

EVERGLADE ESTATES
ZONING: OUE
EXISTING LAND USE:
RESIDENTIAL

0392-001-000
NEAL COMMUNITIES OF
SW FL LLC
ZONING: RMF1
EXISTING LAND USE: AG

VILLAGES OF MILANO
(PH 1A & 1B) PB 49 PG 36

0391-00-1030
CITY OF VENICE
ZONING: GU
EXISTING LAND USE:
FIRE STATION

VENETIAN GOLF &
RIVER CLUB
ZONING: PUD
EXISTING LAND USE:
RESIDENTIAL/GOLF
COURSE

0391-00-1010
FLORIDA POWER & LIGHT CO
ZONING: OUR
EXISTING LAND USE: FPL
TRANSMISSION

0391-00-1020
HURT TEE SANDRA
SJMRL LIMITED PARTNERSHIP
ZONING: OUE
EXISTING LAND USE: AG

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	W/M APPROVED BY:	ACTIVITY	INITIALS/EMP. NO.	DATE
						DESIGNED BY:	RTD/89450	2016
						DRAWN BY:		2016
						CHECKED BY:		
						CONTRACT ADMIN. BY:		

Stantec
6900 Professional Parkway East, Sarasota, FL 34240-8414
Phone 941-557-6900 • Fax 941-557-6910
Certificate of Authorization #27013 • www.stantec.com

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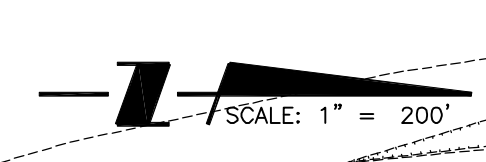
CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPEAT OF TRACT 200

DATE: 2016
HORIZONTAL SCALE: 1" = 200'
VERTICAL SCALE:

TITLE: AERIAL LOCATION MAP

CROSS REFERENCE FILE NO.: PROJECT NUMBER: 215611819
SHEET NUMBER: 2 OF 17

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER:
215611819-06C-002PL
SHEET NUMBER:
2 OF 17



LEGEND

INDICATES AREAS PREVIOUSLY PLATTED (NOT A PART OF THE SUBJECT REPLAT)

EVERGLADE ESTATES
ZONING: OUE
EXISTING LAND USE: RESIDENTIAL

0392-001-000
NEAL COMMUNITIES OF SW FL LLC
ZONING: RMF1
EXISTING LAND USE: AG

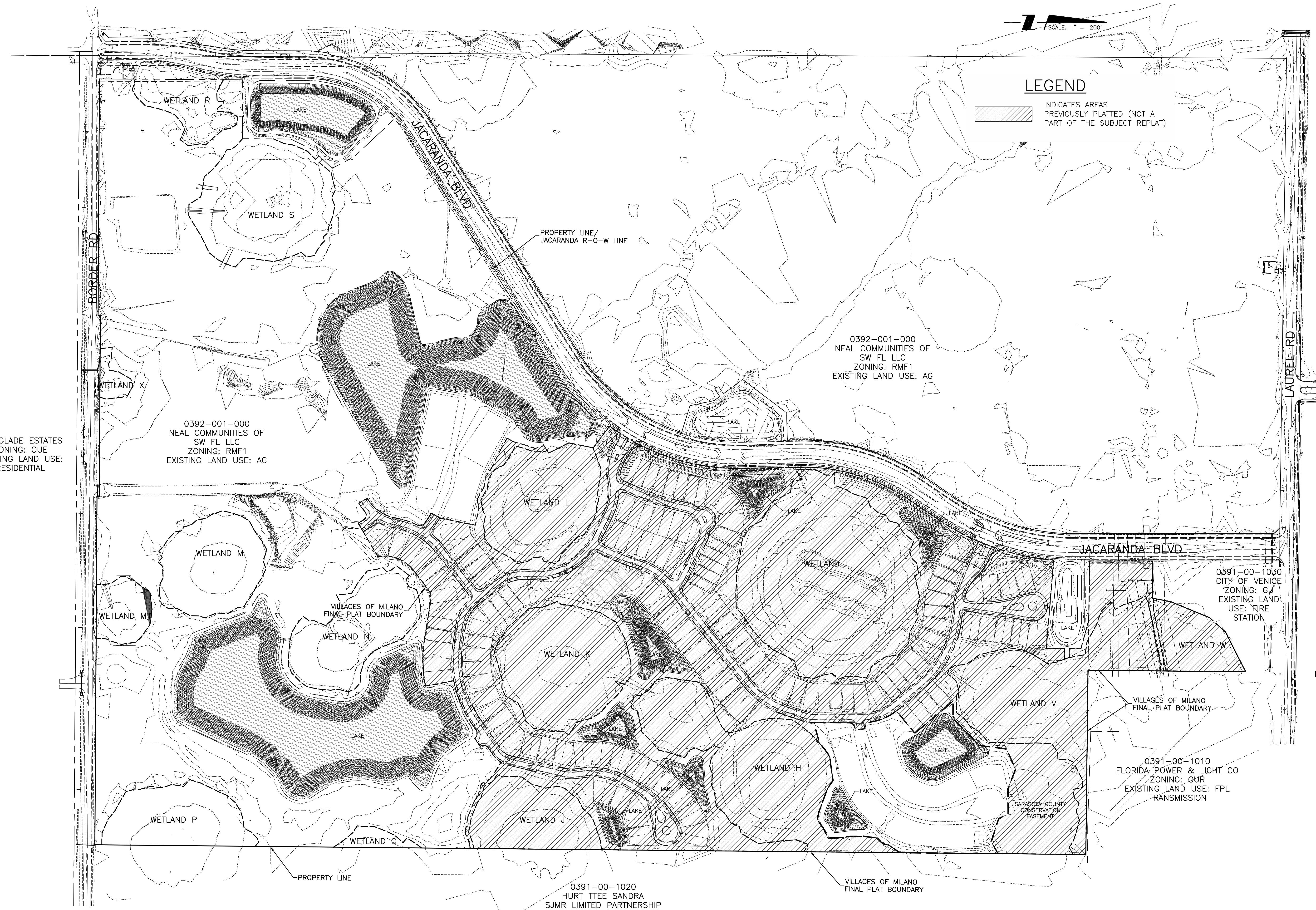
0392-001-000
NEAL COMMUNITIES OF SW FL LLC
ZONING: RMF1
EXISTING LAND USE: AG

0391-00-1030
CITY OF VENICE
ZONING: GJ
EXISTING LAND USE: FIRE STATION

VENETIAN GOLF & RIVER CLUB
ZONING: PUD
EXISTING LAND USE: RESIDENTIAL/GOLF COURSE

0391-00-1010
FLORIDA POWER & LIGHT CO
ZONING: OUF
EXISTING LAND USE: FPL TRANSMISSION

0391-00-1020
HURT TEE SANDRA
SJMRL LIMITED PARTNERSHIP
ZONING: OUE
EXISTING LAND USE: AG



REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:

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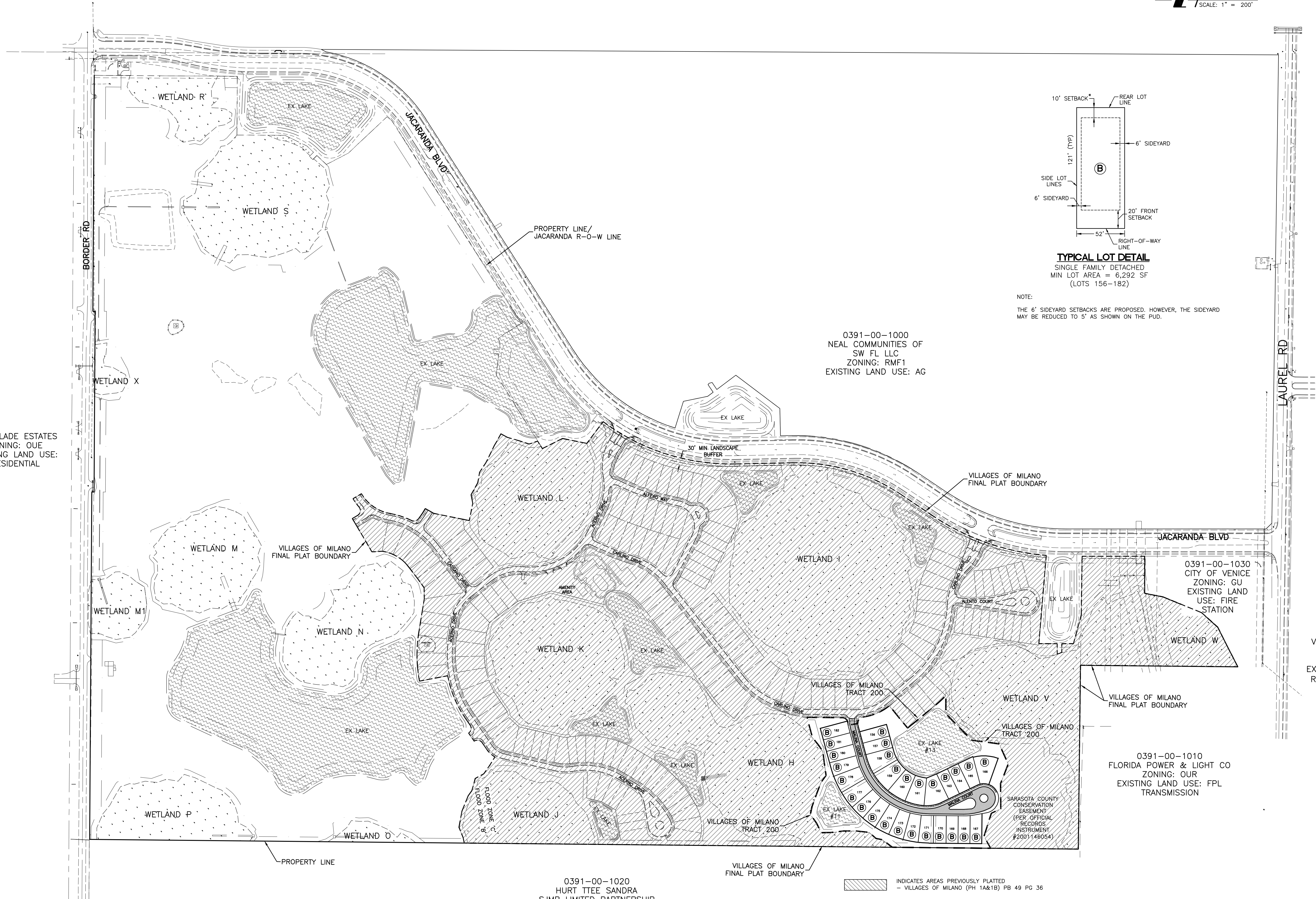
CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPLAT OF TRACT 200

DATE: 2016
HORIZONTAL SCALE: 1" = 200'
VERTICAL SCALE: 35' = 385' 19"

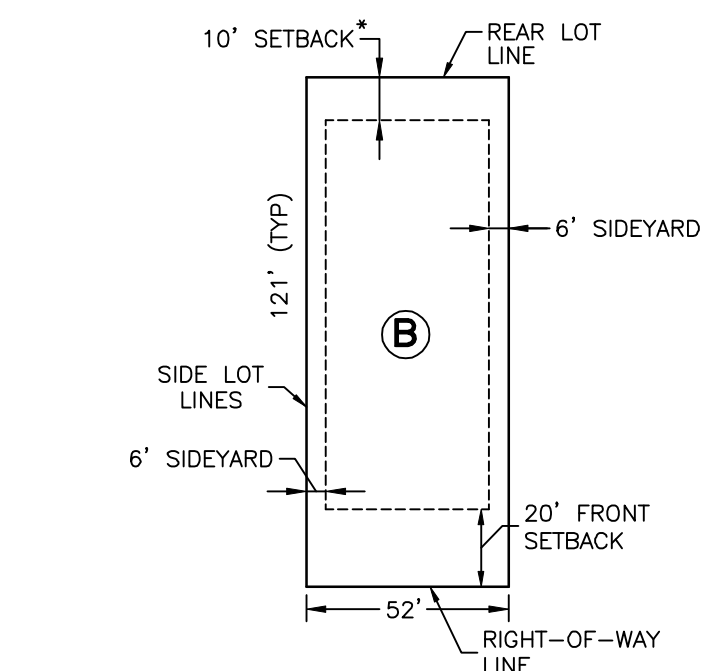
TITLE: EXISTING CONDITIONS PLAN
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 215611819

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER: 215611819-06C-003TX
SHEET NUMBER: 3 OF 17

EVERGLADE ESTATES
ZONING: OUE
EXISTING LAND USE:
RESIDENTIAL



0391-00-1000
NEAL COMMUNITIES OF
SW FL LLC
ZONING: RMF1
EXISTING LAND USE: AG



TYPICAL LOT DETAIL
SINGLE FAMILY DETACHED
MIN LOT AREA = 6,292 SF
(LOTS 156-182)

NOTE:
THE 6' SIDEYARD SETBACKS ARE PROPOSED. HOWEVER, THE SIDEYARD
MAY BE REDUCED TO 5' AS SHOWN ON THE PUD.

0391-00-1030
CITY OF VENICE
ZONING: GU
EXISTING LAND USE: FIRE
STATION

VENETIAN GOLF &
RIVER CLUB
ZONING: PUD
EXISTING LAND USE:
RESIDENTIAL/GOLF
COURSE

0391-00-1010
FLORIDA POWER & LIGHT CO
ZONING: OUR
EXISTING LAND USE: FPL
TRANSMISSION

0391-00-1020
HURT TEE SANDRA
SJMRL LIMITED PARTNERSHIP
ZONING: OUE
EXISTING LAND USE: AG

INDICATES AREAS PREVIOUSLY PLATTED
- VILLAGES OF MILANO (PH 1A&1B) PB 49 PG 36

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM. APPROVED BY:

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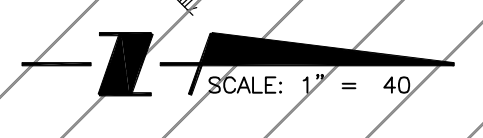
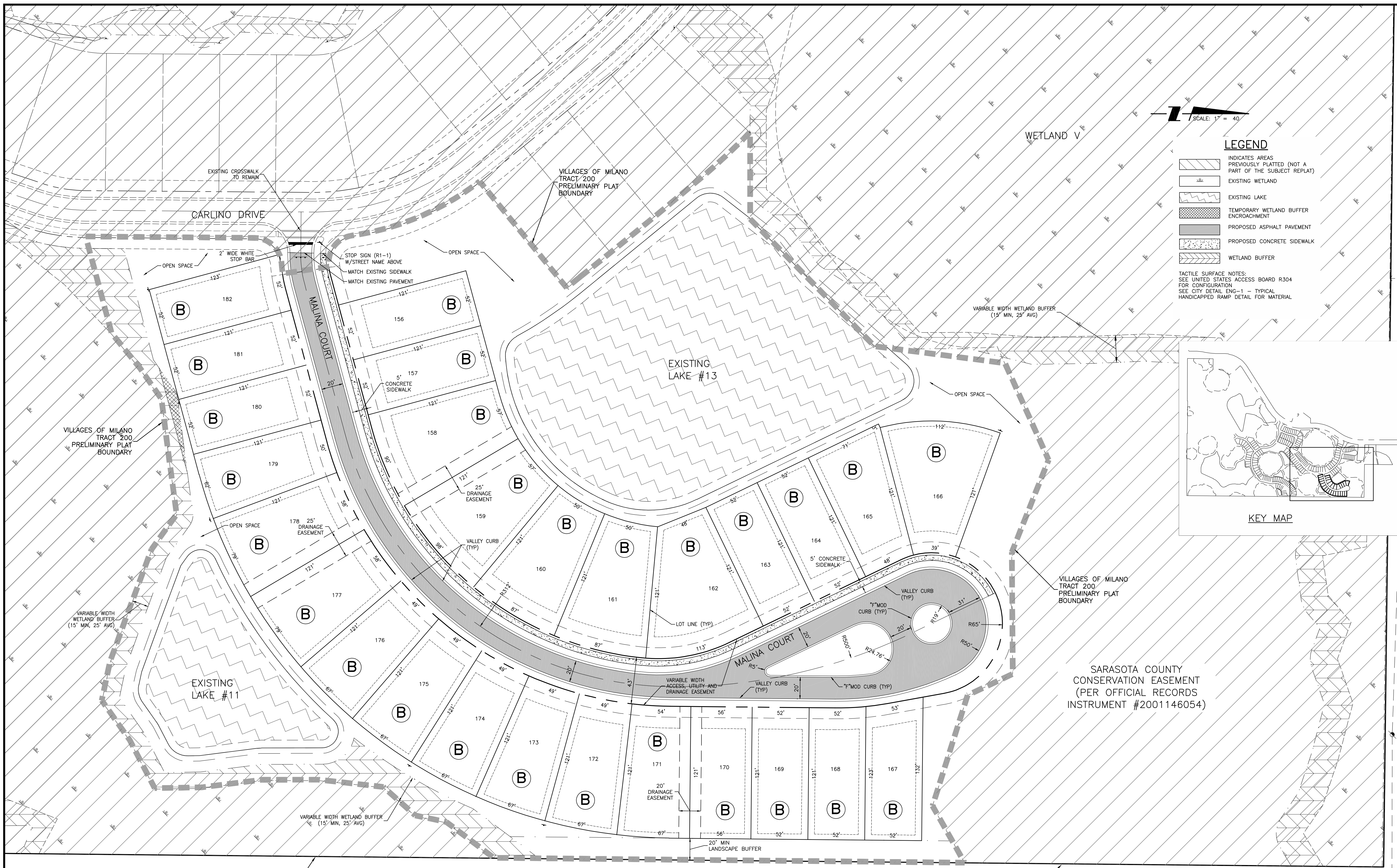
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPLAT OF TRACT 200

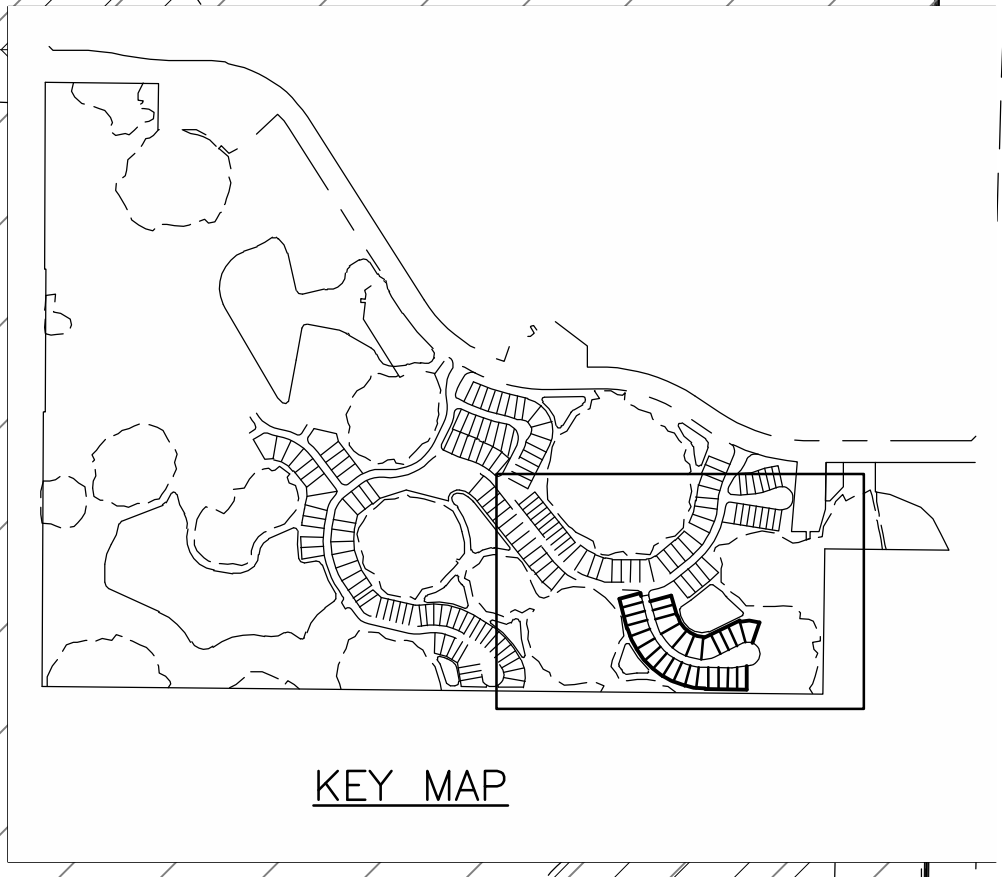
DATE: 2016
HORIZONTAL SCALE: 1" = 200'
VERTICAL SCALE:

TITLE: MASTER SITE PLAN
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 215611819

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER:
215611819-06C-102SP
SHEET NUMBER:
4 OF 17



- LEGEND**
- INDICATES AREAS PREVIOUSLY PLATTED (NOT A PART OF THE SUBJECT REPLAT)
 - EXISTING WETLAND
 - EXISTING LAKE
 - TEMPORARY WETLAND BUFFER ENCROACHMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - WETLAND BUFFER
- TACTILE SURFACE NOTES:
SEE UNITED STATES ACCESS BOARD R304 FOR CONFIGURATION
SEE CITY DETAIL ENG-1 - TYPICAL HANDICAPPED RAMP DETAIL FOR MATERIAL



SARASOTA COUNTY
CONSERVATION EASEMENT
(PER OFFICIAL RECORDS
INSTRUMENT #2001146054)

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	W/M APPROVED BY:

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	RTD/89450	2016
DRAWN BY:		2016
CHECKED BY:		
CONTRACT ADMIN. BY:		

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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPLAT OF TRACT 200

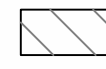
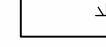



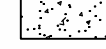

DATE: 2016
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE:
SEC: 35 USE: 38S 19E

TITLE: **SITE PLAN**
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 215611819

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER: 215611819-06C-1115P
SHEET NUMBER: 5 OF 17

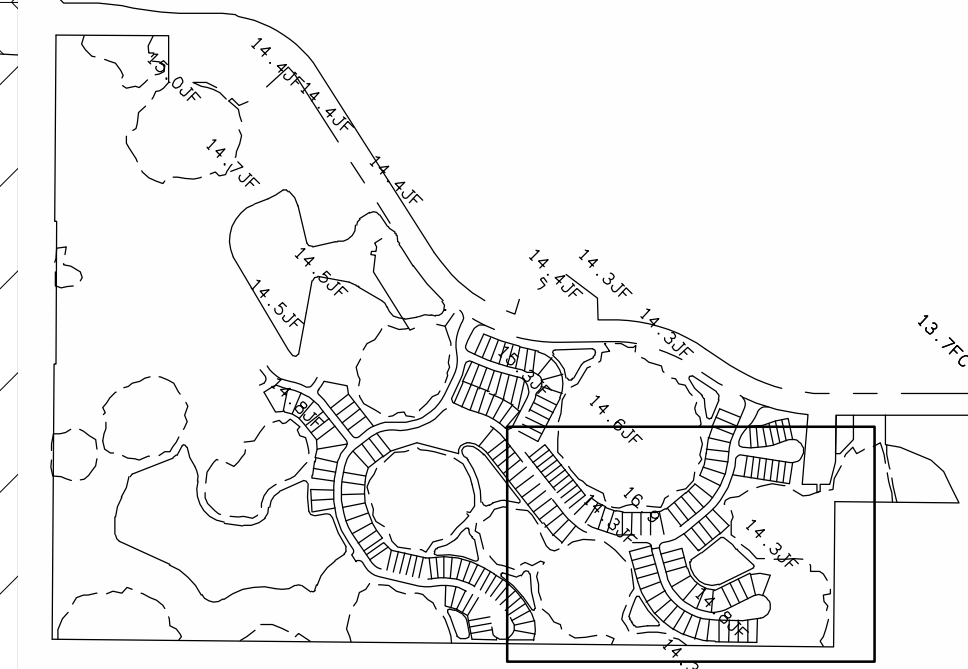
SCALE: 1" = 40'

LEGEND

-  INDICATES AREAS PREVIOUSLY PLATED (NOT A PART OF THE SUBJECT REPLAT)
-  EXISTING WETLAND
-  EXISTING LAKE
-  TEMPORARY WETLAND BUFFER ENCROACHMENT
-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED CONCRETE SIDEWALK
-  WETLAND BUFFER

WETLAND V
 CWL = 13.40
 25 YR DHWL = 14.21
 (PRESERVATION AREA)

TACTILE SURFACE NOTES:
 SEE UNITED STATES ACCESS BOARD R304
 FOR CONFIGURATION
 SEE CITY DETAIL ENG-1 - TYPICAL
 HANDICAPPED RAMP DETAIL FOR MATERIAL



KEY MAP

SARASOTA COUNTY
 CONSERVATION EASEMENT
 (PER OFFICIAL RECORDS
 INSTRUMENT #2001146054)



ELEVATIONS SHOWN HEREON ARE BASED
 ON NATIONAL GEODETIC VERTICAL DATUM
 (NGVD) OF 1929.

