYWAYS SHALL REMAIN UNDER THE UNIFIED OWNERSHIP AND CONTROL OF THE FUTURE OWNER/OPERATOR.

ADA: ALL SIDEWALK STREET CROSSINGS AT CURBS, GUTTERS AND INTERSECTIONS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND FLORIDA ACCESSIBILITY CODE.

LANDSCAPE: CODE MINIMUM LANDSCAPING PLANS ARE INCLUDED IN THIS SET OF PLANS.

ON-SITE PARKING REQUIREMENTS

REQUIRED PARKING – 1/2 SPACE PER UNIT WITHOUT KITCHEN	68 SPACES
PARKING CALCULATION: 136 UNITS / 2	83 SPACES
PROVIDED PARKING (INCLUDED – HANDICAPPED SPACES)	
REQUIRED PARKING HANDICAPPED SPACES	4 SPACES
PROVIDED PARKING HANDICAPPED SPACES	4 SPACES
TOTAL PARKING SPACES PROVIDED	83 SPACES

PUBLIC / PRIVATE IMPROVEMENTS:

ALL IMPROVEMENTS ON THIS SITE ARE PRIVATE IMPROVEMENTS. THIS INCLUDES UTILITY, ROADWAY, PARKING, BUILDING, AND SURFACEWATER IMPROVEMENTS. THERE IS PROVISION FOR A POSSIBLE FUTURE I&E ACCESS EASEMENT TO BE GRANTED TO SARASOTA COUNTY FOR PUBLIC ACCESS TO THE LEGACY TRAIL, AS SHOWN ON THE PLANS.

BUILDING / LOT COVERAGE CALCULATION

BUILDING COVERAGE 80,826 SQ.FT. (1.84 AC)  
BUILDING COVERAGE INCLUDES TOTAL ROOF AREA OF PRIMARY STRUCTURE, OUTBUILDINGS, TERRACES, PORTE COCHERE, ETC., BUT DOES NOT INCLUDE BUILDING OVERHANGS.

ROOM DISTRIBUTION					
UNIT TYPE	1ST FL	2ND FL	3RD FL	FL	TOTAL
MC STUDIO A	53				53
MC STUDIO A (NOOP)	4				4
MC STUDIO B	1				1
ALF 1BR A	17	18	18		53
ALF 1BR B	1	1	1		3
ALF 1BR PETITE C	2	1	2		5
ALF 1BR PETITE C (NOOP)					1
ALF 2BR C	3	4	4		11
ALF 2BR C (NOOP)	1				1
ALF 3BR SHAN E	1				1
ALF 3BR SHAN E (NOOP)			1		1
TOTALS	84	26	26	136	

ROOM ALLOCATION					
UNIT TYPE	# UNITS	# BEDS	SQ. FT.	SETBACK	TOTAL
MC STUDIO A	53	53	301	15,9532	
MC STUDIO A (NOOP)	4	4	301	1,204	
MC STUDIO B	1	1	302	302	
ALF 1BR A	53	53	590	31,270	
ALF 1BR A (NOOP)	1	1	590	590	
ALF 1BR B	3	3	708	2,124	
ALF 1BR PETITE C	5	5	458	2,290	
ALF 1BR PETITE C (NOOP)	1	1	458	458	
ALF 2BR C	11	22	754	8,294	
ALF 2BR C (NOOP)	1	2	754	1,508	
ALF 3BR SHAN E	2	4	841	1,682	
ALF 3BR SHAN E (NOOP)	1	2	841	841	
TOTALS	136	150	N/A	65,762	

BUILDING SUMMARY	
1ST FLOOR	75,882 SF.
2ND FLOOR	26,386 SF.
3RD FLOOR	26,386 SF.
TOTAL	128,654 SF.

GENERAL NOTES  
CONSTRUCTION PLANS

TUSCAN GARDENS  
831 VENETIA BAY BLVD  
VENICE, FLORIDA 34285

GAP Engineering & Planning, LLC

5605 MARQUESAS CIRCLE  
SARASOTA FL 34235  
813-940-0600 Fax: 941-927-5154  
FL CA #28016

SEAL

SIGNATURE/LICENSE/DATE

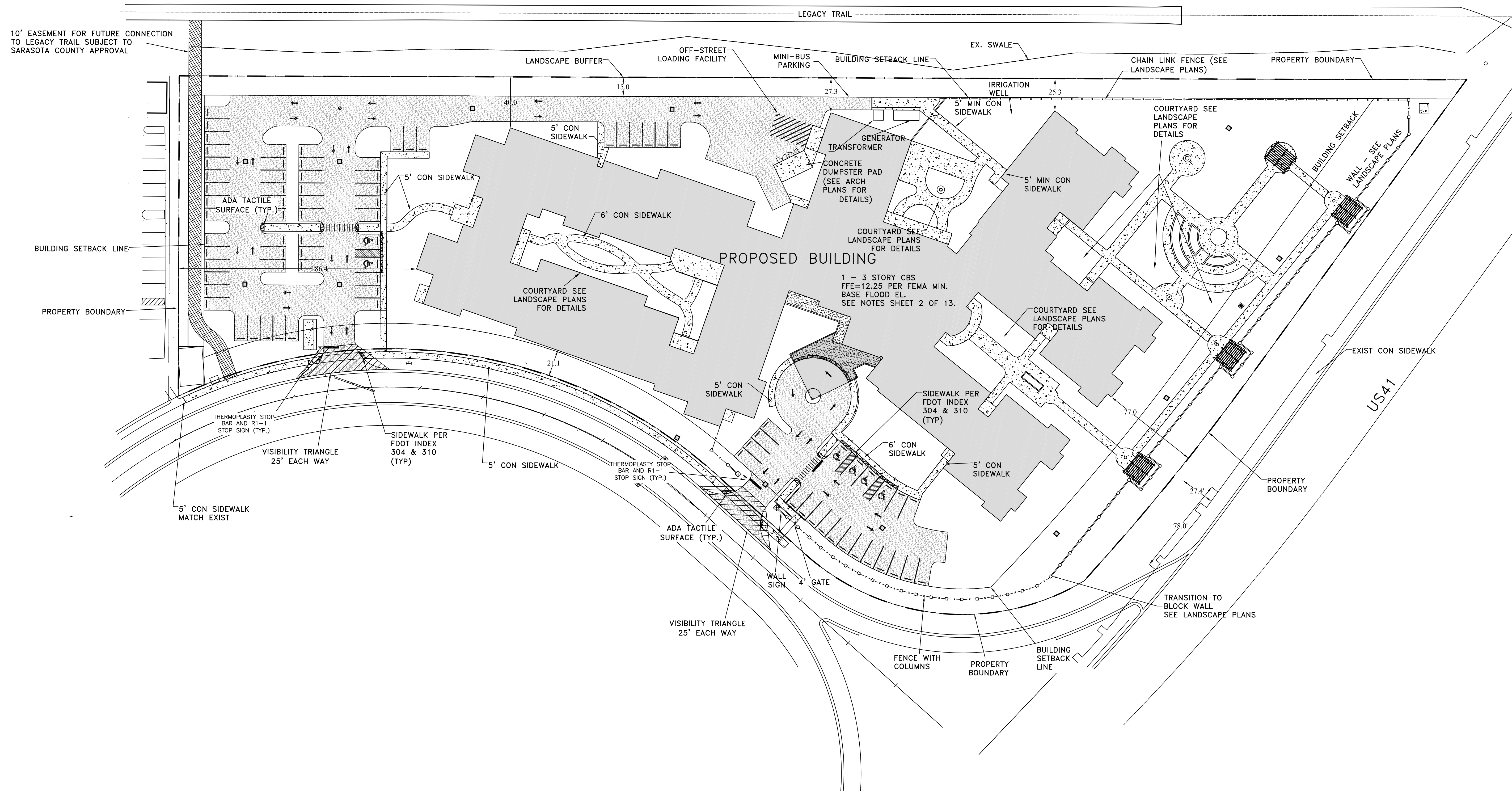
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DATE: 25 NOVEMBER 2014  
CHECKED BY: DMW  
PROJECT #: ###

