

PZ 16-324



City of Venice
401 West Venice Ave., Venice, FL 34285
941-486-2626
DEVELOPMENT SERVICES - PLANNING & ZONING
SITE PLAN AMENDMENT APPLICATION

SITE PLAN AMENDMENT
12 - 03 SP.1

Project Name: Pinkelly
Parcel Identification No.: 0408-04-0129
Address: 304 Venice Avenue W.
Parcel Size: 2.3 +/- acres
FLUM designation: City Center Sector
Zoning Map designation: Central Business District (CBD)
Property Owner's Name: Venetian Plaza, LLC
Telephone:
Fax:
E-mail:
Mailing Address: 1880 Arlington Ste 103, Sarasota, FL 34239
Project Manager: Jeffery A. Boone, Esq.
Telephone: (941) 488-6716
Mobile / Fax: (941) 488-6716
E-mail: jboone@boone-law.com
Mailing Address: 1001 Avenida Del Circo, Venice, FL 34285
Project Engineer : CES/American, John Swen, RLA
Telephone: (941) 629-2552
Mobile / Fax:
E-mail: jswen@acp-ces.com
Mailing Address: 1700 El Jobean Road, Port Charlotte, FL 33948
Project Architect: Beebe Design Studio, Mark A. Beeb, AIA
Telephone: (941) 484-6762
Mobile / Fax:
E-mail: mark@beebedesignstudio.com
Mailing Address: 825 S. Tamiami Trail, Venice, FL 34285

Incomplete applications cannot be processed - See reverse side for checklist

Applicant Signature / Date:

(Signature) 11/3/16
CASHIER'S Type: OC Drawer: 1
Date: 11/03/16 Receipt no: 10998
2016 324
PZ PLANNING & ZONING
CK CHECK 1.00 \$1455.00
1003 \$1755.00

Trans date: 11/08/16 Time: 15:07:53

PLANNING & ZONING

APPLICATION CHECKLIST

Required documentation (provide one copy of the following, unless otherwise noted):

- ☒ **Statement of ownership and control.** Include copy of property deed or County tax statement.
- ☒ **Agent authorization letter.** Agent authorization letter listing project engineer, architect, planner, and other design professionals must be signed by the property owner and submitted with the application.
- ☒ **Legal Description and signed and sealed Survey of Property.**
- ☒ **Narrative.** Provide a detailed narrative describing purpose of petition and intended use of property. N/A
- ☒ **Deed Restrictions (§ 86-49(b)(7)).** If common facilities and/or private streets are proposed, submit document(s) addressing how common facilities are to be provided and permanently maintained.
- ☒ **Public Workshop Requirements.** Date held July 20, 2016
 - ☒ Copy of newspaper ad.
 - ☒ Copy of notice to property owners.
 - ☒ Copy of sign-in sheet.
 - ☒ Written summary of public workshop.
- ☒ **Comprehensive Plan Consistency.** Confirm consistency with all applicable elements of the City's Comprehensive Plan.
- ☒ **Concurrency Application and Worksheet.** Signed, sealed and dated.
If a traffic study is required, submit 3 copies of the study (3 signed, sealed and dated).
Electronic **hcs** files must be e-mailed to staff or submit 3 CDs.

Required documentation (provide 15 sets of the following including 3 signed, sealed and dated, unless otherwise noted):

- ☒ **Site Plan Sheet.** Include all proposed improvements, buildings and structures, sidewalks, parking and transportation network, yards and open space.
 - ☒ Municipal address
 - ☒ FEMA Flood Zone designation and base flood elevation
 - ☒ Names of all existing and proposed public and private streets
 - ☒ Location of all sidewalks
 - ☒ Location of refuse and recycled materials enclosure.
- ☒ **Utility Plan Detail Sheet**
 - ☒ Potable water and wastewater main size and location
 - ☒ Water valve location
 - ☒ Manhole separation
 - ☒ Distance from water main to proposed building
 - ☒ Location of nearest fire hydrants
- ☒ **Paving and Drainage Detail Plan Sheet**
 - ☒ Document addressing drainage concurrency by means of a certified drainage plan
 - ☒ Driveway dimensions and turning radius
- ☒ **Landscape Plan Sheet**
 - ☒ Tree survey
 - ☒ Detailed inventory of all proposed trees and plants by type and size
- ☒ **Signage.** Depict – by dimension – all ground and wall signage
- ☒ **Architectural Elevations.** Definitions for buildings in the development; and number of dwelling units, sizes and types, together with typical floor plans of each type.

