

SITE DEVELOPMENT PLANS
FOR
TREVISO GRAND APARTMENTS

GENERAL NOTES:

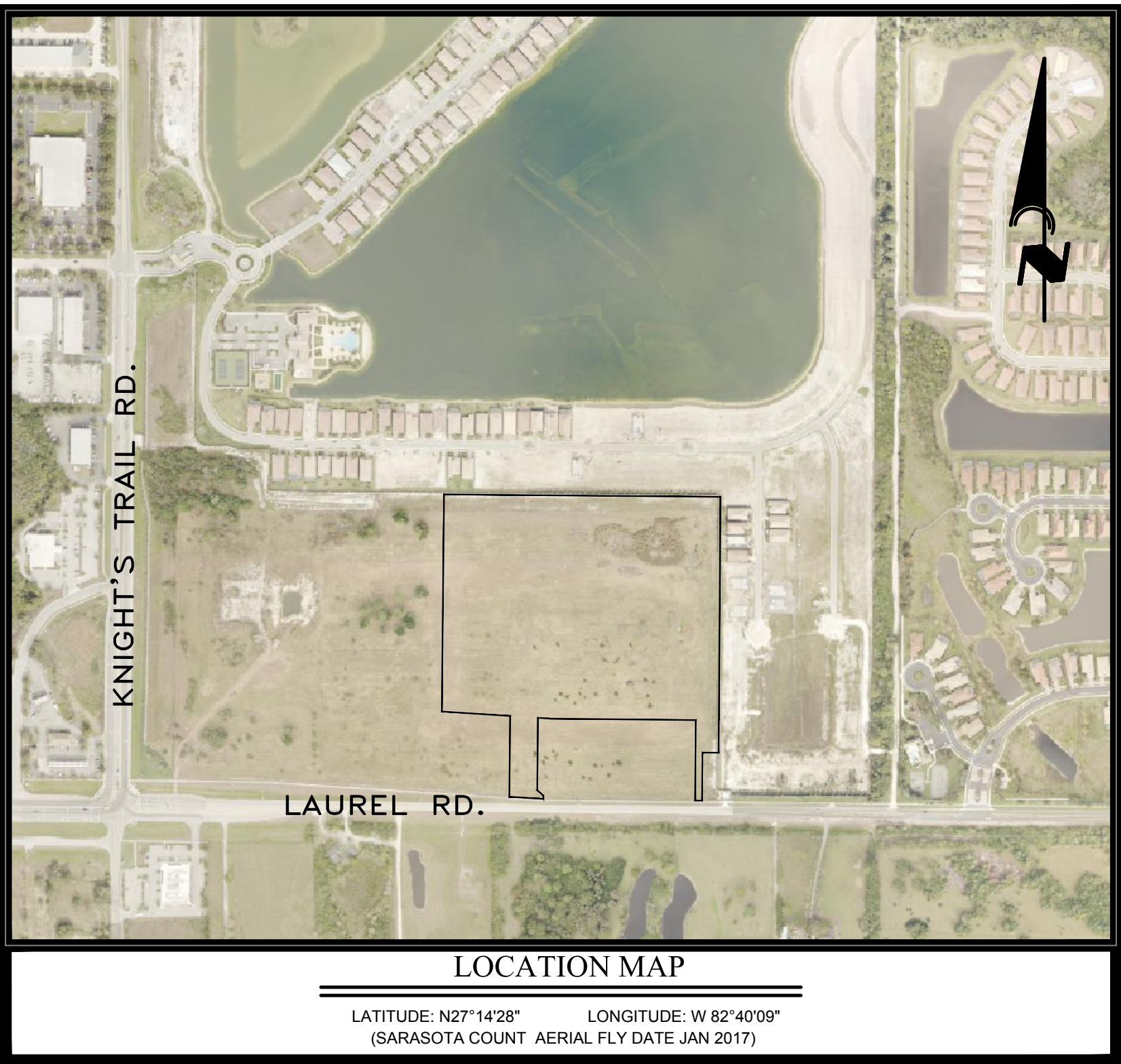
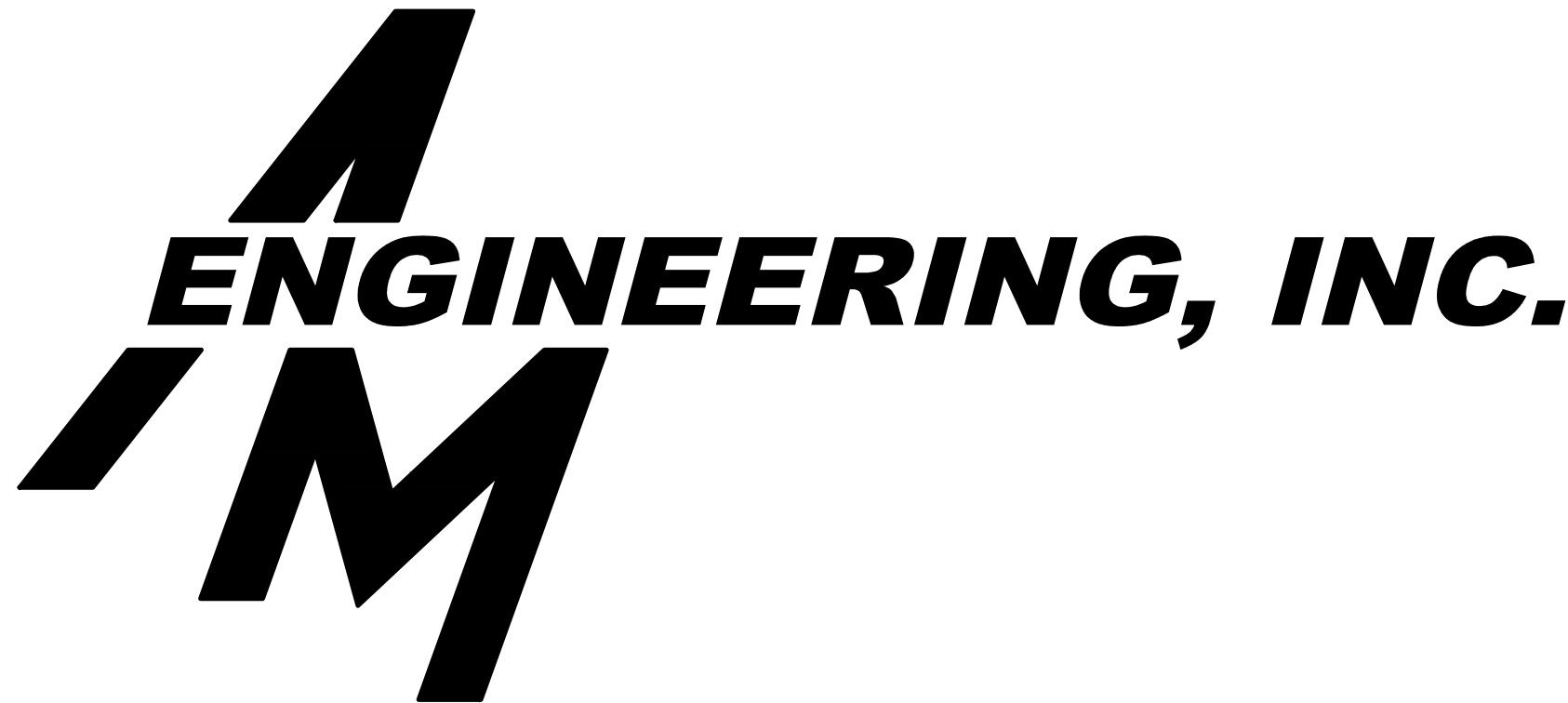
- 1. OWNERSHIP AND UNIFIED CONTROL STATEMENT:**
THE PROPOSED PROJECT IS UNDER CONTRACT FOR PURCHASE BY TRI OF TREVISO GRAND LLC.
- 2. CHARACTER AND INTENDED USE STATEMENT:**
THE PROPOSED USE IS A 272 UNIT MULTI-FAMILY APARTMENT DEVELOPMENT.
- 3. MAINTENANCE OF COMMON FACILITIES STATEMENT:**
TREVISO GRAND APARTMENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PARKING LOTS AND DRIVE
ASILES. TREVISO GRAND APARTMENTS SHALL OWN AND MAINTAIN THE ONSITE WATER AND SEWER.
- 4. EXISTING LAND USE:** VACANT
- 5. ZONING:** CMU – COMMERCIAL MIXED USE; FUTURE LAND USE: MIXED USE COMMERCIAL, PLANNING AREA "K", SUBAREA 4
- 6. FLOOD ZONE:** THE SITE LIES WITHIN THE BOUNDARIES OF FLOOD ZONE X PER FIRM MAP 12115C0244F DATED NOVEMBER 4, 2016.
- 7. SITE COVERAGES:**
TOTAL ACREAGE: 19.24 AC.
BUILDINGS: 3.11 AC
DRIVEWAYS, SIDEWALKS: 5.73 AC
GREEN SPACE: 10.40 AC
- 8. PARKING CALCULATIONS:**
TOTAL PARKING REQUIRED: 12 SPACES PER UNIT) X 272 UNITS = 544 SPACES REQUIRED
TOTAL SPACES PROVIDED: 591 SPACES (72 SPACES IN GARAGES A-L)
TOTAL HANDICAP REQUIRED: 11.82 SPACES (2% OF 591)
TOTAL HANDICAP PROVIDED: 19 SPACES
- 9. SETBACKS:**
FRONT YARD: 10' MINIMUM
SIDE YARD: 0'
10' (BETWEEN STRUCTURES, RESIDENTIAL SINGLE FAMILY)
10' (BETWEEN STRUCTURES, ONE-STORY MULTIFAMILY RESIDENTIAL)
20' (BETWEEN STRUCTURES, TWO-STORY OR GREATER MULTIFAMILY RESIDENTIAL)
REAR YARD: 5'
15' WHEN LOCATED ON THE PORTOFINO CMU DISTRICT PERIMETER AND BUILDING
HEIGHT EXCEEDS TWO STORIES
ACCESSORY STRUCTURE: 5' MINIMUM
- 10. MAXIMUM BUILDING HEIGHT:**
MAXIMUM RESIDENTIAL BUILDING HEIGHT SHALL BE THREE (3) STORIES, UP TO 42 FT (PORTOFINO CMU DESIGN STANDARDS).
BUILDING HEIGHT REFERS TO THE MAXIMUM VERTICAL DISTANCE MEASURED FROM THE FOLLOWING BENCHMARKS:
A. FEMA FIRST HABITABLE FLOOR REQUIREMENT. THIS PROPERTY IS IN ZONE X WHICH DOES NOT HAVE A BRE REQUIREMENT. AS SUCH, THIS BENCHMARK
DOES NOT APPLY TO THE SUBJECT PROJECT.
B. 18 INCHES ABOVE THE FDEP REQUIREMENT FOR THE FIRST HABITABLE FLOOR STRUCTURAL SUPPORT. THIS BENCHMARK DOES NOT APPLY TO THIS
PROJECT.
C. 18 INCHES ABOVE THE AVERAGE CROWN ELEVATION OF THE ADJACENT ROADWAY. THE ADJACENT ROADWAY FOR THIS SITE IS LAUREL ROAD WITH AN