SCALE: N/A  
SHEET NUMBER

2 of 13





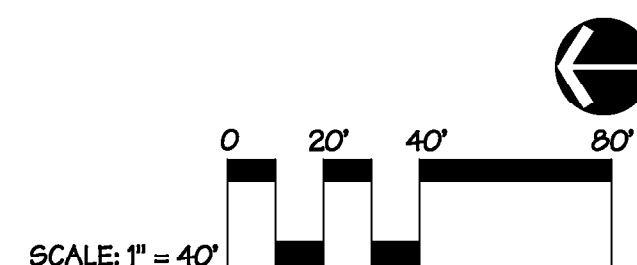
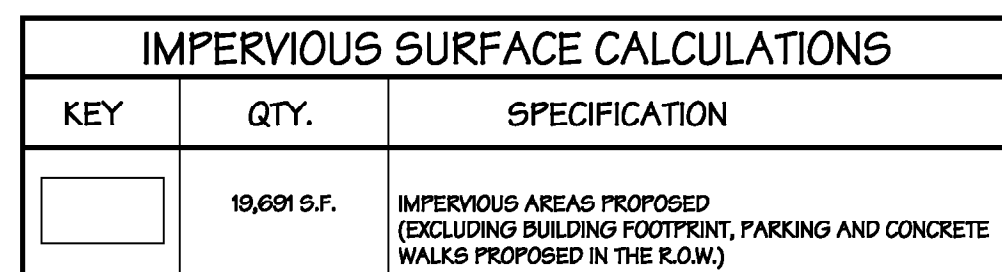
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DATE
DRAWN BY: DMW
DATE: 03 MAY 2018
CHECKED BY: DMW
PROJECT #: ###
SCALE: N/A
SHEET NUMBER

6 of 13



PAYER SCHEDULE		
KEY	TYPE	SPECIFICATION
P-1	TACTILE WARNING STRIP	SEE CIVIL DRAWINGS
P-2	VEHICULAR-USE CONCRETE	SEE CIVIL DRAWINGS
P-3	BROOM FINISH CONCRETE	4" DEPTH CONCRETE WITH FIBERMESH REINFORCEMENT WITH BROOM FINISH; SEE DETAIL 1 SHEET L2.01

NOTES:  
- ALTERNATIVE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.



**Phil Graham**  
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**BESSOLO**  
DESIGN GROUP, INC.

ARCHITECTURE ■ DEVELOPMENT

556 CENTRAL AVENUE  
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KEVIN J. BESSOLO  
ARIZ069

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DATE:

TUSCAN GARDENS  
OF VENETIA BAY

841 VENETIA BAY BLVD  
VENICE, FL 34285

[illegible][illegible]

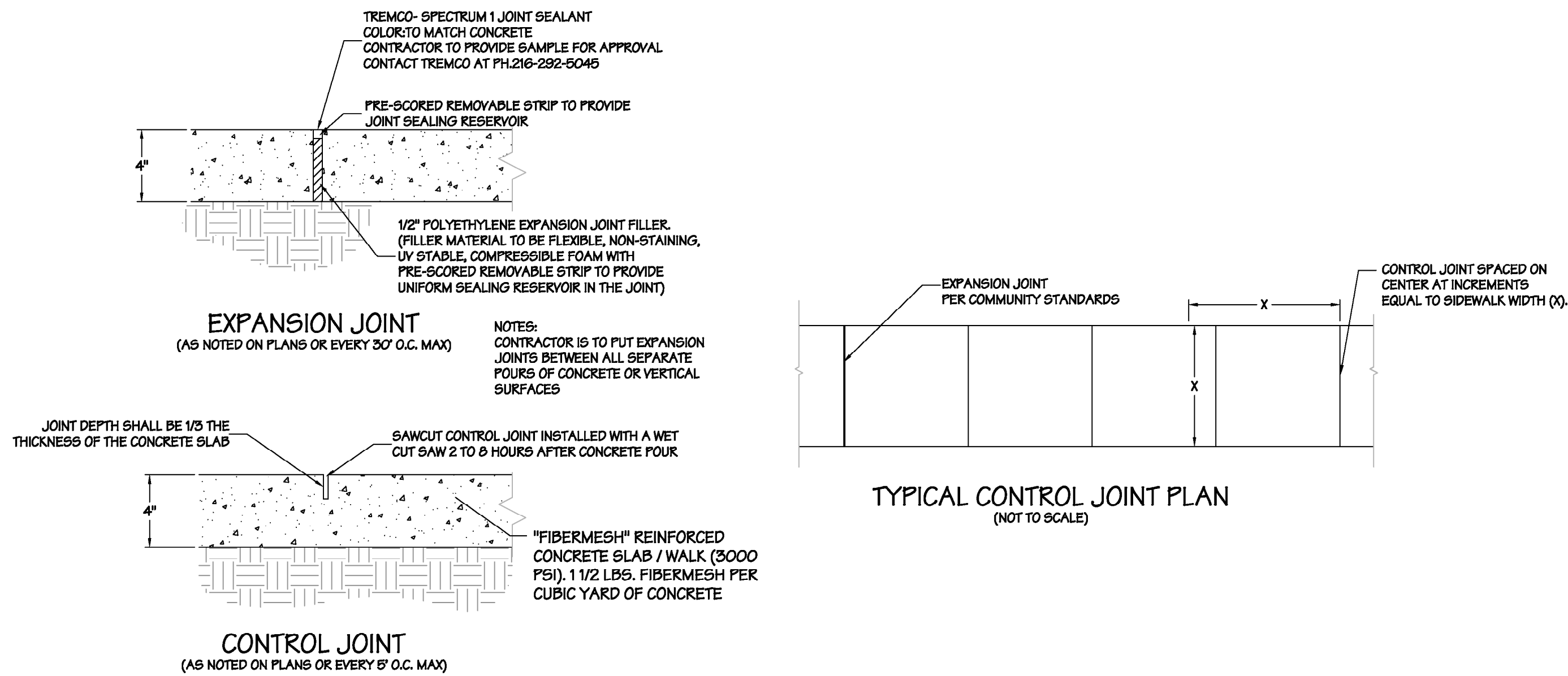
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L2.00

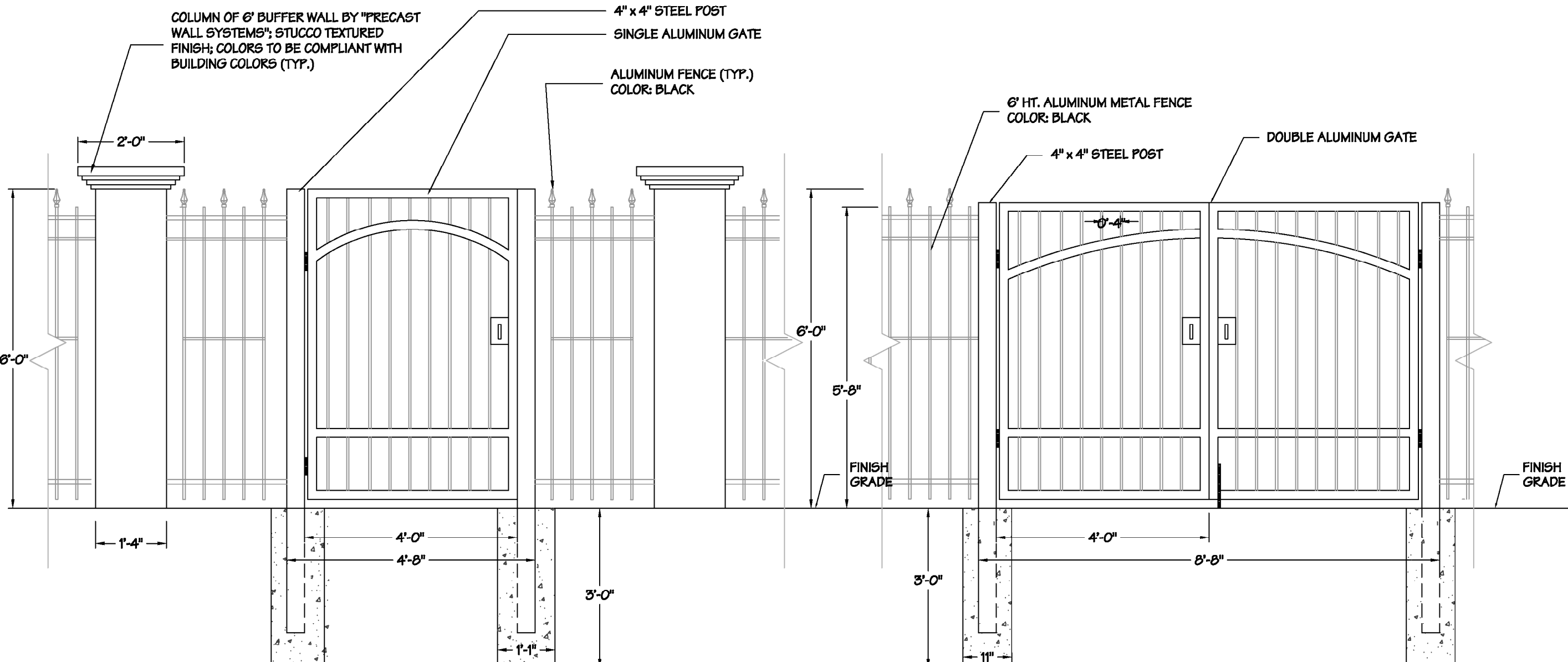
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HARDSCAPE  
LAYOUT PLAN