Fees

Application filing fee \$2,300 (major) or \$533 (minor).

Transportation review fee will be billed to applicant and is not included in application fee.

Public notice fee in excess of \$50 will be billed to applicant and is not included in application fee.

PINKERTON WEALTH MANAGEMENT BUILDING SITE &

DEVELOPMENT APPLICATION NARRATIV

PinKelly, LLC is proposing to construct a 10,000 SF office/retail building on a 2.31 acre site located at 304 W. Venice Avenue, Venice, FL. The proposed uses will consist of 5,000 SF of retail on the first floor facing Venice Avenue with the remaining 5,000 SF of office on the second floor. The site is currently used for parking along with the Bank of America office building and the Daiquiri Deck restaurant. In addition to the proposed office/retail building, a new dumpster enclosure and loading zone is proposed behind the existing Bank of America office building. The site is zoned CBD (Commercial Business District) with a future land use classification of City Center.

The site will have a total of 77 parking spaces with 6 spaces being handicap spaces. Access will remain unchanged with an entrance only on W. Venice Avenue and an entrance/exit on Tampa Avenue and North Nassau Street.

There are both water mains and gravity sewer mains that are owned by the City of Venice Utilities which are located adjacent to the proposed site. Both water service and fire lines from the water mains can service the proposed building. A gravity sewer service lateral line can connect the proposed building to the City of Venice owned gravity mains.

The proposed plan is consistent with all applicable elements of the City of Venice Comprehensive Plan including the City Center Sector Planning Area Policies as outlined below.

Policy 16.9 City Center Sector. Planning Intent: Promote the original Venice Plan designed by John Nolen by expanding the features of the traditional downtown core and encouraging mixed use residential/commercial buildings. The intent of this planning concept is to preserve an integrated mixed use community sector with a downtown core, schools, residential properties, civic offices, community services, cultural resources, parks and public spaces, restaurants, and shops. Auto-centric uses would be discouraged in order to improve the sector's pedestrian access, bike ability, and transit opportunities. For the detailed map sheet that depicts this planning area, see Map FLUM-6.

Policy 16.10 City Center Sector Standards. Development in the City Center Sector shall be built according to the following development scenario:

C. Up to 80% of the acreage in this sector will be allowable for commercial mixed use, retail, and office space. The total square footage of commercial uses allowed in this sector shall not exceed a floor area ratio (FAR) of 2.0.

1. The residential, office, and commercial uses are intended to provide convenient access and bike/walkability for the area.

E. Building Envelope:

1. Maximum height for the Central Business District (CBD) shall be limited to 3 stories, up to 35' including parking; all other areas shall be limited to 3 stories, up to 42' including parking.

F. Parking:

2. Rear parking lots permitted in mixed use, multi-family, and commercial areas.
5. Alternative parking standards that allow for reduced parking lot size and shared parking spaces shall be encouraged.

RECEIVED

JAN 12 2017

PLANNING & ZONING

G. Parks and public space shall address the following considerations:

1. Include a variety of community places and public spaces including but not limited to pocket parks, courtyards, plazas, open air sitting areas, urban trails, and playgrounds.

H. Architectural design style:

1. Venetian Theme (VT) architectural design standards are to be applied to new and redevelopment projects.

2. Arcades are encouraged only if they do not support habitable space.

In addition, the proposal is consistent with Policy 8.2 of the Comprehensive plan as evaluated below.