AVERAGE CROWN ELEVATION OF 16.6 FT (NGVD29), RESULTING IN A BUILDING HEIGHT BENCHMARK OF 18.1 FT (NGVD29). THIS BENCHMARK IS THE
MOST APPROPRIATE FOR THIS PROJECT.
D. THE AVERAGE NATURAL GRADE UNALTERED BY HUMAN INTERVENTION. THIS BENCHMARK IS NOT APPROPRIATE FOR THIS SITE.
- USING BENCHMARK "C" AND THE PORTOFINO CMU DESIGN STANDARD, THE MAXIMUM ALLOWABLE BUILDING ELEVATION IS 60.1 FT, NGVD29 (18.1 FT, NGVD29
+ 42 FT), PROPOSED BUILDING HEIGHT IS THREE (3) STORIES AND IS 57.85 FT, NGVD29 AND IS BELOW THE ALLOWABLE BUILDING ELEVATION.
- A. OPEN SPACE:**
OPEN SPACE SHALL INCLUDE POCKET OR LINEAR PARK AREA(S) BUFFERS AND SIMILAR OPEN SPACE AREAS TOTALING 100,000 SQ. FT. IMPROVEMENTS TO
POCKET OR LINEAR PARK AREA(S), BUFFERS OR SIMILAR MAY INCLUDE CANOPY TREES, SHRUBS, LIGHTING, TRASH RECEPTACLES, BENCHES AND PAVEN AND
CONCRETE WALKWAYS. NO ACTIVE PARK AREAS OR DEDICATIONS ARE REQUIRED (PORTOFINO CMU DEVELOPMENT STANDARDS).
THE PRORATED SHARE OF OPEN SPACE AREA FOR THE TREVISO GRAND APARTMENT SITE IS APPROXIMATELY 38,480 SF PER THE PORTOFINO CMU
DEVELOPMENT STANDARDS.
THE OPEN SPACE PROVIDED IS APPROXIMATELY 453,000 SF; EQUATING TO 54.05% OF THE TOTAL PROJECT AREA.
- B. STORMWATER MANAGEMENT:**
STORMWATER MANAGEMENT FOR THIS PROJECT IS PROVIDED IN THE TOSCANA ISLES STORMWATER LAKES. THE MAXIMUM ALLOWABLE IMPERVIOUS AREA FOR
TREVISO GRAND APARTMENTS IS 80%. PROPOSED IMPERVIOUS AREA FOR TREVISO GRAND APARTMENTS IS 45.95%.
- C. REFUSE AND RECYCLABLE NOTE:**
A TRASH COMPACTOR AND RECYCLE AREA IS LOCATED IN THE SOUTHWEST CORNER OF THIS SITE.
- D. UTILITY NOTES:**
A. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE STANDARDS.
B. WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE UTILITY CODE.
C. THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE" ONE CALL, FPL AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ONSITE OR OFFSITE SO
THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
D. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO WELLS LOCATED ON THIS SITE.
E. ANY WELLS DISCOVERED DURING EARTH MOVING, EXCAVATION OR CONSTRUCTION MUST BE REPORTED TO THE ENVIRONMENTAL ENGINEERING DEPARTMENT
WITHIN 24 HOURS OF DISCOVERY. IF SAID WELL HAS NO USE IT SHALL BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED
MANNER.
F. TO THE BEST OF OUR KNOWLEDGE NO SEPTIC TANKS ARE LOCATED ON THIS SITE.
G. ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
H. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VENICE STANDARDS DETAILS.
- E. UTILITY PROVIDERS:**
WATER: CITY OF VENICE
SANITARY SEWER: 200 WARFIELD AVE
VENICE, FL 34285
(941)486-3333
(941)486-2084 fax
TELEPHONE: FRONTIER
1659 US 41 BYPASS S
VENICE, FL 34293
(941)486-3333
(941)486-1719
(941)952-5793 fax
ELECTRICITY: FLORIDA POWER & LIGHT
5676 MCINTOSH RD.
SARASOTA, FL 34233
(941)906-1719
(941)927-4218
CITY: COMCAST
5205 FRUITVILLE RD
SARASOTA, FL 34240
(941)371-6700
- F. CITY OF VENICE REQUIRED NOTES:**
1. ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE ISSUANCE OF A ROW PERMIT.
2. ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FOOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
3. TREE REMOVAL PERMIT MUST BE OBTAINED FROM SARASOTA COUNTY NATURAL RESOURCES DEPARTMENT.
4. POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
5. ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS 1, 11 OR V
CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.921.
6. CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
7. ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
8. CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.
9. NO MINIMUM LOT DIMENSIONS ARE REQUIRED BY THE CMU.
- G. VERTICAL DATUM:**
ELEVATIONS ARE RELATIVE TO NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929. ELEVATIONS ARE BASED ON SARASOTA COUNTY BENCHMARK
#378A WITH A PUBLISHED ELEVATION = 40.737'.
- H. SITE CLEARING NOTES:**
1. NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE
OF ANY CANOPY TREE TO BE SAVED, PER SECTION 54-599(1)(b) OF SARASOTA COUNTY CODE. THE PROTECTED ROOT ZONE IS DEFINED AS THE
DRIFLINE OF THE TREE. THE DRIFLINE OR HAWKING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF CANOPY TREES TO BE SAVED IF
AUTHORIZED BY THE ADMINISTRATOR. WHERE UNAUTHORIZED REMOVAL OF NATIVE VEGETATION WITHIN THE PROTECTED ROOT ZONE OCCURS, THE
ADMINISTRATOR MAY REQUIRE THE REPLANTING OF UNDERSTORY VEGETATION.
2. A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATION REMOVAL WITHIN THE DRIFLINE OF A TREE, AND/OR TREE
REMOVAL.