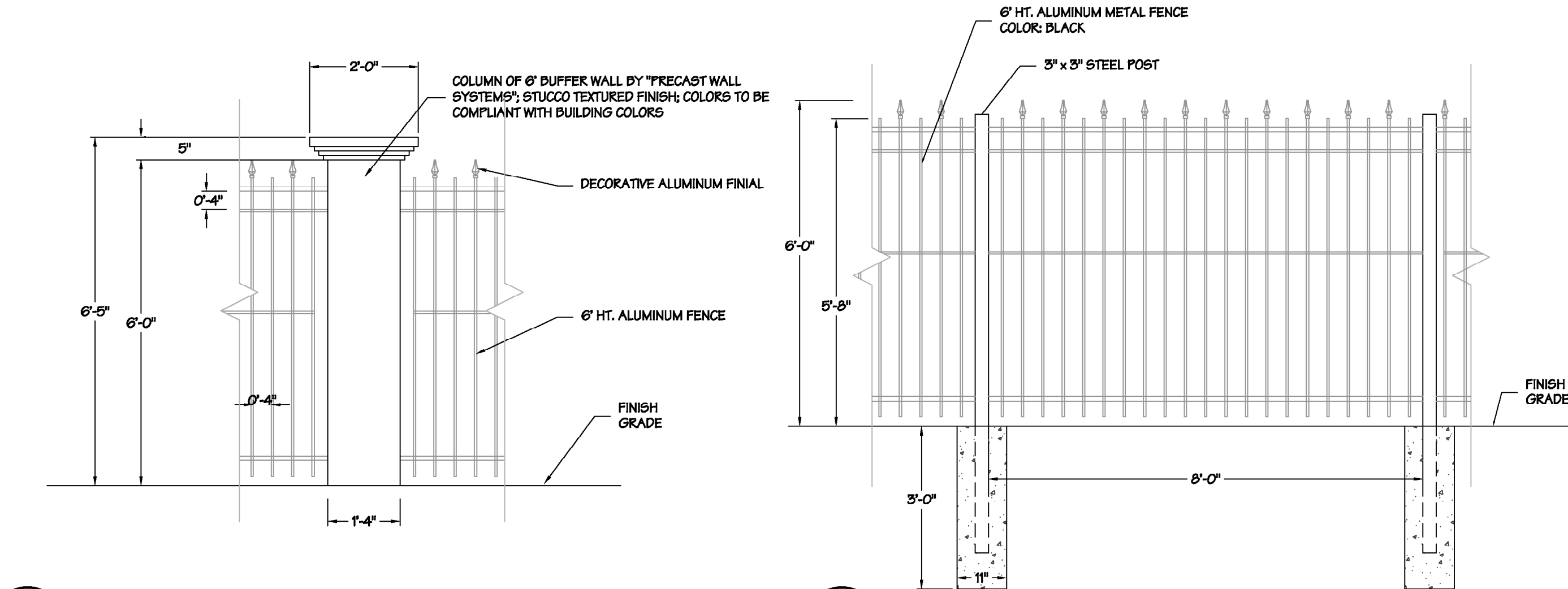


1 PEDESTRIAN CONCRETE WALK JOINT DETAILS  
SCALE: N.T.S.



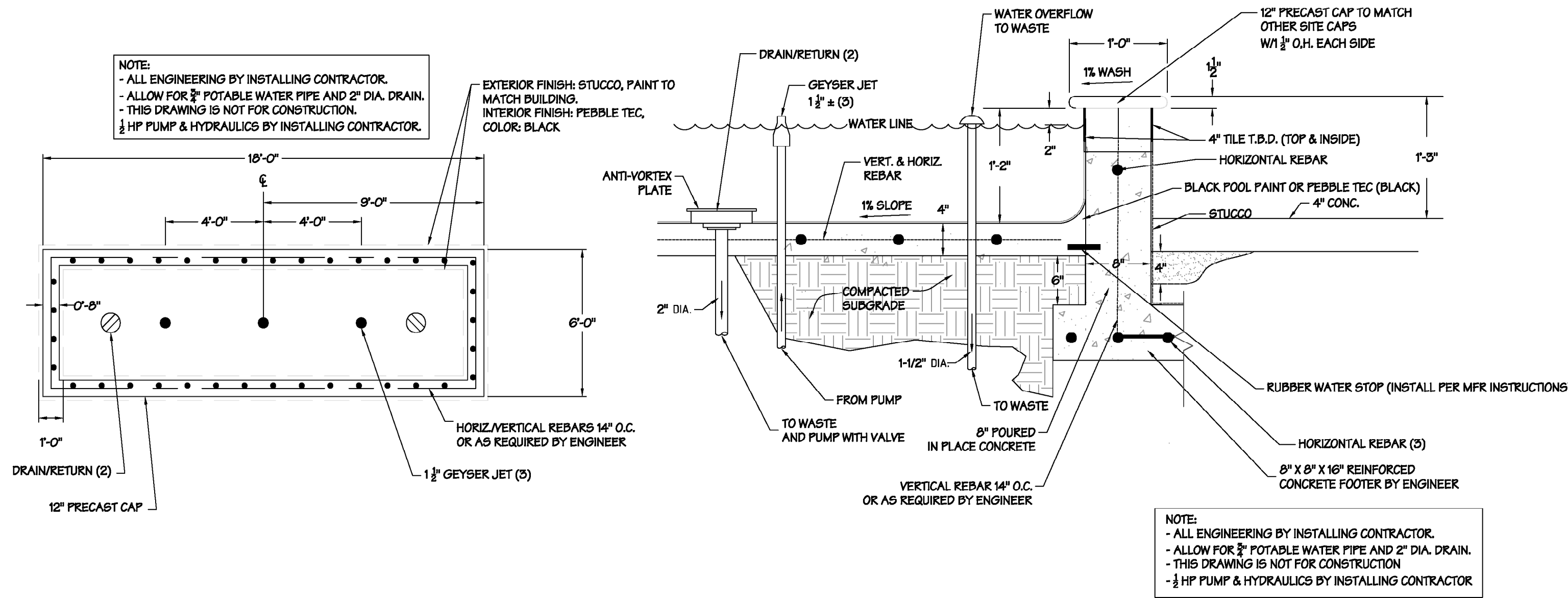
2 SINGLE GATE W/ COLUMN ELEVATION  
SCALE 1/2"=1'-0"

3 DOUBLE GATE W/ FENCE ELEVATION  
SCALE 1/2"=1'-0"



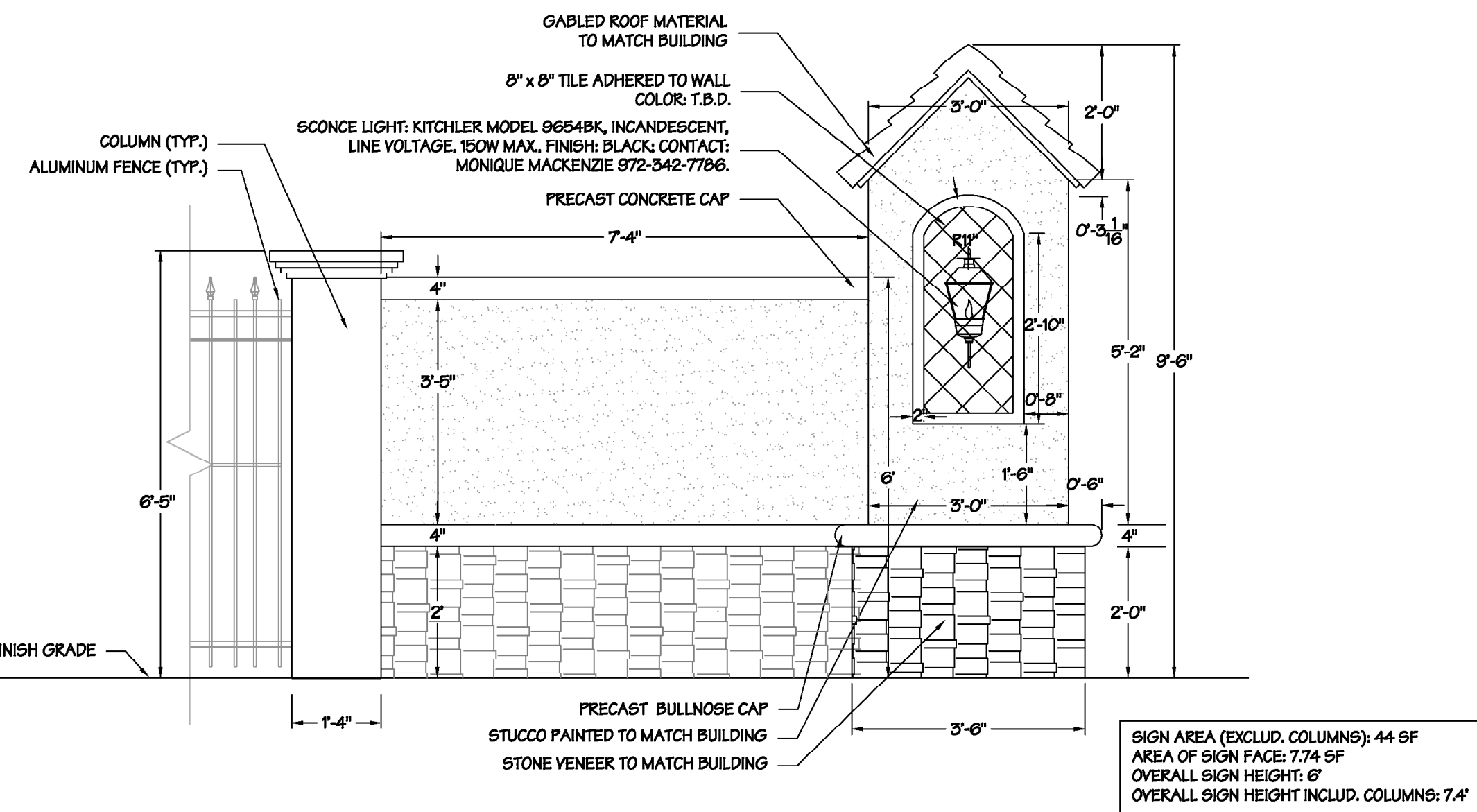
4 TYPICAL COLUMN W/ FENCE ELEVATION  
SCALE 1/2"=1'-0"