Policy 8.2 Land Use Compatibility Review Procedures. Ensure that the character and design of infill and new development are compatible with existing neighborhoods. Compatibility review shall include the evaluation of:

A. Land use density and intensity.

The intensity of proposed development is consistent with the existing neighborhood and less than the permitted intensity of the City Center Sector Planning Area.

B. Building heights and setbacks.

The proposed building height is consistent with the permitted building heights in the City Center Sector Planning Area and a step down in height from the adjacent building to the east.

C. Character or type of use proposed.

The proposed use is consistent with existing uses in the neighborhood and consistent with the permitted uses in the City Center Sector Planning Area.

D. Site and architectural mitigation design techniques.

The proposed plan is consistent with the Venetian Theme architectural requirements of the City Center Sector Planning Area.

Considerations for determining compatibility shall include, but are not limited to, the following:

E. Protection of single-family neighborhoods from the intrusion of incompatible uses.

Not applicable.

F. Prevention of the location of commercial or industrial uses in areas where such uses are incompatible with existing uses.

Not applicable.

G. The degree to which the development phases out nonconforming uses in order to resolve incompatibilities resulting from development inconsistent with the current Comprehensive Plan.

Not applicable.

H. Densities and intensities of proposed uses as compared to the densities and intensities of existing uses.

The proposed development intensity is consistent with the existing neighborhood and the permitted intensity within the City Center Sector Planning Area.

Potential incompatibility shall be mitigated through techniques including, but not limited to:
While the proposed development does not create any incompatibility, the below analysis is provided.

I. Providing open space, perimeter buffers, landscaping and berms.

Not applicable.

J. Screening of sources of light, noise, mechanical equipment, refuse areas, delivery and storage areas.

Sources of light, noise, mechanical equipment, refuse areas, delivery and storage areas are appropriately screened.

K. Locating road access to minimize adverse impacts.

The proposed development does not include any changes to existing road access.

L. Adjusting building setbacks to transition between different uses.

Not applicable.

M. Applying step-down or tiered building heights to transition between different uses.

Not applicable.

N. Lowering density or intensity of land uses to transition between different uses.

Not applicable

Sec. 82-23(m) *Duties in site and development plan approval.* The planning commission shall review and act upon site and development plan applications in accordance with the provisions contained in [section 86-49](#). In reaching a decision as to whether or not the site and development plan as submitted should be approved or approved with changes, the planning commission shall follow the procedures set out herein and shall be guided in its decision and the exercise of its discretion to approve, approve with conditions, or to deny by the following standards:

- (1) Sufficiency of statements on ownership and control of the development and sufficiency of conditions of ownership or control, use and permanent maintenance of common open space, common facilities or common lands to ensure preservation of such lands and facilities for their intended purpose and to ensure that such common facilities will not become a future liability for the city.

Evidence of ownership and control have been provided.

- (2) Intensity of use and/or purpose of the proposed development in relation to adjacent and nearby properties and the effect thereon; provided, however, that nothing in this subsection shall be construed as granting the planning commission the authority to reduce residential densities below that permitted by the schedule of district regulations set out in this code.

The intensity of the proposed uses is compatible and harmonious with the adjacent and nearby properties.

- (3) Ingress and egress to the development and proposed structures thereon, with particular reference to automotive and pedestrian safety, separation of automotive traffic and pedestrian and other traffic, traffic flow and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe or emergency.

No changes are proposed to the ingress and egress from the property, and the proposed plan provides for appropriate separation of automotive and pedestrian traffic, traffic flow, provision of emergency services, and refuse collection.

- (4) Location and relationship of off-street parking and off-street loading facilities to thoroughfares and internal traffic patterns within the proposed development, with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscaping.

Off-street parking and loading facilities are appropriately located in relation to thoroughfares and internal traffic patterns within the proposed development.

- (5) Sufficiency of proposed screens and buffers to preserve internal and external harmony and compatibility with uses inside and outside the proposed development.

The proposed uses are compatible and harmonious with the existing uses inside and outside the proposed development.

- (6) Manner of drainage on the property, with particular reference to the effect of provisions for drainage on adjacent and nearby properties and the consequences of such drainage on overall public drainage capacities.

RECEIVED

NOV 04 2016

PLANNING & ZONING

PLANTING PLAN

Laurel Road Storage Facility

Property ID No.: 0387010005, 0387010009 Venice FL

Prepared For: Gaylon Peters

Drawing Title:

Issue	Date
PERMIT SET	5.13.16
Rev. 1	8.14.2016
Rev. 2	11.7.2016
Rev. 3	12.9.2016
Drawing Status:	
BUFFER PLAN	
Scale: 1"=40'	
Drawn by:	ML
Checked by:	ML
Job No:	2016-12
Drawing No.	

Symbol Schedule of Plants	Quantity	Scientific Name	Common Name	Specification Size
	8	MAGNOLIA GRANDIFLORA	Southern Magnolia 'little gem'	10'H x 4" SPR. min., 3" cal. min., 25 Gal. min.
	18	ACER RUBRUM	Red Maple	10' H min., 4" SPR, 3" Cal. min., Std., 25 Gal. min.
	18	TAXODIUM DISTICHUM	Bald Cypress	10'H x 4" SPR, 3" CAL. Min., 25 GAL. min.
	24	JUNIPERUS VIRGINIANA	Southern Red Cedar	10' H min., 4"SPR, 3" Cal. min., 25 Gal. min., 150C.
	21	CONOCARPUS ERECTUS VAR. SERICEUS	Silver Buttonwood	3 GAL., Multi-stemmed, 2H min., 30" O.C.
	19	VIBURNUM OBOVATUM	Walter's Viburnum	7 GAL., 2' H min., 10" O.C.
	54	PENEAETUM SETCEUM ALBA	White Fountain Grass	3 GAL., 2' H min., 3' O.C.
	64	MYRTICA CERIFERA	Wax Myrtle	Multi-stem, 7 GAL. MIN, 2H min, 3' O.C. MAX.
	06	TRIPSACUM DACTYLOIDES	Foamflower Grass	3 GAL., 2H min., 4' O.C.
	18	MULLENERGIA CAPILLARIS	Muhley Grass	3 GAL., 2' H min., 4' O.C.
	+/-17800 sq.ft.	PASPALUM NOTATUM FLUGGE	Sand Grown Bahiagrass	Sod
	+/-23,038 sq.ft.	PASPALUM NOTATUM FLUGGE	bahia seed	Over Seed

EUCALYPTUS OR "FLORIMULCH" MULCH TO BE USED. NO CYPRESS GRADE "B" PERMITTED. NO INORGANIC MULCH PERMITTED.

*All replacement trees are required to be single stemmed. No multi-stemmed trees will be accepted.

All Plants will be irrigated through establishment and as necessary during drought periods to assure survival.

Required Trees	Trees Proposed	Trees preserved	Trees Provided
68	68	0	68

Total area of proposed development= 3.11 acres

3.11 acres= 135,472 sq.ft.

1 tree per 2000 sq.ft. - 135,472 / 2000 =68 trees

21,038 sq.ft of pavement (w/out parking spaces)

21,038/ 500 =42.076 sq.ft x10 sq.ft each

420 sq.ft of interior landscape required.

4,557 sq.ft. provided.

GENERAL NOTES

1. ALL FILLINGS/LANDSCAPE AREAS NOT PLANTED OR MULCHED SHALL BE SOODED WITH SOIL OR AN ORGANIC SUBSTRATE.

2. MULCH ALL EXPOSED AREAS WITH 2" OR AS NOTED OTHERWISE ON PLAN OF SANDHOLZ MULCH. CY CYPRESS MULCH MUST BE FROM THE BANK ONLY, OR 3" OF EUCALYPTUS MULCH.

3. THE LANDSCAPE CONTRACTOR IS CAUTIONED TO BE AWARE OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR SHALL CHECK WITH THE JOB SITE SUPERINTENDENT FOR LOCATION OF ALL UTILITIES. CALL BEFORE YOU DIG.

4. ALL NEW PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR CYPRESS MULCH SPECIFICATIONS FOR NORTHERN FLORIDA.

5. ALL REQUIRED PLANT MATERIAL PROPOSED IS FLORIDA FRIENDLY, COLD HARDY AND DROUGHT TOLERANT AS REQUIRED BY CODE.

6. THE OWNER IS REQUIRED TO PROVIDE AN ADEQUATE MAINTENANCE PROGRAM FOR ALL NEWLY PLANTED MATERIAL BY HAND WATERING, PRUNING, CULTIVATING, AND WEEDING. THE CONTRACTOR SHALL PROVIDE A MAINTENANCE SCHEDULE. THE OWNER IS REQUIRED TO MAINTAIN ALL PLANT MATERIAL IN PERPETUITY PER FLORIDA COUNTY CODE SECTION 73.18.

7. THIS PLAN ILLUSTRATES GENERAL LANDSCAPE INTENT. THIS PLAN MAY BE MODIFIED TO ACCOMMODATE CHANGES IN PLANT MATERIALS OR CONDITIONS.

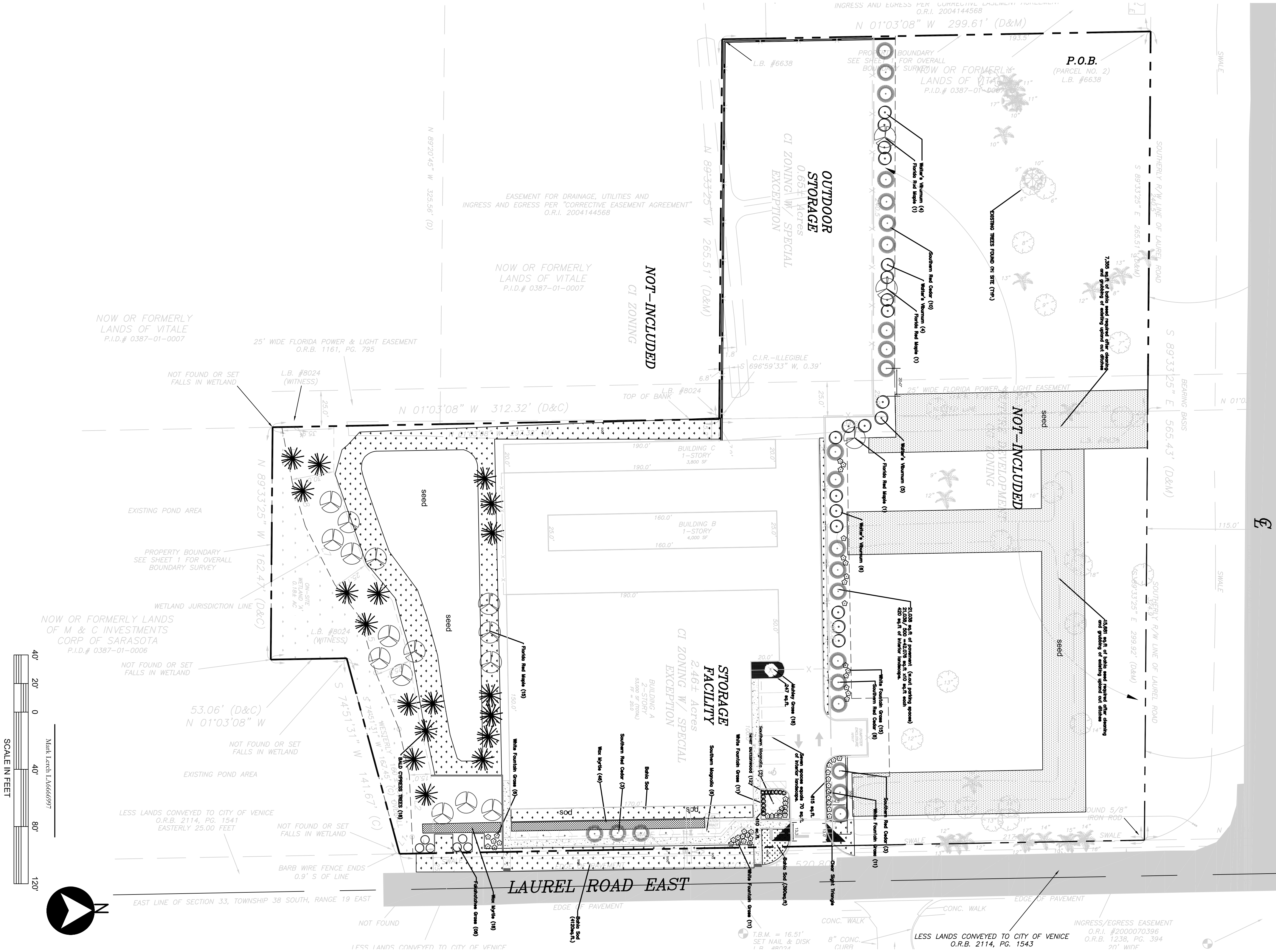
8. LANDSCAPE CONTRACTOR TO PROVIDE OWNER WITH A WARRANTY OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE FROM THE OWNER. ANY DEAD, UNEALTHY, NON-CONFORMING MATERIAL SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. WITHIN 7 DAYS NOTICE FROM THE OWNER OR OWNER'S REPRESENTATIVE.

1. No clearing with heavy equipment, filling, or placement of improvements or utility lines shall occur within the protected root zone of any canopy tree to be saved, per Section 54-588 (1) (b) of Sarasota County Code. The protected root zone is defined as the dripline of the tree. Only hand clearing or moving is permitted within the protected root zone. No canopy trees to be saved of native vegetation within the protected root zone occurs the Administrator may require the replanting of understory vegetation. Full dripline protection is required; however the Administrator may allow certain activities to be conducted within the barricaded dripline of a tree, so long as the County determines that the tree will not be adversely affected.

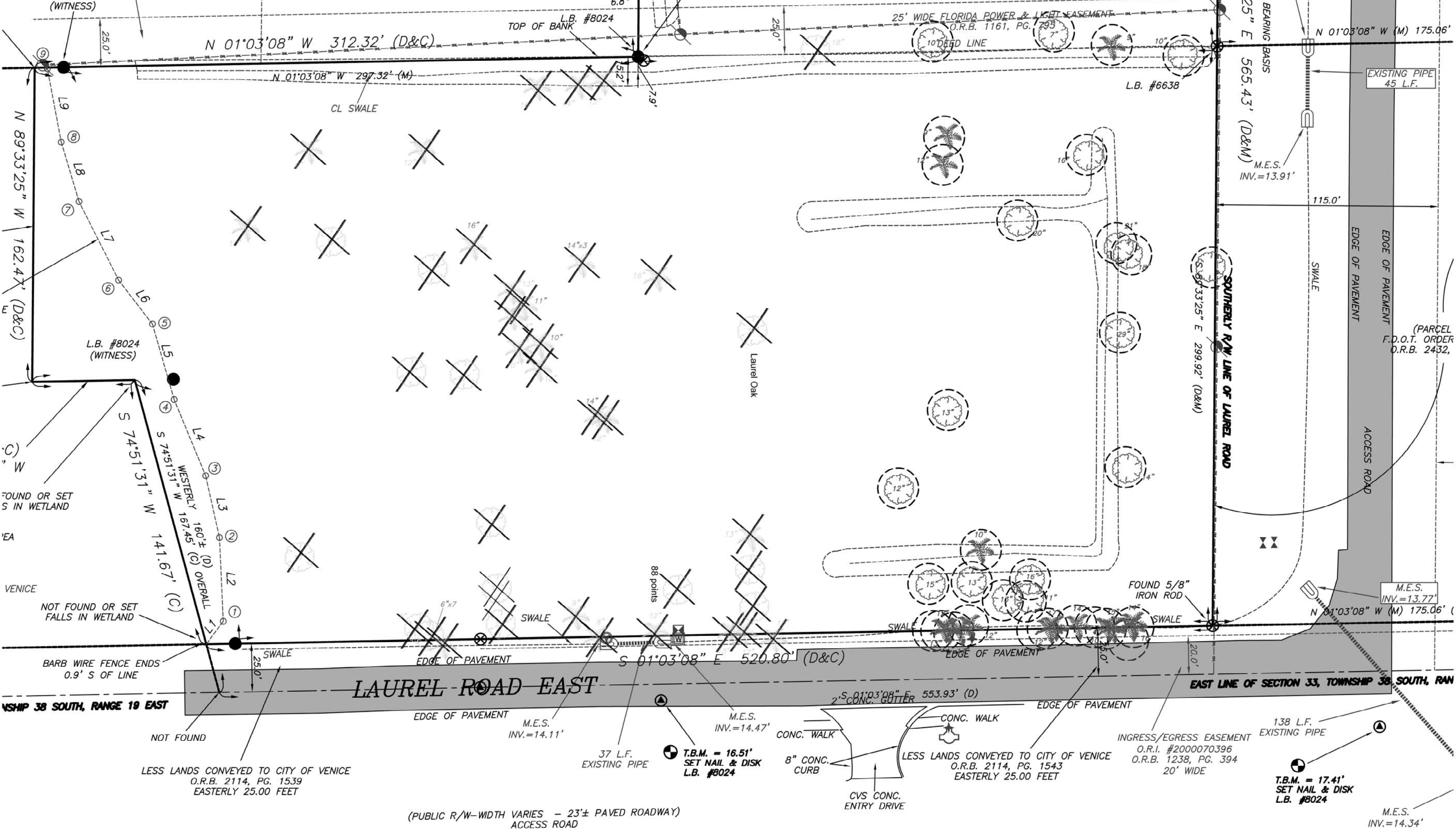
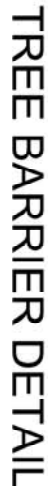
All root pruning, tree pruning, and tree plantings must follow all ANSI A300 standards.

Planted trees must be a species from the approved list printed on the tree permit and meet the grade and size requirements as stated in the Tree Code.

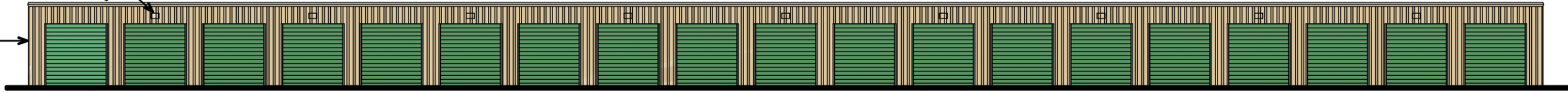
1. "A. Tree Permit will be required prior to any construction, native vegetation removal within the dripline of a tree, and/or tree removal."



1. PROPAGS SPACED AT 4-5' INTERVALS OF NO LESS THAN 2" X 2' LUMBER WITH 1" X 4" TOP RAIL.
2. BARBERS TO BE ERECTED AROUND REMAINING TREES BEFORE CONSTRUCTION OR NEARBY TREES ARE REMOVED.
3. BARBERS TO REMAIN IN PLACE UNTIL ALL PAVING, CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA.
4. BARBERS MUST BE PLACED AT THE DOWEL OF THE TREE OR GROUP OF TREES TO BE PROTECTED. BARBARES CLOSEST TO THE TRUNK THAN THE DOWEL OF THE TREE ARE INSUFFICIENT.

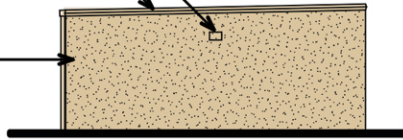


LIGHT FIXTURE
PAINTED METAL COPING
T.O. ROOF
EL = 10'-8" AFF.
PREFINISHED METAL WALL PANELS
FIN. SLAB
EL = 0'-0" REF.



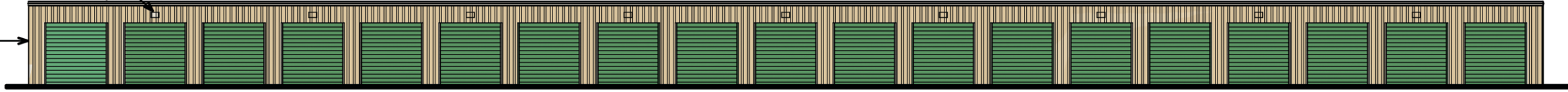
1 BUILDING B - WEST & EAST ELEVATION
SCALE: 1/4"=1'-0"

LIGHT FIXTURE
PAINTED METAL COPING
T.O. ROOF
EL = 10'-2" AFF.
PREFINISHED METAL WALL PANELS
FIN. SLAB
EL = 0'-0" REF.



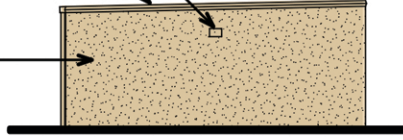
2 BUILDING B - NORTH & SOUTH ELEVATIONS
SCALE: 1/4"=1'-0"

LIGHT FIXTURE
PAINTED METAL COPING
T.O. ROOF
EL = 10'-8" AFF.
PREFINISHED METAL WALL PANELS
FIN. SLAB
EL = 0'-0" REF.



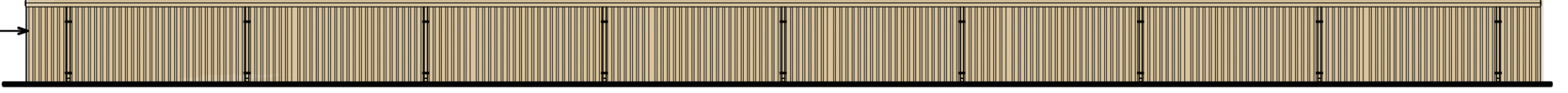
3 BUILDING C - EAST ELEVATION
SCALE: 1/4"=1'-0"

LIGHT FIXTURE
PAINTED METAL COPING
T.O. ROOF
EL = 10'-2" AFF.
PREFINISHED METAL WALL PANELS
FIN. SLAB
EL = 0'-0" REF.



4 BUILDING C - NORTH & SOUTH ELEVATIONS
SCALE: 1/4"=1'-0"

PAINTED METAL COPING
T.O. ROOF
EL = 10'-2" AFF.
PREFINISHED METAL WALL PANELS
FIN. SLAB
EL = 0'-0" REF.



5 BUILDING C - WEST ELEVATION
SCALE: 1/4"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, INCLUDING PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 553.1, LAWS OF FLORIDA.

INNOVATIVE DESIGN STUDIOS, INC.
ARCHITECT
I hereby warrant that the design and construction of the project shall conform to the applicable minimum building codes and standards of Florida. I also warrant that the design and construction of the project shall conform to the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 553.1, Laws of Florida. I further warrant that the design and construction of the project shall conform to the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 553.1, Laws of Florida. I also warrant that the design and construction of the project shall conform to the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 553.1, Laws of Florida. I further warrant that the design and construction of the project shall conform to the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 553.1, Laws of Florida.

REVISIONS	
NO.	DESCRIPTION

CLIENT

LAUREL ROAD STORAGE
A NEW SELF STORAGE FACILITY
LAUREL ROAD
VENICE, FLORIDA

EXTERIOR ELEVATIONS

RONALD E. ZAWISTOWSKI
REGISTERED ARCHITECT

www.innovative-designstudios.com
TEL: 727.432.1455
P.O. BOX 48452 ST. PETERSBURG, FLORIDA 33743

www.innovative-designstudios.com
TEL: 727.432.1455
P.O. BOX 48452 ST. PETERSBURG, FLORIDA 33743

DRAWN DATE: 12/12/2016
ISSUE DATE:
SHEET: