

CORBY WAREHOUSE/  
OFFICE BUILDING #1 & #2  
SECTION 28, TOWNSHIP 38 SOUTH, RANGE 19 EAST  
216 TRIPLE DIAMOND BLVD.  
NOKOMIS FLORIDA, 34275



TRIPLE DEE PROPERTIES LLC.  
6527 MOORINGS POINT CIRCLE, UNIT 101  
LAKEWOOD RANCH, FLORIDA 34202

ENTITY RESPONSIBLE FOR MAINTENANCE, INCLUDING ALL ON-SITE FACILITIES SUCH AS PARKING AREAS, PIPES, INLETS SIDEWALKS, BUILDING, AND LANDSCAPED FACILITIES.

TRIPLE DEE PROPERTIES LLC.  
6527 MOORINGS POINT CIRCLE, UNIT 101  
LAKEWOOD RANCH, FLORIDA 34202

MANUFACTURING

PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN FLOOD  
ZONE " X " BASE FLOOD ELEVATION ( NOT DETERMINED )  
AS PER F.I.R.M. MAP #12115C0243F, DATED 11/4/16.

\*TO BE VERIFIED BY THE LOCAL F.E.M.A. OFFICIAL\*

ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE  
N.A.V.D. 1988 VERTICAL DATUM, UNLESS OTHERWISE  
SPECIFIED.

ELEVATIONS SHOWN HEREON ARE BASED ON A PLAT  
BENCHMARK #973, ELEVATION 14.568' (N.G.V.D. 1929).  
CONVERTED TO ELEVATION 13.546' (N.A.V.D. 1988) USING  
CORPSCON VERSION 6.0.1.

ALL HANDICAP RAMPS (TACTILE SURFACE AREAS) WILL BE TEXTURED IN ACCORDANCE WITH FLORIDA ACCESSIBILITY CODE SECTION 4.29.2 "DETECTABLE WARNINGS ON WALKING SURFACES". SAW CUTTING GROOVES IS NOT ACCEPTABLE.

THE FACILITIES COMPLY WITH ALL APPLICABLE STANDARDS INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS"

ALL FACILITIES CONTAINED HEREIN HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODES, F.A.C. (FLORIDA STATUTES, SECTIONS 553.501-553.513)

CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE OR SCREENING, ETC..

DRAINAGE EASEMENTS WILL NEED TO BE RECORDED BEFORE  
COMPLETION CERTIFICATION

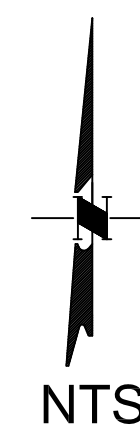
THE WATER AND SEWER SERVICE WILL BE PROVIDED  
BY CITY OF VENICE UTILITIES DEPARTMENT  
200 NORTH WARFIELD AVENUE  
VENICE FL 34285  
941-480-3333

THE POWER SERVICE WILL BE PROVIDED  
BY FLORIDA POWER AND LIGHT

2245 MURPHY COURT  
NORTH PORT FL 34286  
800 375 8805

THE TELEPHONE SERVICE WILL BE PROVIDED

BY FRONTIER  
5590 SWIFT ROAD  
SARASOTA, FL. 34231  
877-329-1605



C1.....COVER SHEET

C2.....AERIAL

C3.....SITE PLAN

C4.....UTILITY PLAN

C5.....GRADING AND DRAINAGE PLAN

L1.....LANDSCAPE PLAN

.....ARCHITECTURAL FLOOR PLAN

.....ARCHITECTURAL ELEVATIONS

I hereby certify that to the best of my knowledge and belief the design of this project, as prepared under my personal direction and control, complies with all applicable standards, including the "Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways" as adopted by the Florida Department of Transportation pursuant to Subsections 335.075(1) and (4), Florida Statutes and the Sarasota County Land Development regulations.

|                   |             |    |                                                                                                                                                                                |
|-------------------|-------------|----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ORIGINAL DATE: -- |             |    | <p>Joseph S. Menen, P.E.</p> <p>P.E. No. 44745</p> <p>State of Florida</p> <p>Charlotte Engineering &amp; Surveying, Inc.</p> <p>Corporation No. 2904</p> <p>Job No. 12832</p> |
| REVISIONS:        |             |    |                                                                                                                                                                                |
| DATE              | DESCRIPTION | BY |                                                                                                                                                                                |
|                   |             | -- |                                                                                                                                                                                |
|                   |             | -- |                                                                                                                                                                                |
| --                | --          | -- |                                                                                                                                                                                |
|                   |             | -- |                                                                                                                                                                                |

SITE ADDRESS:  
216 TRIPLE DIAMOND BLVD.  
NOKOMIS FLORIDA, FL. 34275



CHARLOTTE ENGINEERING & SURVEYING, INC.

1700 EL JOBEAN ROAD  
PORT CHARLOTTE, FLORIDA 33948

T: (941) 629-2552

F: (941) 743-8298

E: ces@acp-ces.com

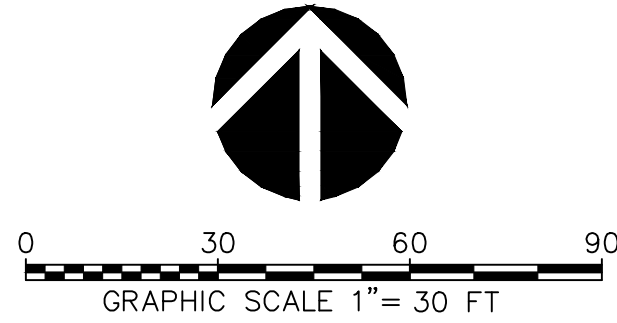
SURVEYOR  
STRAYER  
SURVEYING & MAPPING, INC.