A 272 UNIT APARTMENT PROJECT
CITY OF VENICE, FLORIDA.

OWNER/ DEVELOPER:
LAUREL ROAD PROPERTY, LLC
7350 POINT OF ROCKS RD.
SARASOTA, FLORIDA 34242

ENGINEER / SURVEYOR:
AM ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FLORIDA 34240
(941) 377-9178
CERTIFICATE OF AUTHORIZATION No. 4334

CONTRACT PURCHASER:
TRI OF TREVISO GRAND, LLC
6901 PROFESSIONAL PARKWAY #100
LAKEWOOD RANCH, FLORIDA 34240
(941) 907-9799



INDEX TO SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	MASTER SITE PLAN
4	BUILDING OFFSETS
5	PAVING, GRADING & DRAINAGE PLAN
6	MASTER UTILITY PLAN
7	ROADWAY IMPROVEMENTS PLAN

LEGAL DESCRIPTION (BY SURVEYOR)

THAT PORTION OF LOT 1, LAUREL ROAD PROPERTY AS RECORDED IN PLAT BOOK 48, PAGE 37, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA BEING DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 1, THENCE ALONG THE EAST LINE OF SAID LOT 1, N.00°26'50"E., 289.32 FEET FOR A POINT OF BEGINNING OF LANDS BEING DESCRIBED; THENCE CONTINUE ALONG SAID EAST LINE, N.00°26'50"E., 803.28 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE NORTH LINE OF SAID LOT 1, N.89°28'24"W., 994.11 FEET; THENCE LEAVING LAST SAID NORTH LINE, S.00°35'28"W., 780.46 FEET; THENCE S.86°12'47"E., 389.19 FEET; THENCE S.89°24'30"E., 607.54 FEET TO THE POINT OF BEGINNING AND CONTAINING 794,584.90 SQUARE FEET OR 18.241 ACRES MORE OR LESS.

TOGETHER WITH (100' WIDE ACCESS EASEMENT)

THAT PORTION OF LOT 1, LAUREL ROAD PROPERTY AS RECORDED IN PLAT BOOK 48, PAGE 37, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA BEING DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 1, THENCE ALONG THE SOUTH LINE OF SAID LOT 1 ALSO BEING THE NORTH RIGHT OF WAY LINE OF LAUREL ROAD N.89°21'41"W., 637.94 FEET; THENCE CONTINUE ALONG SAID SOUTH LINE OF LOT 1, N.86°12'47"W., 13.04 FEET FOR A POINT OF BEGINNING OF LANDS BEING DESCRIBED; THENCE CONTINUE ALONG SAID SOUTH LINE OF LOT 1, N.86°12'47"W., 100.15 FEET; THENCE N.00°38'19"E., 290.44 FEET; THENCE S.86°12'47"E., 100.15 FEET; THENCE S.00°38'19"W., 290.44 FEET TO THE POINT OF BEGINNING AND CONTAINING 29,044 SQUARE FEET MORE OR LESS.

TOGETHER WITH (EMERGENCY ACCESS EASEMENT)

THAT PORTION OF LOT 1, LAUREL ROAD PROPERTY AS RECORDED IN PLAT BOOK 48, PAGE 37, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA BEING DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 1, THENCE ALONG THE SOUTH LINE OF SAID LOT 1 ALSO BEING THE NORTH RIGHT OF WAY LINE OF LAUREL ROAD PER OFFICIAL RECORDS INSTRUMENT #2004171672, N.89°21'41"W., 61.11 FEET FOR A POINT OF BEGINNING OF LANDS BEING DESCRIBED; THENCE CONTINUE ALONG LAST SAID LINE, N.89°21'41"W., 24.00; THENCE N.00°38'19"E., 289.25 FEET; THENCE S.89°24'30"E., 24.00 FEET; THENCE S.00°38'19"W., 289.27 FEET TO THE POINT OF BEGINNING AND CONTAINING 6942 SQUARE FEET MORE OR LESS.

TOGETHER WITH (20' UTILITY EASEMENT)

THAT PORTION OF LOT 1, LAUREL ROAD PROPERTY AS RECORDED IN PLAT BOOK 48, PAGE 37, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA BEING DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 1, THENCE ALONG THE WEST LINE OF TRACT 105, TOSCANA ISLES UNIT 1, AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 49, PAGE 32 OF SAID PUBLIC RECORDS; ALSO BEING THE EAST LINE OF SAID LOT 1, N.00°26'50"E., 173.00 FEET FOR A POINT OF BEGINNING OF LANDS BEING DESCRIBED; THENCE N.89°21'41"W., 35.00; THENCE N.00°26'50"E., 116.29 FEET; THENCE S.89°24'30"E., 20.00 FEET; THENCE S.00°26'50"W., 96.31 FEET; THENCE S.89°21'41"E., 15.00 FEET TO THE SAID WEST LINE OF TRACT 105, THENCE ALONG LAST SAID WEST LINE S.00°26'50"W., 20.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 2626 SQUARE FEET MORE OR LESS. SUBJECT TO OTHER EASEMENTS, RESTRICTIONS AND/OR RIGHTS OF WAY OF RECORD, IF ANY.

