



City of Venice
401 West Venice Ave., Venice, FL 34285
941-486-2626
DEVELOPMENT SERVICES - PLANNING & ZONING
SITE & DEVELOPMENT PLAN APPLICATION

SITE & DEVELOPMENT PLAN 16-07 SP

Project Name: Lord-Higel House Facility & City of Venice Parking Improvements

Parcel Identification No.: 0176080016

Address: 409 GRANADA AVE VENICE, FL, 34285

Parcel Size: 33,750 Sq. Ft. (SARASOTA COUNTY PROPERTY APPRAISER RECORDS)

FLUM designation: MIXED USE RESIDENTIAL

Zoning Map designation: GU - GOVERNMENT USE

Property Owner's Name: CITY OF VENICE

Telephone: (941) 486-2487

Fax: (941) 480-3031

E-mail: jhagler@venicegov.com

Mailing Address: 351 S. Nassau St., Venice, FL 34285

Project Manager: James Hagler, Director Venice Museum & Archive - AGENT

Telephone: (941) 486-2487

Mobile / Fax: (941) 480-3590

E-mail: jhagler@venicegov.com

Mailing Address: 351 Nassau St. S., Venice, Florida 34285

Project Engineer : NONE

Telephone:

Mobile / Fax:

E-mail:

Mailing Address:

Project Architect: Jon Barrick Architect

Telephone: (941) 306-9227

Mobile / Fax: (941) 306-9227

E-mail: jondbarrick@gmail.com

Mailing Address: 409 NASSAU ST S, VENICE, FL 34285

Incomplete applications cannot be processed - See reverse side for checklist

Applicant Signature / Date:

James Hagler Jan. 11. 2017

APPLICATION CHECKLIST

Required documentation (provide one copy of the following, unless otherwise noted):

- ☒ **Statement of ownership and control.** Include copy of property deed or County tax statement.
- ☒ **Agent authorization letter.** Agent authorization letter listing project engineer, architect, planner, and other design professionals must be signed by the property owner and submitted with the application.
- ☒ **Legal Description and signed and sealed Survey of Property.**
- ☒ **Narrative.** Provide a detailed narrative describing purpose of petition and intended use of property.
- ☐ **Deed Restrictions (§ 86-49(b)(7)).** If common facilities and/or private streets are proposed, submit document(s) addressing how common facilities are to be provided and permanently maintained.
- ☒ **Public Workshop Requirements.** Date held SEPTEMBER 15, 2016
 - ☒ Copy of newspaper ad.
 - ☒ Copy of sign-in sheet.
 - ☒ Copy of notice to property owners.
 - ☒ Written summary of public workshop.
- ☒ **Comprehensive Plan Consistency.** Confirm consistency with all applicable elements of the City's Comprehensive Plan.
- ☒ **Concurrency Application and Worksheet.** Signed, sealed and dated.
If a traffic study is required, submit 3 copies of the study (3 signed, sealed and dated).
Electronic **hcs** files must be e-mailed to staff or submit 3 CDs.

Required documentation (provide 15 sets of the following including 3 signed, sealed and dated, unless otherwise noted):

- ☒ **Site Plan Sheet.** Include all proposed improvements, buildings and structures, sidewalks, parking and transportation network, yards and open space.
 - ☐ Municipal address
 - ☐ FEMA Flood Zone designation and base flood elevation
 - ☐ Names of all existing and proposed public and private streets
 - ☐ Location of all sidewalks
 - ☐ Location of refuse and recycled materials enclosure.
- ☒ **Utility Plan Detail Sheet**
 - ☐ Potable water and wastewater main size and location
 - ☐ Water valve location
 - ☐ Manhole separation
 - ☐ Distance from water main to proposed building
 - ☐ Location of nearest fire hydrants
- ☒ **Paving and Drainage Detail Plan Sheet**
 - ☐ Document addressing drainage concurrency by means of a certified drainage plan
 - ☐ Driveway dimensions and turning radius
- ☒ **Landscape Plan Sheet**
 - ☐ Tree survey
 - ☐ Detailed inventory of all proposed trees and plants by type and size
- ☒ **Signage.** Depict – by dimension – all ground and wall signage
- ☒ **Architectural Elevations.** Definitions for buildings in the development; and number of dwelling units, sizes and types, together with typical floor plans of each type.

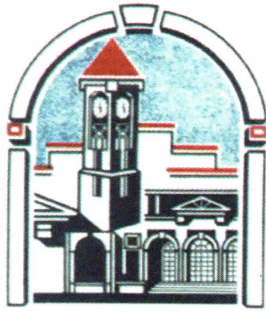
Fees

Application filing fee \$4,700.

Transportation review fee will be billed to applicant and is not included in application fee.

Public notice fee in excess of \$50 will be billed to applicant and is not included in application fee.

Extended Technical Review Fee \$1,400.



CITY OF VENICE

401 W. Venice Avenue
(941) 486-2626

Venice, FL. 34285-2006
Fax (941) 480-3031

January 9, 2017

Mr. Jeff Shrum, AICP, Development Services Director
Development Services, Planning & Zoning Division, City of Venice
401 West Venice Avenue
Venice, FL 34285

RE: Lord-Higel House Site & Development Plan Narrative, Application 16-07SP

Dear Mr. Shrum:

The City of Venice is requesting Site & Development Plan approval for the Lord-Higel House facility and contiguous parking improvements located 409 Granada Ave. The uses exist on-site and have previous City Council approval.

The Lord-Higel House (LHH) is the first residence in the City of Venice and the second oldest dwelling in Sarasota County. Built in 1896 for Joseph H. Lord, the home was in the center of his ninety acre citrus grove, located at what is now Bay Shore Estates. In 1905 it became the homestead of his citrus grove manager George Higel. George and Abigail Williams Higel lived and raised five of their six children in this house until 1919. In 2005, the house was saved from demolition by City Council the City of Venice's Historic Preservation Board. The home was donated to the City of Venice and moved to its current location at the corner of Granada Ave and Ave Des Parques behind City Hall. The structure has undergone ongoing restoration, which once restored; the Lord-Higel House will serve the community in countless ways.

The first floor of the house will provide an early settler museum and welcome center for visitors to Venice's historic downtown district. The rooms will be furnished with turn-of-the 20th century objects, and volunteer docents will be available to explain to visitors what life in the area would have been like at that time. Every effort will be made to retain the architecture of the period while making it accessible to all visitors. An outside ADA-approved bathroom and ramp, with easy access from the parking lot, will be constructed adjacent to George Higel's restored tool shed. The wrap-around porch will contain a number of rocking chairs to encourage visitors to "sit a spell" and soak up the ambiance of the house and grounds.

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HPN policy states new and redevelopment projects shall have a Northern Italian Renaissance architectural design style. The Lord-Higel House is an example of the American Foursquare house type, popular from the mid-1890s to the late 1930s. The residence is the oldest home in the City and the second oldest in Sarasota County, hence there is an architectural and communal legacy to preserve the structure. The differing architectural character exhibited by the home provides one of the few remaining frame vernacular residences within Sarasota County, thus adds to the City's diverse architectural legacy and identity. Additionally, the LHH was established on-site before the effective date (2010) of the current comprehensive plan. Therefore, the proposed development should be allowed without having to comply with the required architectural style of the planning area.



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January 9, 2017

Mr. Jeff Shrum, AICP, Development Services Director
Development Services, Planning & Zoning Division, City of Venice
401 West Venice Avenue
Venice, FL 34285

RE: Lord-Higel House Findings for Approval
Site & Development Plan Petition 16-07SP

Dear Mr. Shrum:

The applicant provides the below response statements to validate each findings for approval to ensure granting the site and development plan will not adversely affect the public interest and confirm the petitioner has met the specific requirements governing the application.

- (1) Sufficiency of statements on ownership and control of the development and sufficiency of conditions of ownership or control, use and permanent maintenance of common open space, common facilities or common lands to ensure preservation of such lands and facilities for their intended purpose and to ensure that such common facilities will not become a future liability for the city.

Response: Lord-Higel House (LHH) and adjunct parking are City owned assets located 409 Granada Avenue, City of Venice, Florida. Statement of Ownership and Control has been provided with the applications.

Venice Heritage Inc. (VHI) is responsible for interior and exterior restoration of the LHH. Upon completion of the restoration, the City of Venice will maintain facility as part of the Venice Museum Archive's annual budget.

- (2) Intensity of use and/or purpose of the proposed development in relation to adjacent and nearby properties and the effect thereon; provided, however, that nothing in this subsection shall be construed as granting the planning

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commission the authority to reduce residential densities below that permitted by the schedule of district regulations set out in this code.

Response: The parking area and LHH facility use is anticipated to be less than or comparable to properties nearby. The parking area has been in use since December 2015. The LHH facility is not yet open to the public, however the yearly attendance is expected to be similar to the Venice Museum and Archives.

- (3) Ingress and egress to the development and proposed structures thereon, with particular reference to automotive and pedestrian safety, separation of automotive traffic and pedestrian and other traffic, traffic flow and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe or emergency.

Response: The property ingress and egress received approval by City of Venice Development Services in 2015, hence complies with applicable automotive and pedestrian safety, traffic flow, and public / fire access. LHH facility refuse collection will be curbside roll away trash containers.

- (4) Location and relationship of off-street parking and off-street loading facilities to thoroughfares and internal traffic patterns within the proposed development, with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscaping.

Response: The off-street parking layout and internal circulation has received approval by City of Venice Development Services and complies with applicable internal traffic circulation and fire access. The parking area has installed screening and landscaping as required general design standards.

- (5) Sufficiency of proposed screens and buffers to preserve internal and external harmony and compatibility with uses inside and outside the proposed development.

Response: Required landscape screening is installed and healthy in the parking area. The applicant has proposed to install a screen fence, partially along the south boundary adjacent to the LHH. The opaque fence will help to preserve the privacy of adjacent residences to the south. Additionally, there is existing wood screen fence separating the LHH facility and the southeast residential property.

- (6) Manner of drainage on the property, with particular reference to the effect of provisions for drainage on adjacent and nearby properties and the consequences of such drainage on overall public drainage capacities.

Response: Storm drainage is designed to be retained on-site. The total of planned improvements is beneath the exemption threshold for existing SWFWMD permitting. The site plan illustrates conceptual water flows adjacent to LHH facilities. Final drainage will be by other and field coordinated during construction.

- (7) Adequacy of provision for sanitary sewers, with particular relationship to overall city sanitary sewer availability and capacities.

Response: There is an existing 8" sewer main located on Granada Avenue. It is anticipated the main will have capacity for the additional service.

- (8) Utilities, with reference to hook-in locations and availability and capacity for the uses projected.

Response: There is an existing 4" water service main is adjacent to the south property line. As noted previously, there is an existing 8" sewer main located contiguous to the property on Granada Avenue. The LHH facility will have minimal additional impact to both the existing water and sewer mains.

All utility tie-ins will be according to City of Venice Standard Engineering Details for each service. Please reference the site plan for proposed, concept design for tie-in service.

- (9) Recreation facilities and open spaces, with attention to the size, location and development of the areas as to adequacy, effect on privacy of adjacent and nearby properties and uses within the proposed development, and relationship to community or citywide open spaces and recreational facilities.

Response: The proposed uses are public and will benefit the community recreationally. The LHH site design is intended to be open and rural, thus have limited effect on adjacent properties. The planned open space is consistent with building coverage of neighboring properties.

- (10) General site arrangement, amenities and convenience, with particular reference to ensuring that appearance and general layout of the proposed development will be compatible and harmonious with properties in the general area and will not be so at variance with other development in the area as to cause substantial depreciation of property values.

Response: The layout of the uses on the site is consistent with neighboring properties. The facilities will be maintained properly by the City of Venice.

- (11) Such other standards as may be imposed by the city on the particular use or activity involved.

Response: The applicant is receptive to reasonable imposed standards.

- (12) In the event that a site and development plan application is required, no variance to the height, parking, landscape, buffer or other standards as established herein may be considered by the planning commission. The planning commission may consider modifications to these standards under the provisions and requirements for special exceptions.

Response: The applicant is requesting a Special Exception Use for the current parking area, located 409 Granada Ave., to remain a pervious condition instead of a mainly hard surface as required, City of Venice LDR, Article VI Design and Development Standards, Division 4 – Off-Street Parking, Sec. 86-411 General Design Standards, (2) Surfacing.

LORD- HIGEL
HOUSEMASTER SITE
PLAN409 GRANADA
AVE., VENICE,
FLORIDASITE &
DEVELOPMENT
PLAN

SHEET ORIENTATION:



OWNER: CITY OF VENICE

JON D. BARRICK, R.A. #A84936

REVISIONS:

MARK DATE DESCRIPTION

PROJECT NO: 160101

CAD DWG FILE: SITE PLAN DETAIL PROJECT AREA.DWG

DATE: JANUARY 09, 2017

DRAWN BY: JDB

CHK'D BY: JDB

COPYRIGHT: JON BARRICK, ARCHITECT

SHEET:

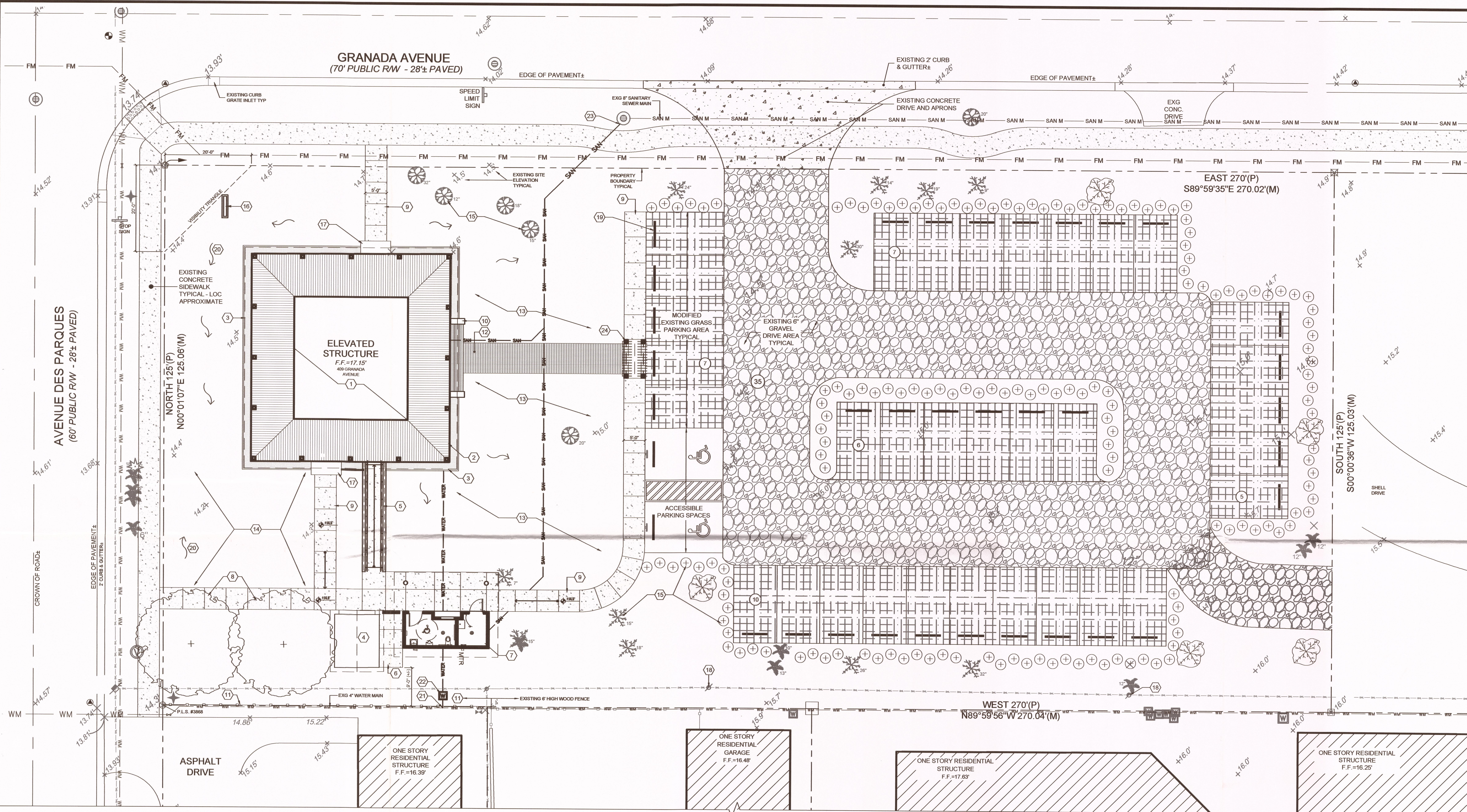
SDP.01

SHEET DESCRIPTION:

SITE PLAN

16-07sp

PLANNING & ZONING



1 LORD-HIGEL HOUSE MASTER SITE PLAN

3/32" = 1'-0"

PLAN GENERAL NOTES

- THE CURRENT SITE DOES NOT HAVE WATER OR SEWER UTILITIES. THE FACILITY WATER SEWER SERVICE IS AS NOTED ON THE PLAN AND KEYNOTES. THE PROPOSED LHH FACILITY WATER SERVICE IS A 3/4" WATER LINE WITH TIE-IN USING A TAPPING SADDLE. THE PROPOSED LHH FACILITY SEWER SERVICE IS A 4" SEWER LATERAL WITH TIE-IN AT EXISTING SEWER MANHOLE ON GRANADA AVE. FINAL UTILITY DESIGN IS BY OTHER WITH INSTALLATION ACCORDING TO MOST CURRENT CITY OF VENICE ENGINEERING & UTILITIES. STANDARD DETAILS, GENERAL NOTES, TESTING REQUIREMENTS AND APPLICABLE REGULATIONS AND ORDINANCES. REFERENCE PLAN FOR SPECULATIVE PIPING LAYOUTS AND CONNECTION POINTS FOR EACH UTILITY SERVICE.
- THE NEAREST FIRE HYDRANT TO THE FACILITY / SITE IS LESS THAN 100'-0". LOCATION OF THE THE HYDRANT IS WITHIN THE GRANADA AVENUE RIGHT-A-WAY, ACROSS THE STREET FROM THE PROPERTY.
- STORM DRAINAGE IS PROPOSED TO BE RETAINED ON-SITE. THE TOTAL PLANNED IMPROVEMENTS, AS PROVIDED, IS CURRENTLY BENEATH THE EXEMPTION THRESHOLD FOR THE EXISTING SWFWMD PERMITTING.
- REFUSE AND RECYCLED MATERIALS FOR THE FACILITY IS PLANNED TO BE ROLL-OFF CONTAINERS AND RECYCLING BINS. THE LOCATION IS INDICATED ON PLAN.
- SPECIAL EXCEPTION PETITION (18-035E) FOR PARKING AREA TO REMAIN A PAVEMENT CONDITION, EXCLUDING (2) ADA SPACES, INSTEAD OF HARD SURFACED AS REQUIRED, CITY OF VENICE LDR, ARTICLE VI DESIGN AND DEVELOPMENT STANDARDS, DIVISION 4 - OFF-STREET PARKING, SEC. 86-411 GENERAL DESIGN STANDARDS, (2) SURFACING.

PLAN KEYNOTES

- EXISTING HISTORIC LORD-HIGEL BUILDING
- EXISTING ELEVATED, COVERED PORCH. PORCH TO FEATURE INFORMATIONAL SIGNAGE - DESIGN TO BE DETERMINED.
- 2'-0" WIDE CRUSHED SHELL BOUNDARY ADJACENT TO PORCH W/ CONTINUOUS BRICK BORDER ALL SIDES.
- EXISTING HISTORIC WOOD FRAME SHED TO REMAIN.
- ACCESSIBLE RAMP
- 13'-0" x 5'-6" CONCRETE SLAB FOR MECHANICAL EQUIPMENT AND REFUSE COLLECTION. SIZE TO BE FIELD DETERMINED.
- ACCESSIBLE RESTROOM BUILDING
- CITRUS TREES W/ ADJACENT INFORMATION PLAQUE(S). NUMBER OF TREES TO BE DETERMINED.
- CONCRETE SIDEWALK WITH BROOM FINISH.
- INSTALLATION OF FACILITY SIDEWALKS WILL BE PHASED.
- BRICK ENTRY STEPS WITH KNEE WALL EACH SIDE
- PROPOSED OPAQUE SCREEN FENCE - DESIGN TO BE DETERMINED.
- BRICK ENTRY WALK
- EDUCATIONAL / PICNIC AREA
- DEMONTSTRATION GARDEN AREA WITH INFORMATIONAL PLAQUES
- EXISTING TREES / PLANT MATERIAL TO REMAIN.
- MONUMENT SIGN - DESIGN TO BE DETERMINED.
- EXISTING STEPS TO REMAIN - TYPICAL.
- EXISTING PARKING LOT LIGHT FIXTURES, INSTALLED ON POWER POLES ADJACENT TO SOUTH PROPERTY LINE. TYPICAL.
- EXISTING 6 FT. COMPOSITE PARKING STOP - TYPICAL.
- DRAINAGE FLOW - TYPICAL. NO SURFACE RUNOFF TO ADJOINING PROPERTIES AND STREETS.
- PROPOSED WATER SERVICE CONNECTION: 2" TAPPING SADDLE PER CITY STANDARD DETAIL. FINAL DESIGN BY OTHER.
- 2" WATER METER & BACK FLOW ASSEMBLY.
- PROPOSED 6" SEWER SERVICE CONNECTION INTO EXG SEWER MANHOLE, PER CITY STANDARD DETAIL. FINAL DESIGN BY OTHER.
- ENTRY ARBOR - DESIGN TO BE DETERMINED.

SITE DATA - OFF-STREET PARKING TOTAL

USE	REFERENCE	OFF-STREET PARKING REQUIRED	PARKING PROVIDED	REF. LOCATION
LORD-HIGEL HOUSE FACILITY				
First Floor: Libraries, community centers & recreational facilities.	1 space for every 200 SF of nonstorage floor area. 678 SF / 200 SF = 3 spaces	3	3	Sec. 122-434 - Number of parking spaces. 2e.
Second Floor: Office & institutional uses.	1 space for every 200 SF of nonstorage floor area. 593 SF* / 200 SF = 3 spaces	3	3	Sec. 122-434 - Number of parking spaces. 2a.
CITY OF VENICE PUBLIC PARKING	Not Applicable - not associated with a specific use.	29	29	Not Applicable
TOTAL OFF-STREET PARKING			35	

NOTES:

*Floor Area Deduction: Stair Circulation, Storage Closet(s), & Bathrooms. Ref. FBC (2014), Chapter 2 Definitions, Section 201, Floor Area Net.

SITE DATA

SITE AREA	.775 ACRES OR 33,767 SF
IMPERVIOUS SURFACE COVERAGE	
LORD-HIGEL HOUSE	2,508 SF
ACCESSIBLE RESTROOM	469 SF
ACCESSORY SHED BUILDING	176 SF
PARKING, SIDEWALKS, RAMP, MISC SLABS, ENTRY WALK	2,097 SF
ESTIMATED TOTAL	5,250 SF

FEMA FLOOD DATA (DESIGNATION PER STRAYER SURVEYING & MAPPING BOUNDARY & TOPOGRAPHIC SURVEY DATED AUGUST 03, 2015)

"C"

DRAWING LEGEND REF SURVEY FOR ADDITIONAL INFORMATION

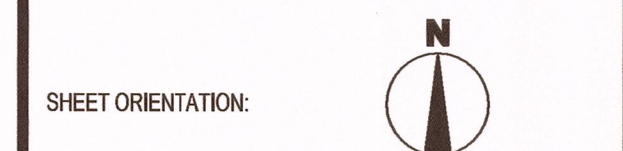
EXISTING ELEVATION	EXISTING 8" SANITARY SEWER MAIN
PROPOSED DRAINAGE FLOW	FM
CONCRETE SURFACE	EXG 12" FORCE MAIN
GRAVEL DRIVE AREA	SAN
GRASS PARKING AREA	PROPOSED SANITARY LINE
CRUSHED SHELL	PROPOSED WATER LINE
BRICK MATERIAL	-OH-
	EXG OVERHEAD UTILITY LINE
	EXG SEWER MAN HOLE
	EXG UTILITY POLE
	EXG WATER VALVE
	EXG WATER METER (WM)
	EXG SIGN

JAN 11 2017

LORD HIGEL
HOUSE EXTERIOR
ADDITIONS

409 GRANADA
AVE., VENICE,
FLORIDA

SITE &
DEVELOPMENT
PLAN



OWNER: CITY OF VENICE

JON D. BARRICK, R.A. #AR94936

REVISIONS:

MARK	DATE	DESCRIPTION

PROJECT NO: 160101
CAD DWG FILE: PLAN & EXTERIOR ELEVATIONS.DWG
DATE: JANUARY 09, 2017
DRAWN BY: JDB
CHK'D BY: JDB
COPYRIGHT: JON BARRICK, ARCHITECT
SHEET:

SDP.02

SHEET DESCRIPTION:
PLAN & EXTERIOR ELEVATIONS

Rec'd
1/11/17
16-07-SP