742 Shamrock Boulevard  
Venice, Florida 34293  
(941) 496-9488  
(941) 624-4900  
Fax (941) 497-6186

www.strayersurveying.com

## TECHNICAL REVIEW





Charlotte Engineering & Surveying, Inc.  
1700 El Jobean Road  
Port Charlotte, Florida 33948  
Telephone No.: (941) 629-2552  
Fax No.: (941) 743-8298  
E-mail: ces@acp-ces.com

LC No. 371  
LB No. 2804  
EB No. 2804

CIVIL ENGINEERS/LAND DEVELOPMENT  
SPORTS FACILITY CONSULTANTS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS

AERIAL

CORBY WAREHOUSE  
OFFICE BUILDING #1&#2  
Venice, Florida

FOR

Triple Dee Properties, LLC  
6527 Moorings Point Circle, Unit 101  
Lakewood Ranch, Florida 34202

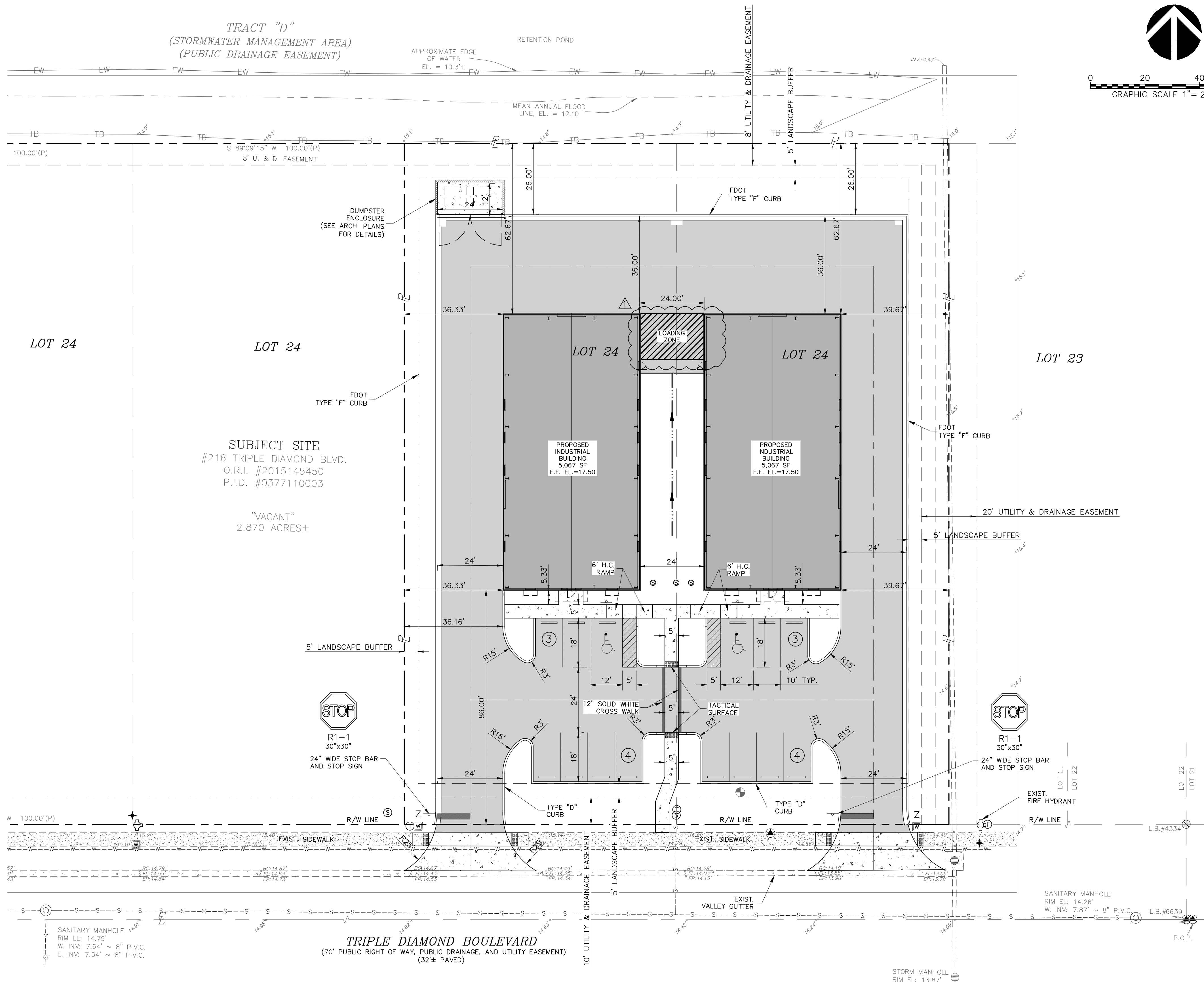
Revisions:  
7-25-17 TECH REVIEW

Joseph S. Menen, P.E.  
P.E. No. 44745  
State of Florida  
Charlotte Engineering & Surveying, Inc.  
Corporation No. 2904

|             |            |
|-------------|------------|
| Date:       | 07/25/2017 |
| Scale:      | 1" = 20'   |
| Drawn By:   | FLS        |
| Checked By: | JSM        |
| Project #:  | 12832      |