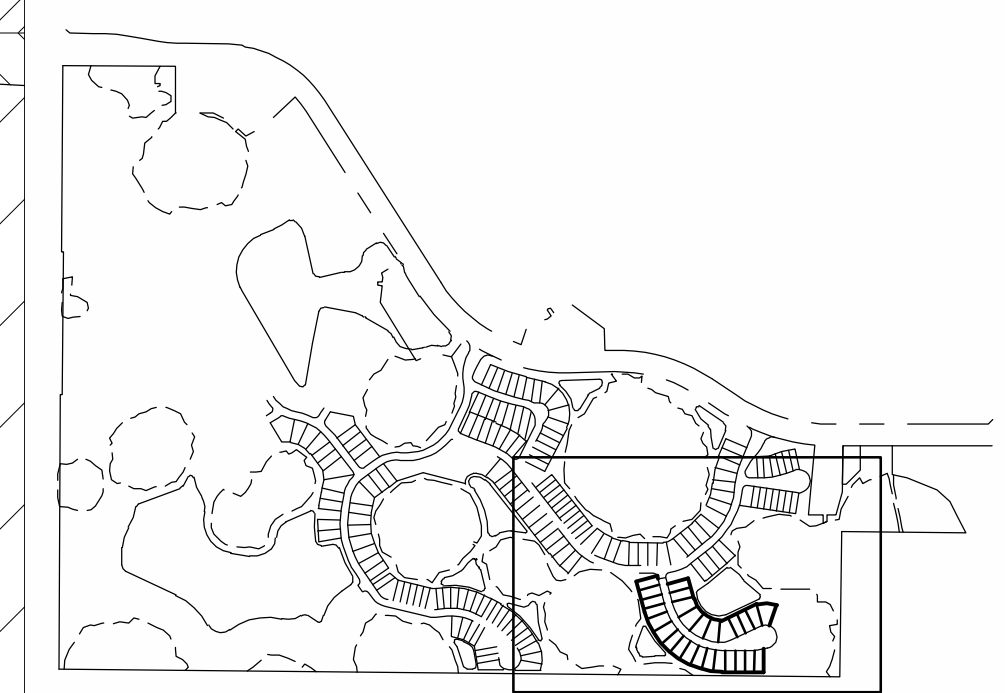
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REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:																													
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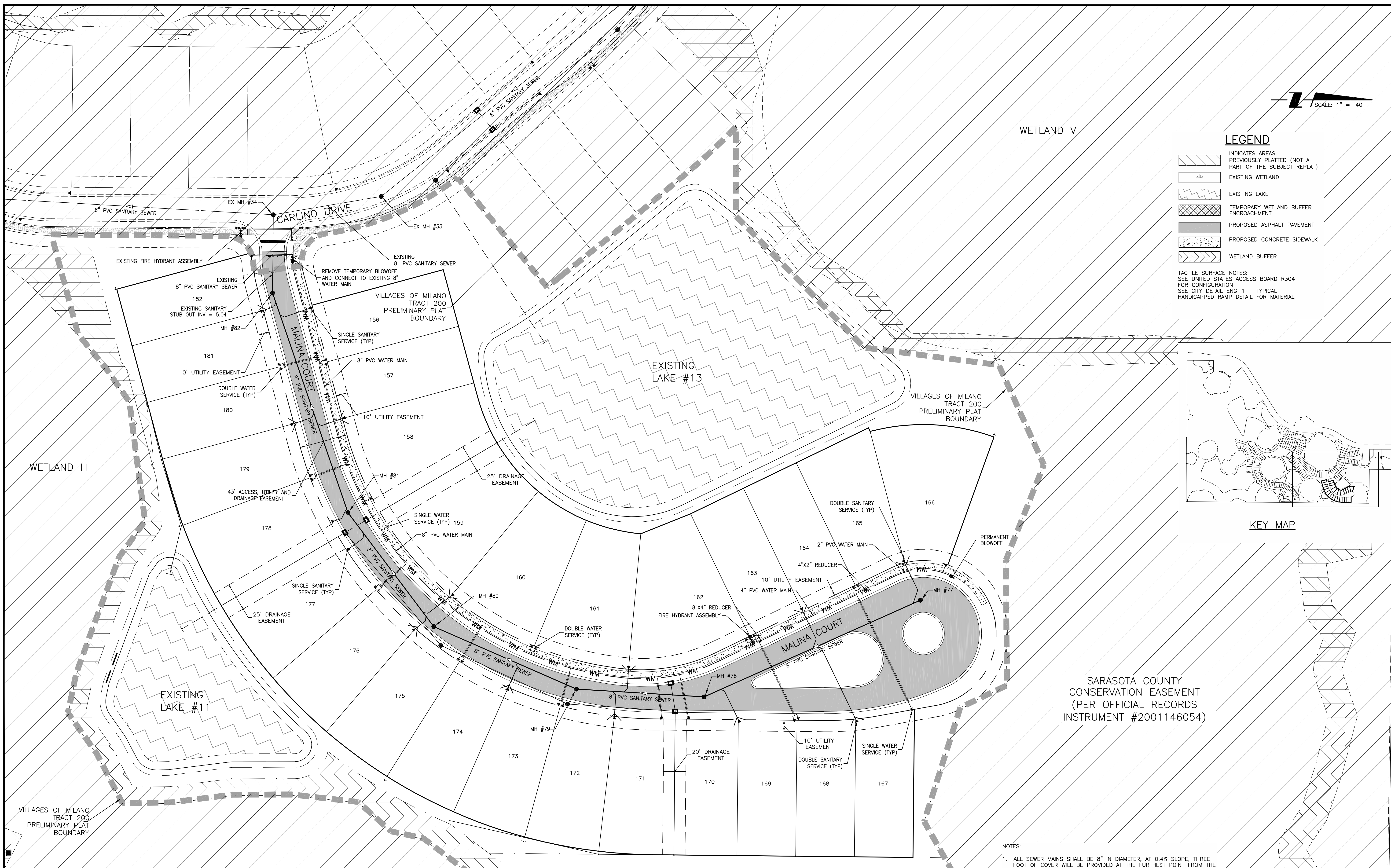
LEGEND

- INDICATES AREAS PREVIOUSLY PLATTED (NOT A PART OF THE SUBJECT REPLAT)
- EXISTING WETLAND
- EXISTING LAKE
- TEMPORARY WETLAND BUFFER ENCROACHMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- WETLAND BUFFER

TACTILE SURFACE NOTES:
SEE UNITED STATES ACCESS BOARD R304 FOR CONFIGURATION
SEE CITY DETAIL ENG-1 - TYPICAL HANDICAPPED RAMP DETAIL FOR MATERIAL



KEY MAP



- NOTES:
- ALL SEWER MAINS SHALL BE 8" IN DIAMETER, AT 0.4% SLOPE, THREE FOOT OF COVER WILL BE PROVIDED AT THE FURTHEST POINT FROM THE LIFT STATION CONNECTION.
 - EASEMENTS WILL BE PROVIDED FOR WATER AND SEWER, WHICH WILL BE TURNED OVER TO AND MAINTAINED BY THE CITY OF VENICE (WATER) AND SARASOTA COUNTY (SEWER).
 - CURBSIDE TRASH PICK UP FOR EACH RESIDENCE WILL BE PROVIDED BY THE CITY OF VENICE. ACCESSIBILITY TO GATE WILL BE PROVIDED FOR THE CITY OF VENICE. THERE ARE NO PROPOSED REFUSE COLLECTION AREAS FOR THIS SITE.
 - A SIREN OPERATED SENSOR, WHICH RESPONDS TO THE "YELP" STYLE SIREN, WILL BE INSTALLED ON THE ACCESS GATES AT BOTH ENTRANCES FOR ACCESSIBILITY BY CITY OF VENICE EMERGENCY VEHICLES.
 - ONE THOUSAND GPM FIREFLOW WILL BE PROVIDED AT EACH PROPOSED FIRE HYDRANT.

0391-00-1010
FLORIDA POWER & LIGHT CO
ZONING: OUR
EXISTING LAND
USE: FPL
TRANSMISSION

SARASOTA COUNTY
CONSERVATION EASEMENT
(PER OFFICIAL RECORDS
INSTRUMENT #2001146054)

- UTILITY SUPPLIERS:
- FLORIDA POWER & LIGHT
1253 12TH AVE EAST
PALMETTO, FL 34221
 - VERIZON, INC.
1701 RINGLING
BOULEVARD SARASOTA,
FL 34236
 - TECO/PEOPLES GAS
8261 VICO COURT
SARASOTA, FL 34240
 - COMCAST CABLE COMMUNICATIONS,
INC. 5205 FRUITVILLE ROAD
SARASOTA, FL 34232
 - CITY OF VENICE UTILITIES
ADMINISTRATION OFFICE 200 N.
WARFIELD AVENUE
VENICE, FL 34285
 - SARASOTA COUNTY UTILITIES
1001 SARASOTA CENTER BLVD
SARASOTA, FL 34240

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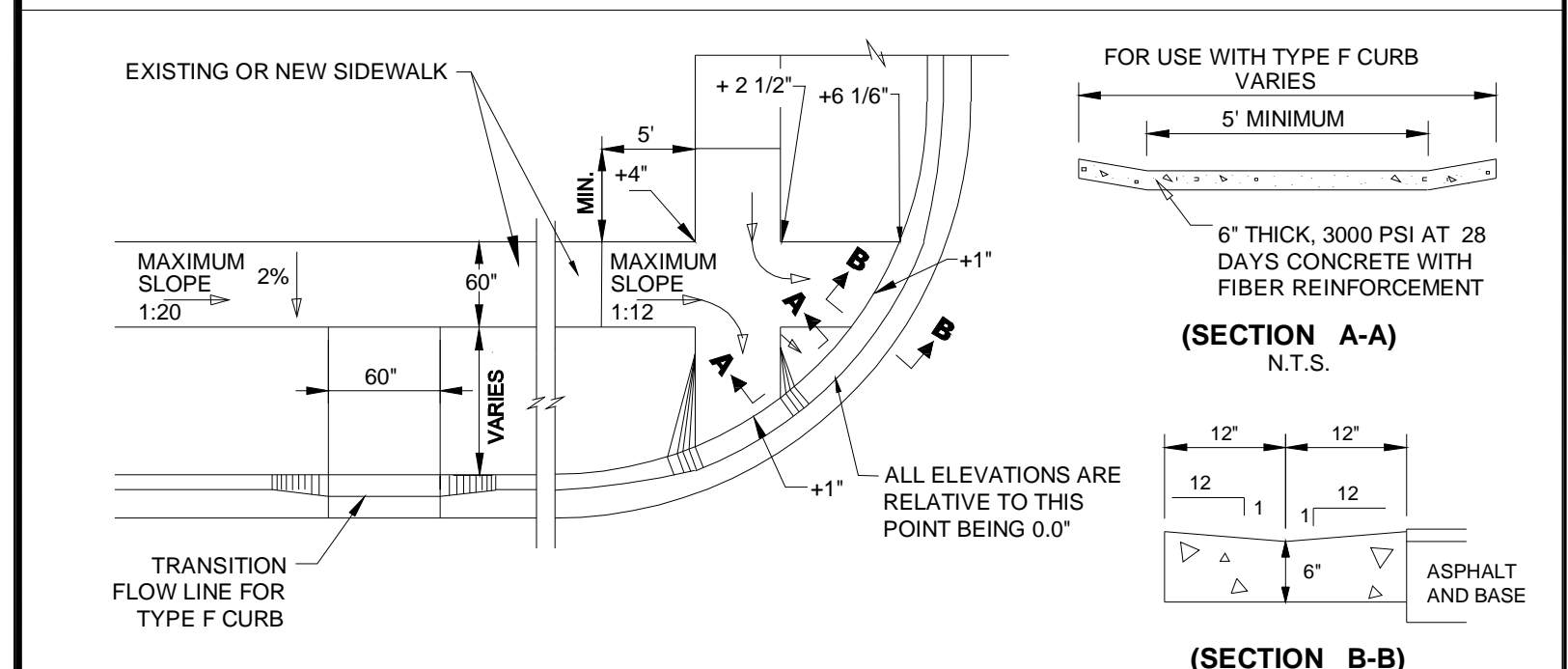
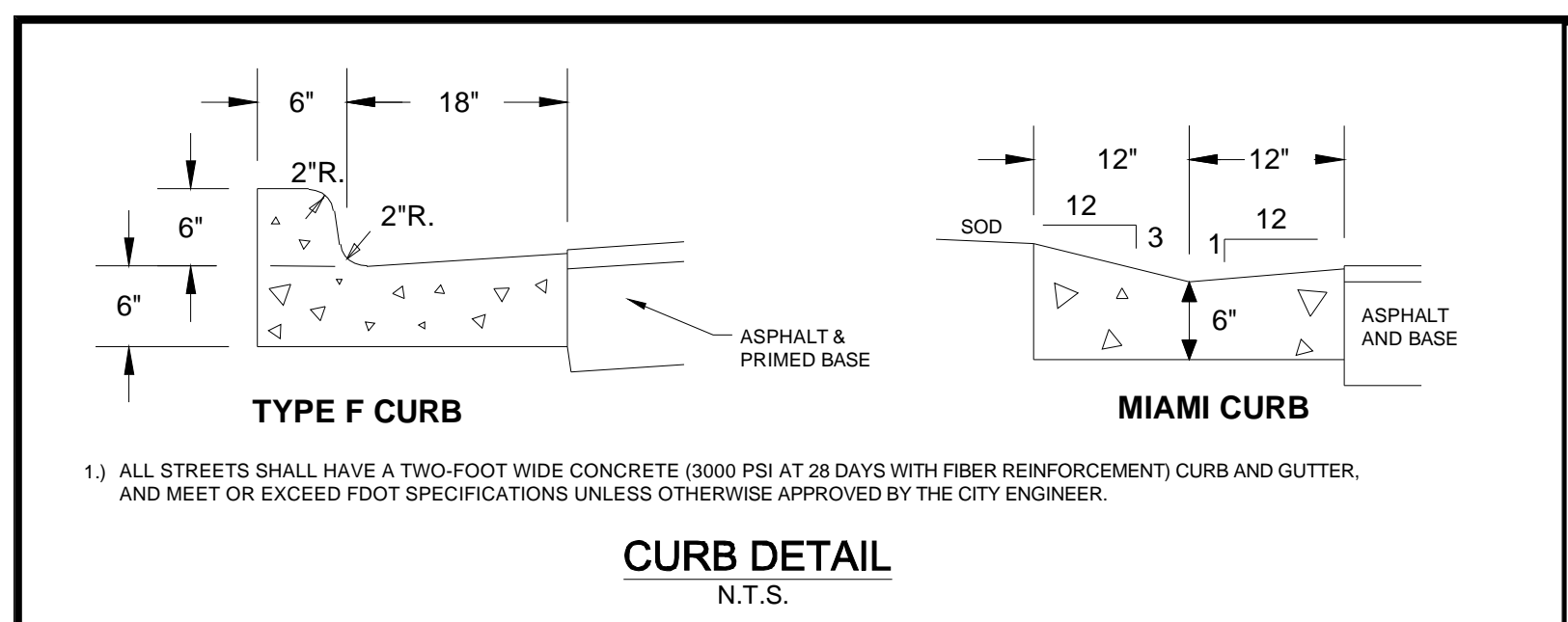
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPLAT OF TRACT 200

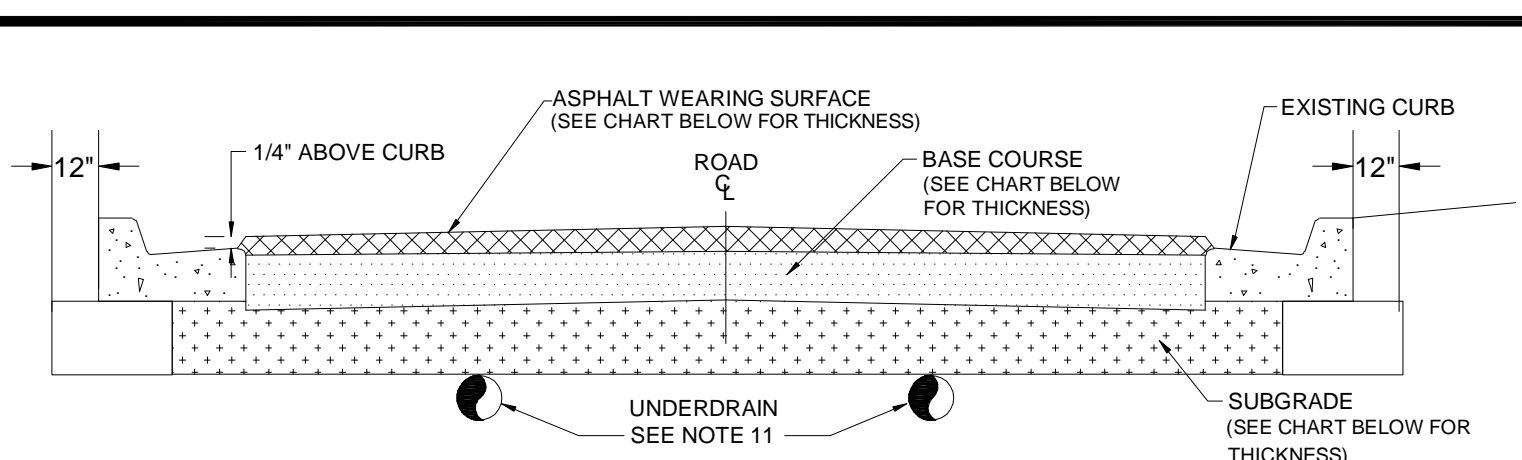
DATE: 2016
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 40'

TITLE: MASTER WATER AND SEWER PLAN
PROJECT NUMBER: 215611819
CROSS REFERENCE FILE NO.:
SHEET NUMBER: 7 OF 17

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER: 215611819-06C-151UP
SHEET NUMBER: 7 OF 17