SUBJECT TO (LANDSCAPE EASEMENT PER OFFICIAL RECORDS INSTRUMENT #2014101630)

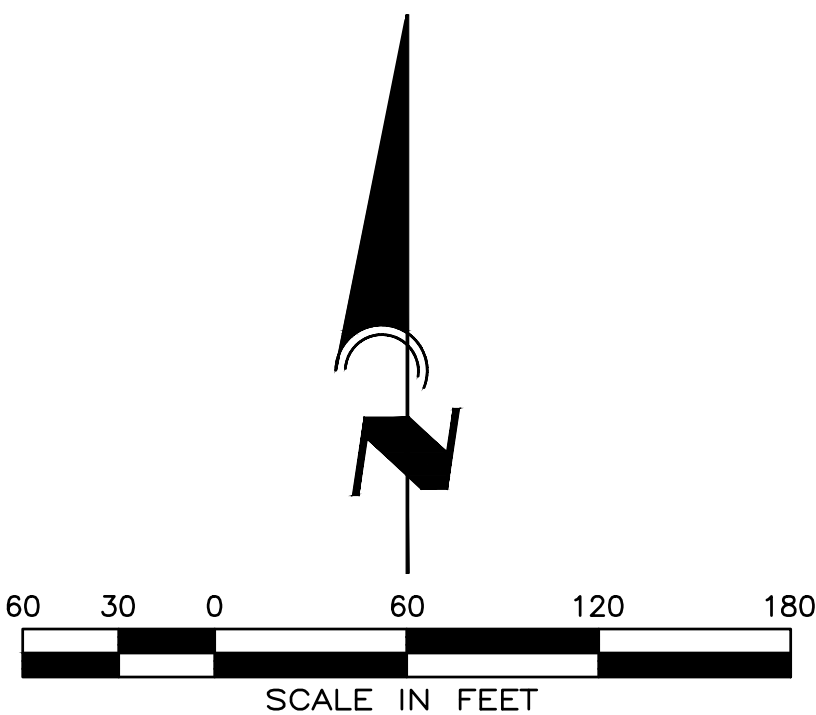
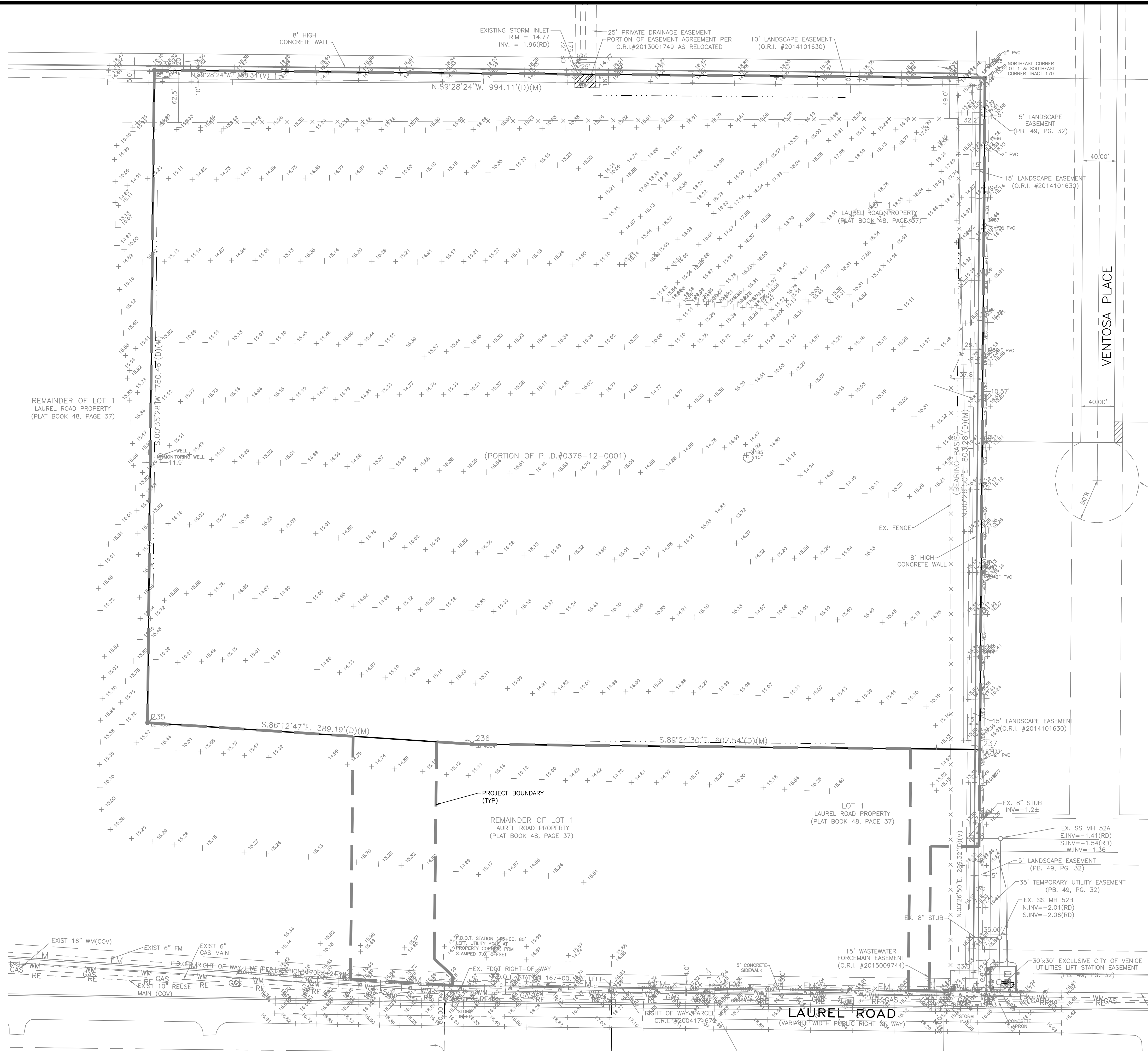
THAT PART OF LOT 1, LAUREL ROAD PROPERTY AS RECORDED IN PLAT BOOK 48, PAGES 37 & 37A, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA AND LYING IN SECTION 27, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA BEING DESCRIBED AS FOLLOWS:

THE EASTERLY 15.00 FEET TOGETHER WITH THE NORTHERLY 10.00 FEET OF THE EASTERLY 1626.85 FEET OF SAID LOT 1, CONTAINING 32,507.55 SQUARE FEET MORE OR LESS.

D. SHAWN LEINS, P.E.

DATE

FLORIDA P.E. No. #41078



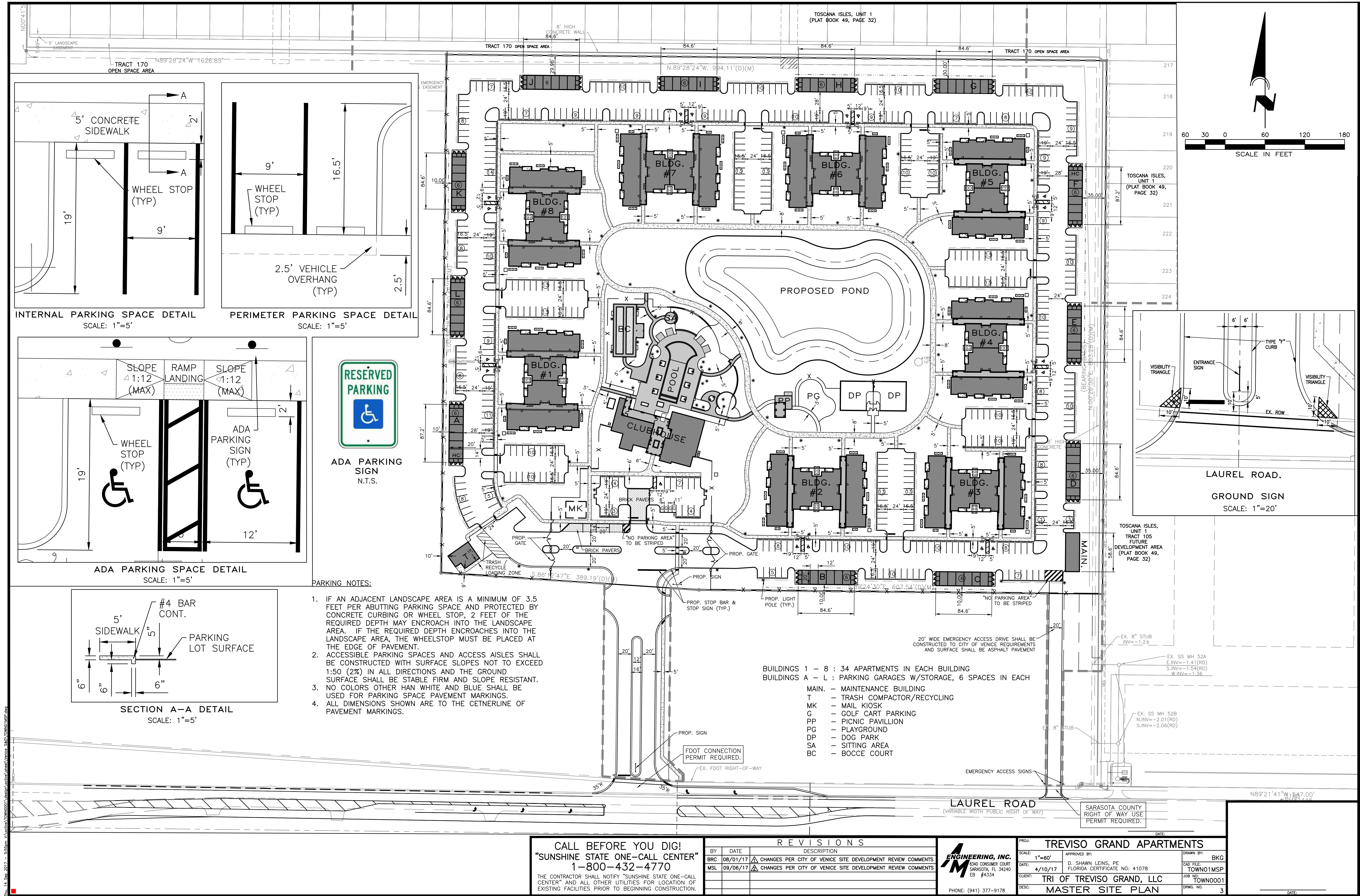
VERTICAL DATUM:
ELEVATIONS ARE RELATIVE TO
NATIONAL GEODETIC VERTICAL
DATUM (N.G.V.D.) OF 1929.
ELEVATIONS ARE BASED ON
SARASOTA COUNTY BENCHMARK
#378A WITH A PUBLISHED
ELEVATION = 40.737'.