SHEET C2





- LEGEND**
- BENCH MARK BM/TBM
  - PROPERTY LINE
  - R/W LINE
  - RIGHT OF WAY LINE
  - PROPOSED BUILDING
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE
  - EXISTING CONCRETE
  - EXISTING LIGHT POLE
  - EXISTING FIRE HYDRANT
  - WATER METER
  - EXISTING MANHOLE
  - EXISTING SEWER MAIN
  - PROPOSED SEWER MAIN
  - PROPOSED VALVE
  - EXISTING VALVE
  - EXISTING GRATE INLET
  - PROPOSED SWALE
  - EXISTING SWALE
  - PROPOSED WATER MAIN
  - EXISTING WATER MAIN
  - PROPOSED SILT FENCE
  - PROPOSED TOP OF BANK
  - PROPOSED TOE OF SLOPE
  - EXISTING TOE OF SLOPE
  - EXISTING TOP OF BANK
  - PROPOSED RIDGE LINE
  - PROPOSED DRAINAGE FLOW

**PROJECT SITE SUMMARY**  
LOT24 AND LOT 25 TRIPLE DIAMOND COMMERCE PARK

PROJECT ZONING - PID

|                        |             |          |
|------------------------|-------------|----------|
| <b>TOTAL SITE AREA</b> | 50,000 S.F. | 1.15 AC. |
|------------------------|-------------|----------|

|                              |                    |               |
|------------------------------|--------------------|---------------|
| <b>IMPERVIOUS AREA</b>       |                    |               |
| TYPE                         | PROPOSED           | %             |
| BUILDING COVERAGE            | 10,134 S.F.        | 20.3 %        |
| ASPHALT/CONCRETE PAVEMENT    | 22,357 S.F.        | 44.7 %        |
| CONCRETE SIDEWALKS AND SLABS | 1,292 S.F.         | 2.6 %         |
| <b>TOTAL IMPERVIOUS</b>      | <b>33,547 S.F.</b> | <b>67.6 %</b> |

|                          |             |        |
|--------------------------|-------------|--------|
| <b>PERVIOUS AREA</b>     |             |        |
| LANDSCAPE AND OPEN SPACE | 16,453 S.F. | 32.4 % |

**LANDSCAPE REQUIREMENTS**  
MINIMUM 20% OF THE SITE IS REQUIRED TO BE LANDSCAPED OPEN SPACE.  
PROVIDED: 32.4%

**PARKING REQUIREMENTS**  
INDUSTRIAL (1 SPACE PER 1,000 SF) - 10,134 SF / 1,000 = 11 SPACES  
PARKING REQUIRED - 11 SPACES

**PARKING PROVIDED**  
PARKING PROVIDED - 14 SPACES

HANDICAP SPACES REQUIRED - 1 SPACES  
HANDICAP SPACES PROVIDED - 2 SPACES

**BUILDING SETBACKS**  
MINIMUM 20-FOOT FRONT, SIDE AND REAR YARD SETBACKS ARE REQUIRED.  
PROVIDED: FRONT = 86'  
EAST SIDE = 39.67'  
REAR = 62.67'  
WEST SIDE = 36.33'

**BUILDING HEIGHT**  
THE MAXIMUM BUILDING HEIGHT IS 85 FEET.  
PROVIDED: --- FEET

CALL 48 HOURS BEFORE YOU DIG  
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

TECHNICAL REVIEW

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**CES/American**

CIVIL ENGINEERS/LAND DEVELOPMENT  
SPORTS FACILITY CONSULTANTS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS

**SITE PLAN**

**CORBY WAREHOUSE**  
**OFFICE BUILDING #1&#2**  
Venice, Florida

FOR

Triple Dee Properties, LLC  
6527 Moorings Point Circle, Unit 101  
Lakewood Ranch, Florida 34202

Revisions:

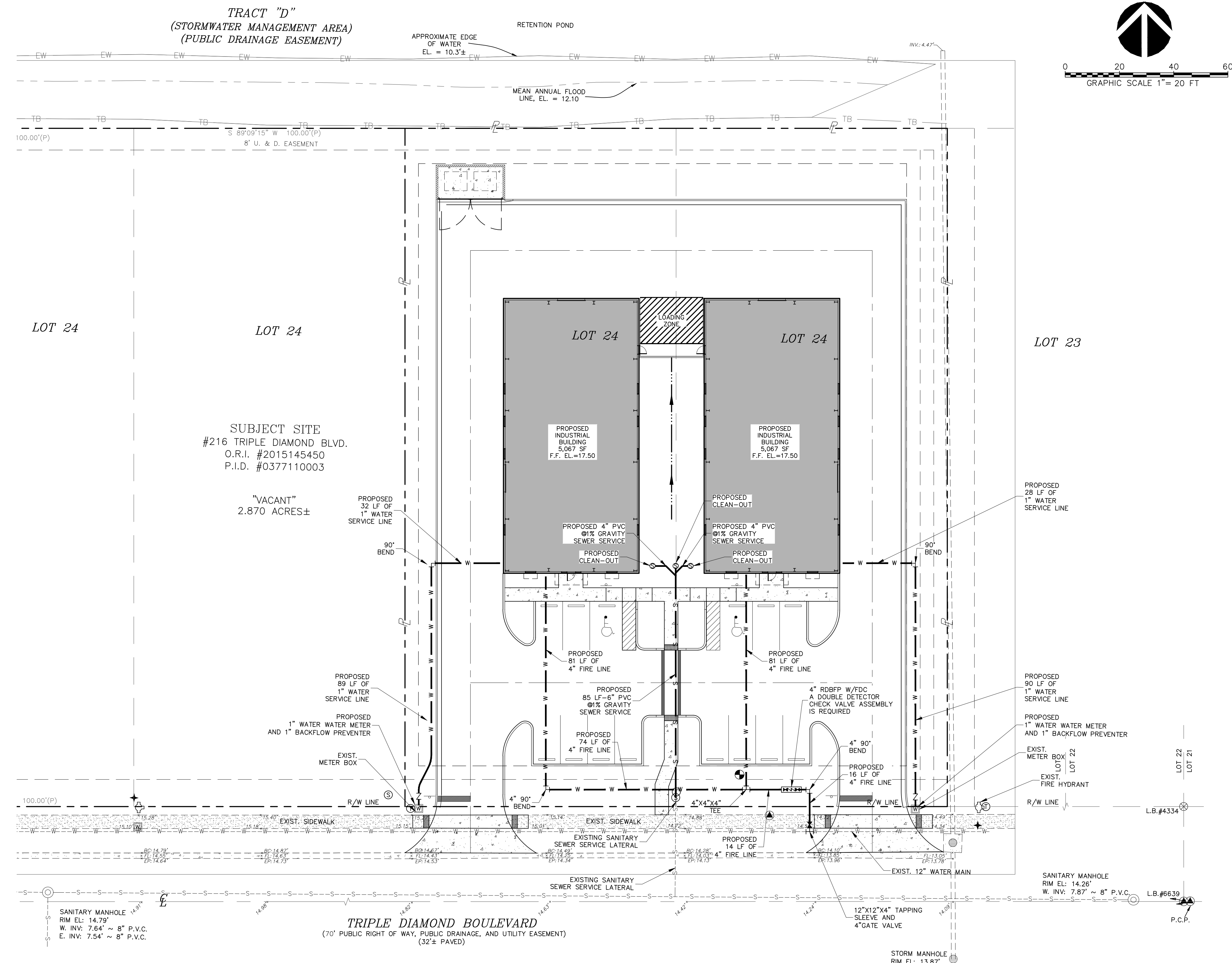
|         |             |
|---------|-------------|
| 7-25-17 | TECH REVIEW |
|---------|-------------|

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Charlotte Engineering & Surveying, Inc.  
Corporation No. 2904

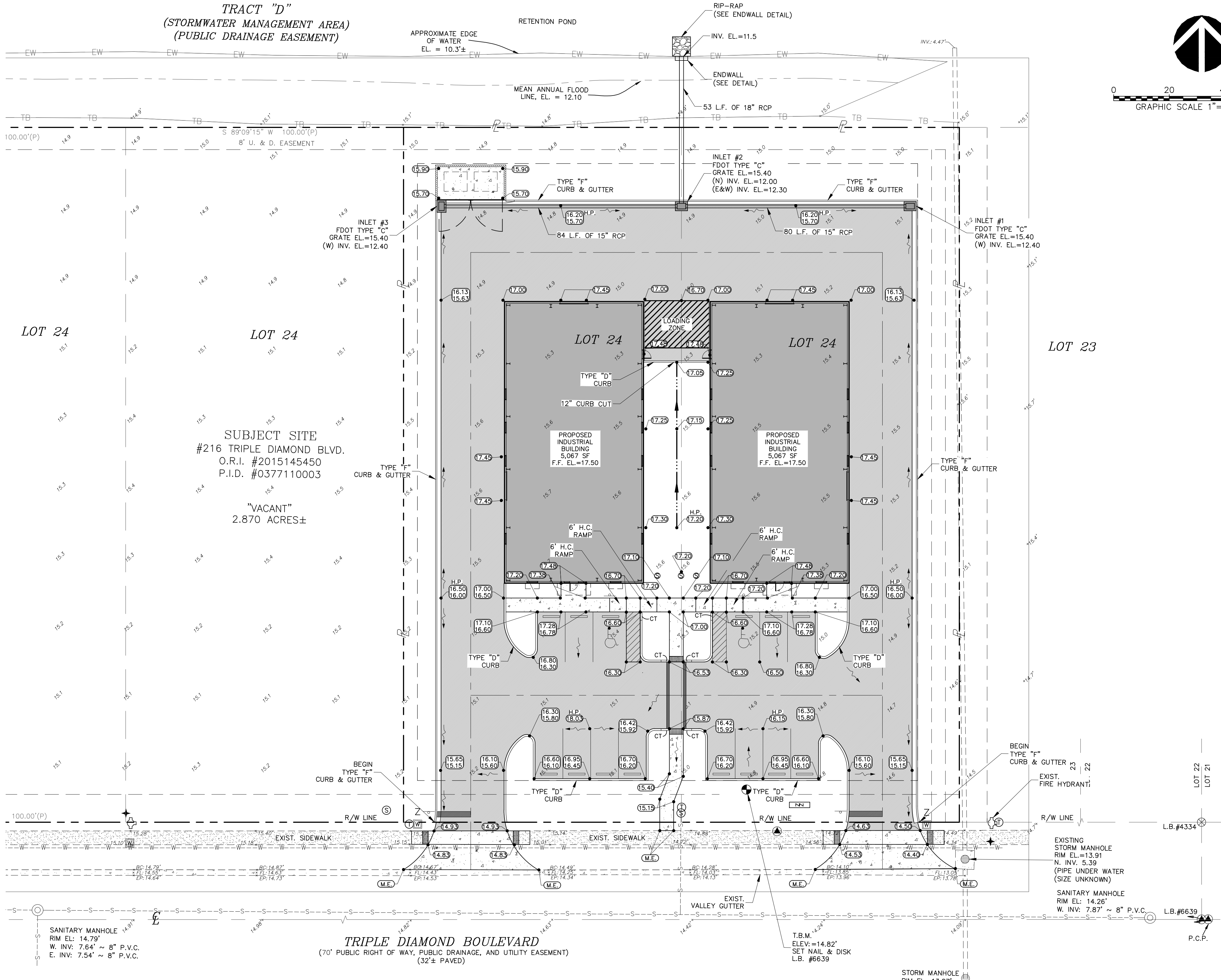
|             |            |
|-------------|------------|
| Date:       | 07/25/2017 |
| Scale:      | 1" = 20'   |
| Drawn By:   | FLS        |
| Checked By: | JSM        |
| Project #:  | 12832      |

**SHEET C3**









- LEGEND**
- BENCH MARK BM/TBM
  - PROPERTY LINE
  - RIGHT OF WAY LINE
  - PROPOSED BUILDING
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE
  - EXISTING CONCRETE
  - EXISTING LIGHT POLE
  - EXISTING FIRE HYDRANT
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  - EXISTING SWALE
  - PROPOSED WATER MAIN
  - EXISTING WATER MAIN
  - PROPOSED SILT FENCE
  - PROPOSED TOP OF BANK
  - PROPOSED TOE OF SLOPE
  - EXISTING TOE OF SLOPE
  - PROPOSED RIDGE LINE
  - PROPOSED DRAINAGE FLOW
  - PROPOSED GRADE

**BENCHMARK INFORMATION**

ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE N.A.V.D. 1988 VERTICAL DATUM, UNLESS OTHERWISE SPECIFIED.

ELEVATIONS SHOWN HEREON ARE BASED ON A PLAT BENCHMARK #973, ELEVATION 14.568' (N.G.V.D. 1929). CONVERTED TO ELEVATION 13.546' (N.A.V.D. 1988) USING CORPSCON VERSION 6.0.1.

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SUNSHINE STATE, ONE CALL OF FLORIDA, INC.

TECHNICAL REVIEW

GRADING AND DRAINAGE PLAN

CORBY WAREHOUSE  
OFFICE BUILDING #1&#2  
Venice, Florida

FOR  
Triple Dee Properties, LLC  
6527 Moorings Point Circle, Unit 101  
Lakewood Ranch, Florida 34202

Revisions:  
7-25-17 TECH REVIEW

Joseph S. Menen, P.E.  
P.E. No. 44745  
State of Florida  
Charlotte Engineering & Surveying, Inc.  
Corporation No. 2994

Date: 07/25/2017  
Scale: 1"=20'  
Drawn By: FLS  
Checked By: JSM  
Project #: 12832

SHEET C5

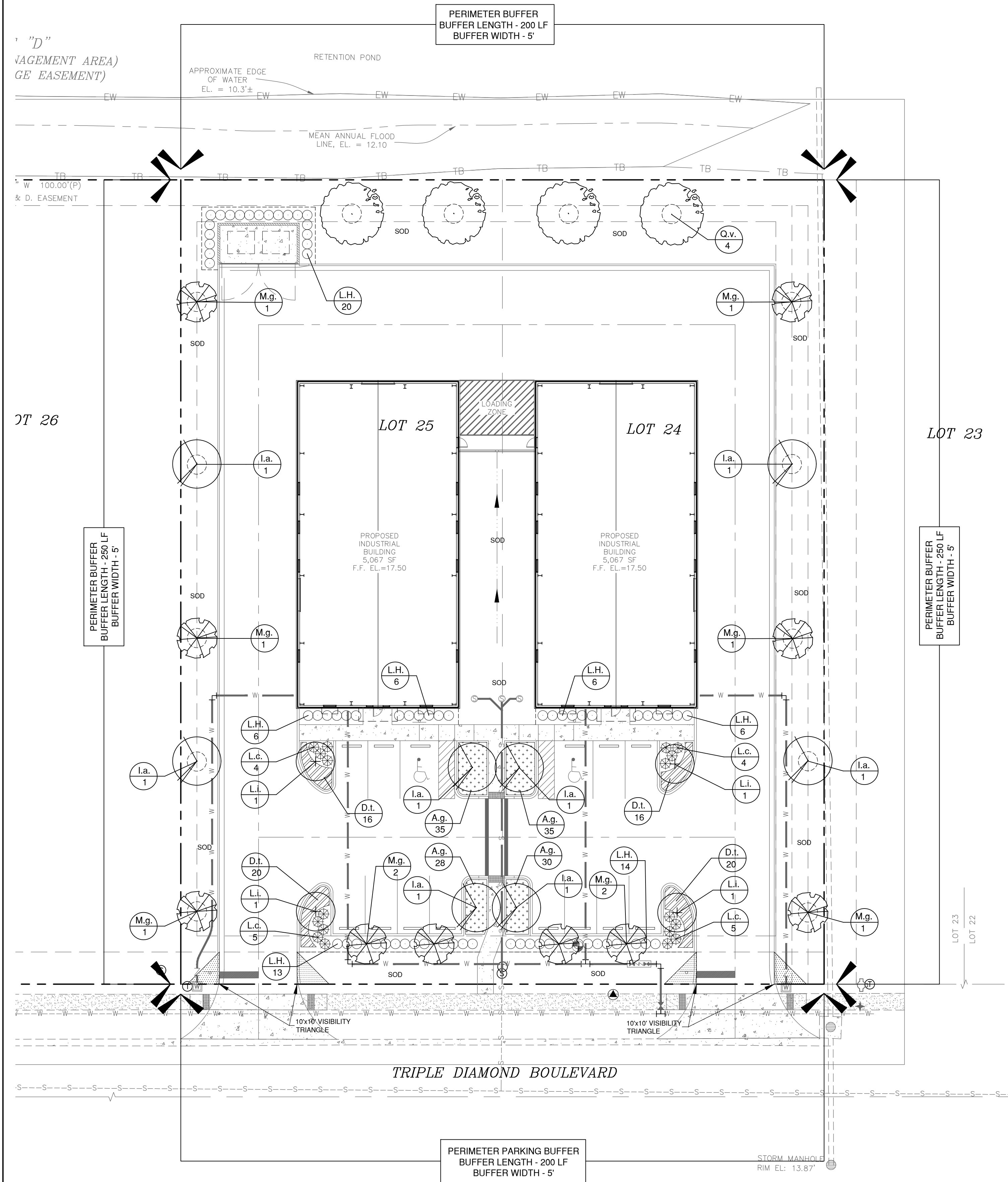


CIVIL ENGINEERS/LAND DEVELOPMENT  
SURVEYING CONSULTANTS  
LANDSCAPE ARCHITECTS

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E-mail: ces@acp-ces.com

LC No. 371  
LB No. 2804  
EB No. 2304





| PLANT LIST    |                                                         |                                                 |                  |          |
|---------------|---------------------------------------------------------|-------------------------------------------------|------------------|----------|
| SYMBOL        | BOTANICAL(COMMON NAME)                                  | DESCRIPTION                                     | QUANTITY         | COMMENTS |
| TREES         |                                                         |                                                 |                  |          |
| I.a.          | Ilex x attenuata 'East Palatka'(East Palatka Holly)     | 10-12H x 5-6'Spr., 3"Cal., 45 gal.              | 8                | NATIVE   |
| L.I.          | Lagerstroemia indica 'Muskogee'(Crape Myrtle)           | 10-12H x 5-6'Spr., 3"Cal., 45 gal., Multi-Trunk | 4                |          |
| M.g.          | Magnolia grandiflora 'D.D.Blanchard'(Southern Magnolia) | 10-12H x 5-6'Spr., 3"Cal., 45 gal.              | 10               | NATIVE   |
| Q.v.          | Quercus virginiana(Live Oak)                            | 12-14' x 6-7'Spr., 3"Cal., 45 gal.              | 4                | NATIVE   |
| SHRUBS        |                                                         |                                                 |                  |          |
| L.c.          | Loropetalum chinense rubrum(Chinese Fringe Bush)        | 24"H & Spr., 3 gal., 36"OC, Full                | 18               |          |
| L.H.          | Ligustrum japonicum 'Howard'(Gold Tip Ligustrum)        | 24"H x 18"Spr., 3 gal., 36"OC, Full             | 71               |          |
| GROUNDCOVER   |                                                         |                                                 |                  |          |
| A.g.          | Arachis glabrata'Ecoturf'(Perennial Peanut)             | 12"Spr., 1 gal., 24"OC, Full                    | 128              |          |
| D.I.          | Dianella tasmanica(Flax Lily)                           | 12"H & Spr., 1 gal., 24"OC, Full                | 72               |          |
| MISCELLANEOUS |                                                         |                                                 |                  |          |
|               | Cypress Mulch                                           | 3" Depth Min. Grade B or Better.                | PROVIDE QUANTITY |          |
|               | Paspalum notatum 'Bahia' Sod                            | Weed Free, Sand Grown                           | PROVIDE QUANTITY |          |
|               | Staking and Guying                                      | Per Specifications and Details                  | 26 Trees         |          |

GENERAL NOTES:

All plant materials shall be Florida Grade No. 1 or better, as specified in GRADES AND STANDARDS FOR NURSERY PLANTS, Parts I and II, by the Division of Plant Industry, Florida Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurseryman STANDARDS FOR NURSERY STOCK, unless otherwise specified on the plans and plant list.

All plant materials shall be guaranteed for a period of one year (365 days) after final acceptance. All replacement materials shall be guaranteed for an additional 365 days.

All planting beds shall be mulched with shredded Cypress mulch, grade B or better, to a depth of three (3) inches. All trees in sod areas shall have a 36" min. radius mulched tree ring. Sod shall be Paspalum notatum 'Bahia' sod.

Xeriscape principles shall be utilized as outlined by the Southwest Florida Water Management District.

All plantings shall receive soil amendments consisting of fifty (50) percent native excavated soil and fifty (50) percent planting mix. Planting mix shall consist of sixty (60) percent Florida Fibrous Peat, twenty (20) percent Compost, and twenty (20) percent Sand. Soil amendments quantities shall be based on the following table:

|                           |                              |
|---------------------------|------------------------------|
| Trees 3.5" cal. & greater | = 1 CY each                  |
| Trees 1"-3" cal./30 gal.  | = 1/2 CY each                |
| 10 gal. container size    | = 1/4 CY each                |
| 3 gal. container size     | = 35 plants per CY           |
| 1 gal. container size     | = 65 plants per CY           |
| Rooted cuttings/4"        | = 6" depth of annual bed mix |

The quantities indicated on the plant list are intended as a guide for comparison bidding and does not relieve the CONTRACTOR from providing a comprehensive material take off. In the event that a discrepancy occurs between the quantities listed in the plant list and the quantities indicated on the plan, the quantities indicated on the plan shall govern, and the contractor shall notify the LANDSCAPE ARCHITECT of the discrepancy.