5 6" FENCE PANEL  
SCALE 1/2"=1'-0"

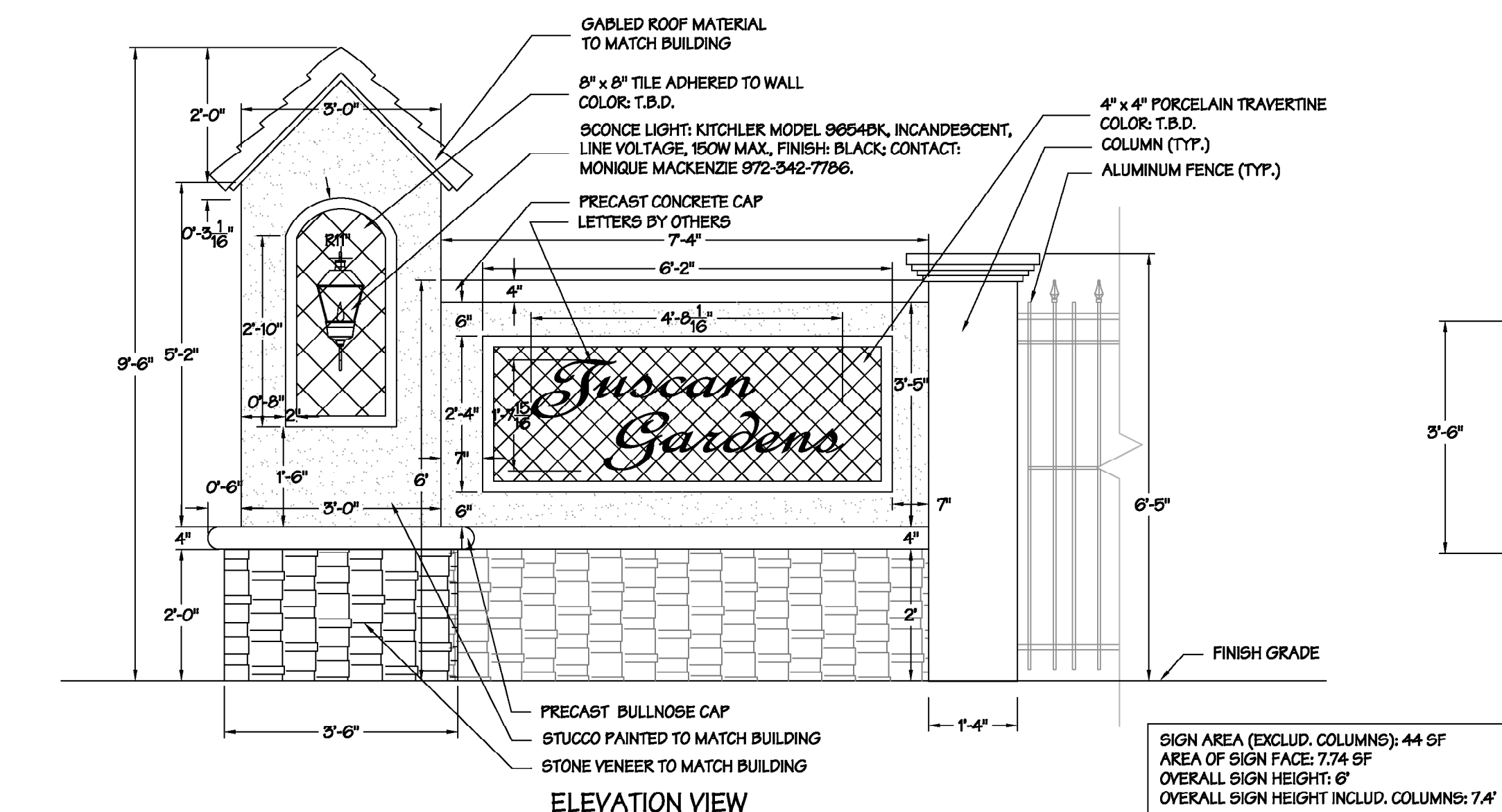


6 FOUNTAIN PLAN VIEW  
SCALE 1/4"=1'-0"

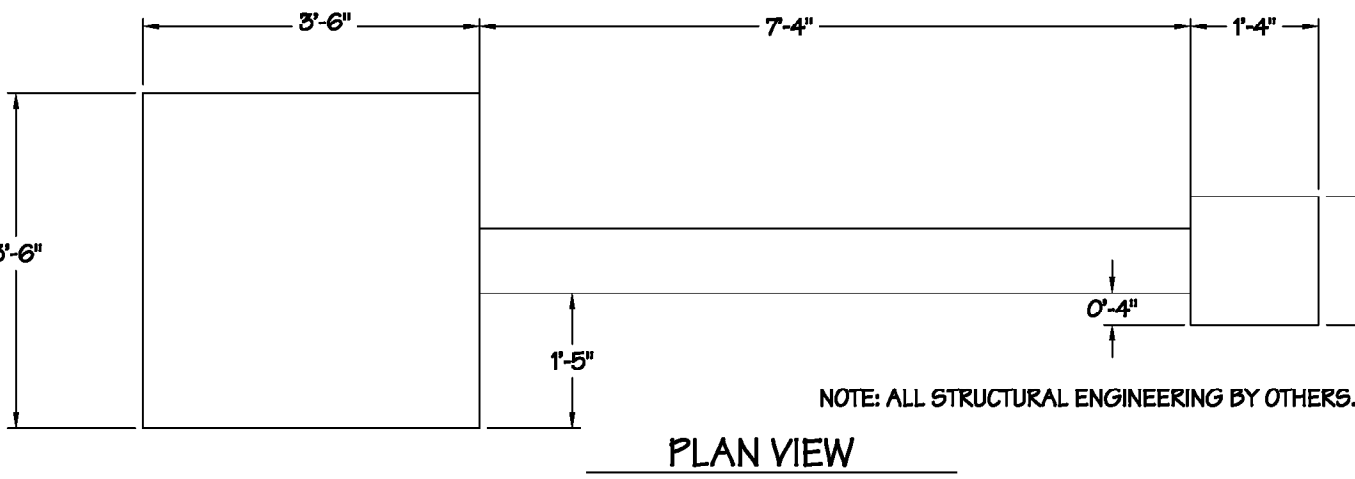
7 FOUNTAIN WALL SECTION  
SCALE 1"=1'-0"



8 LEFT ENTRY COLUMN AND WALL ELEVATION  
SCALE 1/2"=1'-0"



9 RIGHT ENTRY COLUMN AND WALL MOUNTED SIGN ELEVATION & PLAN VIEW  
SCALE 1/2"=1'-0"



PLAN VIEW

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Phil  
Graham,  
Jr., PLA

Digitally signed by  
Phil Graham, Jr., PLA  
Date: 2017.05.30  
13:49:08 -0400

FL Registration: LC26000478  
Phil Graham & Company, Inc.







# PLANT MATERIAL SCHEDULE

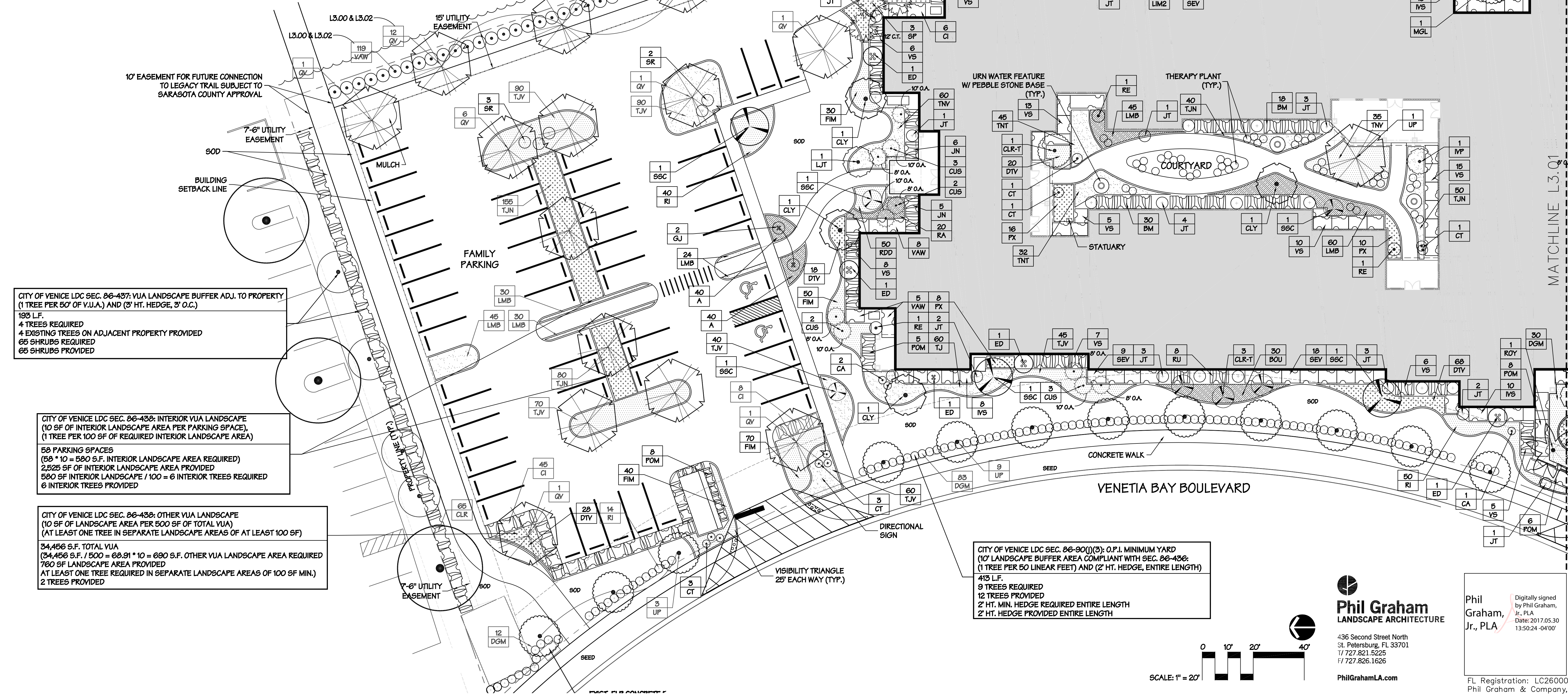
QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION
80	A	ANNUALS	ANNUALS	4" POT, FULL
30	BOU	BOUGAINVILLEA GLABRA 'DWARF'	DWARF BOUGAINVILLEA	3 GAL., 12" HT. X 12" SPD.
48	BM	BUXUS MICROPHYLLA	JAPANESE BOXWOOD	3 GAL., 18" HT., FULL
3	CA	CRINUM ASIATICUM	CRINUM LILY	7 GAL., 30-36" SPD.
59	CI	CHRYSOBALANUS ICACO	COCOPLUM	3 GAL., 24" SPD.
65	CLR	CLUSIA ROSEAE	PITCH APPLE	7 GAL., 36" HT., FULL
4	CLR-T	CLUSIA ROSEAE	CLUSIA TREE / PITCH APPLE	10' HT. X 4" SPD., 1-3/4" CAL.
4	CLY	CORDIA LUTEA	YELLOW GEIGER TREE	8-10' HT. X 4-5" SPD.
0	CUL	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	8-10' HT. X 4" SPD.
10	CUS	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	SEE PLAN FOR OVERALL HEIGHTS
9	CT	CORYLINE FRUTICOSA 'AUNTIE LOU'	AUNTIE LOU HAWAIIAN TI PLANT	3 GAL., 30-36" HT., MULTI
157	DGM	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	3 GAL., 12-14" X 12-14" SPD.
134	DTV	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	1 GAL., 12-14" HT., FULL
5	ED	ELAEODENDRUM DECIPENS	JAPANESE BLUEBERRY	15 GAL. 5-6"
28	EP	ELAEAGNUS PUNGENS	SILVERTHORN	3 GAL., 24-26" HT., DENSE
190	FIM	FIGUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FIGUS	3 GAL., 18" HT., FULL
2	GJ	GARDENIA JASMINOIDES	GRAFTED GARDENIA	30-36" HT. X 24" SPD.
33	IYS	ILEX VOMITORIA SHILLINGS	DWARF YAUPOH HOLLY	3 GAL., 14" HT. X 14" SPD.
1	IVP	ILEX VOMITORIA 'PENDULA'	WEEPING YAUPOH HOLLY	6-8' HT. X 3" SPD.
0	JAT	JATROPHA HASTATA	JATROPHA	4" HT. X 3" SPD.
11	JN	JASMINUM NITIDUM	SHINING JASMINE	3 GAL., 18-22" SPD.
26	JT	JUNIPERUS TORULOSA	HOLLYWOOD JUNIPER	4-5" HT., FULL
0	LIM	LAGERSTRÖMIA INDICA 'MUSKOGEE'	CREPE MYRTLE 'LAVENDER'	10' HT. X 4" SPD., 3" CAL., STANDARD
1	LIM2	LAGERSTRÖMIA INDICA 'MUSKOGEE'	CREPE MYRTLE 'LAVENDER'	8' HT. X 5" SPD., MULTI
1	LJT	LIGUSTRUM JAPONICUM	TREE-FORM LIGUSTRUM	8' HT. X 7" SPD., MULTI
234	LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 GAL., 10-12" SPD.
0	MGB	MAGNOLIA GRANDIFLORA 'BRACKENS'	BRACKENS BROWN BEAUTY	10' HT. X 4" SPD., 3" CAL.
1	MGL	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	8-10' HT. X 4" SPD.
25	NEB	NEPHROLEPSIS EXALTATA 'BOSTONIENSIS'	BOSTON FERN	1 GAL., 16" X 16"

27	POM	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	3 GAL., 28-30" DENSE
34	PX	PHILODENDRON 'XANADU'	XANADU PHILODENDRON	3 GAL., 18" X 20", FULL
24	QV	QUERCUS VIRGINIANA	LIVE OAK	12' HT. X 5" SPD., 3" CAL.
20	RA	RUMICORA ADIANTIFORMIS	LEATHER LEAF FERN	1 GAL., FULL
50	RDD	RHOEO DISCOLOR 'DWARF'	DWARF OYSTER PLANT	1 GAL., FULL
3	RE	RHAPIS EXCELSA	LADY PALM	4-5" HT., 3-5 STEM
104	RI	RAPHIOLEPSIS INDICA 'WHITE'	DWARF INDIAN HAWTHORN	3 GAL., 18" HT. X 18" SPD., DENSE
1	ROY	ROYSTONIA ELATA	FLORIDA ROYAL PALM	12' CLEAR WOOD
8	RU	RAPHIOLEPSIS UMBELLATA	YEDDO HAWTHORN	3 GAL., 18" HT. X 14-18" SPD.
61	SEV	SEVERINIA BURFOLIA	BOXTHORN	3 GAL., 22-24" HT., DENSE
3	SP	SABAL PALMETTO	CABBAGE PALM	SEE PLAN FOR C.T. HEIGHTS
5	SR	STRELITZIA REGINAE	BIRD OF PARADISE	3 GAL., 30-36" HT., FULL
7	SSC	SENNA SURATTENSIS	GLAUCOUS CASSIA	8-10' HT. X 4-5" SPD.
60	TJ	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	1 GAL., 12" SPD.
325	TJN	TRACHELOSPERMUM ASIATICUM 'MINIMA'	DWARF CONFEDERATE JASMINE	1 GAL., 12" SPD.
395	TJV	TRACHELOSPERMUM JASMINE VAR.	VARIEGATED CONFEDERATE JASMINE	1 GAL., 12" SPD.
77	TNT	TRACHELOSPERMUM ASIATICUM 'TRICOLOR'	TRICOLOR DWF. CONF. JASMINE	1 GAL., 12" SPD.
95	TNV	TRACHELOSPERMUM JAS. MINIMA VAR.	VAR. DWARF CONFEDERATE JASMINE	1 GAL., 12" SPD.
13	UP	ULMUS PARVIFOLIA	WEEPING ELM	12' HT. X 5" SPD., 3" CAL.
148	VAW	VIBURNUM AWABUKI	MIRROR LEAF VIBURNUM	3 GAL., 24" HT., FULL
96	VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 24" HT., DENSE

NOTE:  
1. LANDSCAPE MATERIAL SHALL BE 100% IRRIGATED ON AN AUTOMATIC IRRIGATION SYSTEM. ALL PLANTERS & URNS TO BE PERMANENTLY IRRIGATED. SEE SHEET L2.00 FOR IRRIGATION SOURCE.  
2. SEE SHEET L3.02 FOR LANDSCAPE GENERAL NOTES.

TREE TABLE			
11.21.14		9.02.16	
TREES REQ.	TREES PROVIDED	TREES REQ.	TREES PROVIDED
32	36	32	36
ADDITIONAL NON-BUFFER TREES	7	ADDITIONAL NON-BUFFER TREES	5

CITY OF VENICE LDC SEC. 86-436: LANDSCAPE ADJACENT TO R.O.W.  
MIN. 5' BUFFER (1 TREE PER 50' OF V.U.A.) AND (2' HT. HEDGE, 5' O.C.)  
(577 L.F.)  
12 TREES REQUIRED  
12 TREES PROVIDED  
116 SHRUBS REQUIRED  
119 SHRUBS PROVIDED



CITY OF VENICE LDC SEC. 86-437: VUA LANDSCAPE BUFFER ADJ. TO PROPERTY  
(1 TREE PER 50' OF V.U.A.) AND (3' HT. HEDGE, 3' O.C.)  
193 L.F.  
4 TREES REQUIRED  
4 EXISTING TREES ON ADJACENT PROPERTY PROVIDED  
65 SHRUBS REQUIRED  
65 SHRUBS PROVIDED

CITY OF VENICE LDC SEC. 86-438: INTERIOR VUA LANDSCAPE  
(10 SF OF INTERIOR LANDSCAPE AREA PER PARKING SPACE),  
(1 TREE PER 100 SF OF REQUIRED INTERIOR LANDSCAPE AREA)  
58 PARKING SPACES  
(58 \* 10 = 580 S.F. INTERIOR LANDSCAPE AREA REQUIRED)  
2,525 SF OF INTERIOR LANDSCAPE AREA PROVIDED  
580 SF INTERIOR LANDSCAPE / 100 = 6 INTERIOR TREES REQUIRED  
6 INTERIOR TREES PROVIDED

CITY OF VENICE LDC SEC. 86-439: OTHER VUA LANDSCAPE  
(10 SF OF LANDSCAPE AREA PER 500 SF OF TOTAL VUA)  
(AT LEAST ONE TREE IN SEPARATE LANDSCAPE AREAS OF AT LEAST 100 SF)  
34,456 S.F. TOTAL VUA  
(34,456 S.F. / 500 = 68.91 \* 10 = 689.1 OTHER VUA LANDSCAPE AREA REQUIRED)  
760 SF LANDSCAPE AREA PROVIDED  
AT LEAST ONE TREE REQUIRED IN SEPARATE LANDSCAPE AREAS OF 100 SF MIN.)  
2 TREES PROVIDED

CITY OF VENICE LDC SEC. 86-90(1)(3): O.P.I. MINIMUM YARD  
(10' LANDSCAPE BUFFER AREA COMPLIANT WITH SEC. 86-436:  
(1 TREE PER 50 LINEAR FEET) AND (2' HT. HEDGE, ENTIRE LENGTH)  
415 L.F.  
9 TREES REQUIRED  
12 TREES PROVIDED  
2' HT. MIN. HEDGE REQUIRED ENTIRE LENGTH  
2' HT. HEDGE PROVIDED ENTIRE LENGTH

SCALE: 1" = 20'

**Phil Graham**  
LANDSCAPE ARCHITECTURE

Phil Graham, Jr., PLA  
Digitally signed by Phil Graham, Jr., PLA  
Date: 2017.05.30 13:50:24 -0400

FL Registration: LC26000478  
Phil Graham & Company, Inc.

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SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

**TUSCAN GARDENS OF VENETIA BAY**  
841 VENETIA BAY BLVD  
VENICE, FL 34285

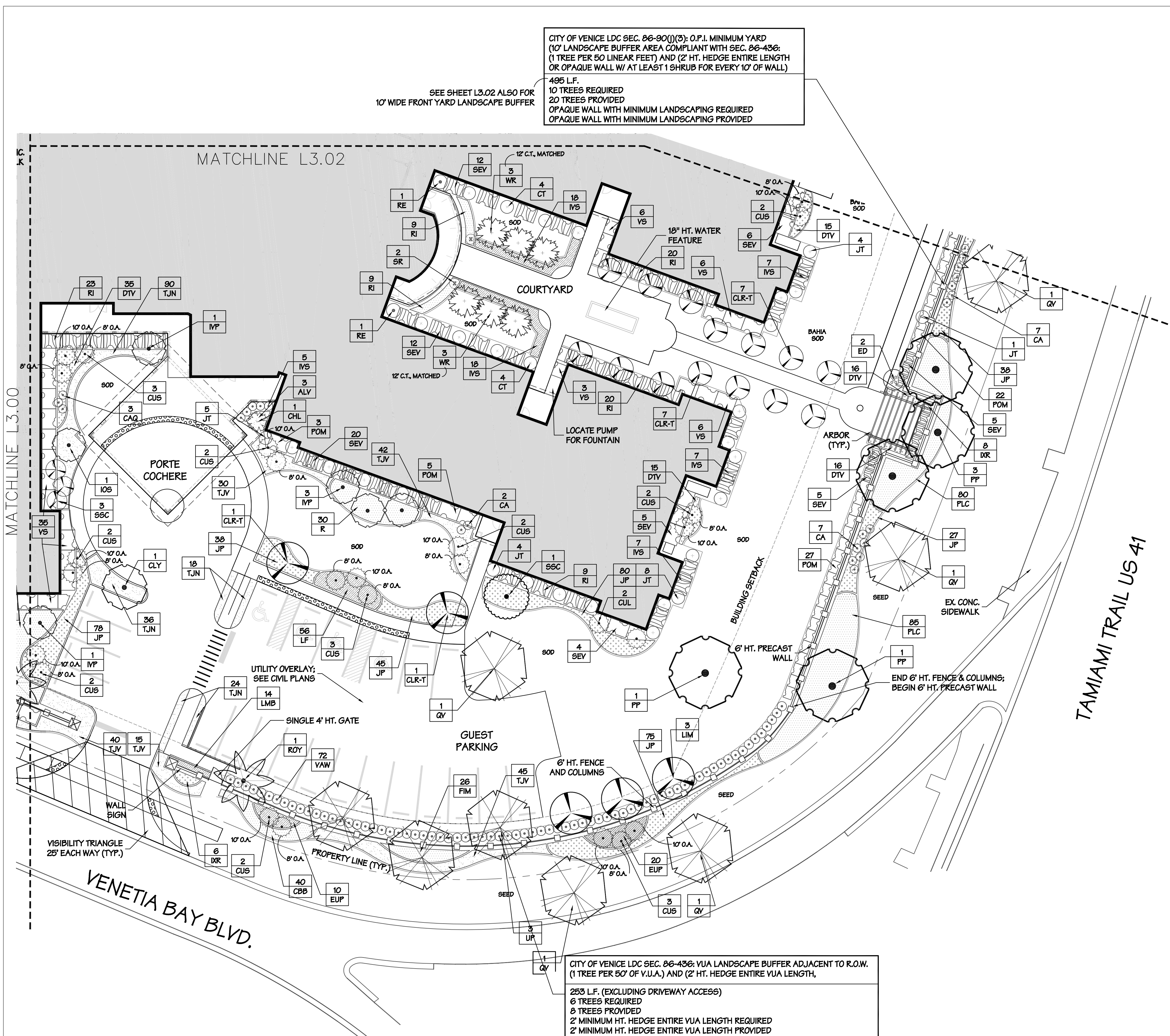
ISSUED	
DATE:	ISSUED FOR:
09-24-14	SPECIAL EXCEPTION AND SITE DEVELOPMENT
11-05-14	DD SUBMITTAL
11-24-14	RESPONSE TO CITY COMMENTS
9-2-16	RESUBMITTAL FOR APPROVAL

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.: 14045.00  
DRAWN BY: PS/MM/SB  
PROJECT MANAGER: PGW  
CHECKED BY: PGW  
DATE: 08-24-16  
SCALE: 1" = 20'-0"

**L3.00**  
LANDSCAPE DEVELOPMENT PLAN





CITY OF VENICE LDC SEC. 86-90(1)(3): 0.1.1. MINIMUM YARD (10' LANDSCAPE BUFFER AREA COMPLIANT WITH SEC. 86-436; (1 TREE PER 50' LINEAR FEET) AND (2' HT. HEDGE ENTIRE LENGTH OR OPAQUE WALL W/ AT LEAST 1 SHRUB FOR EVERY 10' OF WALL)

495 L.F.  
10 TREES REQUIRED  
20 TREES PROVIDED  
OPAQUE WALL WITH MINIMUM LANDSCAPING REQUIRED  
OPAQUE WALL WITH MINIMUM LANDSCAPING PROVIDED

SEE SHEET L3.02 ALSO FOR  
10' WIDE FRONT YARD LANDSCAPE BUFFER

MATCHLINE L3.02

MATCHLINE L3.00

CITY OF VENICE LDC SEC. 86-436: VUA LANDSCAPE BUFFER ADJACENT TO R.O.W.  
(1 TREE PER 50' OF V.U.A.) AND (2' HT. HEDGE ENTIRE VUA LENGTH,  
253 L.F. (EXCLUDING DRIVEWAY ACCESS)  
6 TREES REQUIRED  
8 TREES PROVIDED  
2' MINIMUM HT. HEDGE ENTIRE VUA LENGTH REQUIRED  
2' MINIMUM HT. HEDGE ENTIRE VUA LENGTH PROVIDED

## PLANT MATERIAL SCHEDULE

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION
3	ALV	ALPINIA SPECIOSA	VARIEGATED GINGER	3 GAL, 30-36" HT., FULL
16	CA	CRINUM ASIATICUM	CRINUM LILY	7 GAL, 30-36" SPD.
3	CAQ	CRINUM ASIATICUM 'QUEEN EMMA'	RED CRINUM LILY	7 GAL, 30-36" SPD.
40	CBP	CARISSA MACROCARPA 'BOX BEAUTY'	BOXWOOD BEAUTY CARISSA	1 GAL, 10" HT. X 10" SPD.
1	CHL	CHRYSALEDOCEPUS LUTESCENS	ARECA PALM	6' HT, 3-5 STEM
16	CLR-T	CLUSIA ROSEAE	CLUSIA TREE / PITCH APPLE	10' HT. X 4' SPD, 1-3/4" CAL.
1	CLY	CORDIA LUTEA	YELLOW GEIGER TREE	8-10' HT. X 4-5' SPD.
2	CUL	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	8-10' HT. X 4' SPD.
23	CUS	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	SEE PLAN FOR OVERALL HEIGHTS
8	CT	CORDYLINE FRUTICOSA 'AUNTIE LOU'	AUNTIE LOU HAWAIIAN TI PLANT	3 GAL, 30-36" HT., MULTI
97	DTV	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	1 GAL, 12-14" HT., FULL
2	ED	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY	15 GAL, 5-6'
30	EUP	EURYOPS PECTINATUS	GOLDEN SHRUB DAISY	3 GAL, 18"-20" HT., FULL
26	FIM	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL, 18" HT., FULL
1	IOS	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	6-8' HT., DENSE
14	IKR	DORA COCCINEA 'RED'	RED FLAME OF THE WOODS	3 GAL, 18" HT., FULL
5	IVP	ILEX VOMITORIA 'PENDULA'	WEeping YAUPON HOLLY	6-8' HT. X 3' SPD.
62	IVS	ILEX VOMITORIA SHILLINGS	DWARF YAUPON HOLLY	3 GAL, 14" HT. X 14" SPD.
0	JAT	JATROPHA HASTATA	JATROPHA	4' HT. X 3' SPD.
22	JT	JUNIPERUS TORULOSA	HOLLYWOOD JUNIPER	4-5' HT., FULL
381	JP	JUNIPERUS PARSONII	PARSON'S JUNIPER	1 GAL, 10-12" SPD.
56	LF	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	3 GAL, 20"-24" HT., FULL
3	LIM	LAGERSTROEMIA INDICA 'MUSKOGEE'	CREPE MYRTLE 'LAVENDER'	10' HT. X 4' SPD, 3" CAL., STANDARD
14	LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 GAL, 10"-12" SPD.
165	PLC	PLUMBAGO CAPENSIS	PLUMBAGO	3 GAL, 22" HT. X 24" SPD.
57	POM	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	3 GAL, 28-30" DENSE
5	PP	PELTOPHORUM PTEROCARPUM	YELLOW POINCIANA	12' HT. X 5' SPD, 3" CAL.
5	QV	QUERCUS VIRGINIANA	LIVE OAK	12' HT. X 5' SPD, 3" CAL.
30	R	ROSA SPP.	ROSE	3 GAL, 24" HT.
2	RE	RHAPIS EXCELSA	LADY PALM	4-5' HT, 3-5 STEM
90	RI	RAPHIOLEPSIS INDICA 'WHITE'	DWARF INDIAN HAWTHORN	3 GAL, 18" HT. X 18" SPD, DENSE
1	ROY	ROYSTONIA ELATA	FLORIDA ROYAL PALM	15' CLEAR WOOD
69	SEV	SEVERINIA BUXIFOLIA	BOXTHORN	3 GAL, 22-24" HT, DENSE
2	SR	STRELITZIA REGINAE	BIRD OF PARADISE	3 GAL, 30-36" HT., FULL
4	SSC	SENNA SURATTENSIS	GLAUCOUS CASSIA	8-10' HT. X 4-5' SPD.
3	UP	ULMUS PARVIFOLIA	WEeping ELM	12' HT. X 5' SPD, 3" CAL.
168	TJN	TRACHELOSPERMUM ASIATICUM 'MINIMA'	DWARF CONFEDERATE JASMINE	1 GAL, 12" SPD.
172	TJV	TRACHELOSPERMUM JASMINE VAR.	VARIEGATED CONFEDERATE JASMINE	1 GAL, 12" SPD.
72	YAW	VIBURNUM AWABUKI	MIRROR LEAF VIBURNUM	3 GAL, 24" HT., FULL
56	VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL, 24" HT, DENSE
6	WR	WASHINGTONIA ROBUSTA	WASHINGTON PALM	SEE PLAN FOR C.T. HT.

### NOTE:

- LANDSCAPE MATERIAL SHALL BE 100% IRRIGATED ON AN AUTOMATIC IRRIGATION SYSTEM. ALL PLANTERS & URNS TO BE PERMANENTLY IRRIGATED. SEE SHEET L2.00 FOR IRRIGATION SOURCE.
- SEE SHEET L3.02 FOR LANDSCAPE GENERAL NOTES.

TREE TABLE			
11.21.14		9.02.16	
TREES REQ.	TREES PROVIDED	TREES REQ.	TREES PROVIDED
6	12	6	8
ADDITIONAL NON-BUFFER TREES	8	ADDITIONAL NON-BUFFER TREES	4

REFER TO SHEET L3.02 FOR US41 TREE QUANTITIES

**BESSOLO**  
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KEVIN J. BESSOLO  
ART2069  
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CLIENT APPROVAL:  
SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

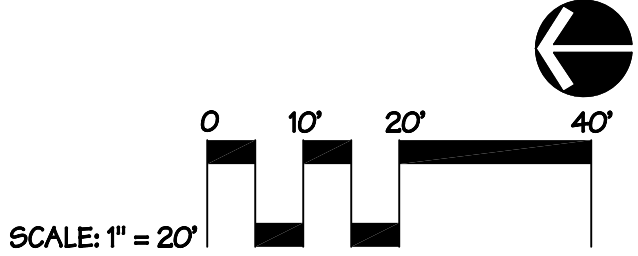
TUSCAN GARDENS  
OF VENETIA BAY  
841 VENETIA BAY BLVD  
VENICE, FL 34285

ISSUED  
DATE: 09-24-14  
ISSUED FOR: SPECIAL EXCEPTION AND  
SITE DEVELOPMENT  
1-05-14 CD SUBMITTAL  
1-2-14 RESPONSE TO CITY COMMENTS  
9-2-16 RESUBMITTAL FOR APPROVAL

REVISIONS  
NO. DATE DESCRIPTION


PROJECT NO. 14045.00  
DRAWN BY: PS/MM/SB  
PROJECT MANAGER: PGW  
CHECKED BY: PGW  
DATE: 08-24-16  
SCALE: 1" = 20'-0"

L3.01  
LANDSCAPE  
DEVELOPMENT PLAN



**Phil Graham**  
LANDSCAPE ARCHITECTURE

436 Second Street North  
St. Petersburg, FL 33701  
1/727.821.5225  
1/727.826.1626

PhilGrahamLA.com

Phil  
Graham,  
Jr., PLA

Digitally signed by  
Phil Graham, Jr., PLA  
Date: 2017.05.30  
13:50:57 -0400

FL Registration: LC26000478  
Phil Graham & Company, Inc.



CITY OF VENICE LDC SEC. 86-90(1)(3); O.P.I. MINIMUM YARD (10' LANDSCAPE BUFFER AREA COMPLIANT WITH SEC. 86-436; (1 TREE PER 50 LINEAR FEET) AND (2' HT. HEDGE ENTIRE LENGTH OR OPAQUE WALL W/ AT LEAST 1 SHRUB FOR EVERY 10' OF WALL) 495 L.F. 10 TREES REQUIRED 20 TREES PROVIDED OPAQUE WALL WITH MINIMUM LANDSCAPING REQUIRED OPAQUE WALL WITH MINIMUM LANDSCAPING PROVIDED

SEE SHEET L3.01 ALSO FOR 10' WIDE FRONT YARD LANDSCAPE BUFFER

## GENERAL LANDSCAPE NOTES

- All plant materials shall be Florida #1 or better quality, installed to highest nursery standards.
- Mulch shall be RECYCLED HARDWOOD. Mulch shall be installed to a minimum of 3" thick in all planting areas.
- Turf shall be 95% weed free: ST. AUGUSTINE 'FLORATAM' SOD & BAHIA SOD. Where noted on plans Sod shall be installed with tight joints, rolled and fertilized at time of installation. All areas of the project site disturbed during construction shall be sodded with matching turf, unless specifically labeled otherwise. All areas within the project limits shall be provided with turf or other specified groundcover.
- All dimensions shall be field-checked by the Landscape Contractor prior to construction, with any discrepancies reported immediately to the Landscape Architect.
- All materials shall be as specified on the landscape plan. If materials or labor do not adhere to specifications, they shall be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- No substitutions or changes of any kind shall be made at time of bidding, so as to provide for equal and fair comparisons.
- All permits necessary shall be provided by the installing Contractor unless otherwise specifically stated in the specifications.
- All questions concerning the plans and specifications shall be directed to the Landscape Architect, (727) 821-5225.
- Carefully review the Landscape Specifications. The installing Contractor shall be held responsible for all items contained therein.
- The contractor shall be responsible to provide storm water pollution prevention plans and appropriate construction site runoff controls to meet EPA's Natural Pollutant Discharge Elimination System rule on construction sites where more than one acre of land is disturbed.
- Contractor shall verify that all trees and shrubs to remain/ be transplanted were originally planted to meet proper planting techniques, and that all plastic pots were removed from the trees/ shrubs prior to planting. Contractor shall contact 800.482.4770 at least 48 hours before any digging.

## FERTILIZATION

SHRUBS AND TREES  
All trees and shrubs shall be fertilized with Dieland packs and granular time release fertilizer at time of installation and prior to completion of pit backfilling. Fertilizer shall be placed uniformly around the root mass at a depth that is between the middle and bottom of the root mass.

APPLICATION RATE:  
See manufacturer recommendations.

## PLANT MATERIAL SCHEDULE

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION
65	A	ANNUALS	ANNUALS	4" POT, FULL
50	BM	BUXUS MICROPHYLLA	JAPANESE BOXWOOD	3 GAL., 18" HT., FULL
12	AGS	AGASTACHE FOENICULUM	ANISE HYSSOP	1 GAL., 12"-14" HT., FULL
10	ASC	ASCLEPIAS TUBEROSA	MILKWEED	1 GAL., 18"-20" HT., FULL
4	ASP	ALOE SAPONARIA	ALOE	7 GAL., 24" SPD.
7	CA	CRINUM ASIATICUM	CRINUM LILY	7 GAL., 30-36" SPD.
1	CLR-T	CLUSIA ROSEAE	CLUSIA TREE / PITCH APPLE	10" HT. X 4" SPD., 1-3/4" CAL.
23	CUL	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	8'-10" HT. X 4" SPD.
14	CUS	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	SEE PLAN FOR OVERALL HEIGHTS
2	CT	CORYLINE FRUTICOSA 'AUNTIE LOU'	AUNTIE LOU HAWAIIAN TI PLANT	3 GAL., 30-36" HT., MULTI
38	DGM	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	3 GAL., 12-14" X 12-14" SPD.
127	DV	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	1 GAL., 12-14" HT., FULL
127	EDH	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL., 12-14" HT., FULL
15	ED	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY	15 GAL. 5-6'
125	FIM	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FIGUS	3 GAL., 18" HT., FULL
16	FJ	FATSIA JAPONICA	FATSIA	3 GAL., 24" X 24"
24	HP	HAMELIA PATENS	FIREBUSH	3 GAL., 24" HT. X 20" SPD.
3	HS	HIBISCUS SPP. 'STANDARD'	TREE-FORM HIBISCUS	4'-5" HT. X 3" SPD.
1	IOS	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	6-8' HT. DENSE
16	IXR	IXORA COCCINEA 'RED'	RED FLAME OF THE WOODS	3 GAL., 18" HT., FULL
28	IY	IXORA COCCINEA 'YELLOW'	YELLOW FLAME OF THE WOODS	3 GAL., 18" HT., FULL
5	IXV	ILEX VOMITORIA 'PENDULA'	WEEPING YAUPOH HOLLY	6-8' HT. X 3" SPD.
21	IYS	ILEX VOMITORIA SHILLINGS	DWARF YAUPOH HOLLY	3 GAL., 14" HT. X 14" SPD.
3	JB	PACHYSTACHYS LUTEA	YELLOW SHRIMP PLANT	3 GAL., 18" HT., FULL
18	JP	JUNIPERUS TORULOSA	HOLLYWOOD JUNIPER	4-5' HT. FULL
10	JP	JUNIPERUS PARSONII	PARSONS' JUNIPER	1 GAL., 10-12" SPD.
28	LAC	LANTANA CAMARA	DWARF YELLOW LANTANA	1 GAL., 12" SPD.
12	LAM	LANTANA MONTEVIDENSIS	TRAILING LAVENDAR LANTANA	1 GAL., 12" SPD.
22	LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 GAL., 10"-12" SPD.
30	PL	PENTAS LANCEOLATA	PENTAS	1 GAL., 12"-14" HT. FULL
75	PLC	PLUMBAGO CAPENSIS	PLUMBAGO	3 GAL., 22" HT. X 24" SPD.
90	POM	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	3 GAL., 28-30" DENSE U.O.N
16M2	POM2	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	15 GAL. 6' - 7' MIN HT DENSE
6	PP	PELTOPHORUM PTEROCARPUM	YELLOW POINCIANA	12" HT. X 5' SPD., 3" CAL.
146	PQ	PASPALUM QUADRIFARIUM	EVERGREEN PASPALUM	3 GAL., 18" HT. FULL
55	PX	PHILODENDRON 'XANADU'	XANADU PHILODENDRON	3 GAL., 18" X 20", FULL
2	QV	QUERCUS VIRGINIANA	LIVE OAK	12" HT. X 5' SPD., 3" CAL.
2	RE	RHAPIS EXCELSA	LADY PALM	4'-5' HT., 3-5 STEM
75	RI	RAPHIOLEPSIS INDICA 'WHITE'	DWARF INDIAN HAWTHORN	3 GAL. 16" HT. X 18" SPD., DENSE
38	SOC	SALVIA COCCINEA	SALVIA 'LADY IN PINK'	1 GAL., 12-14" HT. X 8" SPD.
10	SEV	SEVERINIA BUXIFOLIA	BOXTHORN	3 GAL., 22-24" HT., DENSE
7	SG	SALVIA GUARANITICA 'BLACK & BLUE'	BLACK & BLUE SALVIA	3 GAL., 18" HT. FULL
12	SP	SABAL PALMETTO	CABBAGE PALM	SEE PLAN FOR C.T. HT.
7	SOC	SENNA SURATENSIS	GLAUOUS CASSIA	8-10" HT. X 4-5" SPD.
117	TJN	TRACHELOSPERMUM ASIATICUM 'MINIMA'	DWARF CONFEDERATE JASMINE	1 GAL., 12" SPD.
85	TJV	TRACHELOSPERMUM JASMINE VAR.	VARIEGATED CONFEDERATE JASMINE	1 GAL., 12" SPD.
110	TNV	TRACHELOSPERMUM JAS. MINIMA VAR.	VAR. DWARF CONFEDERATE JASMINE	1 GAL., 12" SPD.
18	VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 24" HT., DENSE
1	YF	YUCCA FILAMENTOSA	ADAMS NEEDLE	3 GAL., 24" HT. X 24" SPD.

END 6' HT. PRECAST WALL: BEGIN 6' HT. C.L. FENCE

PROPERTY LINE (TYP.)

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