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

TREVISO GRAND APARTMENTS	
SCALE: 1"=60'	APPROVED BY: D. SHAWN LEINS, PE FLORIDA CERTIFICATE NO: 41078
DATE: 4/10/17	CLIENT: TRI OF TREVISO GRAND, LLC
DESC: EXISTING CONDITIONS PLAN	DRWG. NO. 2



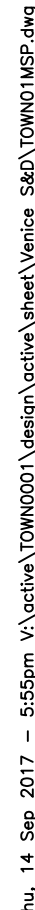
Thu, 14 Sep 2017 - 5:55pm V:\Vector\TOWN001\Design\Treviso Grand\Treviso Grand\TOWN001.dwg

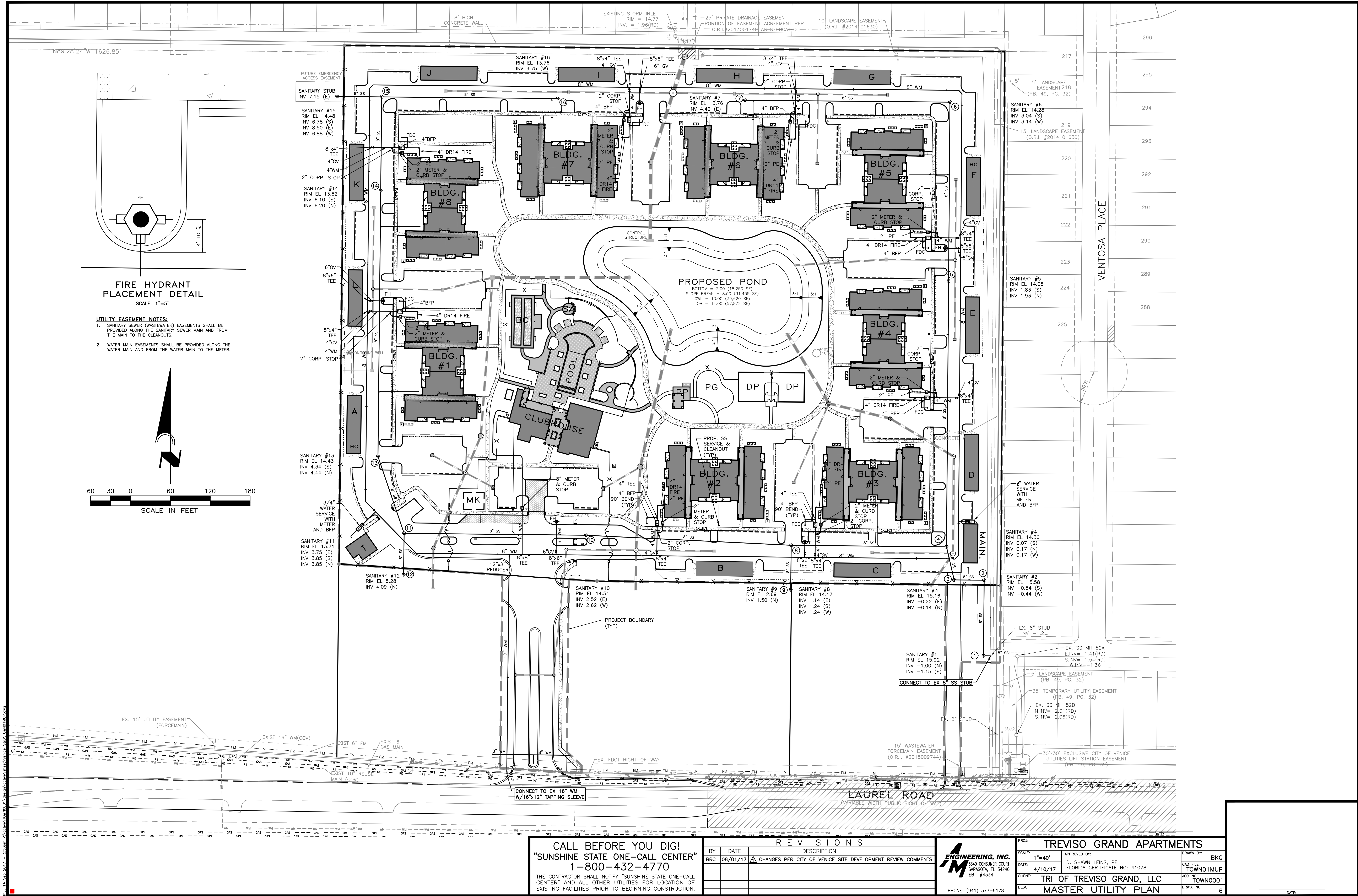
CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
BRC	08/01/17	CHANGES PER CITY OF VENICE SITE DEVELOPMENT REVIEW COMMENTS
MSL	09/06/17	CHANGES PER CITY OF VENICE SITE DEVELOPMENT REVIEW COMMENTS

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

TREVISO GRAND APARTMENTS		
SCALE:	1"=60'	APPROVED BY:
DATE:	4/10/17	D. SHAWN LEINS, PE FLORIDA CERTIFICATE NO: 41078
CLIENT:	TRI OF TREVISO GRAND, LLC	
DESC:	MASTER SITE PLAN	
DRAWN BY:	BKG	CAD FILE:
JOB NO:	TOWN01MSP	DRWG. NO:
DATE:		3





