



City of Venice
401 West Venice Ave., Venice, FL 34285
941-486-2626
DEVELOPMENT SERVICES - PLANNING & ZONING
SPECIAL EXCEPTION APPLICATION

16-01 SE

SPECIAL EXCEPTION

Revised 12/10

Project Name: Laurel Road Storage

Parcel Identification No.: 0387-01-0009 and 0387-01-0005

Address: 3496 & 3500 Laurel Rd. East

Parcel Size: 5.8 +/- acres

FLUM designation: Commercial

Zoning Map designation: CI and CHI(current) CI (proposed)

Property Owner's Name: Gaylon & Laura Peters, Laurel Road Storage, LLC

Telephone: _____

Fax: _____

E-mail: _____

Mailing Address: _____

Project Manager: Jeffery A. Boone, Esq.

Telephone: (941) 488-7079

Mobile / Fax: (941) 488-7079

E-mail: jboone@boone-law.com

Mailing Address: 1001 Avenida Del Circo, Venice, FL 34285

Project Engineer: Jessica Heiny, P.E., Florida Engineering & surveying, LLC

Telephone: (941) 485-3100

Mobile / Fax: _____

E-mail: jessie@florida-eas.com

Mailing Address: 631 N. Tamiami Trail, Nokomis, FL 34275

Project Architect: _____

Telephone: _____

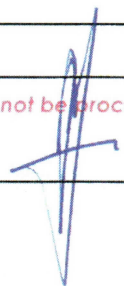
Mobile / Fax: _____

E-mail: _____

Mailing Address: _____

Incomplete applications cannot be processed - See reverse side for checklist

Applicant Signature / Date:

 5/27/16

RECEIVED

MAY 27 2016

PLANNING & ZONING

APPLICATION CHECKLIST

Required documentation (provide one copy of the following, unless otherwise noted):

- ☒ **Statement of Ownership & Control**
- ☒ **Signed, Sealed and Dated Survey of Property**
- ☒ **Agent Authorization Letter**
- ☒ **Narrative describing the petition** (address the required findings for approval below)
- ☒ **Public Workshop Requirements.** Date held November 13, 2015
 - ☒ Copy of newspaper ad.
 - ☒ Copy of notice to property owners.
 - ☒ Copy of sign-in sheet.
 - ☒ Written summary of public workshop.

Required findings for approval. Before any special exception shall be approved, the planning commission shall make a written finding that the granting of the special exception will not adversely affect the public interest and certify that the specific requirements governing the individual special exception, if any, have been met by the petitioner and that, further, satisfactory provision and arrangement has been made concerning the following matters, where applicable:

1. Compliance with all applicable elements of the comprehensive plan.
2. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
3. Off-street parking and loading areas, where required, with particular attention to the items listed in subsection (e)(2) of this section and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
4. Refuse and service areas, with particular reference to the items listed in subsections (e)(2) and (e)(3) of this section.
5. Utilities, with reference to location, availability and compatibility.
6. Screening and buffering, with reference to type, dimensions and character.
7. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effects, and compatibility and harmony with properties in the district.
8. Required yards and other open space.
9. General compatibility with adjacent properties and other property in the district.
10. Any special requirements set out in the schedule of district regulations of this chapter for the particular use involved. **Please see attached.**

Required documentation (provide 15 sets of the following including 3 signed, sealed and dated, unless otherwise noted):

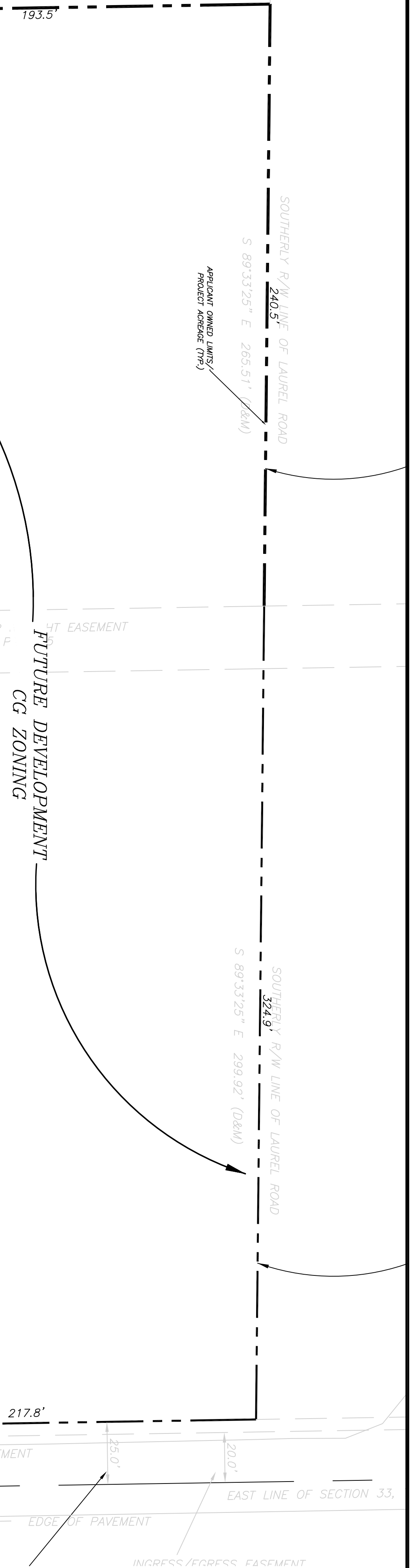
- ☒ Site and development plans at an appropriate scale showing proposed placement of structures on the property, and provisions for ingress and egress, off-street parking and off-street loading areas, refuse and service areas, and required yards and other open spaces;
- ☒ Plans showing proposed locations for utility hookups;
- ☒ Plans for screening and buffering with reference as to type, dimensions and character;
- ☒ Proposed landscaping and provisions for trees protected by city regulations; and
- ☒ Proposed signs and lighting, including type, dimensions and character.

Please see concurrently filed S&D plans

Fees

Application filing fee \$400.

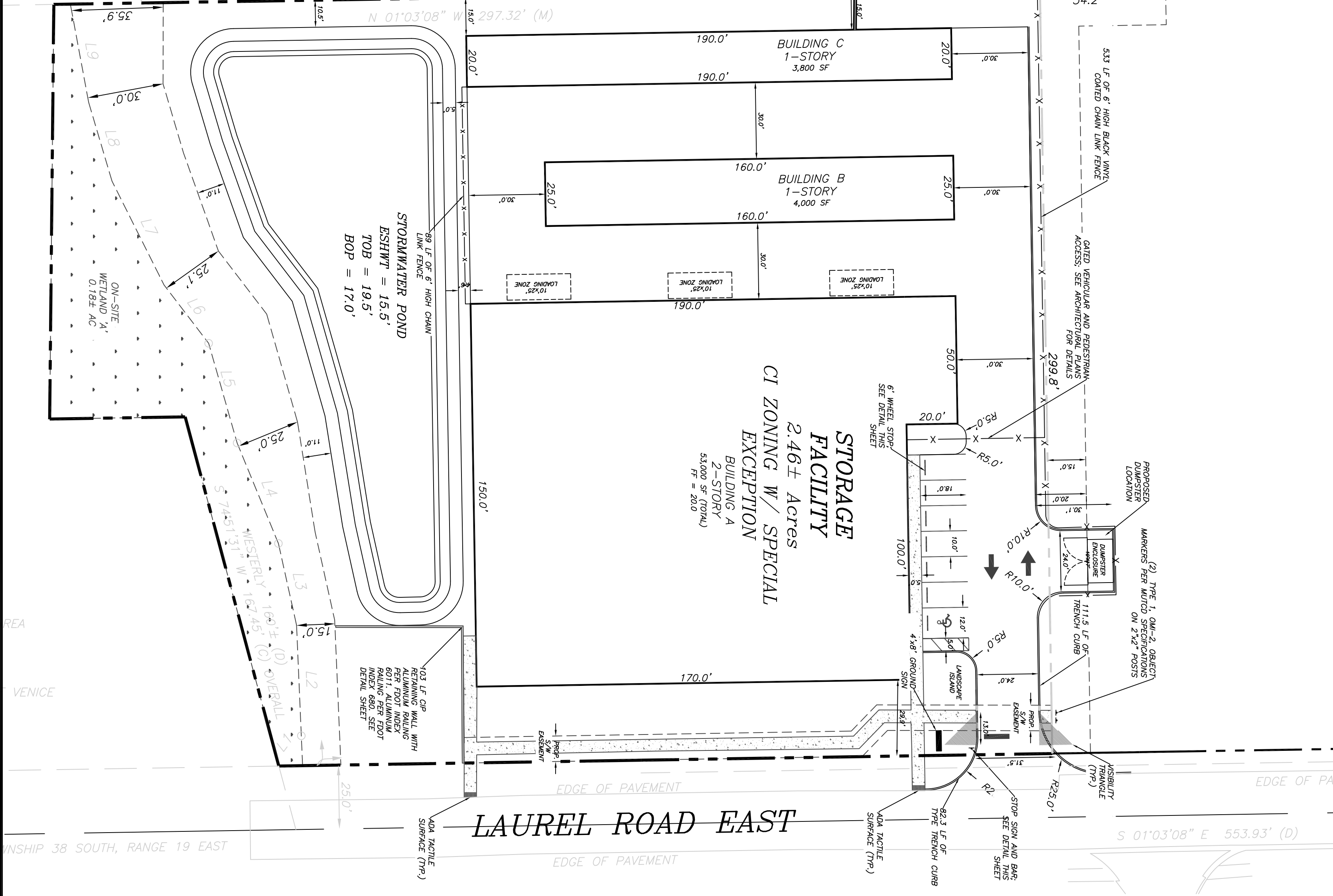
Public notice fee in excess of \$50 will be billed to applicant and is not included in application fee.



LINE	BEARING	DISTANCE
L1	N 53°34'00" W	14.78'
L2	S 87°25'04" W	43.39'
L3	S 77°20'58" W	32.77'
L4	S 67°32'49" W	42.37'
L5	S 73°56'15" W	40.61'
L6	S 52°27'42" W	28.76'
L7	S 63°15'09" W	45.49'
L8	S 73°22'16" W	32.21'
L9	S 79°19'48" W	39.16'

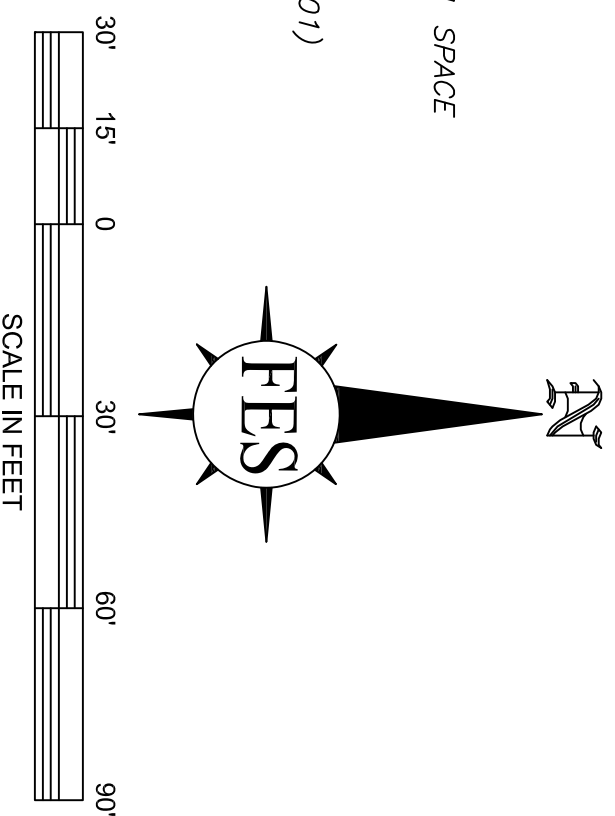
25' WIDE FLORIDA POWER & LIGHT EASEMENT
O.R.B. 1161, PG. 795

EASEMENT FOR DRAINAGE, UTILITIES AND
INGRESS AND EGRESS PER "CORRECTIVE EASEMENT AGREEMENT"
O.R.I. 2004144568



SITE DATA

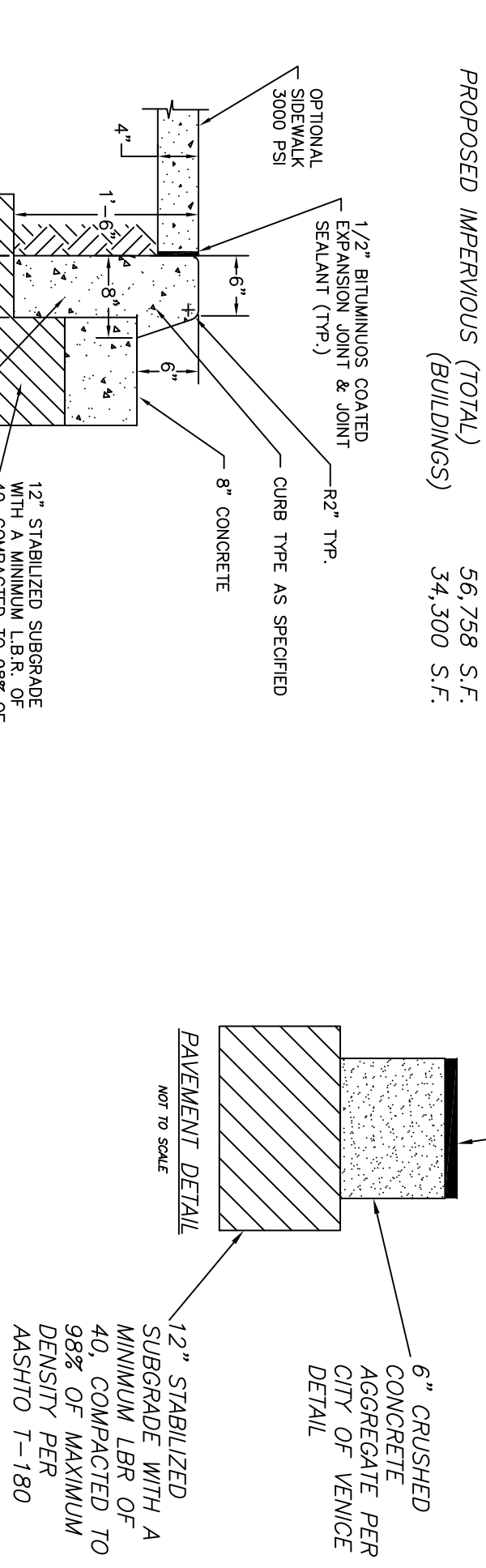
- TOTAL ACREAGE (APPLICANT OWNED) = 5.81± AC (253,085± SF)
PHASE 1 ACREAGE = 3.11± AC (135,471± SF)
- FLOOR AREA RATIO = 60,800 SF/253,085 SF = 0.24
- PARKING REQUIRED: 1 SPACE/2,000 SF OF GROSS FLOOR AREA, PLUS 1 SPACE FOR EACH VEHICLE BASED ON THE FACILITY
47,381 SF (GROSS FLOOR AREA)/2,000 SF = 24 SPACES (REQUIRED)
PARKING PROVIDED: 7 SPACES (PURSUANT TO SPECIAL EXCEPTION #16-01)
- ZONING (PROPOSED) = CI (W/ SPECIAL EXCEPTION), CG
- BUILDING SETBACKS (CI ZONING):
FRONT: 20'
SIDE: 8'
REAR: 10'
LOT COVERAGE: UNRESTRICTED
BUILDING HEIGHT: 35'



LEGEND:

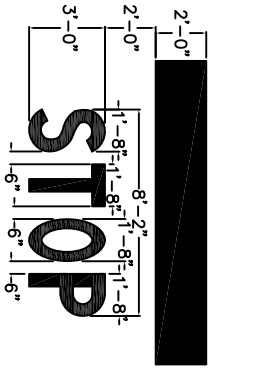
- PROJECT ADDRESS = 3500 LAUREL ROAD EAST, NOKOMIS, FL 34275
- PERMITTING AGENCIES = CITY OF VENICE, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, SWFWMD
- FEMA FLOOD ZONE = PROPERTY SHOWN HEREON LIES WITHIN A FLOOD ZONE PURSUANT TO THE ADOPTED HYDRAULIC MODEL. FOR REGULATORY COMPLIANCE, THE NEW FEMA FLOOD MAPS WILL BECOME EFFECTIVE 11/4/16.
- WATER AND SANITARY SEWER PROVIDED BY CITY OF VENICE
- ELECTRICAL TRANSMISSION SYSTEM PROVIDED BY FLORIDA POWER & LIGHT COMPANY
- SOLID WASTE BY WASTE MANAGEMENT
- TELEPHONE, CABLE, AND INTERNET SERVICE BY FRONTIER COMMUNICATIONS
- IRRIGATION BY CITY OF VENICE AND FIRE PROTECTION BY CITY OF VENICE
- LOCATED IN SECTION 33, TOWNSHIP 38 SOUTH, RANGE 19 EAST, CITY OF VENICE, FLORIDA
- AREAS FOR TOTAL SITE:
EXISTING IMPERVIOUS (TOTAL) 5,500 S.F.
PROPOSED IMPERVIOUS (TOTAL) 56,758 S.F.
(BUILDINGS) 34,300 S.F.

(1) 2" LIFT, TYPE S-1 S-3, OR SUPERPANE MEETING FLOOD REQUIREMENTS



TRENCH CURB DETAIL

NOT TO SCALE



DIRECTIONAL ARROW DETAIL

NOT TO SCALE

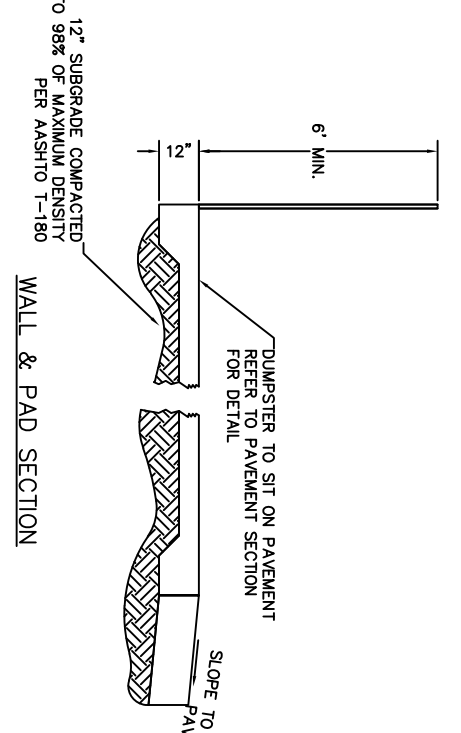
CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

STOP SIGN DETAIL

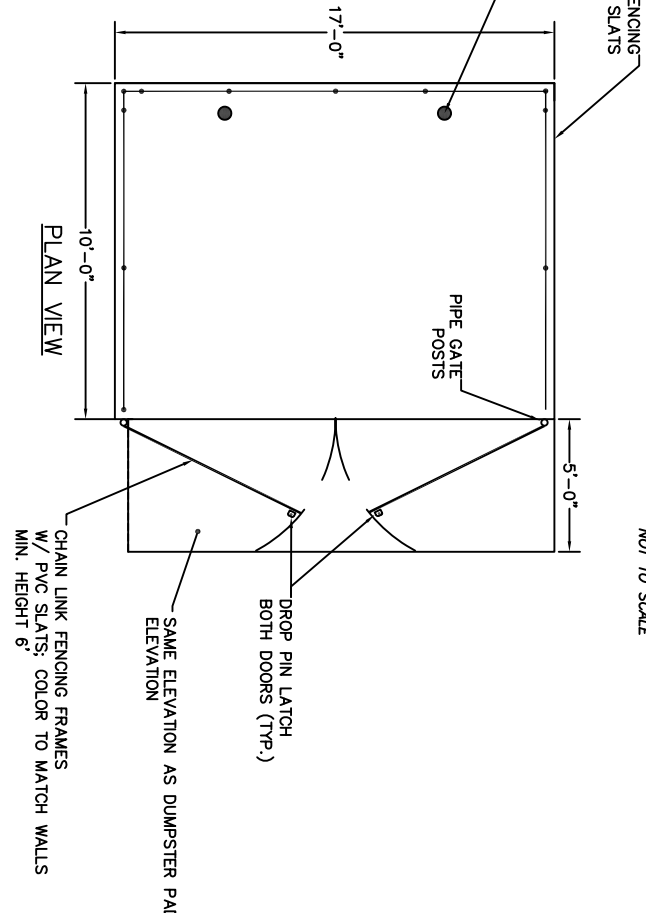
NOT TO SCALE

NOTES:
R1-1, 24"x24" OR 30"x30"
ON 2" SQUARE GALVANIZED POST



DUMPSTER ENCLOSURE DETAIL

NOT TO SCALE



NO.	REVISIONS	DATE
1.	S&D COMMENTS	8/10/16
2.	S&D COMMENTS	10/25/16

SITE PLAN

LAUREL ROAD STORAGE FACILITY

VENICE, FLORIDA PROJECT #1509030

DESIGN ENGINEER:
JESSICA L. HEINY, P.E.
FLORIDA REGISTRATION NO.: 75572

FLORIDA ENGINEERING & SURVEYING, LLC
631 N. TAMiami TRAIL TEL: (941) 485-3100
NOKOMIS, FLORIDA 34275 FAX: (941) 485-3107
www.flengineeringandsurveying.com
CA #30375 LB #8024

SHEET NO. C4