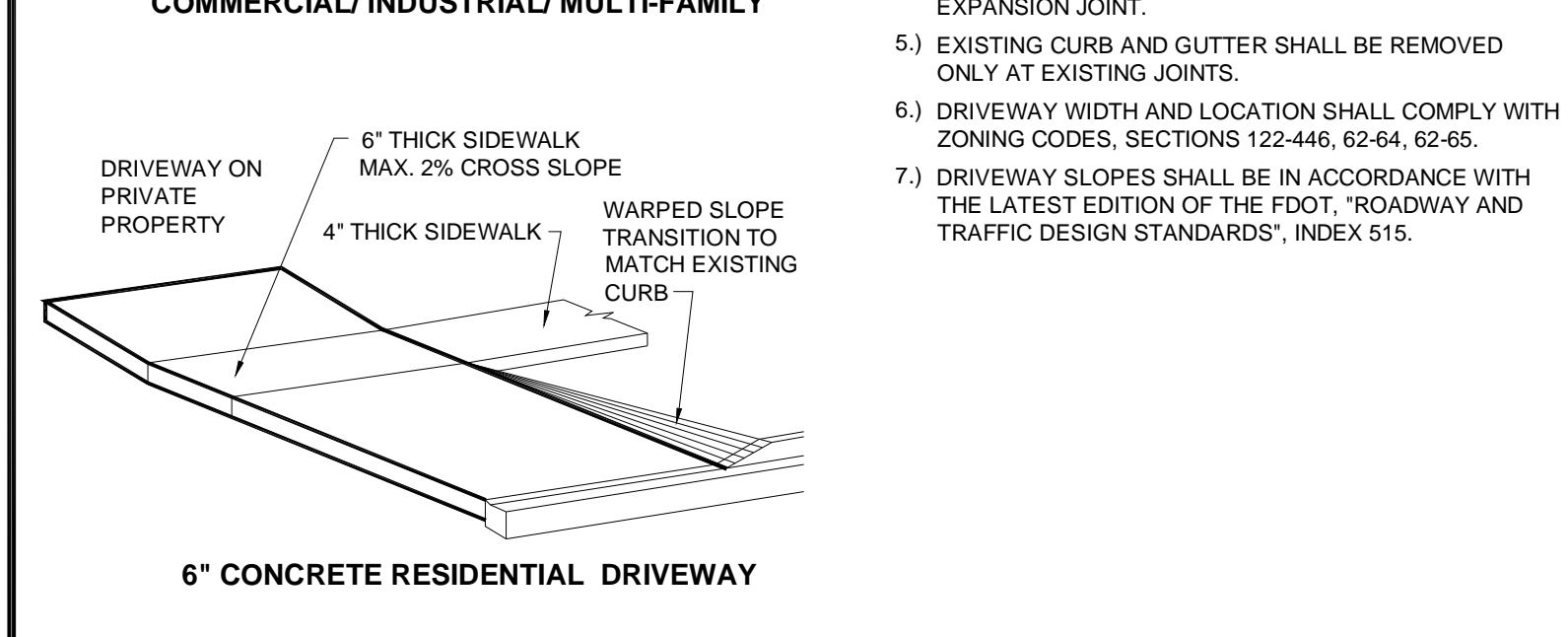
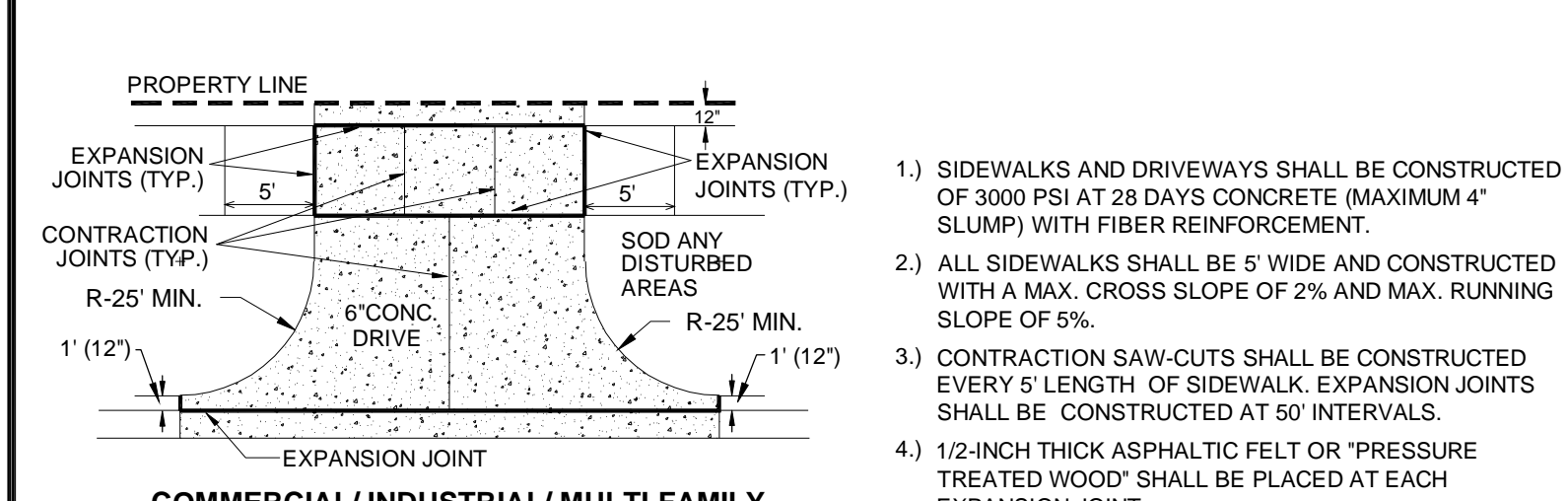
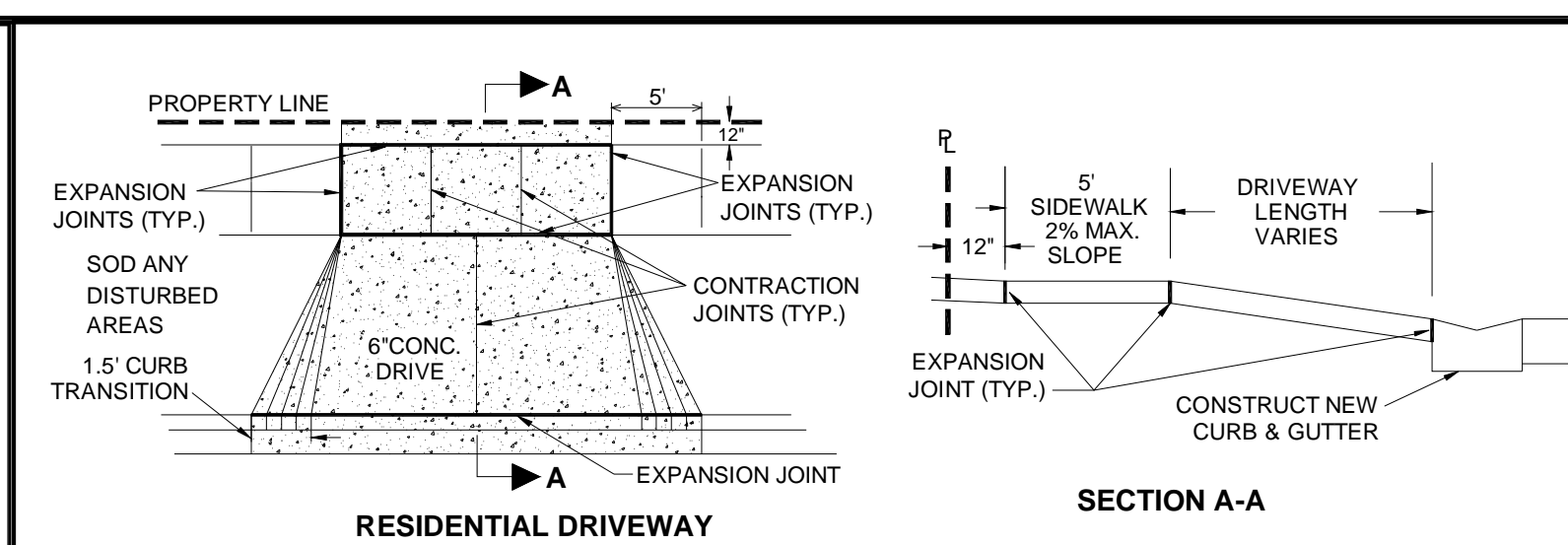
- 1) ALL CONCRETE RAMPS SHALL BE 4" THICK, INCREASING TO 6" THICK WITHIN 48" OF THE CURB
- 2) ALL CONNECTIONS TO AN EXISTING SIDEWALK SHALL BE AT AN EXPANSION OR CONTRACTION JOINT
- 3) THE MAXIMUM RAMP SLOPE SHALL BE 1:12, FOR A VERTICAL DISTANCE OF NOT MORE THAN 6 INCHES.
- 4) THE MAXIMUM RUNNING SIDEWALK SLOPE SHALL BE 1:20, AND MAXIMUM CROSS SLOPE SHALL BE 2%.
- 5) ALL SIDEWALK RAMPS AND STREET CONNECTIONS WITHIN THE PUBLIC ROW SHALL HAVE A TACTILE SURFACE.
- 6) TACTILE SURFACES SHALL MEET THE MOST CURRENT AMERICANS WITH DISABILITIES ACT STANDARDS AND SHALL BE BRICK RED IN COLOR.
- 7) ALL MATERIALS & METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT, "STANDARDS FOR ROAD & BRIDGE CONSTRUCTION". IN ADDITION, CONCRETE SHALL BE 3000 PSI AT 28 DAYS WITH A MAXIMUM 4" SLUMP AND FIBER REINFORCEMENT.



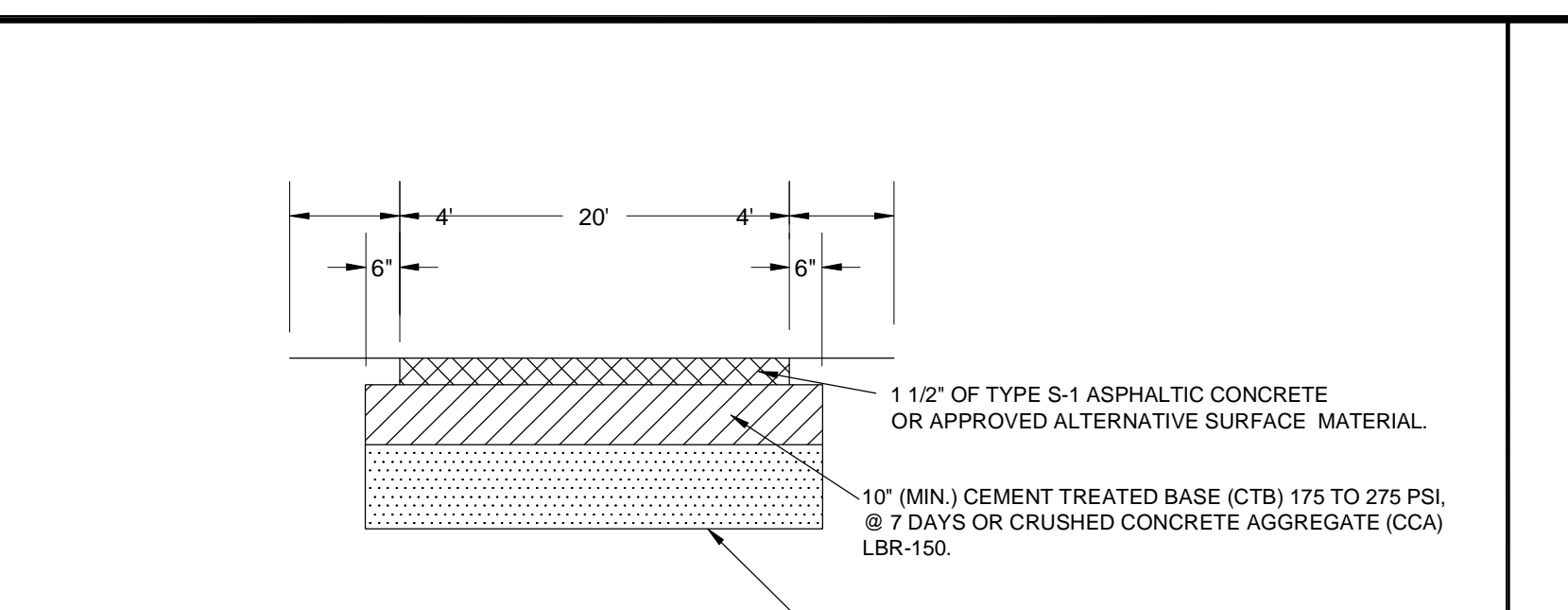
STREET CLASSIFICATION	(1) ASPHALT SURFACE:		(2) BASE:		(3) SUB-GRADE:
	ABC3	CCA	CTB	CCA	
LOCAL STREET	1 1/2" OF TYPE S-1	5'	10'	10'	12' MIN 40 LBR
COLLECTOR STREET	3" OF TYPE S-1 & 1" OF TYPE FC-3	5'	10'	10'	12' MIN 40 LBR
ARTERIAL STREET	3" OF TYPE S-1 & 1" OF TYPE FC-3	5'	10'	10'	12' MIN 40 LBR

- 1) CTB MATERIAL MUST YIELD COMPRESSIVE STRENGTH WITHIN THE RANGE OF 175 TO 275 PSI. CCA MUST HAVE AN LBR \geq 150. SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.
- 2) ALL GRANULAR COURSES OF ROAD CONSTRUCTION MUST BE COMPACTED TO 98% OF ITS OPTIMUM DENSITY AS PER T-180 (ASHTO). CTB SHALL BE COMPACTED TO 98% OF ITS LAB FORMULATION DENSITY (AASHTO T-99).
- 3) ALL MINERAL MATERIALS USED IN CONSTRUCTION OF ROADWAYS MUST MEET THE FOLLOWING CRITERIA:
 - a.) FINES (PASSING # 200 SIEVE) MUST BE LIMITED TO \leq 12%, ORGANICS LIMITED TO \leq 5%, NO DELETERIOUS MATERIALS.
- 4) CEMENT TREATED BASE:
 - a.) THE MATERIAL TO BE USED AS THE FILLER AGGREGATE IN CTB MUST BE LBR TESTED PRIOR TO DESIGN FORMULATION (ADDING CEMENT). THIS MATERIAL MUST ACHIEVE AN LBR VALUE OF \geq 100.
 - b.) CTB DESIGN CRITERION SHOULD TARGET RANGE FROM 175 TO 275 PSI ON 7 DAY BREAK.
- 5) ALL MATERIALS & METHODS OF CONSTRUCTION WITH THE EXCEPTION OF ASPHALT PAVING AND BASE MATERIAL SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT, "STANDARDS FOR ROAD & BRIDGE CONSTRUCTION" AND "ROADWAY AND TRAFFIC DESIGN STANDARDS". ASPHALT PAVING AND BASE MATERIAL SHALL MEET THE CRITERIA OF 2008 VERSION OF THE FOOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OR LATEST CITY OF VENICE STANDARD DETAIL, WHICHEVER IS MORE RESTRICTIVE. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS WITH A MAXIMUM 4" SLUMP AND FIBER REINFORCEMENT.
- 6) SIGNAGE AND PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- 7) ALL CITY STREET SIGNS WILL BE BLUE BACKGROUND WITH 6" WHITE LETTERS AND CONSTRUCTED WITH HIGH INTENSITY REFLECTORIZED MATERIAL. LOCAL ROAD SIGNS SHALL BE 9 INCHES WIDE. ALL STREET SIGN DESIGNS TO BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS PRIOR TO INSTALLATION.
- 8) ALL STREETS WITHIN CITY LIMITS SHALL MEET THE MINIMUM DESIGN STANDARDS ESTABLISHED IN CITY STANDARD DETAILS.
- 9) ALL CURB PADS SHALL MEET THE SAME STRUCTURAL AND COMPACTION STANDARDS AS ROAD SUB GRADE. THESE PADS WILL EXTEND TO AT LEAST 12" BEYOND THE CURB.
- 10) UNDERDRAINS OR SIDEDRAINS MAY BE CONSIDERED WHEN THE PERSISTENT GROUND WATER LEVELS ARE MEASURED WITHIN 24 INCHES OF THE PAVEMENT GRADE AND ARE LIKELY TO AFFECT THE STRUCTURAL INTEGRITY OF THE ROAD. IF APPROPRIATE, THIS DESIGN SHALL BE THE RESPONSIBILITY OF ENGINEER OF RECORD.
- 11) ALL TRAFFIC CALMING DEVICES MUST BE APPROVED BY THE FIRE CHIEF.
- 12) ASPHALT MIXTURES SHALL NOT BE PLACED WHILE RAIN IS FALLING, OR WHEN THERE IS WATER ON THE SURFACE TO BE COVERED.

TYPICAL ROADWAY SECTION N.T.S.



DRIVEWAY & SIDEWALK DETAIL N.T.S.



- 1) ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20' AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'
- 2) ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SUITABLE FOR ALL WEATHER DRIVING CAPABILITIES.
- 3) REQUIREMENTS MAY BE SUBJECT TO CHANGE AS PER UNIFORM FIRE CODE, FLORIDA LATEST EDITION.
- 4) FIRE LANE SIGNS THAT COMPLY WITH THE REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE MUST BE INSTALLED.
 - EMERGENCY ACCESS SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING:

**NO PARKING
FIRE LANE
TOW AWAY ZONE
F.S.316-1945**
 - SUCH SIGNS SHALL BE 12 INCHES BY 18 INCHES WITH A WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF 7 FEET IN HEIGHT FROM THE ROADWAY TO THE BOTTOM PART OF THE SIGN.
 - THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART.
- 5) IT IS IMPERATIVE THAT THIS EMERGENCY ACCESS REMAINS OPEN AT ALL TIMES. IT IS THEREFORE INCUMBENT UPON YOUR STAFF TO NOTIFY THE VENICE POLICE DEPARTMENT ANYTIME A VEHICLE IS BLOCKING THIS REQUIRED EMERGENCY ACCESS.

EMERGENCY VEHICLE ACCESS DETAIL N.T.S.

CITY OF VENICE
ENGINEERING DEPARTMENT

401 WEST VENICE AVE.
VENICE FL 34285
(941) 486-2626
FAX (941) 480-3031

ENGINEERING

SIDEWALK RAMPS & CURBING

DATE: JAN. 2016
SHEET NO. **ENG-1**

CITY OF VENICE
ENGINEERING DEPARTMENT

401 WEST VENICE AVE.
VENICE FL 34285
(941) 486-2626
FAX (941) 480-3031

ENGINEERING

TYPICAL ROADWAY SECTION

DATE: JAN. 2016
SHEET NO. **ENG-3**

CITY OF VENICE
ENGINEERING DEPARTMENT

401 WEST VENICE AVE.
VENICE FL 34285
(941) 486-2626
FAX (941) 480-3031

ENGINEERING

TYPICAL DRIVEWAY & SIDEWALK

DATE: JAN. 2016
SHEET NO. **ENG-4**

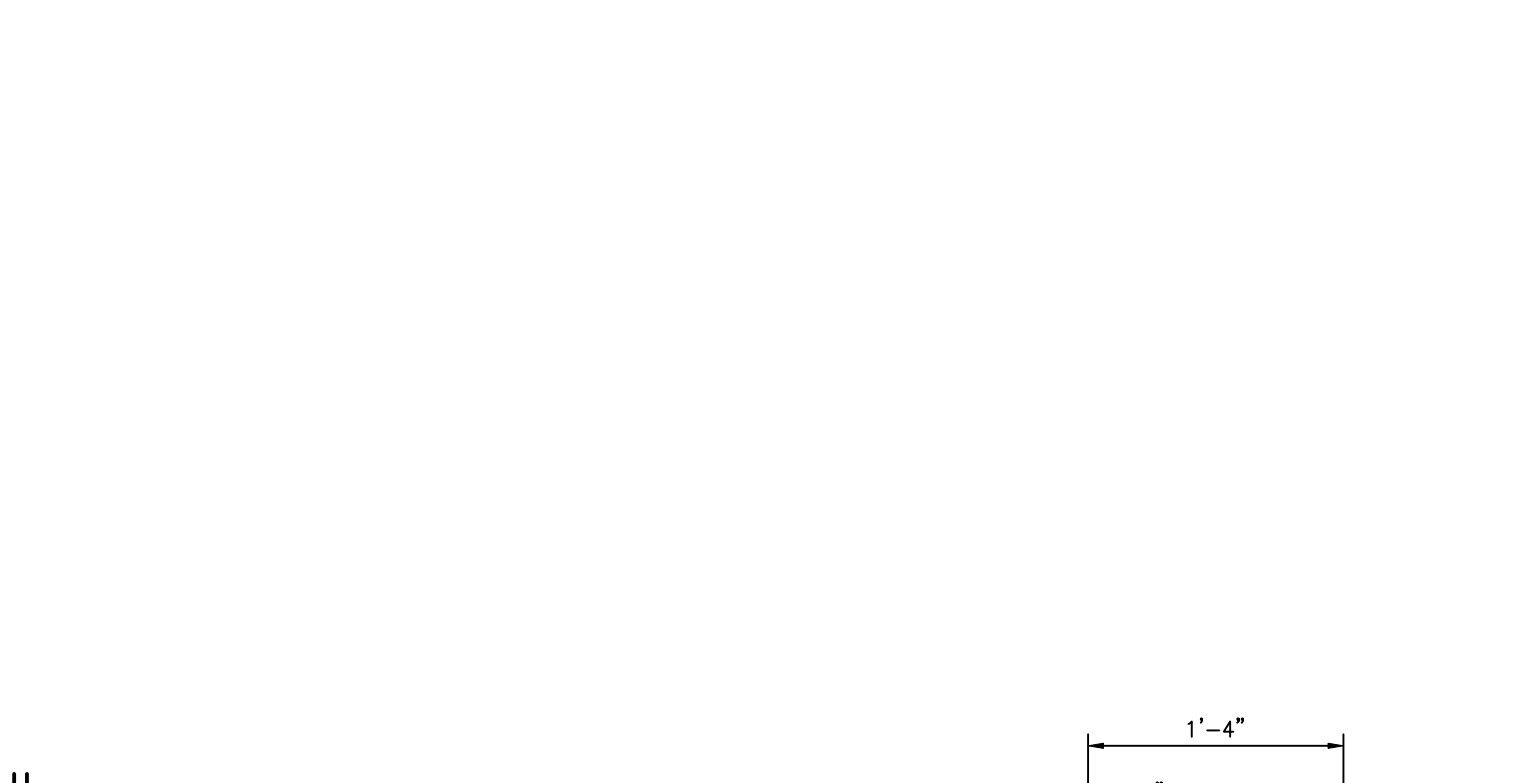
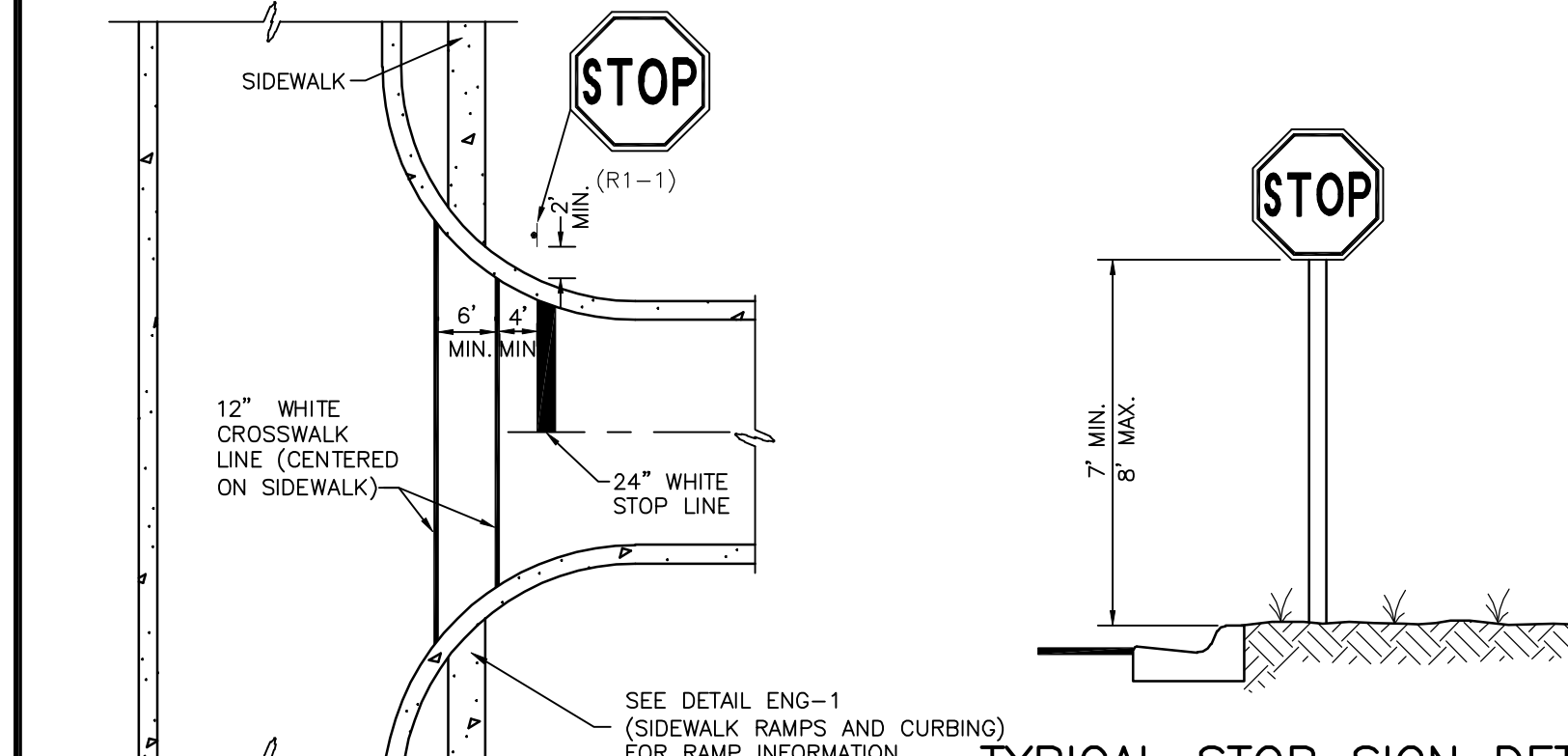
CITY OF VENICE
ENGINEERING DEPARTMENT

401 WEST VENICE AVE.
VENICE FL 34285
(941) 486-2626
FAX (941) 480-3031

ENGINEERING

EMERGENCY VEHICLE ACCESS

DATE: JAN. 2016
SHEET NO. **ENG-6**



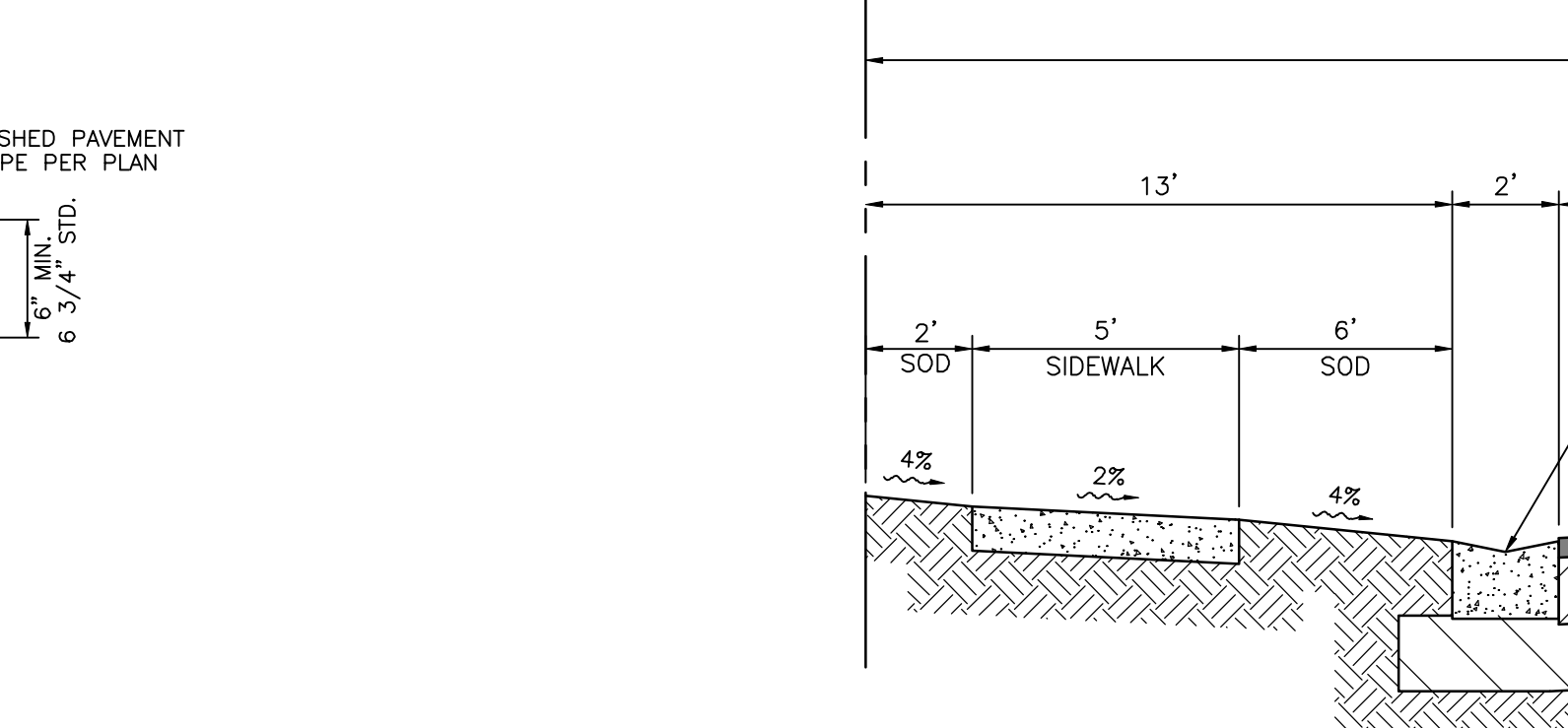
STOP SIGN, STOP LINE AND CROSSWALK LOCATION DETAIL N.T.S.

TYPICAL STOP SIGN DETAIL N.T.S.



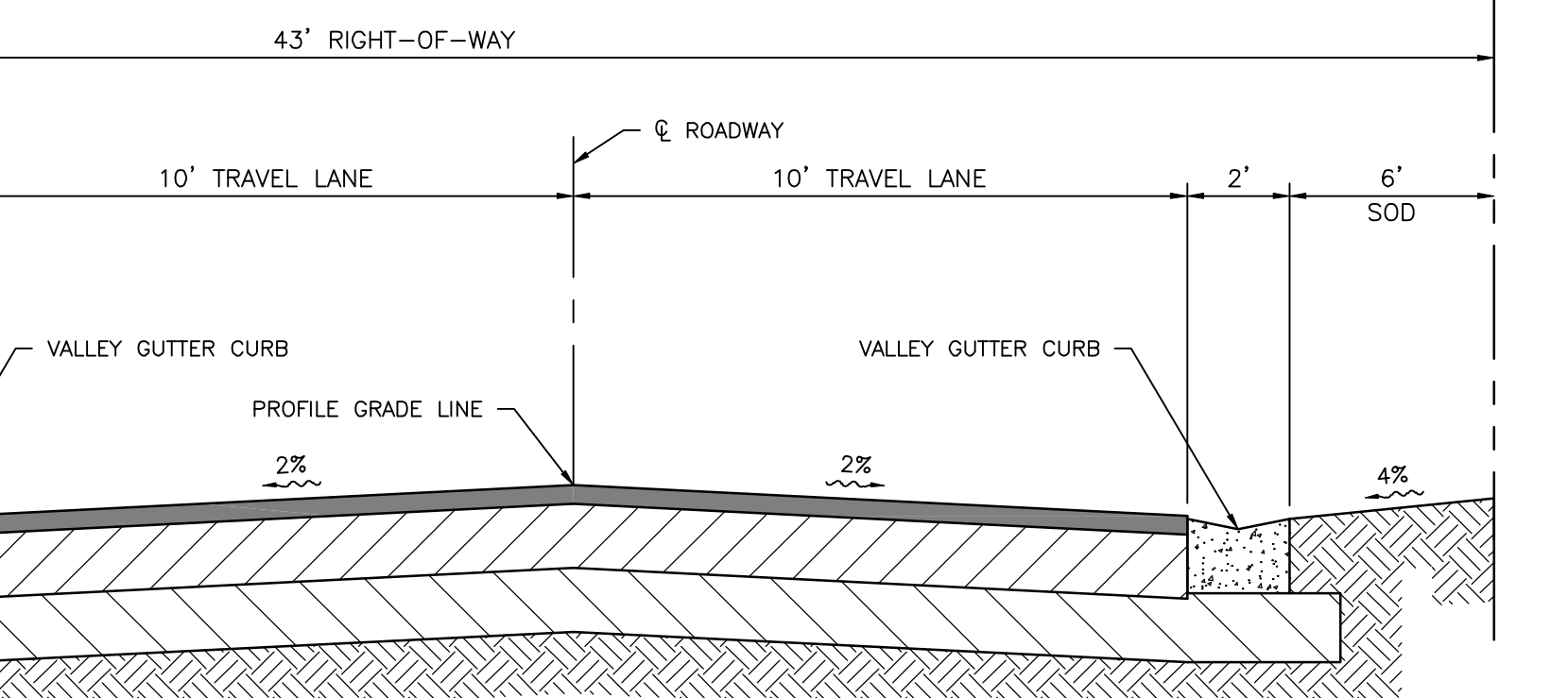
- CURB NOTES:**
- 1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
 - 2) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50' WITH THE CONTRACTION JOINTS AT 10' INTERVALS BETWEEN.
 - 3) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.

VALLEY GUTTER CURB N.T.S.



- CURB NOTES:**
- 1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
 - 2) WHEN USED ON THE HIGH SIDE OF THE ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
 - 3) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50'. CONTRACTION JOINTS AT A MAXIMUM SPACING OF 10' SHALL BE SAW CUT AT DEPTH PER FDOT INDEX NO. 300
 - 4) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.

TYPE "F" CURB (MODIFIED) N.T.S.



- TYPICAL NEIGHBORHOOD ROADWAY SECTION**
- NOTE:
THE PAVEMENT, BASE AND SUBBASE SECTION SHALL MEET CITY OF VENICE PAVEMENT STANDARDS. "LIGHT DUTY" TYPE SPECIFICATIONS SHALL BE USED.
- 1" S3 - FIRST LIFT
3/4" S3 - FINAL LIFT
7" - CEMENT TREATED BASE
12" - SUBBASE

TYPICAL NEIGHBORHOOD ROADWAY SECTION

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM. APPROVED BY:

Stantec

6900 Professional Parkway East, Sarasota, FL 34240-8414
Phone 941-907-6900 • Fax 941-907-6910
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CLIENT: **NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC**

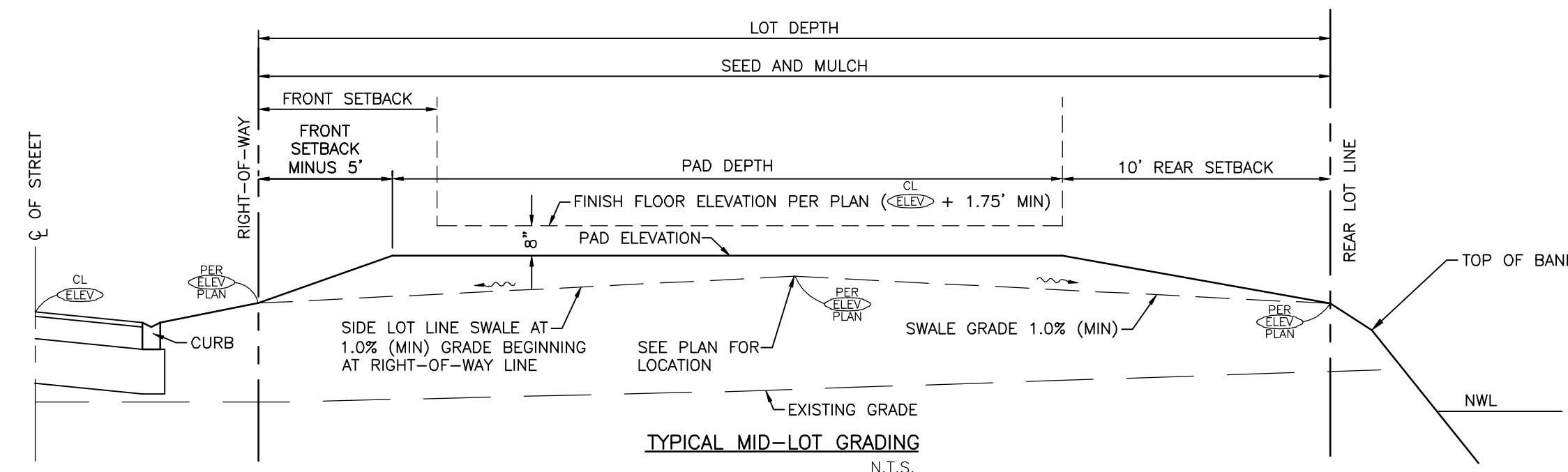
PROJECT: **VILLAGES OF MILANO A REPLAT OF TRACT 200**

DATE: 2016
HORIZONTAL SCALE: N.T.S.
VERTICAL SCALE: 35 385 19E

TITLE: **PAVING DETAILS**

CROSS REFERENCE FILE NO.:
PROJECT NUMBER: **215611819**

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER: **215611819-06C-501PD**
SHEET NUMBER: **10** OF **17**



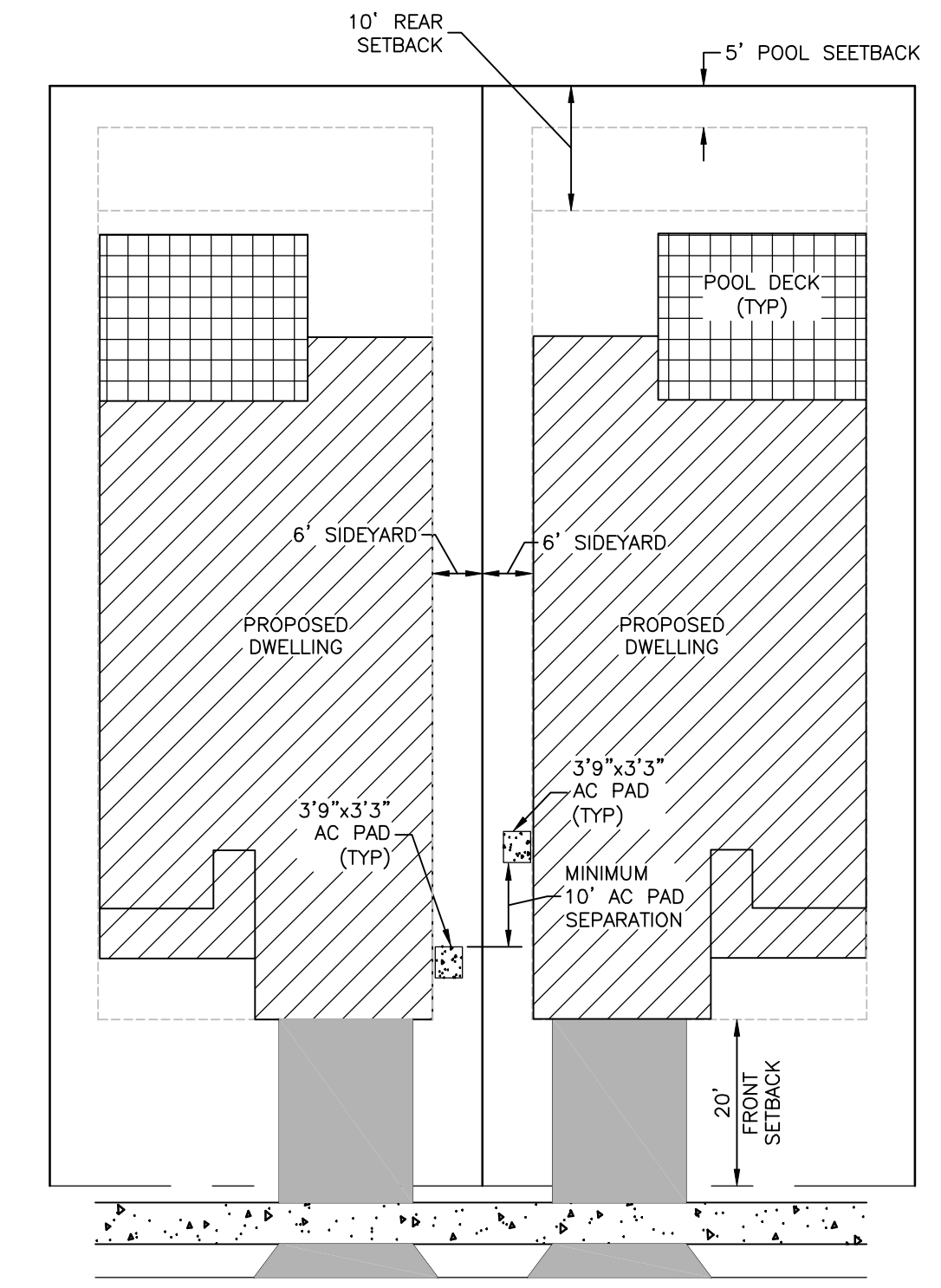
LOT GRADING NOTES:

1. THE SITE CONTRACTOR ROUGH GRADING DOES NOT INCLUDE THE SIDE LOT SWALES.
2. THE HOME BUILDER IS RESPONSIBLE FOR ENSURING MIN PAD ELEVATION IS MET, LOT SWALE GRADING AND COMPATIBILITY WITH ADJACENT LOTS.
3. THE SITE CONTRACTOR IS RESPONSIBLE FOR STABILIZING ROUGH GRADED LOTS WITH EITHER SEED AND MULCH OR HYDRO SEED.
4. THE FRONT SETBACK DISTANCE VARIES DEPENDING ON THE GARAGE CONFIGURATION AND THE FRONT LOT WIDTH.
5. STEM WALL CONSTRUCTION MAY BE REQUIRED IN ORDER TO MAINTAIN THE MINIMUM SLOPES.
6. CL SHALL BE CONSIDERED TO BE THE HIGHEST PAVEMENT ELEVATION IN FRONT OF THE LOT FOR THE PURPOSES OF CALCULATING MINIMUM BUILDING FINISH FLOOR ELEVATIONS.

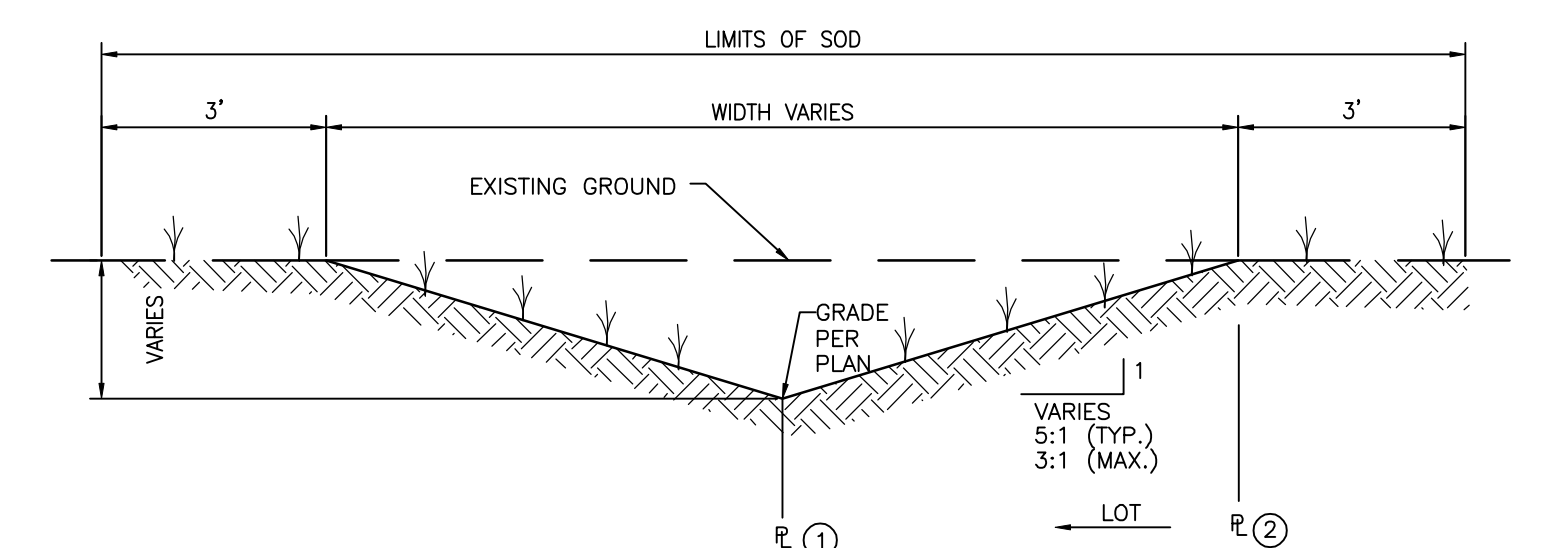
NOTE:
SEE GRADING AND DRAINAGE PLANS FOR LOCATIONS OF TEMPORARY BUFFER ENCROACHMENTS.

TYPICAL ROUGH LOT GRADING SECTIONS

N.T.S.



AC PAD DETAIL



NOTES:

- ① CENTER SWALE ON PROPERTY LINE FOR SIDE & BACK LOTS WHERE PROPERTIES ADJOIN
- ② FOR LOTS NOT ADJOINING, CONSTRUCT SWALE INSIDE OF PROPERTY LINE
- ③ SWALES SHALL BE SODDED AS SOON AS PRACTICAL TO MINIMIZE EROSION

TYPICAL SIDE & BACK LOT LINE SWALE

S-D027

N.T.S.

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:

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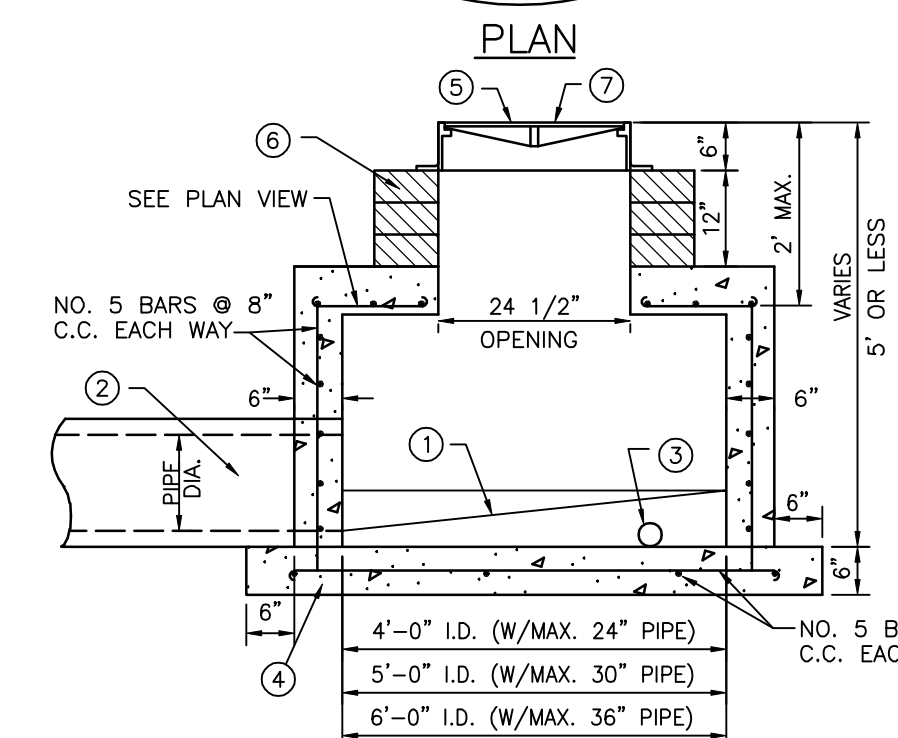
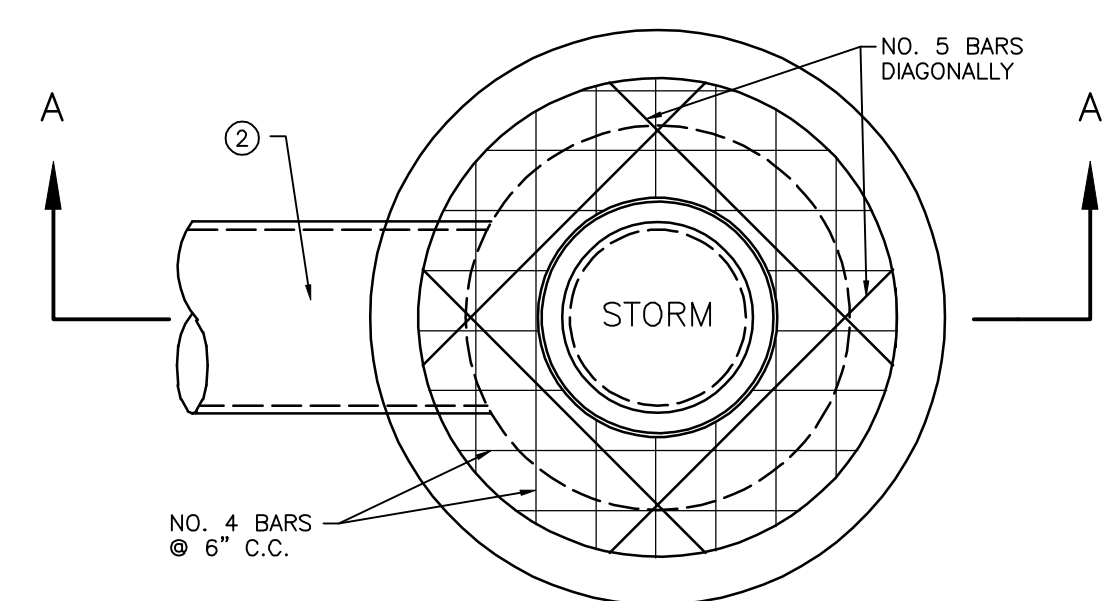
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPLAT OF TRACT 200

DATE: 2016
HORIZONTAL SCALE:
VERTICAL SCALE:
SEC: TRP: RES: 35 38S 19E

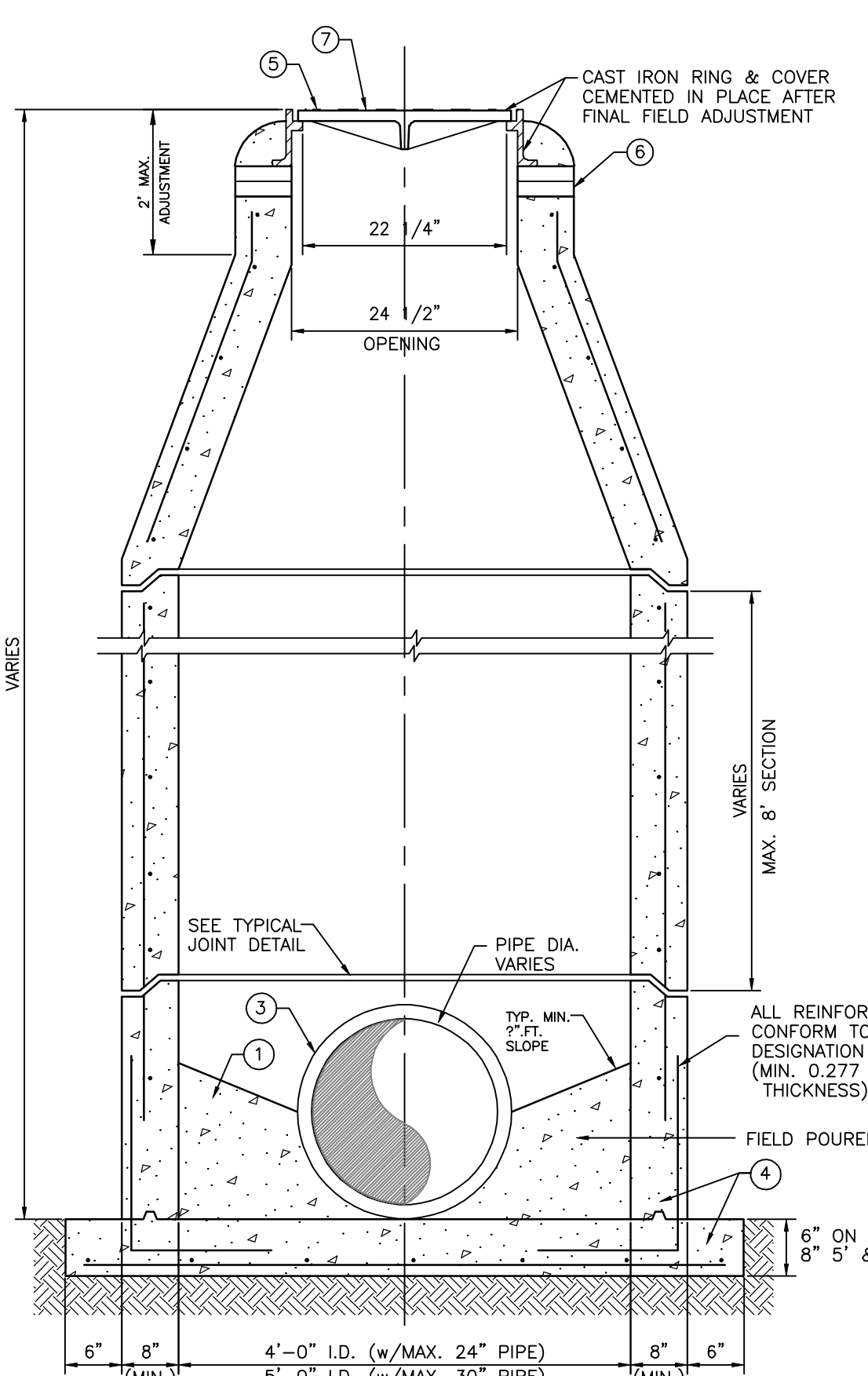
TITLE: GRADING DETAILS
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 215611819

MELANIE DELEHANTY SMITH, P.E.
FLORIDA LICENSE NO. 75447
INDEX NUMBER: 215611819-06C-502GD
SHEET NUMBER: 11 OF 17



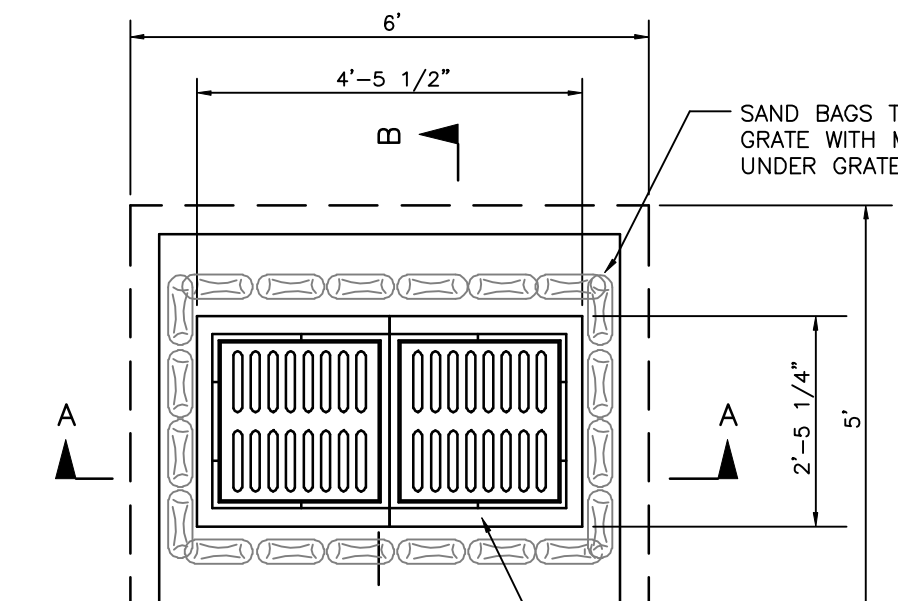
- NOTES**
- POURED CONCRETE INVERT AFTER INLET & PIPE ARE PLACED IN GROUND, 3,000 P.S.I. CONCRETE @ 28 DAYS.
 - SEE PLAN & PROFILE DRAWINGS FOR PIPE SIZE & ALIGNMENT.
 - ALL INLETS & STORM MANHOLES SHALL HAVE A 3" DIAMETER HOLE AT THE BOTTOM OF THE BOX, CLEAR OF PIPE CONSTRUCTION & TO BE PLUGGED WHEN CONCRETE INVERT IS FORMED. (N.I.C.)
 - MANHOLE WALLS & BOTTOM SLAB SHALL BE REINFORCED CLASS "A" CONCRETE POURED IN PLACE OR APPROVED PRECAST BOXES. (CONTRACTOR SHALL SUBMIT SHOP DWGS. FOR PRECAST BOXES. WALL REINFORCING SHALL CONFORM WITH A.S.T.M. C-478, LATEST REVISION. CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS.)
 - MANHOLE FRAMES & LIDS SHALL BE ADJUSTED TO CONFORM WITH FINISHED SURFACES. ALL ADJUSTMENTS SHALL BE INCLUDED IN PRICE BID. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER. MANHOLES IN GRASSED AREAS SHALL BE 0.1' ABOVE FINISHED GROUND.
 - 4" MASONRY BRICKS SHALL BE USED TO BRING MANHOLE COVER TO REQUIRED GRADE, IF NECESSARY. (PRECAST RINGS MAY BE USED IN LIEU OF BRICK)
 - MANHOLE RING & COVER NO. 170-J U.S.F. TRAFFIC BEARING TYPE, NON-SKID SURFACE.
 - ALTERNATE: FDOT INDEX 200, SHOP DRAWING REQUIRED.

**STORM MANHOLE
SHALLOW - 5' OR LESS**
S-0011 N.T.S.

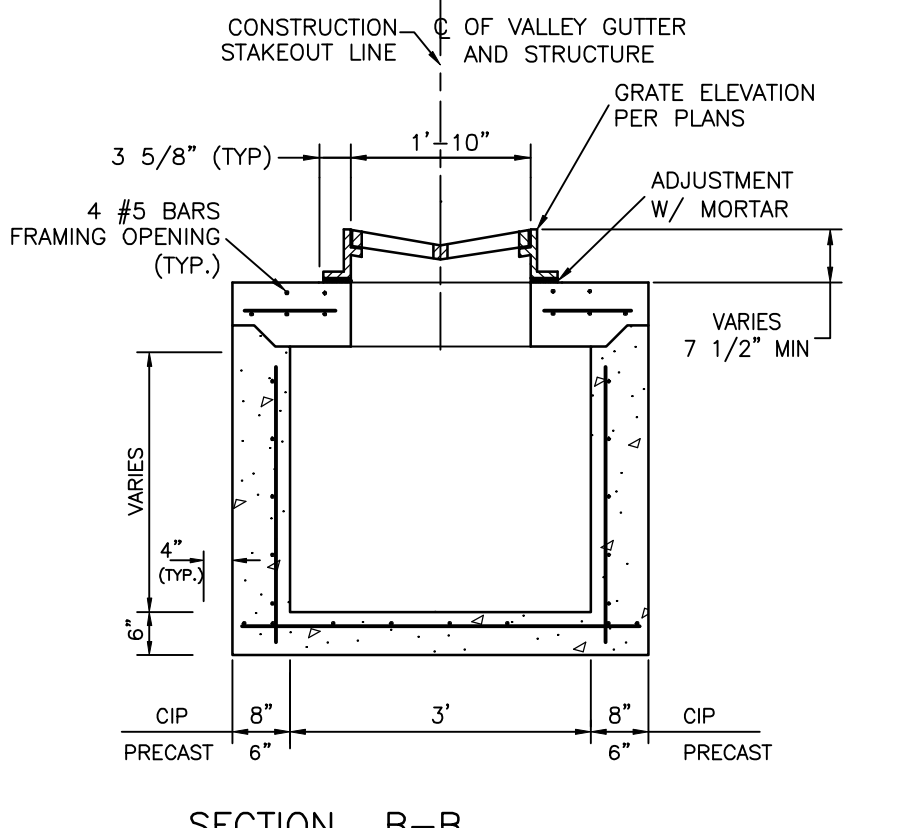
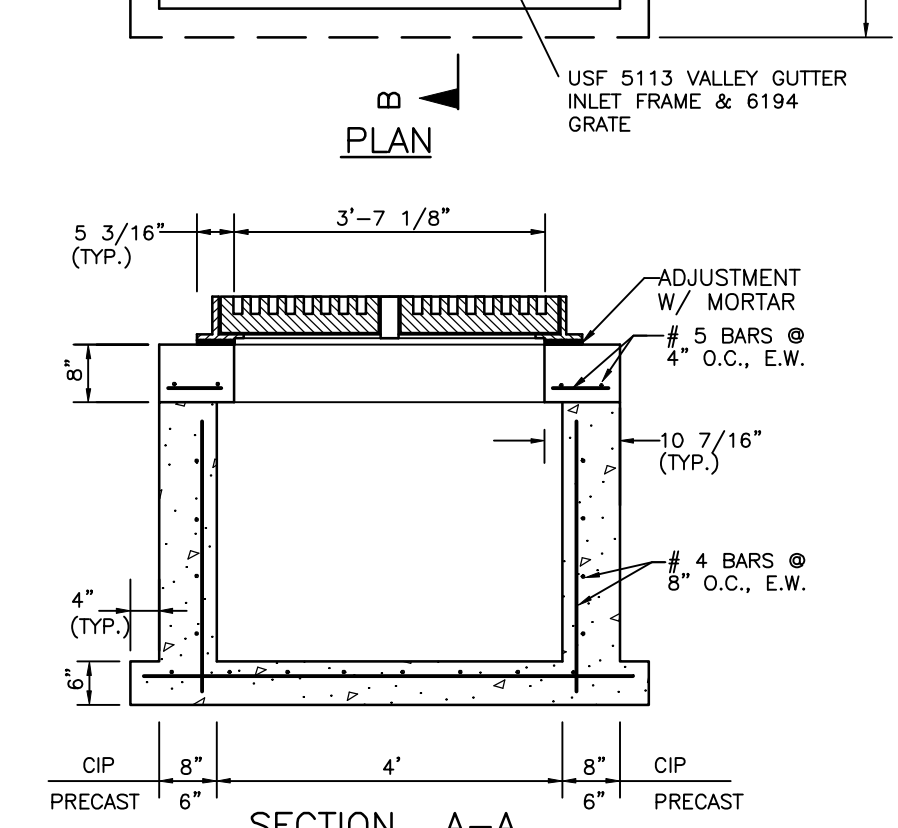


**STORM MANHOLE
DEPTH - 5' OR GREATER**
S-0023 N.T.S.

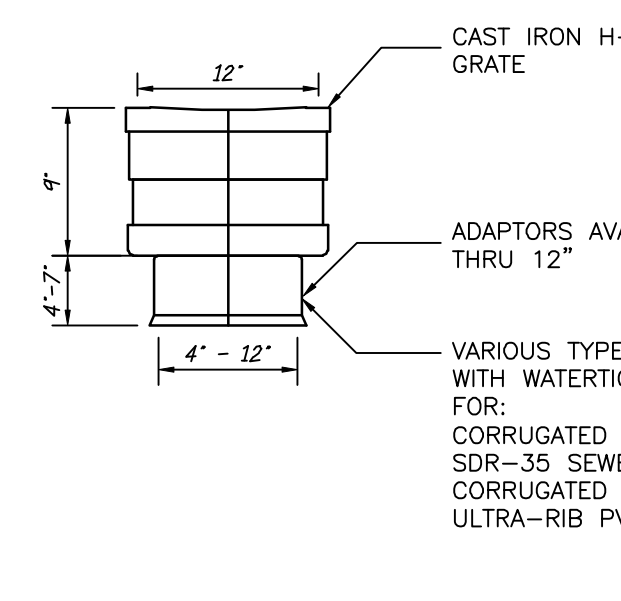
- TYPICAL JOINT DETAIL**
- NOTES**
- POURED CONCRETE INVERT AFTER INLET & PIPE ARE PLACED IN GROUND, 3,000 P.S.I. CONCRETE @ 28 DAYS.
 - SEE PLAN & PROFILE DRAWINGS FOR PIPE SIZE & ALIGNMENT.
 - ALL INLETS & STORM MANHOLES SHALL HAVE A 3" DIAMETER HOLE AT THE BOTTOM OF THE BOX, CLEAR OF PIPE CONSTRUCTION & TO BE PLUGGED WHEN CONCRETE INVERT IS FORMED. (N.I.C.)
 - MANHOLE WALLS & BOTTOM SLAB SHALL BE REINFORCED CLASS "A" CONCRETE POURED IN PLACE OR APPROVED PRECAST BOXES. (CONTRACTOR SHALL SUBMIT SHOP DWGS. FOR PRECAST BOXES. WALL REINFORCING SHALL CONFORM WITH A.S.T.M. C-478, LATEST REVISION. CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS.)
 - MANHOLE FRAMES & LIDS SHALL BE ADJUSTED TO CONFORM WITH FINISHED SURFACES. ALL ADJUSTMENTS SHALL BE INCLUDED IN PRICE BID. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER. MANHOLES IN GRASSED AREAS SHALL BE 0.1' ABOVE FINISHED GROUND.
 - 4" MASONRY BRICKS SHALL BE USED TO BRING MANHOLE COVER TO REQUIRED GRADE, IF NECESSARY.
 - MANHOLE RING & COVER NO. 170-J U.S.F. TRAFFIC BEARING TYPE, NON-SKID SURFACE.



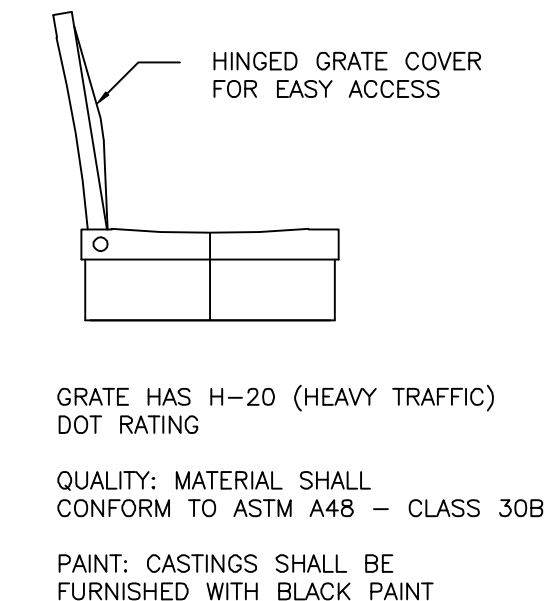
- VALLEY GUTTER TYPE 2 INLET DETAIL NOTES:**
- ALTERNATE BOX DIMENSIONS MAY BE USED SUCH AS FDOT TYPE "P" AND "J" BOTTOM TO ACCOMMODATE THE UNDERGROUND PIPING SERVING IT.
 - THE ENTIRE STRUCTURE INCLUDING GRATE INLET FRAME AND COVER TO BE PROVIDED AND INSTALLED BY UNDERGROUND CONTRACTOR.
 - POUR CONCRETE INVERT AFTER INLET AND PIPE ARE PLACED IN GROUND, 3000 PSI @ 28 DAYS.
 - WHERE ROADWAY UNDERDRAINS ARE REQUIRED THEY SHALL BE INSTALLED TO MATCH THE SLOPE OF THE ADJACENT ROADWAY.



VALLEY GUTTER TYPE 2 INLET DETAIL
N.T.S.

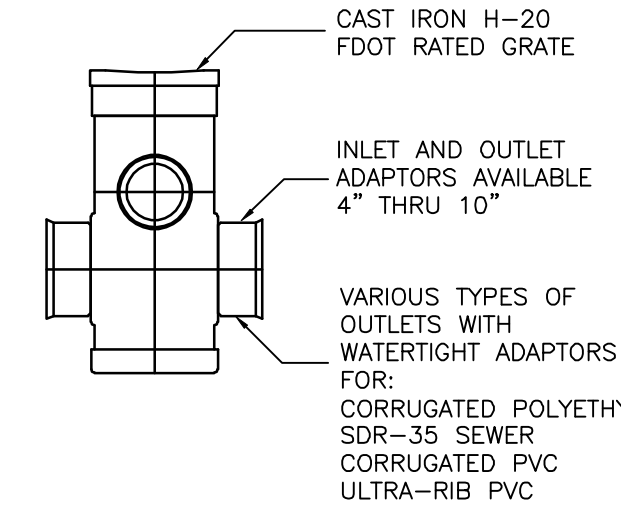


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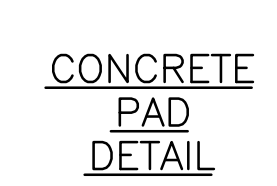
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NOTE:
DRAIN BASINS SHALL BE NYLOPLAST OR EQUAL, TO BE APPROVED BY THE ENGINEER.

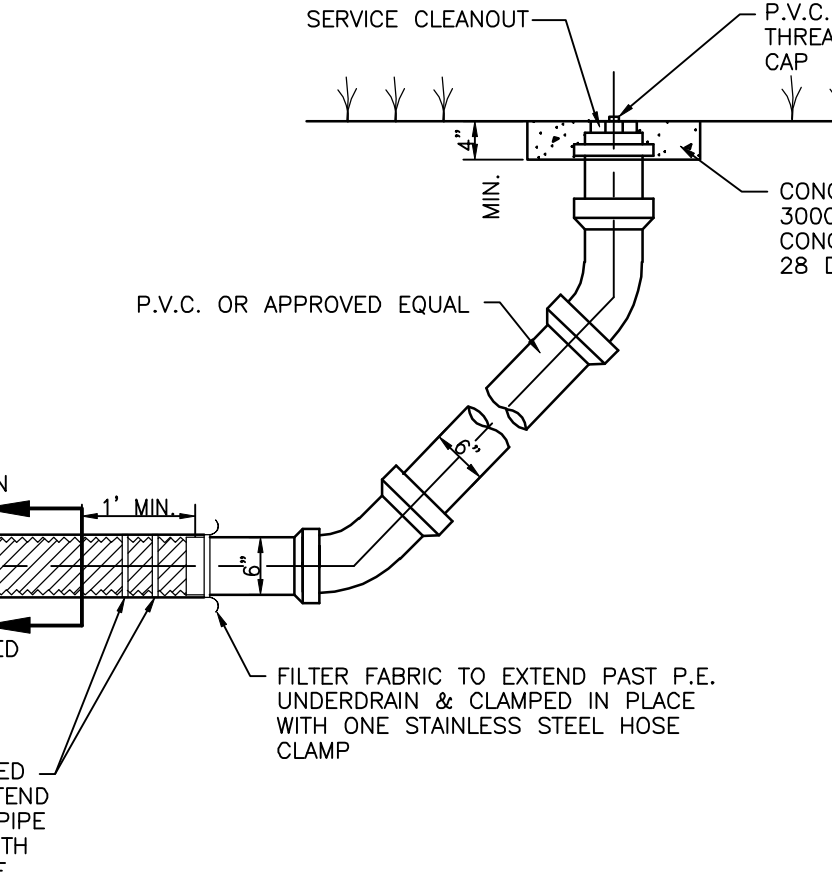


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NOTE:
S-0046 N.T.S.

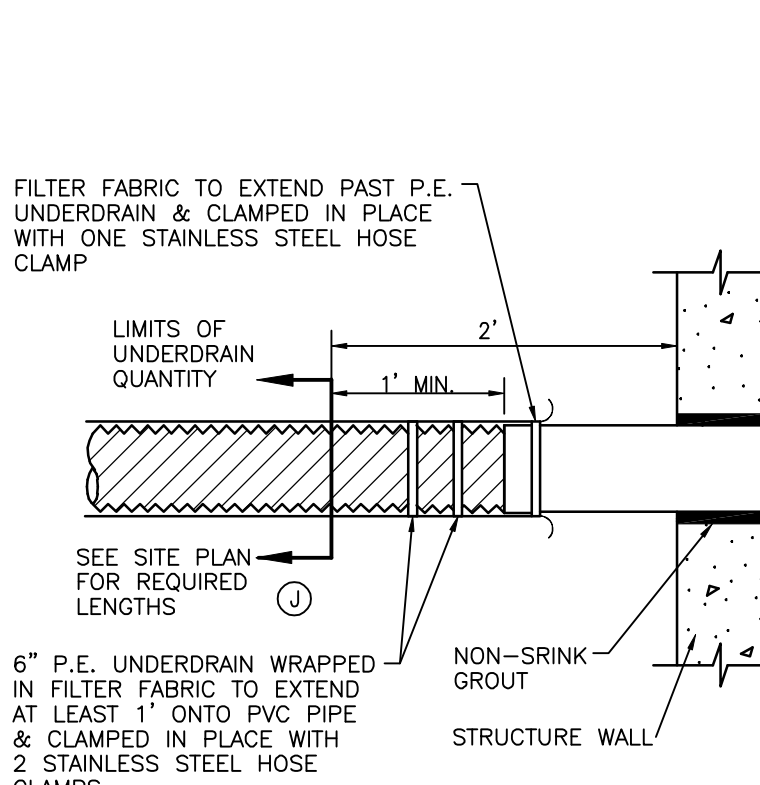
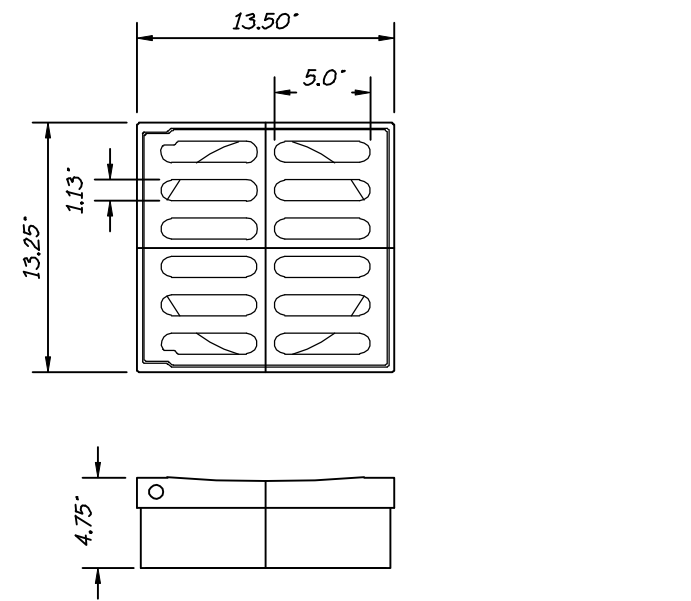


CONCRETE PAD DETAIL
N.T.S.

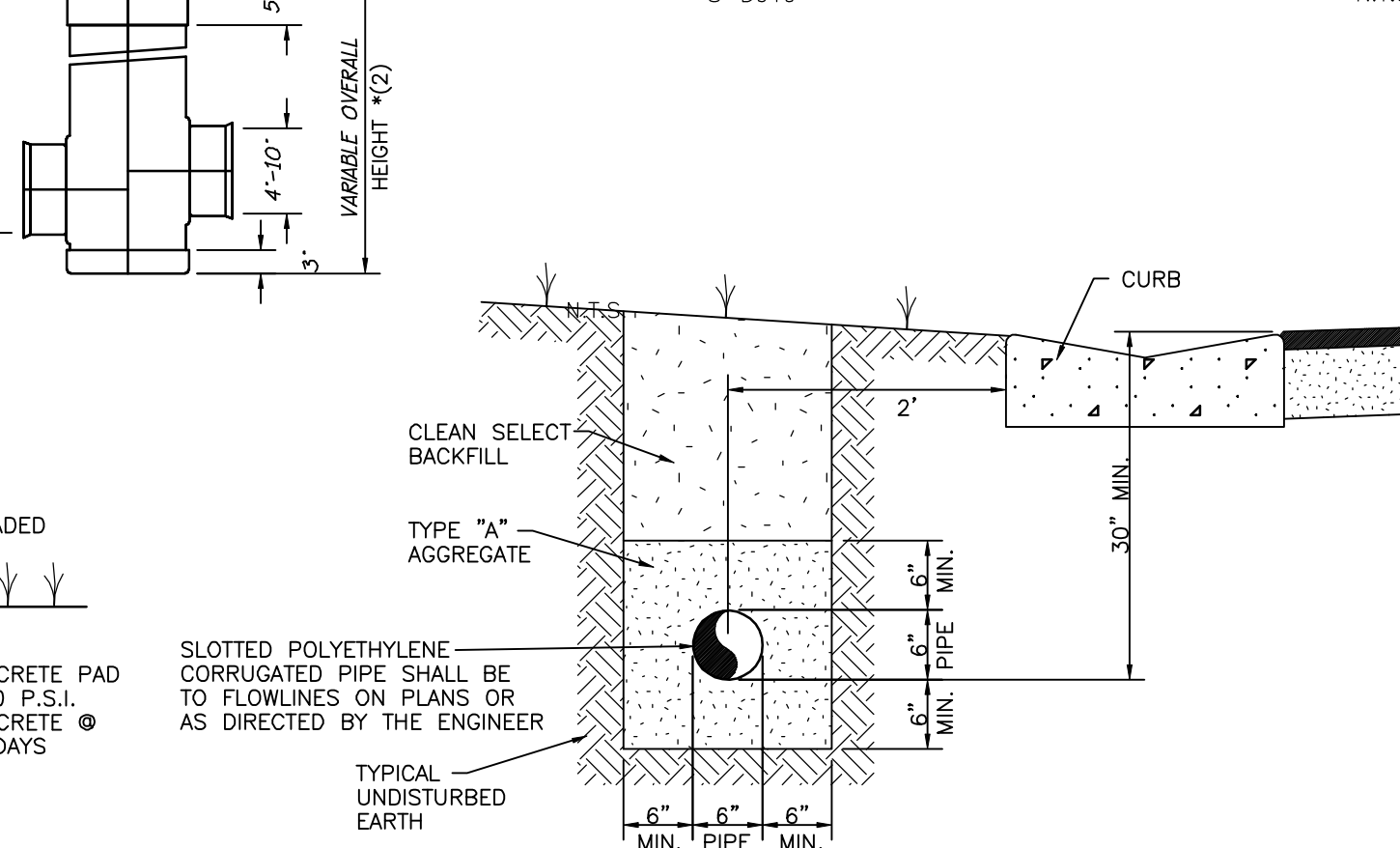


CLEANOUT DETAIL FOR SINGLE UNDERDRAIN FILTER SYSTEM
S-0016 N.T.S.

NOTE:
UNDERDRAIN DETAILS TO BE APPLIED IN LOCATIONS AS DIRECTED BY THE GEOTECHNICAL ENGINEER



TYPICAL CONNECTION FOR UNDERDRAIN TO STRUCTURE
S-0019 N.T.S.



TYPE "A" AGGREGATE: FILTER AGGREGATE FOR UNDERDRAIN SHALL CONSIST OF WASHED MATERIAL MEETING F.D.O.T. ROAD & BRIDGE SPECIFICATIONS FOR SILICA SAND & QUARTZ GRAVEL, OR MIXTURES THEREOF CONTAINING LESS THAN 1% (BY WEIGHT) OF SILT, CLAY, & ORGANIC MATTER. SAID MATERIAL SHALL HAVE A UNIFORMITY EFFECTIVE GRAIN SIZE OF 0.20 TO 0.55 MILLIMETER AND MEET THE FOLLOWING GRADATION, GRAIN SIZE ANALYSIS AND PERCOLATION TEST RESULTS FROM AN INDEPENDENT LAB SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO UNDERDRAIN INSTALLATION.

SIEVE SIZE	%PASSING (BY WEIGHT)
3/8"	90 TO 100
#4	80 TO 100
#10	20 TO 80
#20	10 TO 50
#100	0 TO 10
#200	0 TO 5

UNDERDRAIN PIPE: THE UNDERDRAIN SHALL BE SLOTTED POLYETHYLENE CORRUGATED PIPE A.S.T.M. F-405-77 OR A.A.S.H.T.O. M-252 WRAPPED WITH SPUN BONDED SYNTHETIC FABRIC FACTORY INSTALLED EQUAL TO TYPAR (DUPONT) 3401, HAVING A MINIMUM SLOTTED AREA OF 1 SQ. IN./FT. OF PIPE MANUFACTURED BY A.D.S. OR HANCOR.

CLEAN-OUTS: CLEAN-OUT POINTS SHALL BE PROVIDED AS SHOWN ON THE PLANS, BUT IN NO INSTANCE BE MORE THAN 250 FEET FROM AN OPENING.

BACKFILLING: TRENCH SHALL BE BACKFILLED IN SUCH A MANNER AS TO AVOID DAMAGE TO PIPE OR BARRIER OR DISPLACEMENT OF THE FILTER MATERIAL. TRENCH SHALL BE COMPACTED TO A DENSITY EQUAL TO THE ADJACENT SOILS.

TYPE "C" UNDERDRAIN
(SARASOTA COUNTY) N.T.S.
S-0024 (09/18/03)

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
STR #201	YARD DRAIN RIM = 15.50 FT	N: 1017836.04 E: 534598.15		STPI-82, 12" INV OUT =13.00 (S)
STR #202	YARD DRAIN RIM = 15.50 FT	N: 1017727.60 E: 534597.08	12" INV IN =12.78 (N) 12" INV IN =11.10 (S)	STPI-83, 18" INV OUT =11.10 (W)
STR #203	VALLEY GUTTER INLET RIM = 15.50 FT	N: 1017728.86 E: 534469.09	18" INV IN =11.79 (E) 24" INV IN =8.86 (W)	STPI-84, 24" INV OUT =8.86 (S)
STR #204	JUNCTION BOX RIM = 15.93 FT	N: 1017633.06 E: 534462.79	24" INV IN =8.67 (N)	STPI-85, 24" INV OUT =8.67 (SW)
STR #205	JUNCTION BOX RIM = 15.78 FT	N: 1017520.29 E: 534410.49	24" INV IN =8.42 (NE)	STPI-86, 24" INV OUT =8.42 (SW)
STR #206	VALLEY GUTTER INLET RIM = 15.50 FT	N: 1017724.88 E: 534444.14		STPI-87, 24" INV OUT =8.91 (E)
STR #207	YARD DRAIN RIM = 15.65 FT	N: 1017528.20 E: 534566.42		STPI-88, 12" INV OUT =11.50 (N)
STR #208	YARD DRAIN RIM = 15.82 FT	N: 1017660.45 E: 534596.42	12" INV IN =11.23 (S)	STPI-89, 12" INV OUT =11.23 (N)
STR #209	YARD DRAIN RIM = 16.31 FT	N: 1017245.51 E: 534143.94		STPI-90, 12" INV OUT =12.27 (E)
STR #210	YARD DRAIN RIM = 16.09 FT	N: 1017259.10 E: 534194.34	12" INV IN =11.64 (W)	STPI-91, 12" INV OUT =11.64 (E)
STR #211	YARD DRAIN RIM = 15.83 FT	N: 1017271.56 E: 534245.05	12" INV IN =11.54 (W)	STPI-92, 12" INV OUT =11.54 (E)
STR #212	YARD DRAIN RIM = 15.69 FT	N: 1017289.38 E: 534304.16	12" INV IN =11.42 (W)	STPI-93, 12" INV OUT =11.42 (E)
STR #213	ENDWALL RIM = 12.42 FT	N: 1017279.16 E: 534347.19	12" INV IN =10.88 (W)	

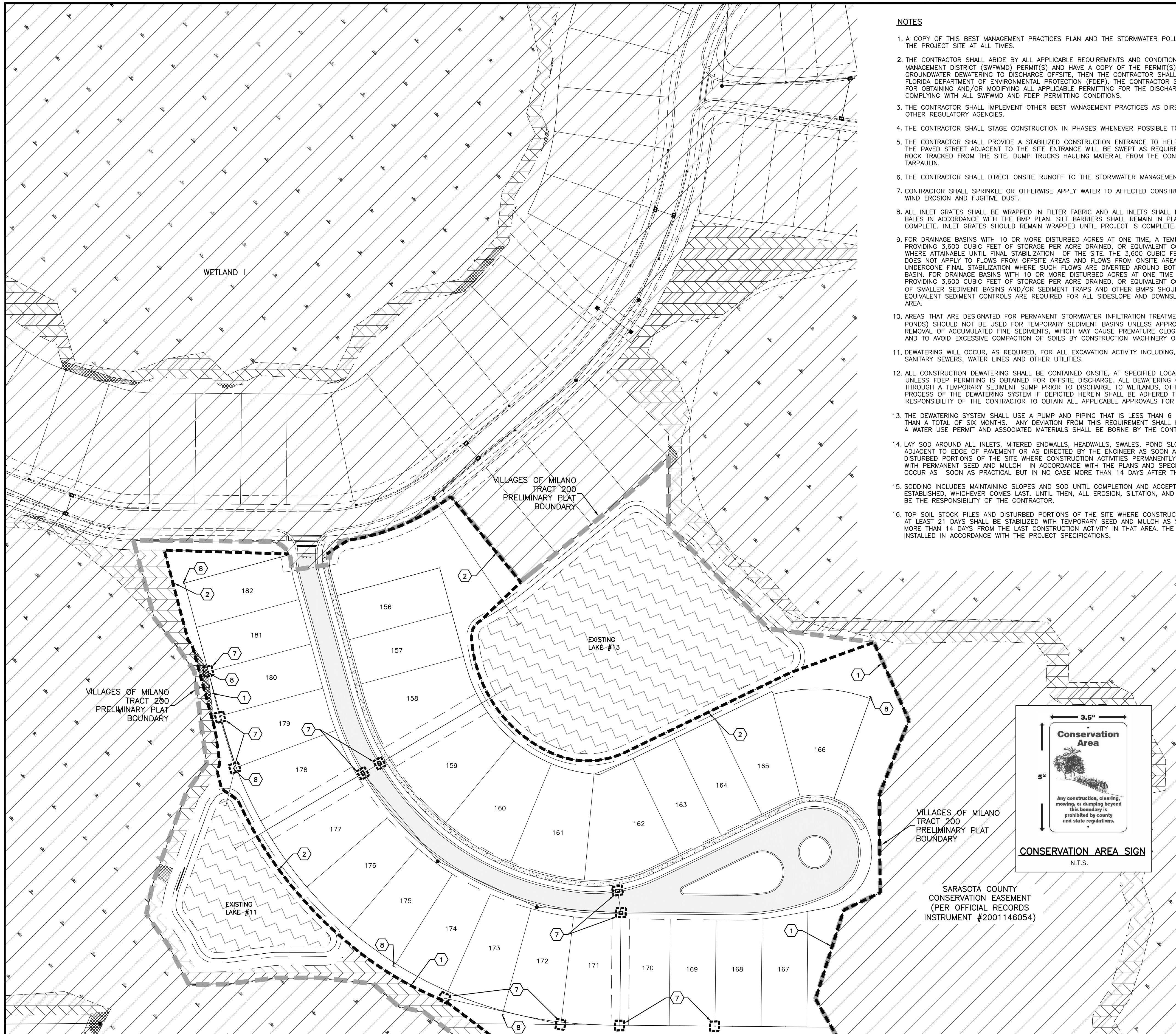
REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM. APPROVED BY:

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CLIENT:	NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC	DATE:	2016
PROJECT:	VILLAGES OF MILANO A REPLAT OF TRACT 200	HORIZONTAL SCALE:	N.T.S.
		VERTICAL SCALE:	N.T.S.
		CROSS REFERENCE FILE NO.:	
		SHEET NUMBER:	35 OF 385 19E

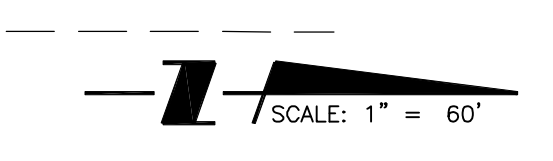
TITLE:	DRAINAGE CONSTRUCTION DETAILS	PROJECT NUMBER:	215611819
		SHEET NUMBER:	12 OF 17



NOTES

1. A COPY OF THIS BEST MANAGEMENT PRACTICES PLAN AND THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE KEPT AT THE PROJECT SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE REQUIREMENTS AND CONDITIONS OF THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFMD) PERMIT(S) AND HAVE A COPY OF THE PERMIT(S) ON SITE. IF IT IS NECESSARY FOR GROUNDWATER DEWATERING TO DISCHARGE OFFSITE, THEN THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). THE CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COSTS FOR OBTAINING AND/OR MODIFYING ALL APPLICABLE PERMITTING FOR THE DISCHARGE OF GROUNDWATER DEWATERING AND FOR COMPLYING WITH ALL SWFMD AND FDEP PERMITTING CONDITIONS.
3. THE CONTRACTOR SHALL IMPLEMENT OTHER BEST MANAGEMENT PRACTICES AS DIRECTED BY THE ENGINEER OF RECORD OR OTHER REGULATORY AGENCIES.
4. THE CONTRACTOR SHALL STAGE CONSTRUCTION IN PHASES WHENEVER POSSIBLE TO MINIMIZE SOIL LOSS AND CONTROL EROSION.
5. THE CONTRACTOR SHALL PROVIDE A STABILIZED CONSTRUCTION ENTRANCE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED AS REQUIRED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARPULIN.
6. THE CONTRACTOR SHALL DIRECT ONSITE RUNOFF TO THE STORMWATER MANAGEMENT SYSTEM DURING CONSTRUCTION.
7. CONTRACTOR SHALL SPRINKLE OR OTHERWISE APPLY WATER TO AFFECTED CONSTRUCTION AREAS TO CONTROL BOTH SIGNIFICANT WIND EROSION AND FUGITIVE DUST.
8. ALL INLET GRATES SHALL BE WRAPPED IN FILTER FABRIC AND ALL INLETS SHALL BE PROTECTED WITH SILT SCREENS OR HAY BALES IN ACCORDANCE WITH THE BMP PLAN. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING OR CONSTRUCTION IS COMPLETE. INLET GRATES SHOULD REMAIN WRAPPED UNTIL PROJECT IS COMPLETE.
9. FOR DRAINAGE BASINS WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROL MEASURES, SHALL BE PROVIDED WHERE ATTAINABLE UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. FOR DRAINAGE BASINS WITH 10 OR MORE DISTURBED ACRES AT ONE TIME AND WHERE A TEMPORARY SEDIMENT BASIN PROVIDING 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, A COMBINATION OF SMALLER SEDIMENT BASINS AND/OR SEDIMENT TRAPS AND OTHER BMP'S SHOULD BE USED. AT A MINIMUM, SILT FENCES, OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDESLOPE AND DOWNSLOPE BOUNDARIES OF THE CONSTRUCTION AREA.
10. AREAS THAT ARE DESIGNATED FOR PERMANENT STORMWATER INFILTRATION TREATMENT SYSTEMS (E.G., STORMWATER RETENTION PONDS) SHOULD NOT BE USED FOR TEMPORARY SEDIMENT BASINS UNLESS APPROPRIATE MEASURES ARE TAKEN TO ASSURE REMOVAL OF ACCUMULATED FINE SEDIMENTS, WHICH MAY CAUSE PREMATURE CLOGGING AND LOSS OF INFILTRATION CAPACITY, AND TO AVOID EXCESSIVE COMPACTION OF SOILS BY CONSTRUCTION MACHINERY OR EQUIPMENT.
11. DEWATERING WILL OCCUR, AS REQUIRED, FOR ALL EXCAVATION ACTIVITY INCLUDING, BUT NOT LIMITED TO, STORM SEWERS, SANITARY SEWERS, WATER LINES AND OTHER UTILITIES.
12. ALL CONSTRUCTION DEWATERING SHALL BE CONTAINED ONSITE, AT SPECIFIED LOCATIONS, AND ALLOWED TO INFILTRATE THE SOIL, UNLESS FDEP PERMITTING IS OBTAINED FOR OFFSITE DISCHARGE. ALL DEWATERING GROUNDWATER DISCHARGE SHALL BE ROUTED THROUGH A TEMPORARY SEDIMENT SUMP PRIOR TO DISCHARGE TO WETLANDS, OTHER SURFACE WATER, OR OFFSITE. THE GENERAL PROCESS OF THE DEWATERING SYSTEM IF DEPICTED HEREIN SHALL BE ADHERED TO DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL APPLICABLE APPROVALS FOR ANY MODIFICATIONS HE PROPOSES.
13. THE DEWATERING SYSTEM SHALL USE A PUMP AND PIPING THAT IS LESS THAN 6 INCHES IN DIAMETER AND OPERATE LESS THAN A TOTAL OF SIX MONTHS. ANY DEVIATION FROM THIS REQUIREMENT SHALL REQUIRE A WATER USE PERMIT. THE COST OF A WATER USE PERMIT AND ASSOCIATED MATERIALS SHALL BE BORNE BY THE CONTRACTOR.
14. LAY SOD AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, POND SLOPES, AND A THREE FOOT (3') WIDE STRIP ADJACENT TO EDGE OF PAVEMENT OR AS DIRECTED BY THE ENGINEER AS SOON AS PRACTICAL TO PREVENT EROSION. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH SOD OR WITH PERMANENT SEED AND MULCH IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. PERMANENT STABILIZATION SHALL OCCUR AS SOON AS PRACTICAL BUT IN NO CASE MORE THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
15. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES LAST. UNTIL THEN, ALL EROSION, SILTATION, AND MAINTENANCE OF GRADES AND GRASS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. TOP SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL TEMPORARILY CEASE FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED AND MULCH SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

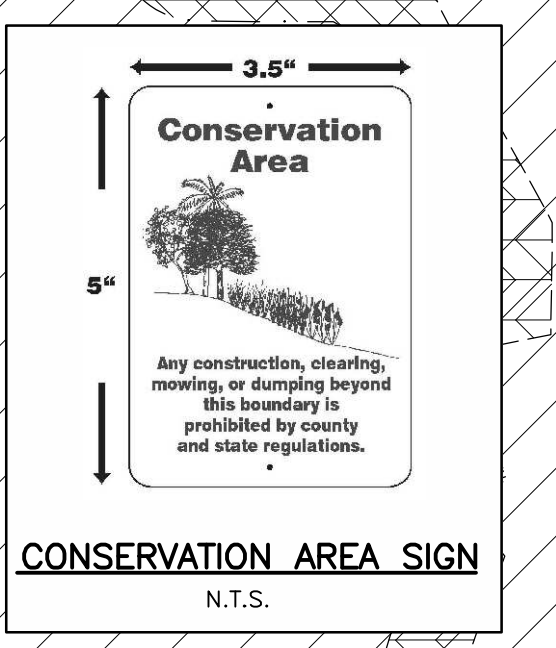
17. ALL SILTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED AT A MINIMUM OF ONCE PER WEEK OR AFTER ANY 1/2" OR GREATER RAINFALL EVENT. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL MAINTENANCE AND INSPECTIONS, ON SITE, UNTIL CONSTRUCTION IS COMPLETE. COPIES SHALL BE FURNISHED TO THE ENGINEER OR OWNER, UPON REQUEST.
18. THE SITE SUPERINTENDENT, WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, FILLING OUT THE INSPECTION AND MAINTENANCE REPORT AND IF NECESSARY, REVISING THE STORMWATER POLLUTION PREVENTION PLAN CONSISTENT WITH MODIFICATIONS MADE DUE TO UNFORESEEN CAUSES, AS DICTATED BY FIELD CONDITIONS.
19. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT FOR INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
20. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS INCLUDED IN THE STORMWATER POLLUTION PREVENTION PLAN.
21. SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO INSURE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO INSURE THAT THE FENCE POSTS ARE INSTALLED FIRMLY IN THE GROUND.
22. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SILTATION CONTROL BARRIER OR CONTROL DEVICES SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS. ALL SILTATION BARRIERS SHALL THEN BE RESTORED TO THEIR ORIGINAL CONDITIONS.
23. THE SEDIMENT BASIN SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.
24. DIVERSION DIKE, IF REQUIRED, SHALL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
25. TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
26. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.
27. THE LOCATION OF SILT FENCE AND OTHER BMP FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THESE FACILITIES ARE PLACED IN A LOCATION AND MANNER THAT DOES NOT CONFLICT WITH THE LIMITS OF CONSTRUCTION OR AREAS TO BE PROTECTED AS SET FORTH IN THESE PLANS.
28. CONTRACTORS EROSION CONTROL PLAN SHALL COMPLY WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007) WITHIN THE FOOT RIGHT OF WAY.
29. ALL CONSTRUCTION DEWATERING SHALL BE CONTAINED ONSITE AT SPECIFIED LOCATIONS AND ALLOWED TO INFILTRATE THE SOIL, UNLESS FDEP PERMITTING IS OBTAINED FOR OFFSITE DISCHARGE. THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT OVERSEES THE PERMITTING REQUIREMENTS OF DEWATERING MEANS AND METHODS. ALL DEWATERING EFFLUENT SHALL BE ROUTED TO A TEMPORARY SEDIMENT SUMP PRIOR TO DISCHARGE TO WETLANDS, OTHER SURFACE WATERS, OR OFFSITE. THE GENERAL PROCESS OF THE DEWATERING SYSTEM AS DEPICTED HEREIN SHALL BE ADHERED TO DURING CONSTRUCTION, THOUGH THE ACTUAL LAYOUT OF THE SYSTEM MAY BE CONSTRUCTED AS DICTATED BY FIELD CONDITIONS.
30. IF IT IS NECESSARY TO DISCHARGE DEWATERING EFFLUENT OFFSITE, THEN COVERAGE UNDER THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY", MUST BE OBTAINED BY THE CONTRACTOR. SHOULD CONTAMINATION IN EXCESS OF THE THRESHOLDS FOR GENERIC PERMITTING BE FOUND IN THE REQUIRED SAMPLING, AN "INDIVIDUAL PERMIT FOR WASTEWATER DISCHARGE" IS REQUIRED. THE CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COSTS FOR OBTAINING THE APPLICABLE PERMIT FOR DISCHARGE OF DEWATERING EFFLUENT AND FOR COMPLYING WITH THE PERMIT CONDITIONS.
31. ALL BMP'S MUST BE INSPECTED WEEKLY OR AFTER EVER 0.5 INCH OF RAINFALL EVENT AND ALL INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION ON SITE.
32. CONTRACTOR TO FILE A NOTICE OF TERMINATION (NOT) WITHIN 14 DAYS OF CONSTRUCTION COMPLETION.



LEGEND

- INDICATES AREAS PREVIOUSLY PLATTED (NOT A PART OF THE SUBJECT REPLAT)
- EXISTING WETLAND
- EXISTING LAKE
- TEMPORARY WETLAND BUFFER ENCROACHMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- WETLAND BUFFER

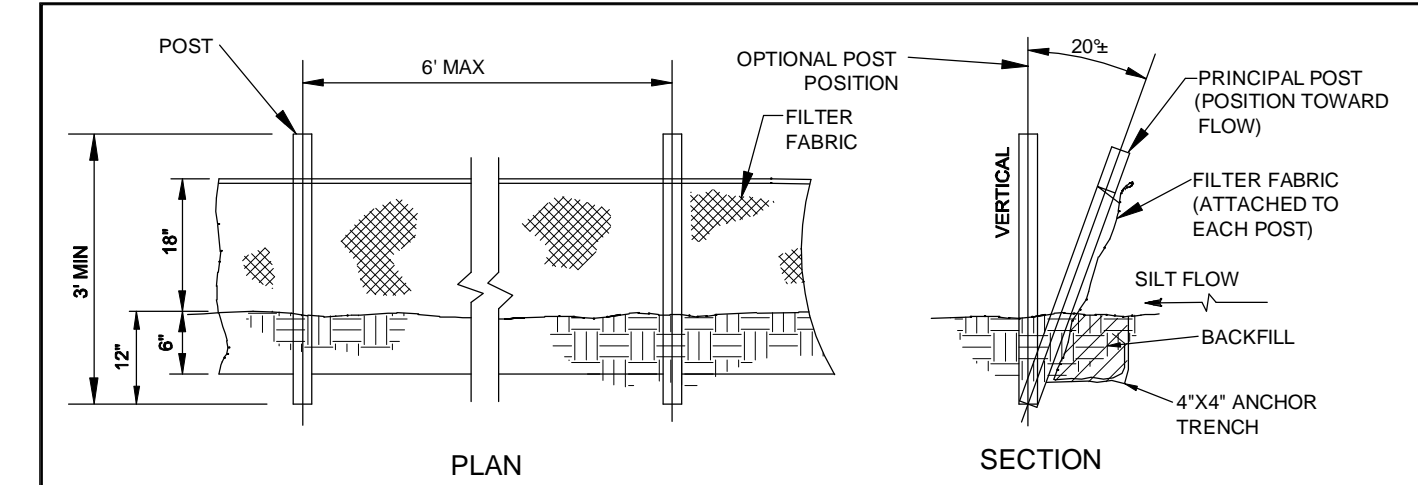
TACTILE SURFACE NOTES:
SEE UNITED STATES ACCESS BOARD R304 FOR CONFIGURATION
SEE CITY DETAIL ENG-1 - TYPICAL HANDICAPPED RAMP DETAIL FOR MATERIAL



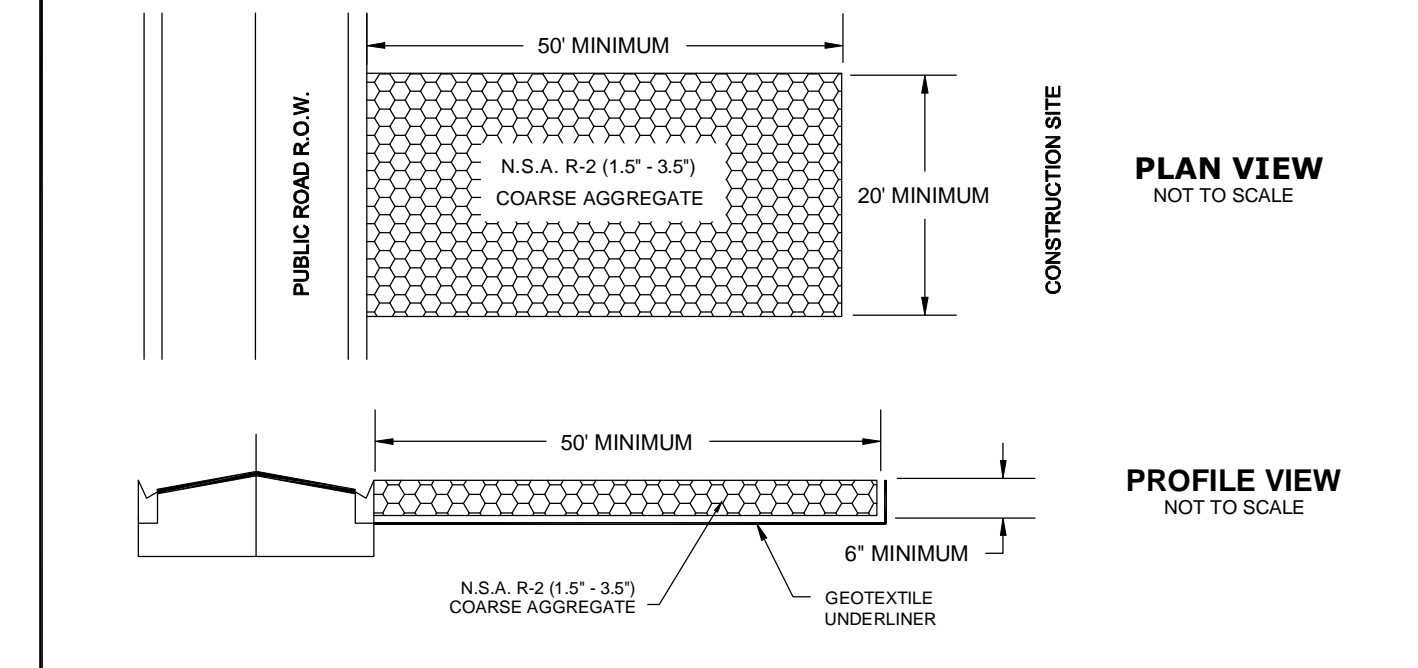
SARASOTA COUNTY CONSERVATION EASEMENT (PER OFFICIAL RECORDS INSTRUMENT #2001146054)

BMP LEGEND

- WETLAND BUFFER (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 1)
- SILT FENCE (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 2)
- BALE SILT BARRIER (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 3)
- TURBIDITY BARRIERS (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 4)
- SOD POND TOP OF BANK (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 6)
- INLET PROTECTION (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 7)
- CONSERVATION AREA SIGN (SEE DETAIL THIS SHEET)



1. POSTS SHALL BE WOOD (2"x4" OR 2 1/2" DIA.) OR STEEL (MIN. 1.33 LBS/FT.).
2. SILT FENCE SHALL BE PLACED PRIOR TO ANY EARTHMOVING, EXCAVATION OR VEGETATION REMOVAL.
3. CONTRACTOR IS RESPONSIBLE FOR MONITORING & MAINTAINING THE SILT FENCE IN GOOD CONDITION THROUGHOUT THE LIFE OF THE PROJECT.
4. THE CITY ENGINEER OR HIS DESIGNEE MAY ISSUE A STOP WORK ORDER IN THE EVENT THAT SILT FENCE IS NOT BEING MAINTAINED OR IF SEDIMENT IS MIGRATING OFF-SITE.



CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	ENGINEERING SILT FENCE & CONSTRUCTION EXIT	DATE JAN. 2016 SHEET NO. ENG-7
	CONSTRUCTION SURFACE WATER MANAGEMENT PLAN (CSWMP) CERTIFICATION	

OWNER/APPLICANT SIGNATURE _____ DATE _____
 OWNER: JAMES R. SCHIER
 TITLE: VICE PRESIDENT
 COMPANY: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC

A. "NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED, PER SECTION 54-588 (1), (b) OF SARASOTA COUNTY CODE. THE PROTECTED ROOT ZONE IS DEFINED AS THE DRIPLINE OF THE TREE. ONLY HAND CLEARING OR MOWING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF CANOPY TREES TO BE SAVED IF AUTHORIZED BY THE ADMINISTRATOR. WHERE UNAUTHORIZED REMOVAL OF NATIVE VEGETATION WITHIN THE PROTECTED ROOT ZONE OCCURS THE ADMINISTRATOR MAY REQUIRE THE REPLANTING OF UNDERSTORY VEGETATION. FULL DRIPLINE PROTECTION IS REQUIRED; HOWEVER THE ADMINISTRATOR MAY ALLOW CERTAIN ACTIVITIES TO BE CONDUCTED WITHIN THE BARRICADED DRIPLINE OF A TREE, SO LONG AS THE COUNTY DETERMINES THAT THE TREE WILL NOT BE ADVERSELY AFFECTED.

B. "A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATIVE REMOVAL WITHIN THE DRIPLINE OF A TREE, AND/OR TREE REMOVAL."

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:	ACTIVITY	INITIALS/EMP. NO.	DATE
A	REVISED PER CITY COMMENTS DATED 5/13/16	05/13/16	RTD/89450			DESIGNED BY:	RTD/89450	2016
						DRAWN BY:		2016
						CHECKED BY:		
						CONTRACT ADMIN. BY:		

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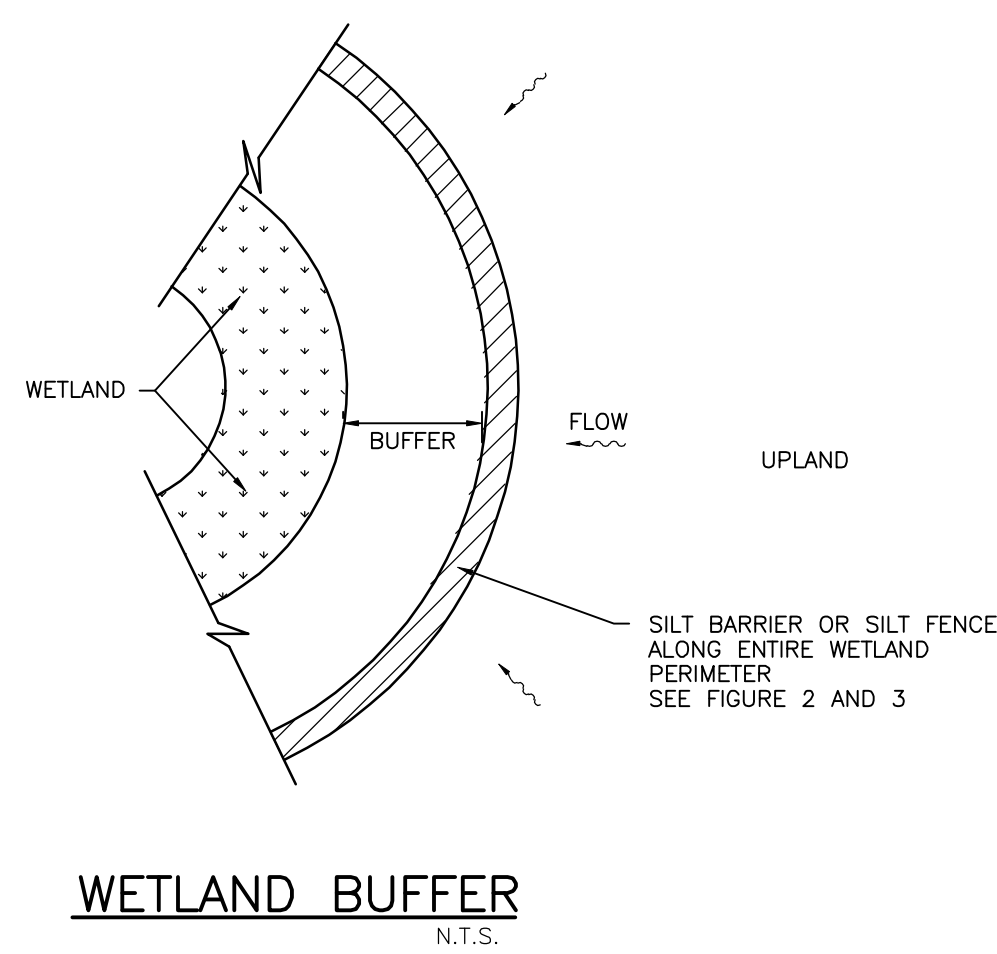
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CLIENT: **NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC**
 PROJECT: **VILLAGES OF MILANO A REPLAT OF TRACT 200**

DATE: 2016
 HORIZONTAL SCALE: 1" = 60'
 VERTICAL SCALE: 1" = 60'

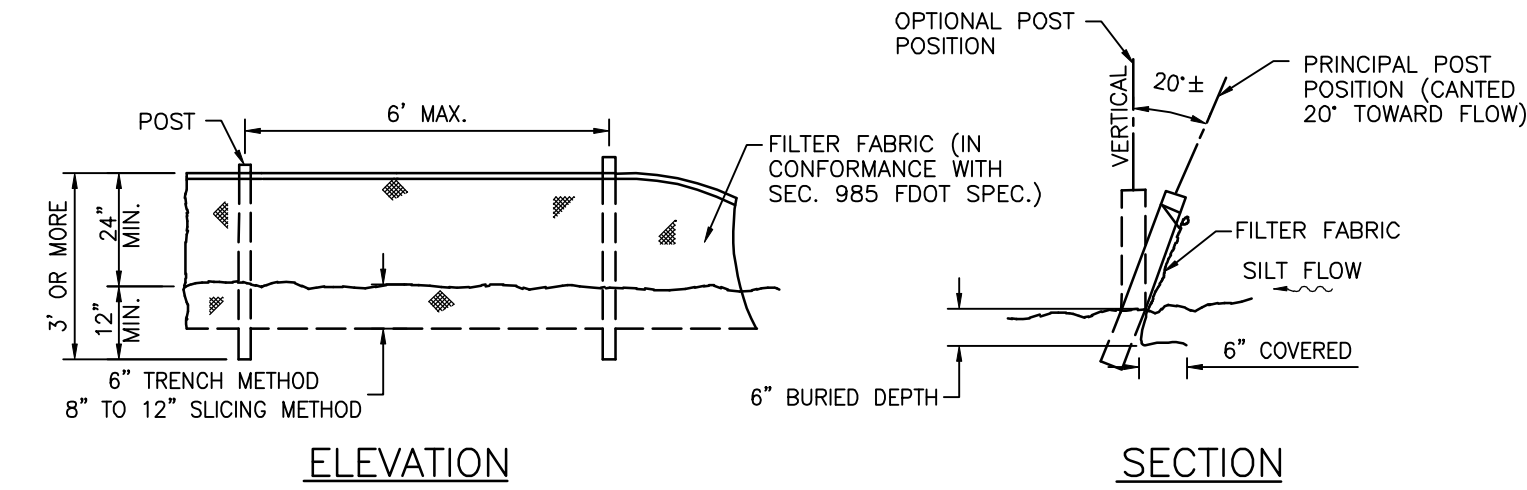
TITLE: **BEST MANAGEMENT PRACTICES PLAN AND NOTES**
 CROSS REFERENCE FILE NO.:
 PROJECT NUMBER: **215611819**

MELANIE DELEHANTY SMITH, P.E.
 FLORIDA LICENSE NO. 75447
 INDEX NUMBER: **215611819-06C-701EC**
 SHEET NUMBER: **16 OF 17**



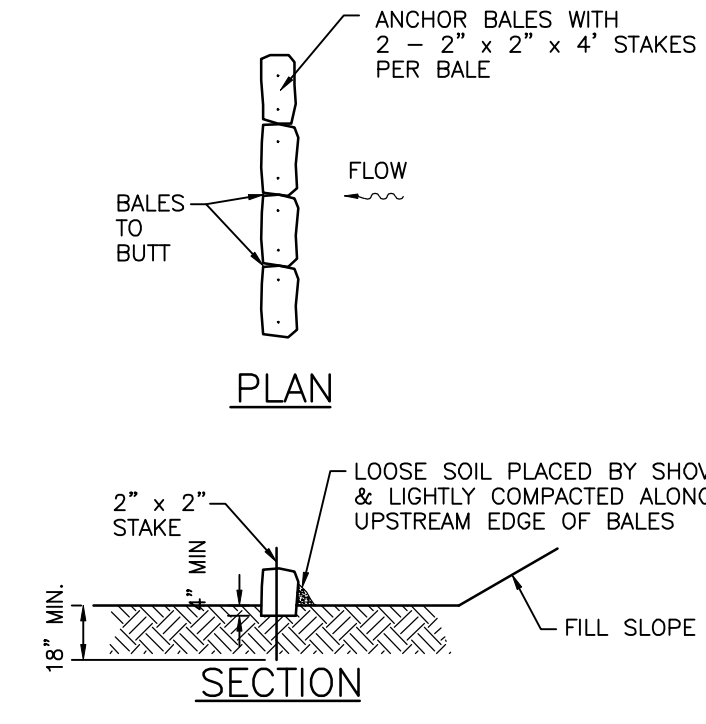
WETLAND BUFFER
N.T.S.

FIGURE 1



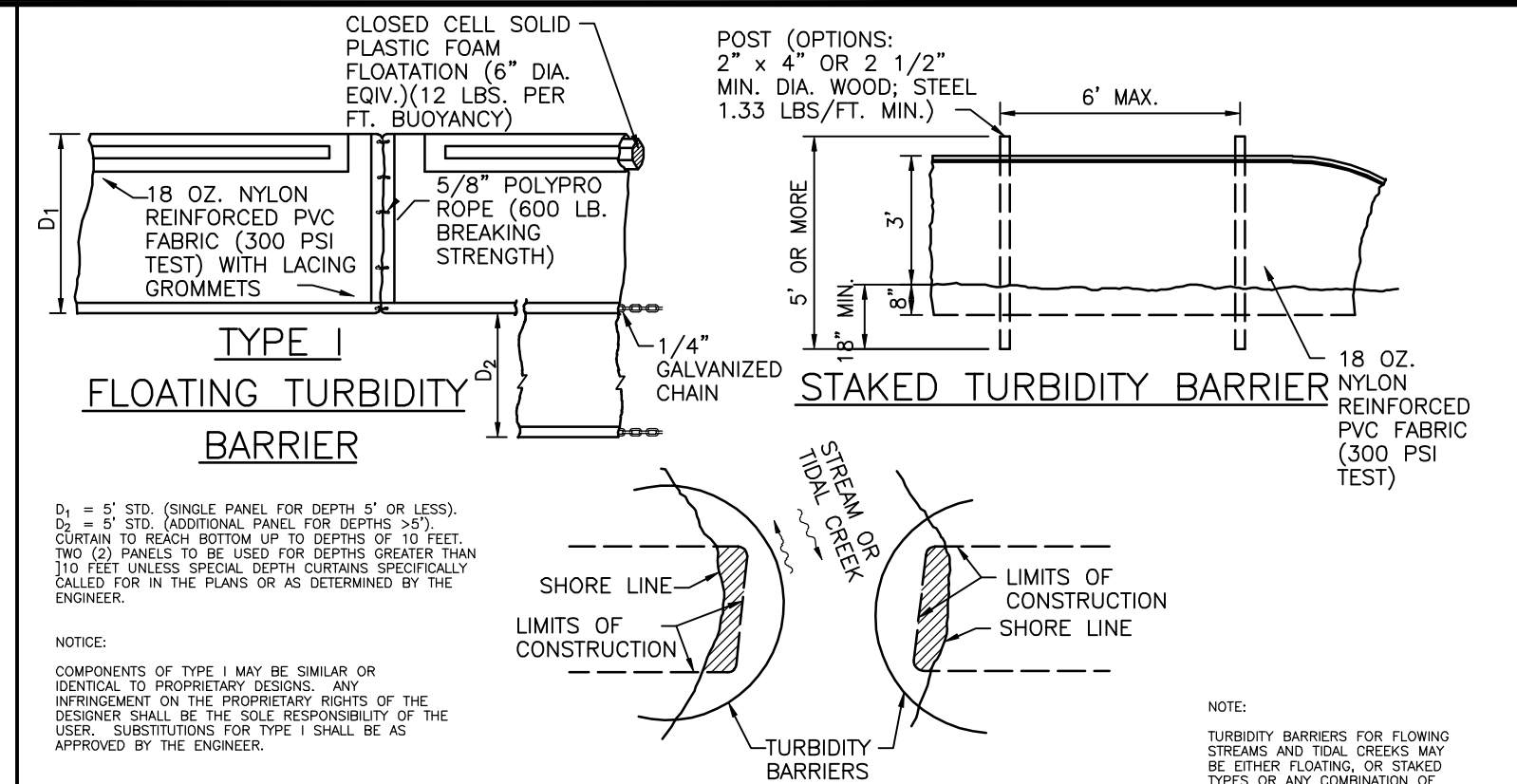
TYPICAL SILT FENCE
N.T.S.

FIGURE 2



TYPICAL BALE SILT BARRIER
N.T.S.

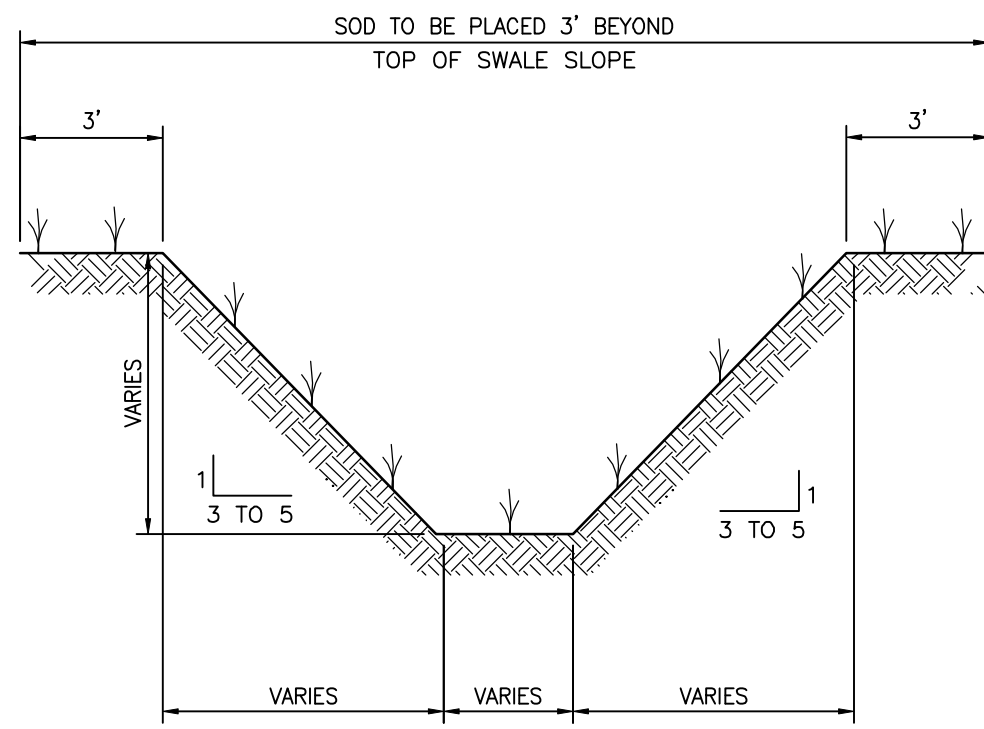
FIGURE 3



TURBIDITY BARRIER APPLICATIONS
N.T.S.

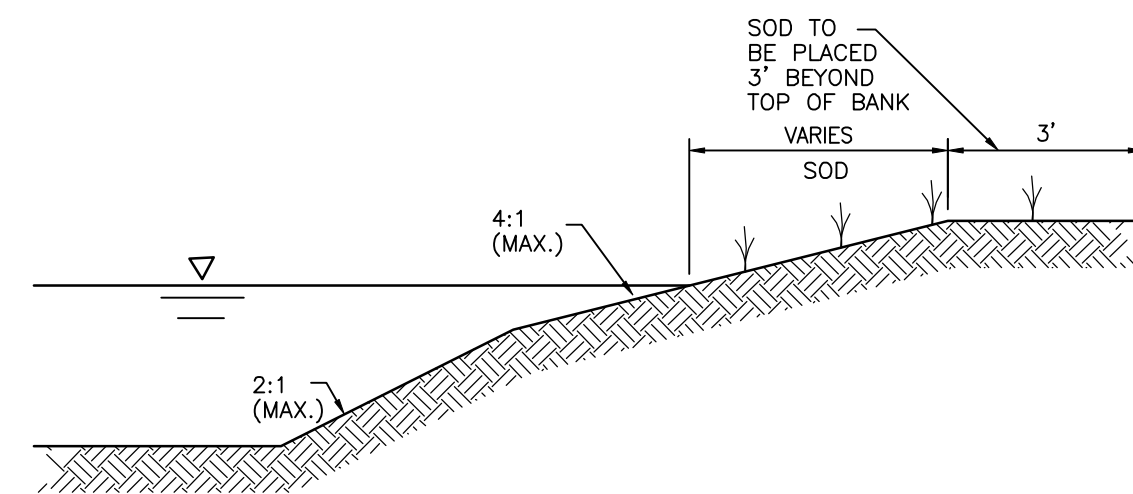
TURBIDITY BARRIERS
N.T.S.

FIGURE 4



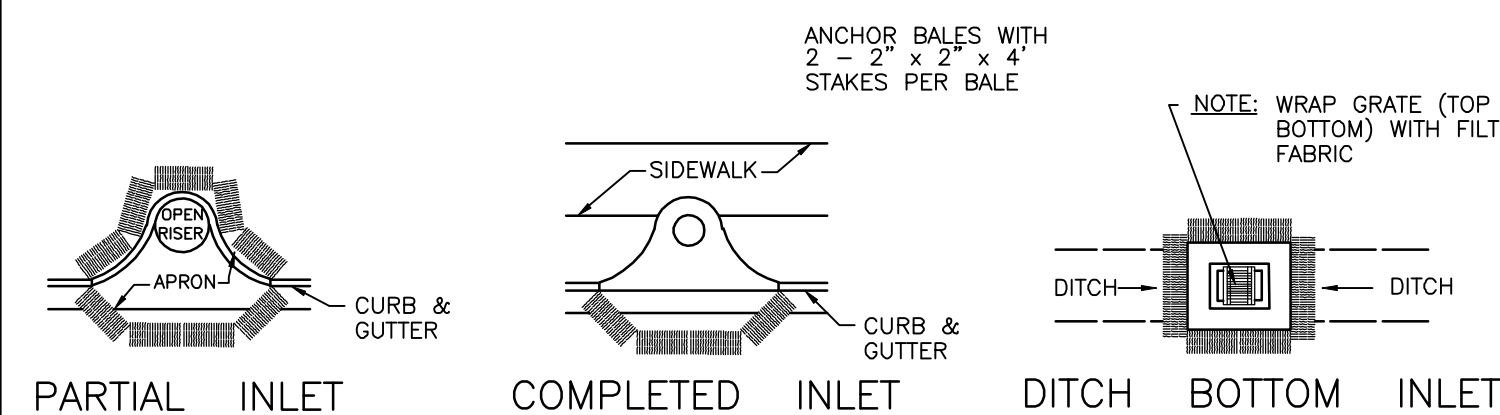
TYPICAL SWALE SECTION
N.T.S.

FIGURE 5



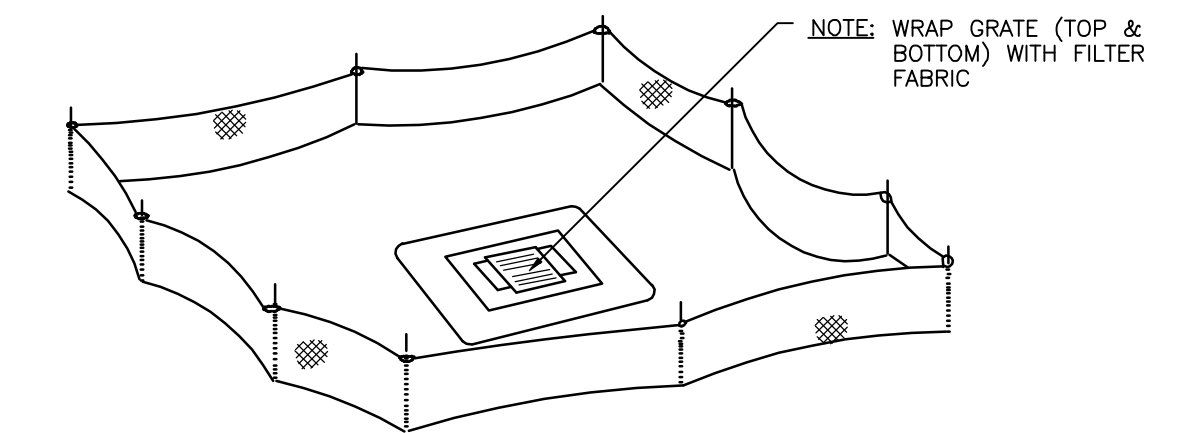
TYPICAL RETENTION/DETENTION POND SECTION
N.T.S.

FIGURE 6



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.

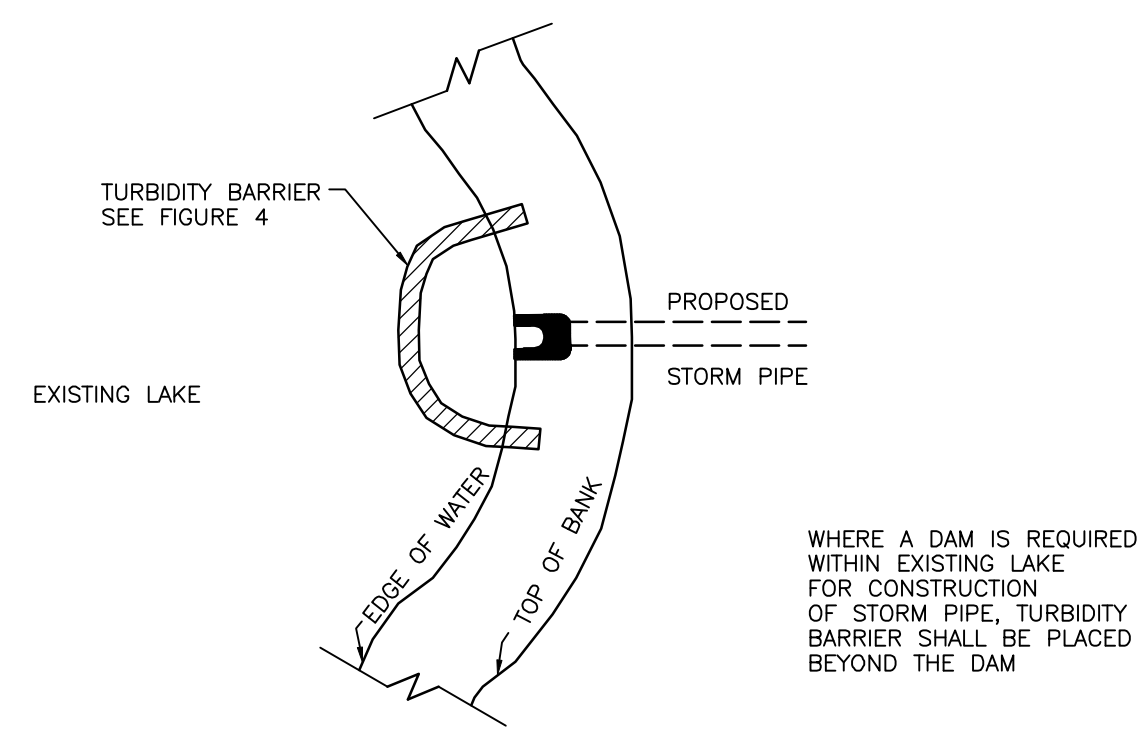
FIGURE 7



STAKED SILT BARRIER OR SILT FENCE PROTECTION AROUND DITCH BOTTOM
N.T.S.

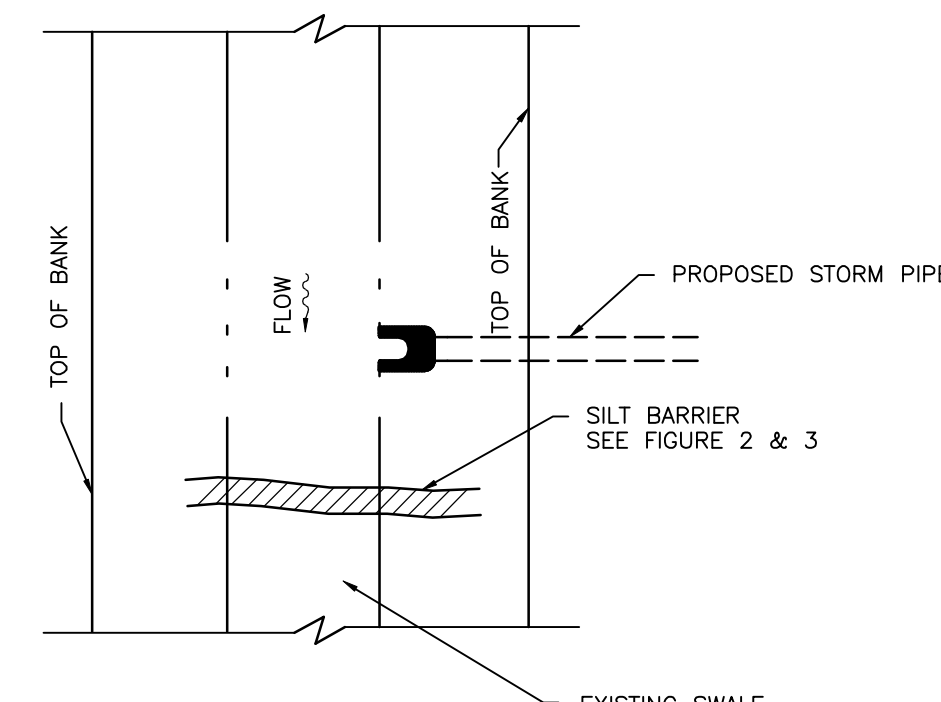
INLETS
N.T.S.

FIGURE 8



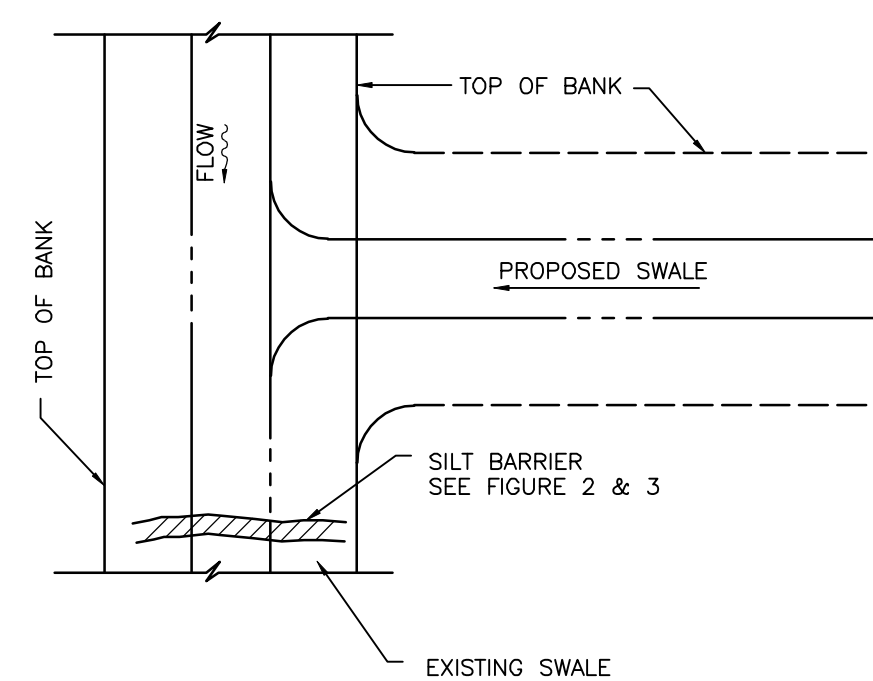
TURBIDITY BARRIER AT CONNECTION OF STORM PIPE TO EXISTING LAKE
N.T.S.

FIGURE 9



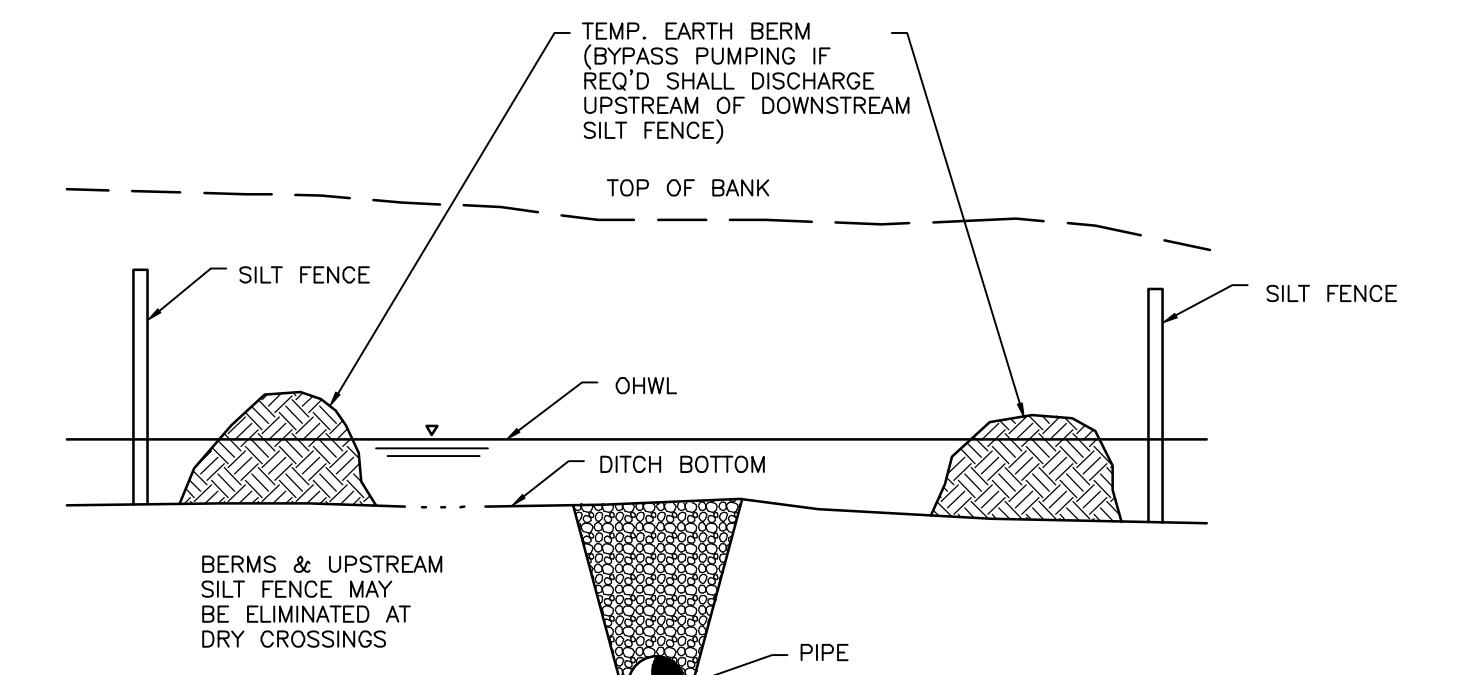
SILT BARRIER AT CONNECTION OF STORM PIPE TO EXISTING SWALE
N.T.S.

FIGURE 10



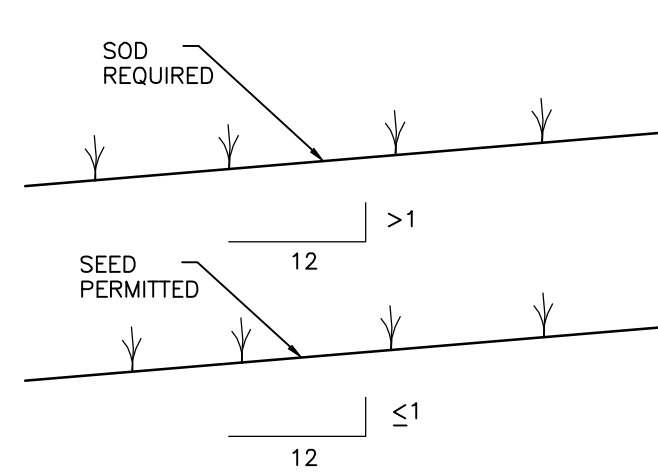
SILT BARRIER AT CONNECTION OF SWALE TO EXISTING SWALE
N.T.S.

FIGURE 11



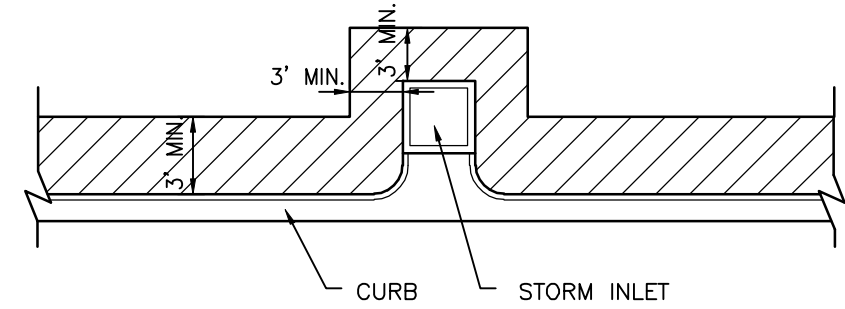
UNDERGROUND PIPE CROSSING
N.T.S.

FIGURE 12



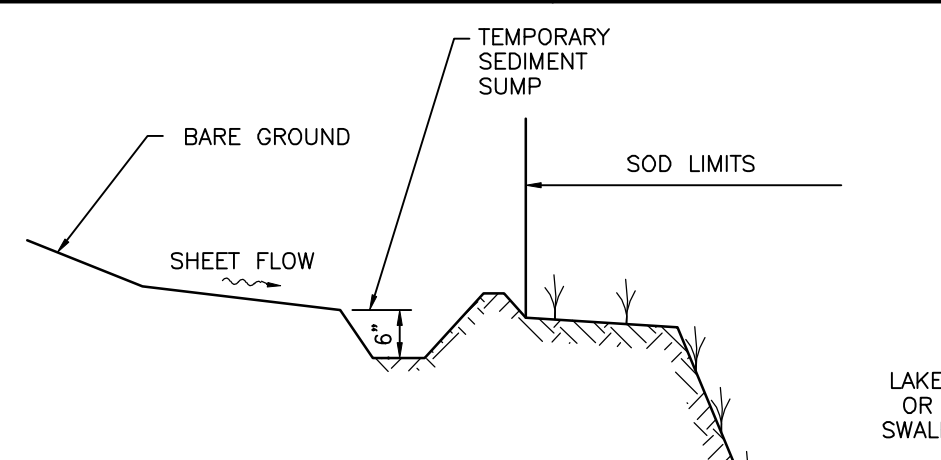
GRASS SLOPES
N.T.S.

FIGURE 13



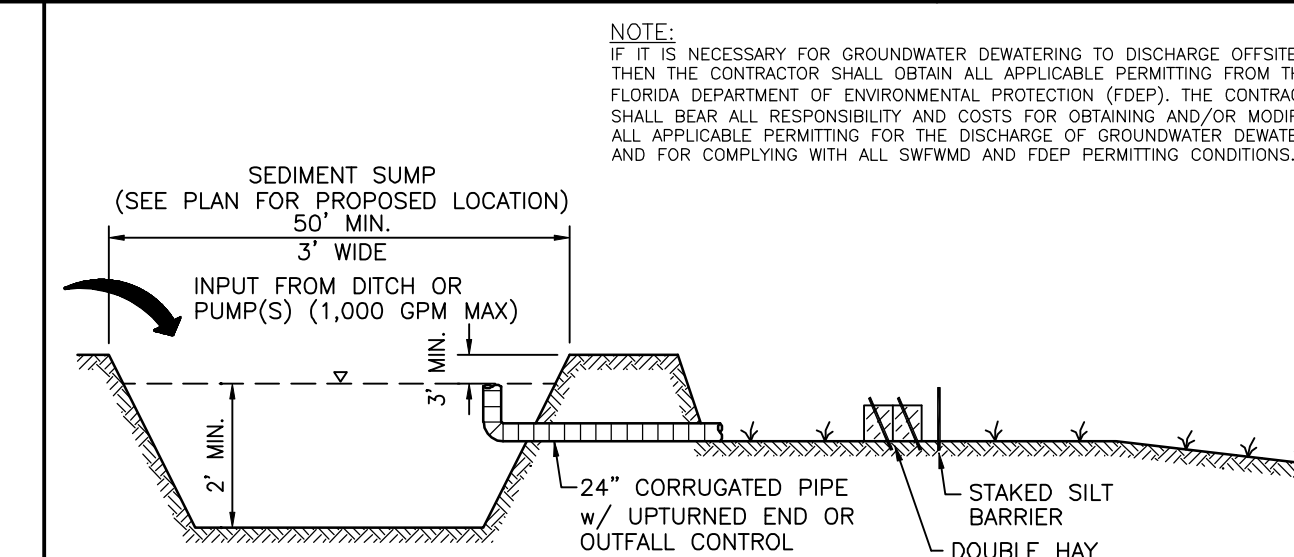
SOD ALONG CURB AND AROUND INLET
N.T.S.

FIGURE 14



TEMPORARY SEDIMENT SUMP
N.T.S.

FIGURE 15



SEDIMENT SUMP SECTION
N.T.S.

FIGURE 16

CONSTRUCTION SURFACE WATER MANAGEMENT PLAN (CSWMP) CERTIFICATION

OWNER/APPLICANT SIGNATURE _____ DATE _____
OWNER: JAMES R. SCHIER
TITLE: VICE PRESIDENT
COMPANY: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:

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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC
PROJECT: VILLAGES OF MILANO A REPLAT OF TRACT 200

DATE: 2016
HORIZONTAL SCALE: N.T.S.
VERTICAL SCALE: 3/8" = 1'-0"

TITLE: BEST MANAGEMENT PRACTICES DETAILS
PROJECT NUMBER: 215611819
SHEET NUMBER: 17 OF 17