LANDSCAPE REQUIREMENTS:

BUFFER YARDS:

Triple Diamond Blvd. - Perimeter Parking Buffer, Buffer Length - 200 LF, Buffer Width - 5'  
Trees Required (1 per 50 LF) - 200 LF / 50 = 4  
Trees Provided - 4  
Shrubs/Hedge Required - Yes  
Shrubs/Hedge Provided - Yes

East Property Line - Perimeter Buffer, Buffer Length - 250 LF, Buffer Width - 5'  
Trees Required (1 per 50 LF) - 250 LF / 50 = 5  
Trees Provided - 5  
Shrubs/Hedge Required - No

North Property Line - Perimeter Buffer, Buffer Length - 200 LF, Buffer Width - 5'  
Trees Required (1 per 50 LF) - 200 LF / 50 = 4  
Trees Provided - 4  
Shrubs/Hedge Required - No

West Property Line - Perimeter Buffer, Buffer Length - 250 LF, Buffer Width - 5'  
Trees Required (1 per 50 LF) - 250 LF / 50 = 5  
Trees Provided - 5  
Shrubs/Hedge Required - No

INTERIOR LANDSCAPE REQUIREMENTS

Off-Street Parking Area (10 SF per Parking Space) - 14 x 10 = 140 SF  
Other Vehicle Use Area (10 SF per 500 SF) - 15,807 SF / 500 = 31.6 x 10 = 316 SF  
Total Interior Landscape Area Required - 456 SF  
Interior Landscape Area Provided - 1,154 SF

SARASOTA COUNTY TREE REQUIREMENTS (ONE TREE PER 2000 SF)

Total Site - 50,000 SF / 2,000 = 25  
Trees Required - 25  
Trees Provided - 26

| TREES              |          |
|--------------------|----------|
| PROPOSED TREES     | QUANTITY |
| East Palatka Holly | 8        |
| Crape Myrtle       | 4        |
| Southern Magnolia  | 10       |
| Live Oak           | 4        |
| TOTAL TREES        | 26       |

MAINTENANCE AND IRRIGATION

(1) Plantings, fences, walls, berms and irrigation systems required by this section must be maintained in good repair. Landscaped and buffers must be kept free of weeds, litter and debris.

(2) Damage to any of the landscaping or structures required by Section 3-9-100, shall be replanted or replaced, as applicable, within 90 days or one growing season, whichever is sooner. Damage to a required fence or wall by a natural disaster shall be repaired within 180 days.

(3) It is unlawful to violate any of the provisions of Section 3-9-100.

(4) The Department (Zoning) may enforce compliance with Section 3-9-100 as provided by law and may perform reasonable inspections to insure continued compliance.

(5) All required landscaping and buffers may be served by an automatic irrigation system designed to eliminate the application of water to impervious areas and reduce impacts to existing native vegetation. All Required landscaping and buffers shall be irrigated during the establishment period. The applicant may use a temporary irrigation system or hand watering if the applicant can demonstrate that such an approach will provide adequate water for plant survival. All alternative plans of irrigation must be approved by the Zoning Official or his/her designee.

Irrigation design standards. The following standards shall apply to the design installation and maintenance of the irrigation systems.

Automatic rain and soil moisture sensing devices shall be installed with irrigation systems in accordance with industry standards.

Drip or micro-jet irrigation should be used where possible.

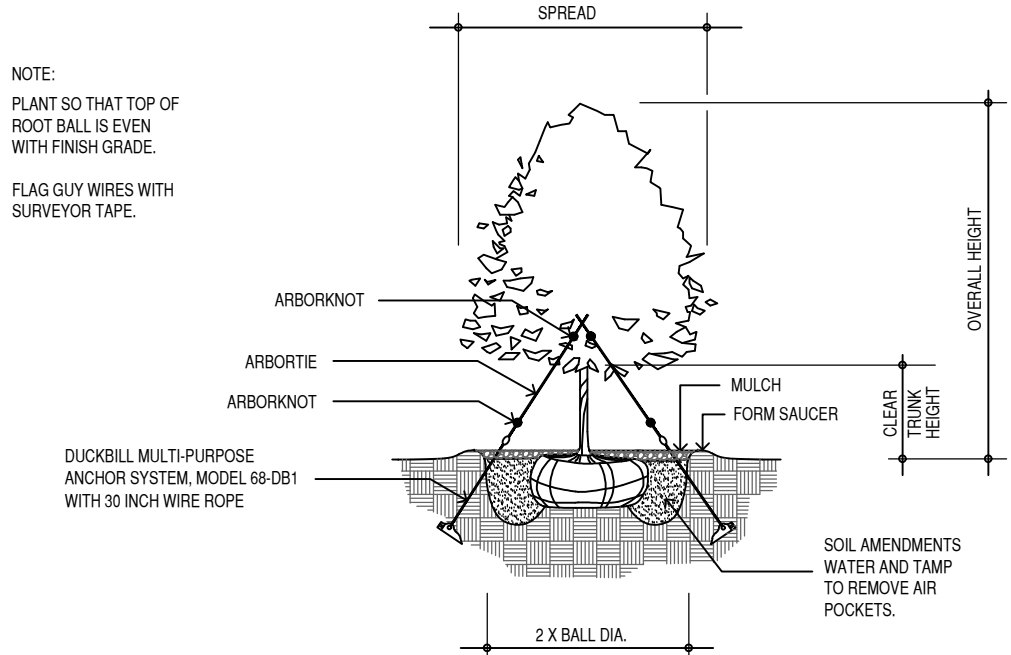
Low trajectory spray nozzles are encouraged.

No above ground impact heads are permitted.

Irrigation systems shall use the lowest quality water available which will adequately and safely meet the water needs of the landscaping.

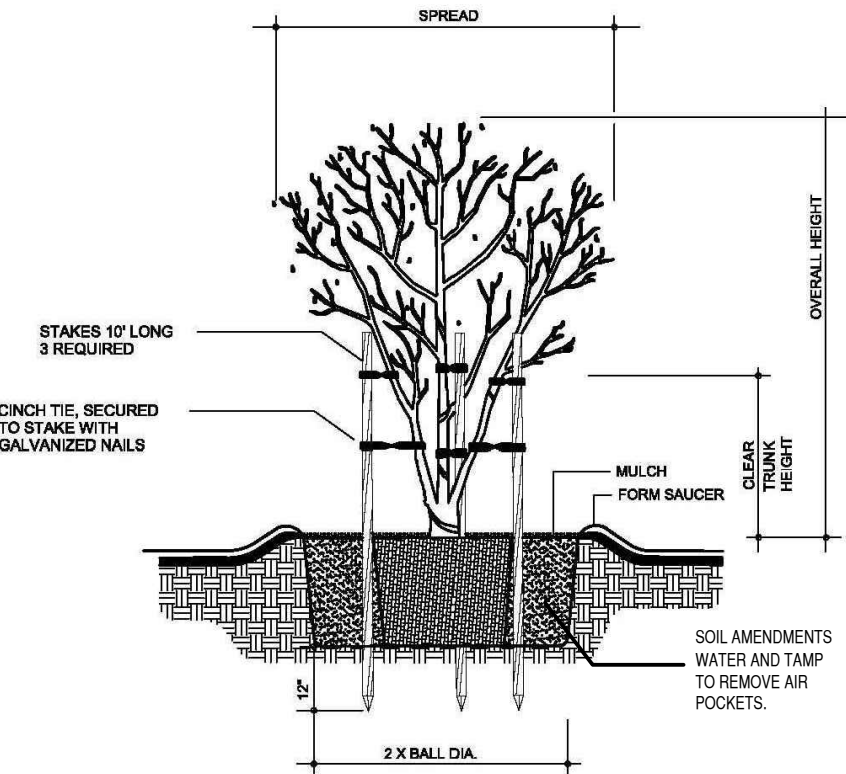
Planted detention areas and undisturbed natural areas do not require irrigation systems, provided however that the property owner is responsible for providing irrigation for supplemental plants within natural areas and plants within detention areas.

Irrigation systems must be properly maintained and operated in a manner consistent with watering restrictions established by the applicable water management district or local authority, whichever are stricter.



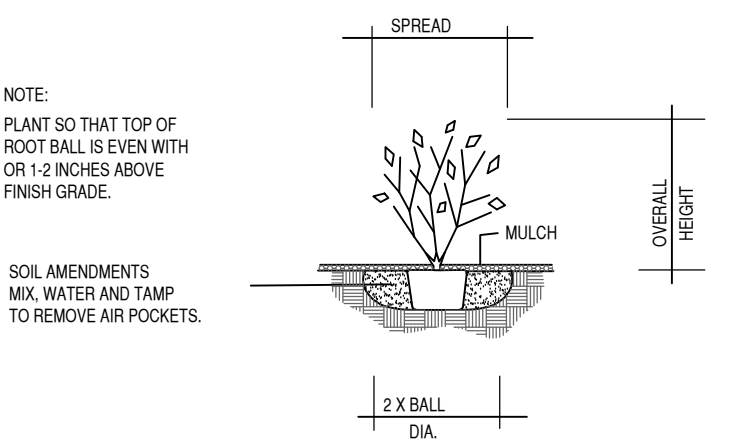
TREE PLANTING DETAIL(>2" CALIPER)

SCALE: NOT TO SCALE



MULTI-TRUNK TREE STAKING DETAIL

SCALE: NOT TO SCALE



SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE: NOT TO SCALE

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Scale: 1" = 20'



**JOHN T. SWEN**  
LANDSCAPE ARCHITECT

JOHN T. SWEN, P.A., P.O. Box 494466, Port Charlotte, FL 33949  
(941) 626-7365 johnswenra@gmail.com LC 26000586

John T. Swen, R.L.A.  
L.A. No. 0901032  
State of Florida  
JOHN T. SWEN, P.A.  
Authorization No. LC 26000586

Landscape Plan

Corby Warehouse  
Office Building #18#2  
Venice, Florida

FOR  
Triple Dee Properties, LLC

6527 Moorings Point Circle, Unit 101  
Lakewood Ranch, Florida 34202

|                           |  |
|---------------------------|--|
| Revisions:                |  |
| Technical Review 08/04/17 |  |
| -                         |  |
| -                         |  |
| -                         |  |
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| -                         |  |
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|             |            |
|-------------|------------|
| Date:       | 06/23/2017 |
| Scale:      | 1"=20'     |
| Drawn By:   | ---        |
| Checked By: | JTS        |
| Project #:  | 17115      |

SHEET L1