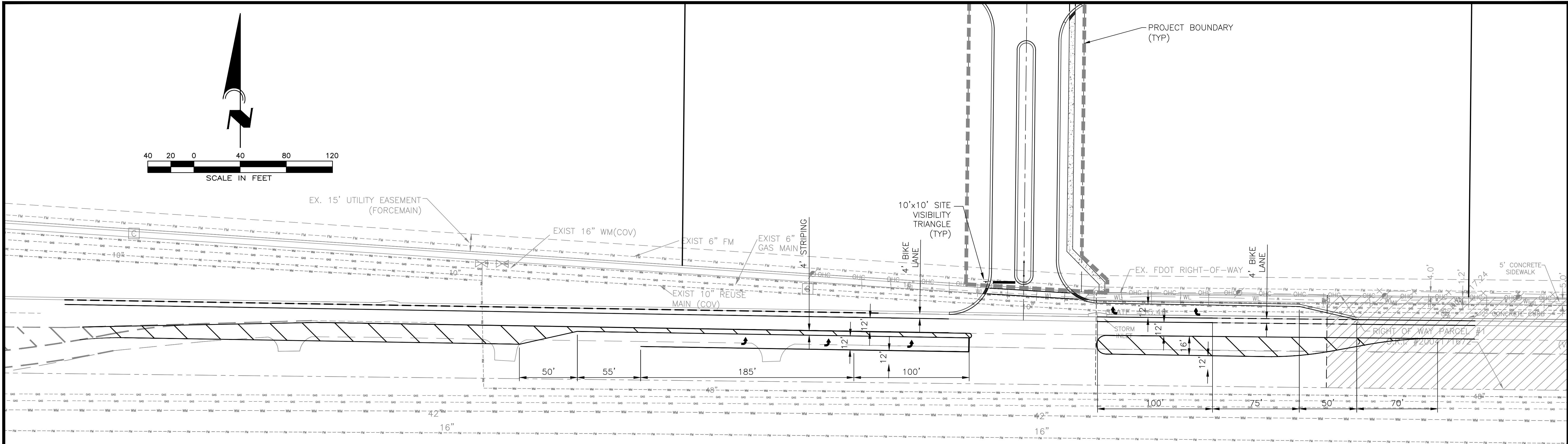
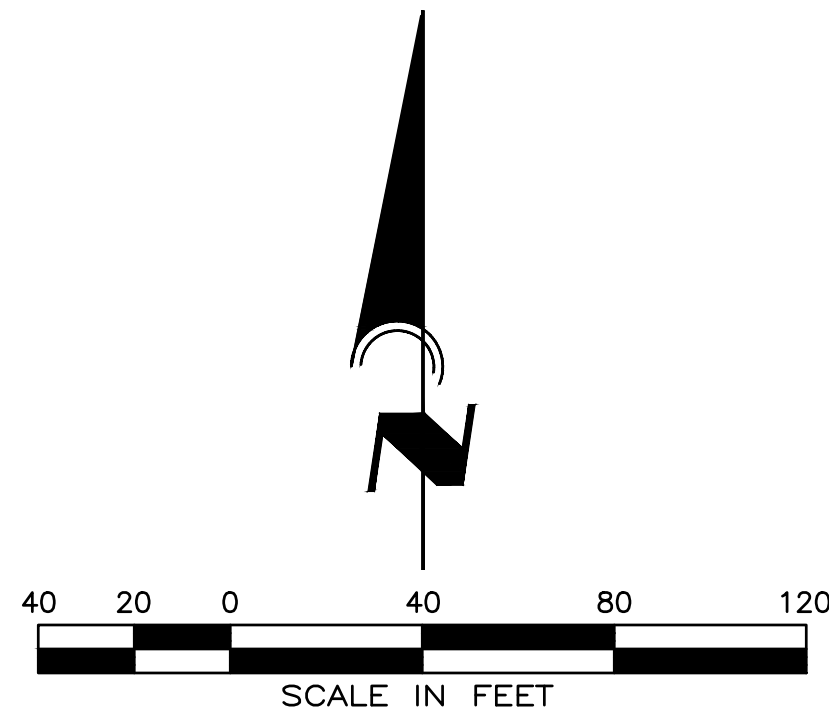
Thu, 14 Sep 2017 - 5:56pm V:\Treviso\TOWN0001\design\civil\utility\Treviso_SSD_TOWN0001.mxd

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
BRC	08/01/17	CHANGES PER CITY OF VENICE SITE DEVELOPMENT REVIEW COMMENTS

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

TREVISO GRAND APARTMENTS		
SCALE:	1"=40'	APPROVED BY:
DATE:	4/10/17	D. SHAWN LEINS, PE FLORIDA CERTIFICATE NO: 41078
CLIENT:	TRI OF TREVISO GRAND, LLC	
DESC:	MASTER UTILITY PLAN	
DRAWN BY:	BKG	CAD FILE:
JOB NO:	TOWN01MUP	DRWG. NO:
DATE:		



Thu, 14 Sep 2017 - 5:05pm V:\schoen\TOWN001\design\active\shawn\shawn\ Venice_SRD_TOWN01RDP.dwg

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
BRC	08/01/17	CHANGES PER CITY OF VENICE SITE DEVELOPMENT REVIEW COMMENTS

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

TREVISO GRAND APARTMENTS			
SCALE: 1"=40'	APPROVED BY:	DRAWN BY: BKG	
DATE: 4/10/17	D. SHAWN LEINS, PE FLORIDA CERTIFICATE NO: 41078	CAD FILE: TOWN01RDP	JOB NO: TOWN0001
CLIENT: TRI OF TREVISO GRAND, LLC	DESIGN: ROADWAY IMPROVEMENT PLAN	DRWG. NO: 7	DATE: