



SITE AND DEVELOPMENT PLAN FOR

EPIPHANY CATHEDRAL CATHOLIC CHURCH

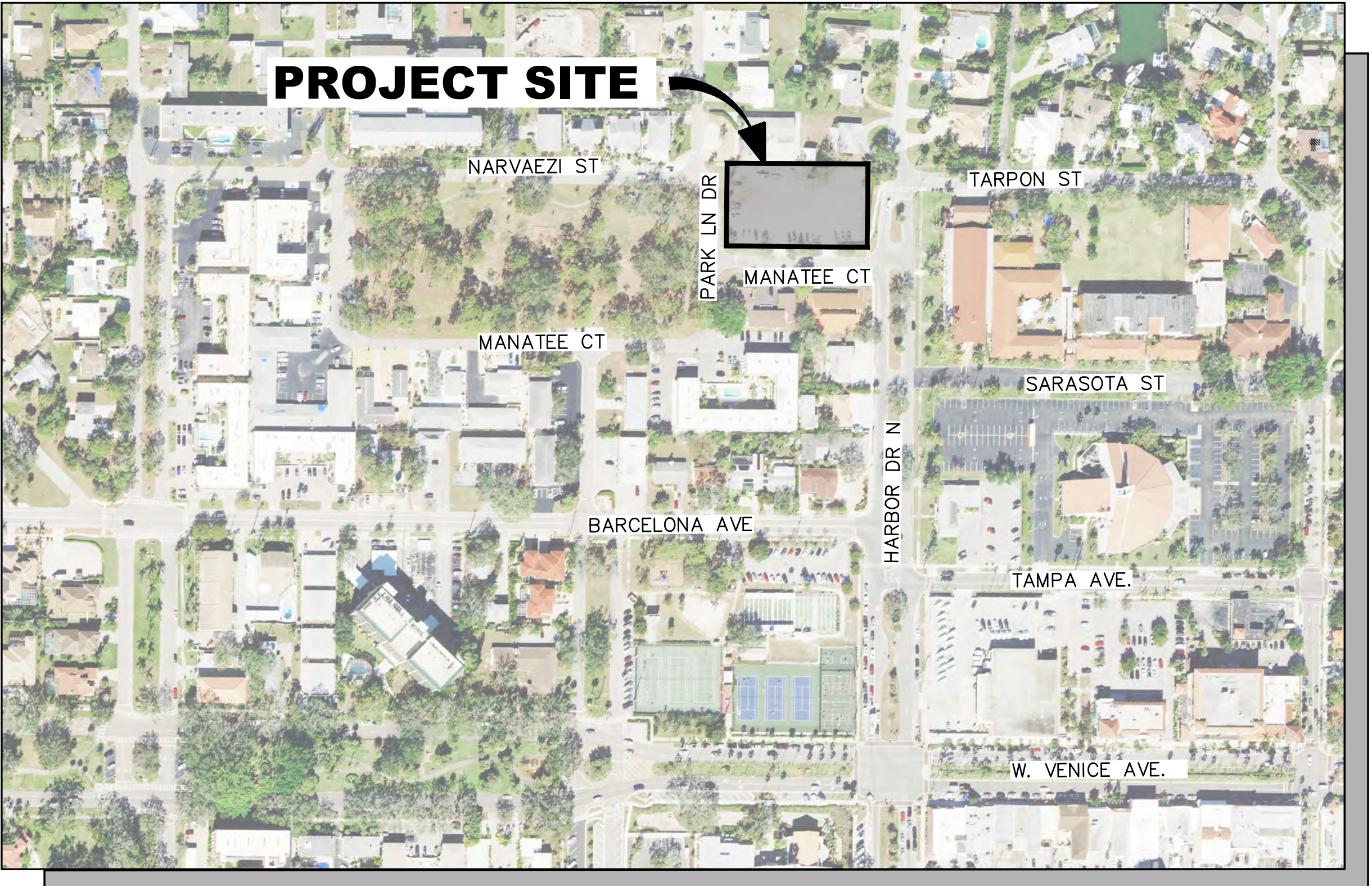
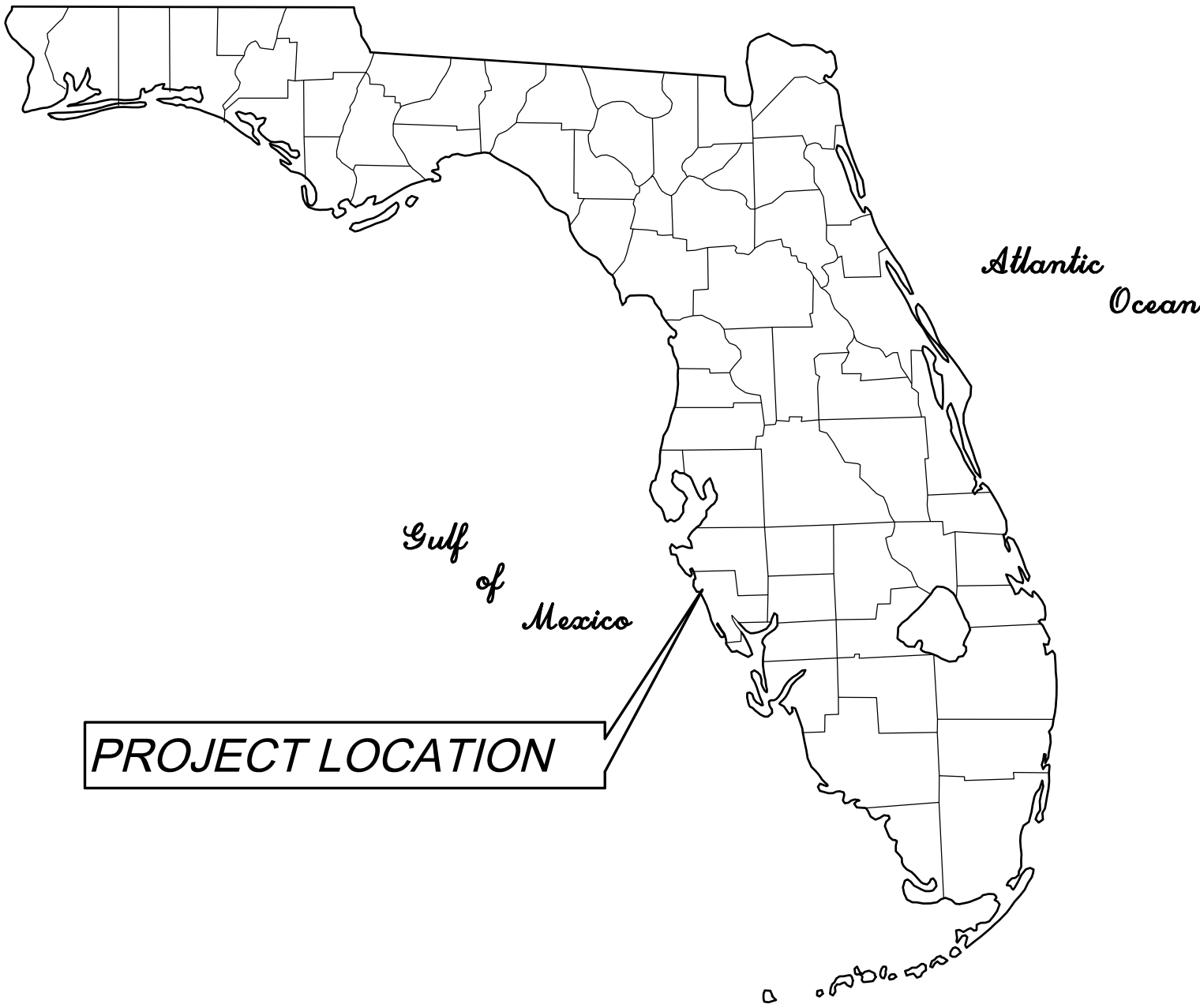
PARKING LOT EXPANSION

225 N. HARBOR DRIVE

VENICE, FLORIDA 34285

UTILITY CONTACTS:

			CONSTRUCTION	EMERGENCY
COMCAST CABLEVISION	GONZALO ROJAS STEVE HOFFMAN	steve_hoffman.comcast.com	941-342-3578 941-342-2135	941-377-4101
FP&L COMPANY	GREG COKER	greg_coker@fpl.com	941-723-4430	1-800-468-8243
SARASOTA COUNTY	STEVE BOTHAST JASON BROWN	sbothast@scgov.net jkbrown@scgov.net	941-650-8803 941-650-3728	941-861-0573 941-861-0873
TECO PEOPLES GAS	DAN SHANAHAN	djshanahan@tecoenergy.com	941-342-4006	1-877-832-6911
FRONTIER COMMUNICATION	DENISE HUTTON	denise.hutton@ftr.com	941-906-6722	1-800-483-1000



LOCATION MAP

LOCATED IN

SECTION 12, TOWNSHIP 39S, RANGE 18E

CITY OF VENICE, FLORIDA

PARCEL I.D. No. 0175160018

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 34, VENICE GULF VIEW SECTION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 77 AND 77-A, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

ZONED:

OPI - OFFICE, PROFESSIONAL INSTITUTION

CURRENT USE:

1000 - VACANT LOT, CHURCH OVER FLOW PARKING (SHELL)

SITE DATA:

PARCEL SIZE = 36,830 S.F. OR 0.85± ACRES

TOTAL BUILDING S.F. = 0.0 S.F.  
PROPOSED BUILDING S.F. = 0.0 S.F.  
EXISTING BUILD TO BE DEMOLISHED S.F. = 0.0 S.F.  
PERCENT INCREASE IN S.F. = 0.0%

SETBACKS:

PER CITY OF VENICE ORDINANCE:

FRONT (STREET): 20 FEET

SIDE: 10 FEET

REAR: 15 FEET

WATERFRONT: 20 FEET

ENGINEER'S QUANTITY ESTIMATE OF INFRASTRUCTURE IMPROVEMENTS :

LINEAR FEET OF RECLAIMED WATER MAIN	000
LINEAR FEET OF POTABLE WATER MAIN	000
LINEAR FEET OF GRAVITY SEWER MAIN	000
LINEAR FEET OF FORCE MAIN	000
NUMBER OF MANHOLES	000

INDEX OF DRAWINGS

No.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES AND ABBREVIATIONS
3	EXISTING CONDITIONS AND AERIAL PHOTO PLAN
4	DEMOLITION PLAN
5	SITE & HORIZONTAL CONTROL PLAN
6	PAVING, GRADING AND DRAINAGE PLAN
7	STORMWATER SCHEDULES AND PROJECT CROSS SECTION (1)
8	PROJECT CROSS SECTION (2)
9	SITE AND DRAINAGE DETAILS
10	CITY OF VENICE STANDARD DETAILS
11	BEST MANAGEMENT PRACTICES PLAN, NOTES AND DETAILS

NOTES:

- THE SITE IS CURRENTLY ZONED OPI, FUTURE LAND USE CODE OFFICE PROFESSIONAL INSTITUTION.
- THIS SITE IS DESIGNATED AS FLOOD ZONE X, FLOOD ELEVATION NOT DETERMINED, PER ON F.I.R.M., COMMUNITY NO. 125144, MAP NO. 12115C PANEL NO. 0327G, DATED 03/27/2024.
- THERE ARE NO KNOWN FOUNDATIONS OR MIDDEN AREAS OF HISTORIC ORIGIN, EXISTING EASEMENTS, PLATTED STREETS ON THIS SITE.
- COMMON OPEN SPACE SHALL BE MAINTAINED PROPERTY OWNER.
- SOLID WASTE DISPOSAL WILL BE BY THE CITY OF VENICE.
- ANY ENCROACHMENT ON THE 100 YEAR FLOOD PLAIN OF FLOOD WAY SHALL BE MITIGATED IN ACCORDANCE WITH FEMA AND THE CITY OF VENICE STANDARDS.

CITY OF VENICE REQUIRED NOTES:

- A CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK.
- ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW USE PERMIT.
- ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
- TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE CITY OF VENICE.
- POST-DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
- ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521.
- CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
- ALL UTILITIES, WETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
- CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

OWNER:

FRANK J. DEWANE

BISHOP OF DIOCESE OF VENICE

1000 PINEBROOK RD.

VENICE, FL 34285-6426

ENGINEER AND SURVEYOR:



I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS.

KREG E. MAHEU, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 45766; THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KREG E. MAHEU, P.E. ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ENGINEER OF RECORD  
KREG E. MAHEU, P.E.  
STATE OF FLORIDA NO. 45766

DATE

- IT IS THE CONTRACTOR'S RESPONSIBILITY, PRIOR TO BIDDING, TO INSPECT THE JOB SITE AND BECOME TOTALLY FAMILIAR WITH THE PLANS AND THEIR INTENT. SHOULD THERE BE ANY QUESTIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER THROUGH THE PURCHASING DIVISION FOR CLARIFICATION.
2. ELECTRICAL CONDUITS MAY BE PRESENT THROUGHOUT THE SITE. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR PERFORM LOCATES, SUCH AS GROUND PENETRATING RADAR OR SIMILAR IN ADDITION TO 811 FOR SAFETY.
3. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND REVIEW ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. SHOULD APPARENT DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEER'S CLARIFICATION BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
4. THE ENGINEER RESERVES THE RIGHT TO ADJUST THE LOCATION OF PROPOSED IMPROVEMENTS TO MEET FIELD CONDITIONS AS NECESSARY. FDOT APPROVAL IS REQUIRED FOR ANY PROPOSED CHANGES TO APPROVED PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT AND THE ENGINEER, AND OBTAIN DEPARTMENT APPROVAL PRIOR TO ACCOMMODATION ANY MODIFICATIONS OR REVISIONS.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL CONSTRUCT SILT SCREENS, INLET PROTECTION OR OTHER APPROVED DEVICES PRIOR TO CONSTRUCT TO PREVENT ADVERSE OFFSITE IMPACT OF STORM WATER QUALITY AND QUANTITY. REFER TO B.M.P. PLAN AND DETAILS.
7. THE CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONFLICT WITH OVERHEAD AND UNDERGROUND POWER LINES.
8. THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL (811) AND EXISTING UTILITY FACILITY COMPANIES A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE VERIFICATION OF, AND PROTECTION OF, EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL HAVE ANY DAMAGES (CAUSED BY CONSTRUCTION ACTIVITIES) TO EXISTING WATER, SEWER, GAS, POWER AND TELEPHONE MAINS AND SERVICES, IMMEDIATELY REPAIRED.
10. ALL RESTORATION WORK PERFORMED THROUGHOUT THE PROJECT SHALL CONFORM TO EXISTING LINES AND GRADES UNLESS OTHERWISE NOTED.
11. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING STORM DRAINS AND STRUCTURES WITHIN, OR DIRECTLY IMPACTED BY, THE PROJECT LIMITS.
12. ALL SURVEY MARKERS (BOTH VERTICAL AND HORIZONTAL) WITHIN THE GENERAL VICINITY, SHALL BE CONTINUOUSLY PROTECTED. ANY MARKERS DISTURBED OR DAMAGED SHALL BE REPLACED BY A PROFESSIONAL SURVEYOR AND MAPPER AND CERTIFIED TO THE GOVERNING MUNICIPALITY PRIOR TO FINAL ACCEPTANCE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED CONSTRUCTION PERMITS AND/OR RIGHT-OF-WAY USE PERMITS FROM SARASOTA COUNTY PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY WITHIN THE COUNTY RIGHT-OF-WAY.
14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY PROGRAMS/PROCEDURES AND THE IMPLEMENTATION AND COMPLIANCE THEREOF.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, AND MATERIALS NECESSARY TO PROVIDE COMPLETE AND OPERATIONAL SYSTEMS AS PROPOSED IN THESE PLANS.
16. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER, DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE PROJECTS BMP GUIDELINES, FDOT SPECIFICATION, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION CRITERIA. SAID CONTROL MEASURES SHALL BE INSPECTED, LOGGED, AND MAINTAINED DAILY.
17. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL REPLACE ALL EXISTING PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, SIGNS AND OTHER IMPROVEMENTS DISTURBED BY CONSTRUCTION TO EQUAL OR BETTER THAN PRE-CONSTRUCTION CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.
18. THE LOCATION OF EXISTING UTILITIES SHOWN WITHIN THESE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION PROVIDED BY THE ASSOCIATED UTILITY OWNERS AND INFORMATION OBTAINED BY SURVEY AND/OR RECORD DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
19. CONSTRUCTION MUST COMPLY WITH "THE FLORIDA ACCESSIBILITY CODE" AND THE "AMERICANS WITH DISABILITY ACT," WHERE APPLICABLE.
20. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FILL, CLEAN AND FREE OF ORGANIC MATERIAL, AND OTHER OBJECTIONABLE DEBRIS. FILL NOT MEETING THESE REQUIREMENTS WILL BE DIRECTED TO BE REMOVED AND REPLACED WITH PROPER FILL AT NO ADDITIONAL COST TO THE OWNER.
21. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE FABRICATION OF PROPOSED CIVIL SITE IMPROVEMENTS. SHOP DRAWINGS SHALL BE CLEARLY MARKED DENOTING THE SPECIFIC ITEM FOR REVIEW. WHERE A DEVIATION FROM THE DESIGN IS PROPOSED, THE SHOP DRAWING SHALL HAVE A SPECIFIC NOTE DETAILING THE DEVIATION AND REASON FOR SUCH.
22. TESTING IS REQUIRED FOR ALL PROPOSED IMPROVEMENTS IN ACCORDANCE WITH APPLICABLE AGENCY STANDARDS. CONTRACTOR SHALL PROVIDE ENGINEER A MINIMUM OF 48 HOUR NOTICE FOR WITNESSING REQUIRED TESTING.
23. ALL EXISTING WATER, SEWER, AND DRAINAGE STRUCTURES AND PIPES SHALL REMAIN UNLESS OTHERWISE NOTED.
24. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING WITH CONSTRUCTION. ANY OBSERVED SILTATION, DEBRIS, AND/OR EROSION SHALL BE CORRECTED AS SOON AS PRACTICAL. IN ORDER TO AVOID ADVERSE STORMWATER DISCHARGE (QUANTITY OR QUALITY). REFER TO THE BEST MANAGEMENT PRACTICES PLAN AND GUIDELINES.
25. ALL RESTORATION WORK PERFORMED THROUGHOUT THE PROJECT SHALL CONFORM TO EXISTING LINES AND GRADES UNLESS OTHERWISE NOTED.
26. ALL SURFACE WATER DISCHARGES FROM THE PROPERTY SHALL COMPLY WITH THE STATE WATER QUALITY STANDARDS CONTAINED IN DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES, CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE (FAC.) AND THE APPROVED SWFWMD PERMIT.
27. THE ONLY ACCEPTABLE METHOD FOR REMOVAL OF PAVEMENT MARKING ARE HYDRO BLASTING OR GRINDING. EXISTING MARKING SHALL NO LONGER BE VISIBLE UPON COMPETITION OF THE REMOVAL OPERATIONS AS DEEMED BY THE ASSIGNED SARASOTA COUNTY PROJECT INSPECTOR/ENGINEER.
28. ALL PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE TO FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION SECTION 711 THERMOPLASTIC PAVEMENT MARKING.

28. LINES, GRADES AND CONSTRUCTION SURVEYING – THE CONTRACTOR SHALL EMPLOY A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR SATISFACTORY TO THE CITY AND THE ENGINEER TO LAY OUT THE WORK FROM THE BENCH MARKS, GRADES, DIMENSIONS, POINTS, AND LINES NOTED ON THE WORKING DRAWINGS, ESTABLISHED AT THE SITE OR SUPPLIED BY THE ENGINEER. ALL WORK OF EVERY DESCRIPTION SHALL BE LAID OUT AND CHECKED BY THE CONTRACTOR WHO WILL BE HELD SOLELY RESPONSIBLE FOR ITS CORRECTNESS, AND ALL EXPENSES IN CONNECTION WITH THIS WORK SHALL BE PAID FOR BY THE CONTRACTOR. THE WORK MAY BE CHECKED BY THE ENGINEER, AND IN THE EVENT OF DISCREPANCY, THE ENGINEER'S DECISION SHALL BE FINAL.
29. NO SPECIAL COMPENSATION WILL BE MADE TO THE CONTRACTOR TO DEFRAY COSTS OF ANY WORK OR DELAYS OCCASIONED BY MAKING SURVEYS AND MEASUREMENTS, TESTS, OR INSPECTIONS, BUT SUCH COSTS SHALL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE PRICE STIPULATED FOR THE SEVERAL ITEMS OF WORK TO BE DONE UNDER CONTRACT.
30. ALL SURVEY MONUMENTS AND BENCH MARKS WHICH MAY BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY THE CONTRACTOR. ALL MONUMENTS AND BENCH MARKS DISTURBED OR DESTROYED BY THE CONTRACTOR OR ANY OF HIS FORCES THROUGH ACCIDENT OR NEGLIGENCE SHALL BE REPLACED BY A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
31. PROTECTION AND RESTORATION OF PROPERTY MARKERS AND SURVEY MONUMENTS – THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE PROPERTY MARKERS AND SHALL PROTECT CAREFULLY FROM DISTURBANCE OR DAMAGE ALL SURVEY MONUMENTS AND PROPERTY MARKERS UNTIL LOCATIONS ARE WITNESSED OR OTHERWISE REFERENCED BY HIS LICENSED FLORIDA PROFESSIONAL LAND SURVEYOR, SO THE SAID SURVEYOR CAN RESTORE THEM IN THEIR ORIGINAL LOCATION AFTER CONSTRUCTION.
32. RECORD DRAWINGS – DURING THE ENTIRE CONSTRUCTION OPERATION, THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL DEVIATIONS FROM THE PLANS AND SPECIFICATIONS AND SHALL MAINTAIN RECORD DRAWINGS SHOWING CORRECTLY AND ACCURATELY ALL CHANGES AND DEVIATIONS FROM THE WORK MADE DURING CONSTRUCTION TO REFLECT THE WORK AS IT WAS ACTUALLY CONSTRUCTED.
33. RECORD DATA SHALL BE SUBMITTED WITH EACH PAY APPLICATION, SAID PAY APPLICATION SHALL NOT BE ACCEPTED UNTIL AS-BUILTS ARE NOTED UP-TO-DATE BY THE PROJECT MANAGER. THE CONTRACTOR SHALL ALSO PROVIDE THE AS-BUILT INFORMATION ON THE ELECTRONIC CADD FILES PROVIDED BY THE ENGINEER. THE FINAL RECORD DRAWING SURVEY SHALL BE SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR AND MAPPER AND PROVIDED TO THE ENGINEER IN THE REQUIRED FORMAT, FOR EACH APPLICABLE AGENCY, FOR FINAL CERTIFICATIONS (6 COPIES).
34. BASIS FOR PAYMENT – THE WORK AND ALL INCIDENTAL COSTS SPECIFIED AS BEING COVERED UNDER THIS DIVISION WILL BE PAID FOR BY THE HOUR BY CONTRACT FOR CONSTRUCTION SURVEYING AND SURVEY MONUMENTATION. PAYMENT SHALL BE FULL COMPENSATION FOR ALL LABOR, MATERIALS AND RELATED COSTS TO COMPLETE THE WORK SPECIFIED IN THIS DIVISION.

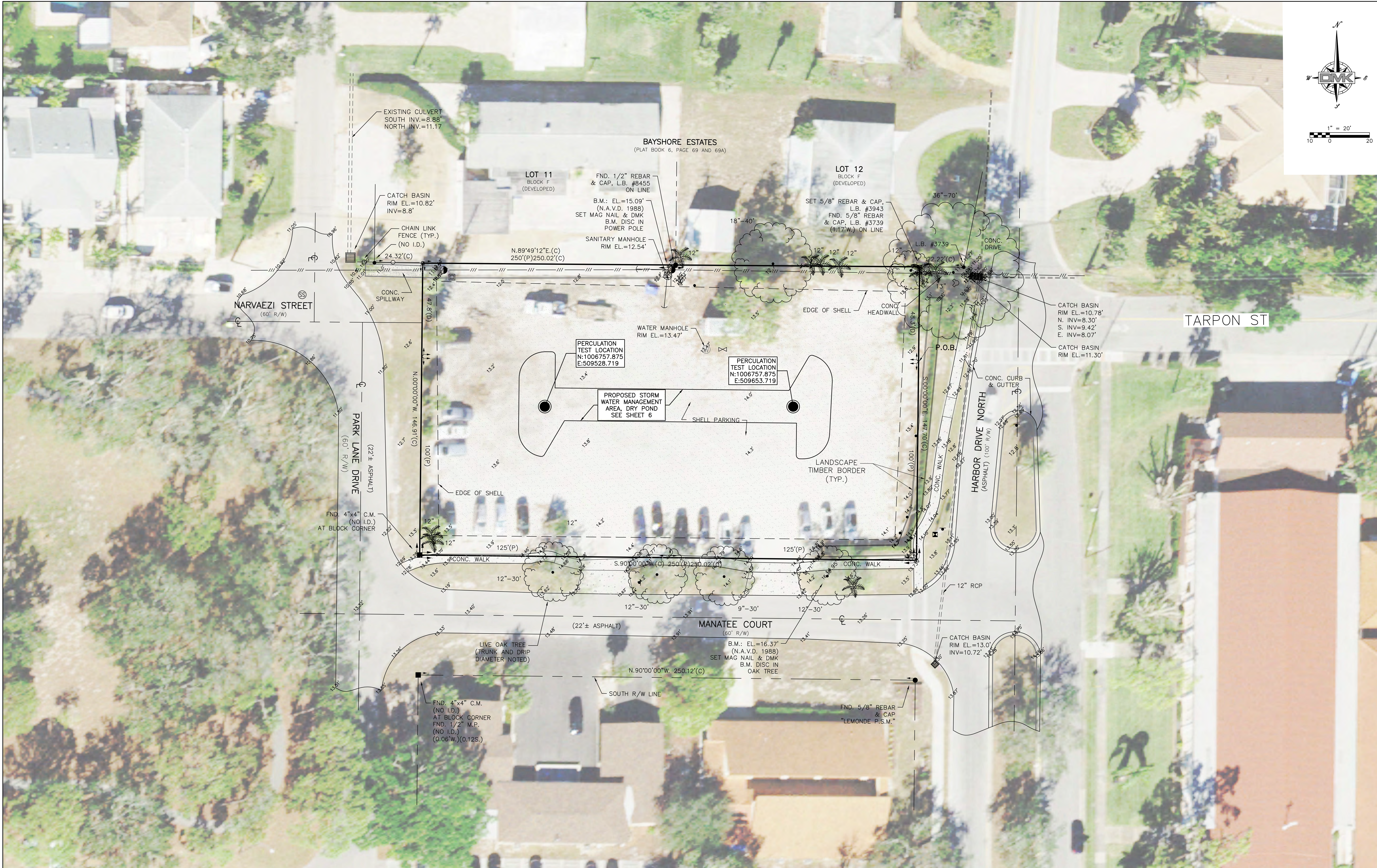
1. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 88).
2. ALL DISTANCES AND ELEVATIONS ARE EXPRESSED IN U.S. STANDARD FEET AND DECIMALS THEREOF.

Ⓐ	=	AT	MES	=	MITERED END SECTION
AIP	=	ABANDONED IN-PLACE	M. EX.	=	MATCH EXISTING
ASOP	=	AS SHOWN ON PLANS	MH	=	MANHOLE
ASTM	=	AMERICAN STD TESTING AND MATERIAL	MIN	=	MINIMUM
BFP	=	BACK FLOW PREVENTION DEVICE	MOT	=	MAINTENANCE OF TRAFFIC
BOSI	=	BACK OF SIDEWALK INLET	MURT=	=	MULTI USE RECREATIONAL TRAIL
BOT	=	BACK OF TRAIL (MURT)	N	=	NORTH
CA	=	CERTIFICATION	No	=	NUMBER
CL	=	CENTERLINE	NWL	=	NORMAL WATER LINE
CO	=	CLEANOUT	NTS	=	NOT TO SCALE
CONC	=	CONCRETE	O/C	=	ON CENTER
CoS	=	CITY OF SARASOTA	PGL	=	PROFILE GRADE LINE
CR	=	COUNTY ROAD	PREF	=	PREFERRED
CY	=	CUBIC YARD	PROJ	=	PROJECT
(C)	=	CALCULATED	PSI	=	POUNDS PER SQUARE INCH
DBI	=	DITCH BOTTOM INLET	PVM'T	=	PAVEMENT
DEPT	=	DEPARTMENT	R	=	RADIUS
DET	=	DETAIL	RCP	=	REINFORCED CONCRETE PIPE
DHWL	=	DESIGN HIGH WATER LINE	REQ'D	=	REQUIRED
DIA	=	DIAMETER	R/W	=	RIGHT OF WAY
DR	=	DESIGN RATIO	S	=	SOUTH
E	=	EAST	SCB	=	SIGNAL CONTROL BOX
EA	=	EACH	SDR	=	SIZE DESIGN RATIO
EOP	=	EDGE OF PAVEMENT	SF	=	SQUARE FEET/FOOT
ESM'T	=	EASEMENT	SHLDR	=	SHOULDER
EL	=	ELEVATION	SHWT=	=	SEASONAL HIGH WATER TABLE
FF	=	FINISHED FLOOR	SR	=	STATE ROUTE
FDC	=	FIRE DEPARTMENT CONNECTION	STD	=	STANDARD
FDOT	=	FLORIDA DEPARTMENT OF TRANS	SQ YD	=	SQUARE YARD
FLA	=	FLORIDA	S/W	=	SIDEWALK
FS	=	FIRE SERVICE	TEMP	=	TEMPORARY
FT	=	FOOT/FEET	TCB	=	TRAFFIC CONTROL BOX
FW	=	FIRE MAIN	TRANS	=	TRANSPORTATION
GA	=	GAUGE	TRNS	=	TRANSITION
GB	=	GRADE BREAK	TRVL	=	TRAVEL
HORIZ	=	HORIZONTAL	TYP	=	TYPICAL
HP	=	HIGH POINT	UNK	=	UNKNOWN
IN	=	INCHES	W	=	WEST
INSTAL	=	INSTALLATION	W/	=	WITH
INV	=	INVERT	WM	=	WATER MAIN
LB	=	LAND SURVEYING BUSINESS	WWF	=	WELDED WIRE FABRIC
LIC	=	LICENSE	VAR	=	VARIES
LF	=	LINEAR FOOT	VERT	=	VERTICAL
MAX	=	MAXIMUM			

A.	=	Arc	(P)	=	Plat Data
Alum.	=	Aluminum	P.C.	=	Point of Curvature
Bldg.	=	Building	P.C.C.	=	Point of Compound Curvature
B.M.	=	Bench Mark	P.C.P.	=	Permanent Control Point
(C)	=	Calculated data	P.I.	=	Point of Intersection
C.	=	Chord dimension	P.K.	=	PARKER-KALON
C.B.S.	=	Concrete Block and Stucco	P.O.B.	=	Point of Beginning
C.M	=	Concrete Monument	P.O.C.	=	Point of Commencement
Conc.	=	Concrete	P.O.L.	=	Point on Line
(A)	=	Deed data	P.O.T.	=	Point of Terminus
D.N.R.	=	Department of Natural Resources	P.R.C.	=	Point of Reverse Curvature
D.O.T.	=	Department of Transportation	P.R.M.	=	Permanent Reference Monument
Drain.	=	Drainage	P.T.	=	Point of Tangency
Dsc.	=	Description data	R.	=	Radius
El.	=	Elevation	R/W	=	Right-of-Way
Es'mt	=	Easement	S.F.	=	Square Feet
Fin. Fl.	=	Finished Floor	Sta.	=	Station
Fnd.	=	Found	T.B.M.	=	Temporary Bench Mark
INV.	=	Invert	Typ.	=	Typical
I.P.	=	Iron Pipe	(U)	=	Unrecorded data
I.R.	=	Iron Rod	U.S.G.S.	=	United States Geodetic Survey
L.B.	=	Land Surveying Business	Util.	=	Utility
(M)	=	Measured Data	WTWY=	=	Waterway
N.A.V.D.	=	North American Vertical Datum	$\Delta$	=	Delta
N.G.V.D.	=	National Geodetic Vertical Datum	$\frac{1}{2}$	=	Centerline
O.R.	=	Official Records	$\frac{1}{4}$	=	Property Line

	= Found 4"x4" Concrete Monument (number noted if any)		= Fire Hydrant		= Road Sign
	= Found No. 5 Rebar (I.D. noted if any)		= Sewer Cleanout		= Light Pole
	= Found P.K. Nail and Disc (I.D. noted if any)		= Water Service		= Street Light Box
	= Spot Elevation		= Well/Monitor/Irrigation		= Ground Light
	= Set 4"x4" Concrete Monument with Cap L.B. #3943		= Sanitary Sewer Manhole		= Backflow Preventer
	= Set No. 5 Rebar with Cap L.B. #3943		= Storm Manhole		= Overhead Utility Line
	= Set Mag. Nail and Disc L.B. #3943		= Miscellaneous Manhole		= Barb Wire or Wire Fence
	= Utility Box		= Electric Service		= Chain Link Fence
	= Utility Pole		= Electric Hand Hole/Manhole		= Wooden Fence
	= Guy Wire Anchor		= Telephone Riser/Hand Hole		= Buried Water Line
	= Water Meter		= Cable TV		= Buried Telephone Line
	= Water Valve				= Buried Sanitary Sewer
	= Sewer Valve				= Buried Electric Line

Drawing name: F:\Projects\2024\24-0080 Epiphany Church Parking Lot\dwg\24-0080\_Cover.dwg Tab: SHT 3 Date Printed: Thu, 25 Sep 2025 - 12:53pm



Δ No.	REVISION	DATE	BY

AJAX PAVING INDUSTRIES  
ONE AJAX DRIVE  
NORTH VENICE, FLORIDA 34275  
(941) 486-3600



**DMK ASSOCIATES**  
ENGINEERING, PLANNING & DESIGN  
405 Commercial Court, Suite E Venice, Florida 34292  
Phone: (941) 412-1293, email: info@dmkassoc.com  
Certificate of Authorization No. 3943

DATE 05/10/2024	CKD. BY	DATE
DRAWN RMS	DD	09/25/25
DESIGN DD	KEM	09/25/25
SCALE @ 24x36"	DMK NO. 24-0080	

EPIPHANY CATHEDRAL CATHOLIC CHURCH PARKING LOT EXPANSION  
225 N. HARBOR DRIVE VENICE, FLORIDA 34285  
EXISTING CONDITIONS AND AERIAL PHOTO PLAN

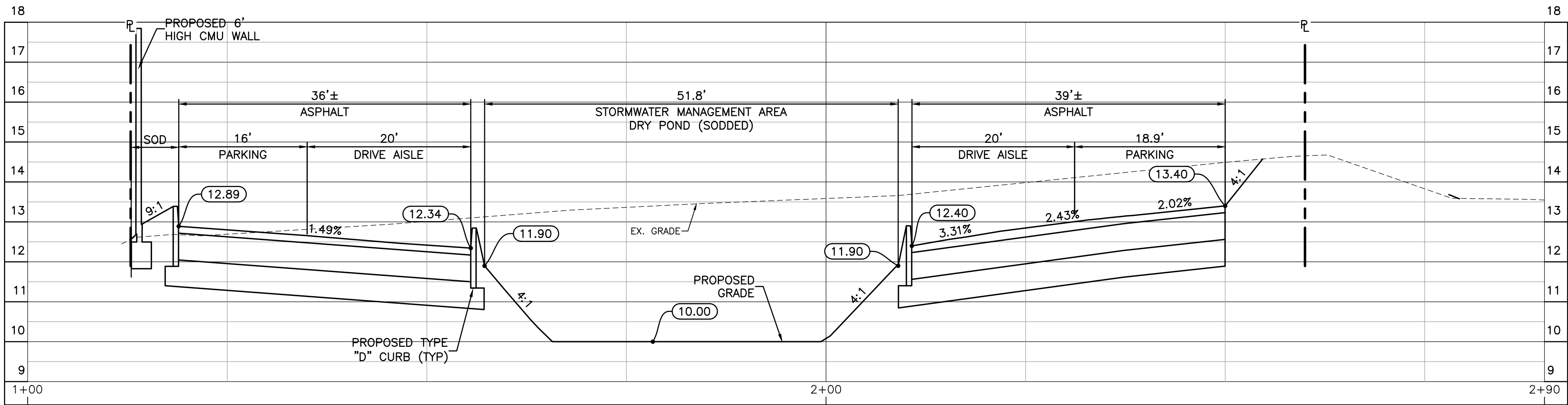
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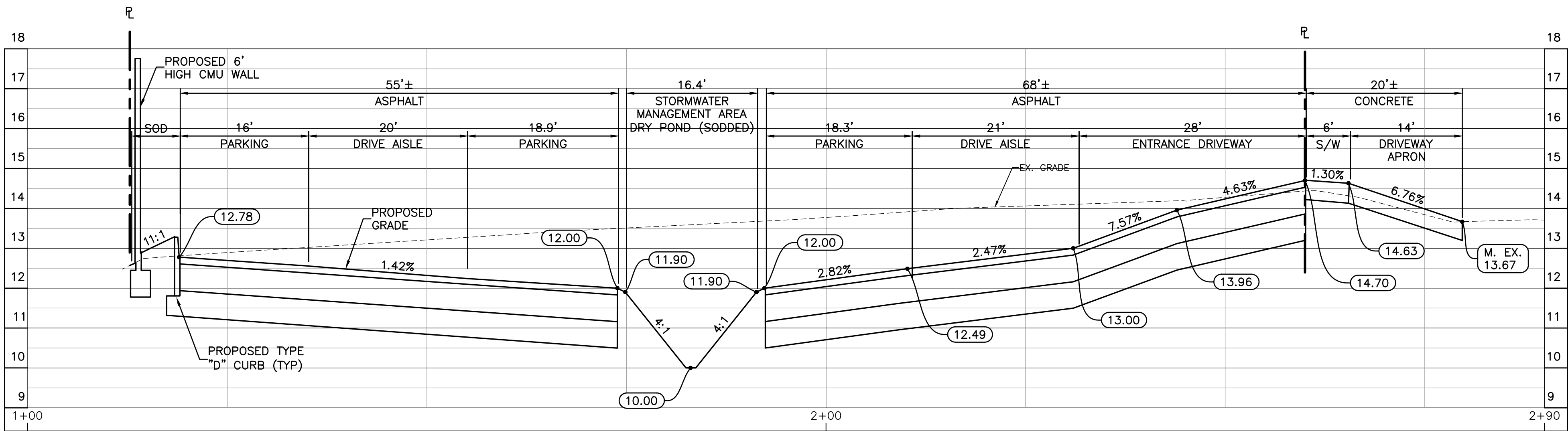




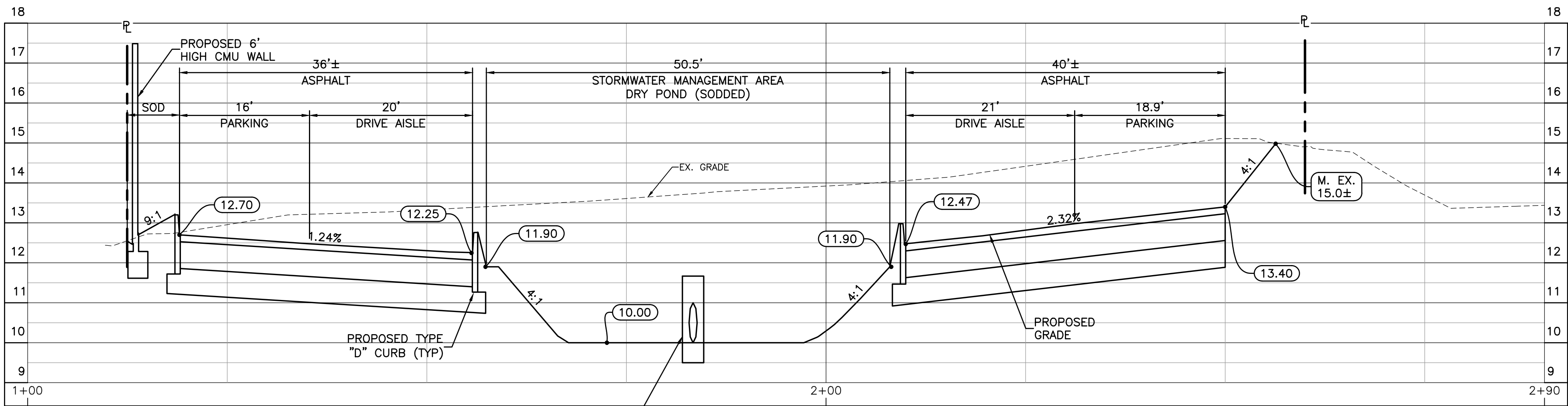
Drawing name: F:\Projects\2024\24-0080 Epiphany Church Parking Lot.dwg Tab: SHT 7 Date Printed: Thu, 25 Sep 2025 - 12:51pm



SECTION A-A  
SCALE: H:1"=10'; V:1"=2'



SECTION B-B  
SCALE: H:1"=10'; V:1"=2'



SECTION C-C  
SCALE: H:1"=10'; V:1"=2'

STRUCTURES SCHEDULE				
Structure No.	Description	Rim/Grate & Invert Elevations	Northing	Easting
CJ-1	PROP. CONCRETE JACKET FDOT INDEX 430-001	INV = 9.81	1006764.745	509740.591
CJ-2	PROP. CONCRETE JACKET FDOT INDEX 430-001	INV = 9.92	1006748.987	509738.854
OCS-1	TYPE "C" CATCH BASIN FDOT INDEX 425-052, PER DETAIL ON SHEET 9	Rim El: 11.67 (E) INV = 10.00	1006757.691	509668.250
S-2	ECCENTRIC TYPE "8" MANHOLE, FDOT INDEX 425-001 ROTATE LID TO AVOID CURB, LID SHALL BE MARKED "STORMWATER" PER CoV STD DETAIL ENG-9 ON SHEET 10 w/ INFLOW DISH & HOOK LOOP PER CoV STD DETAIL S-1 ON SHEET 10	Rim El: 12.60 (S) INV = 9.87 (W) INV = 9.85 (N) INV = 9.87	1006756.942	509739.594

PIPE SCHEDULE						
Pipe Name	Length *	Description	From Structure	Inv. EL.	To Structure	Inv. EL.
P-1	71	PROP. 12" RCP	OCS-1	10.00	S-2	9.85
P-2	8	PROP. 12" RCP	CJ-2	9.92	S-2	9.87
P-3	8	PROP. 12" RCP	S-2	9.87	CJ-1	9.81

Δ No.	REVISION	DATE	BY

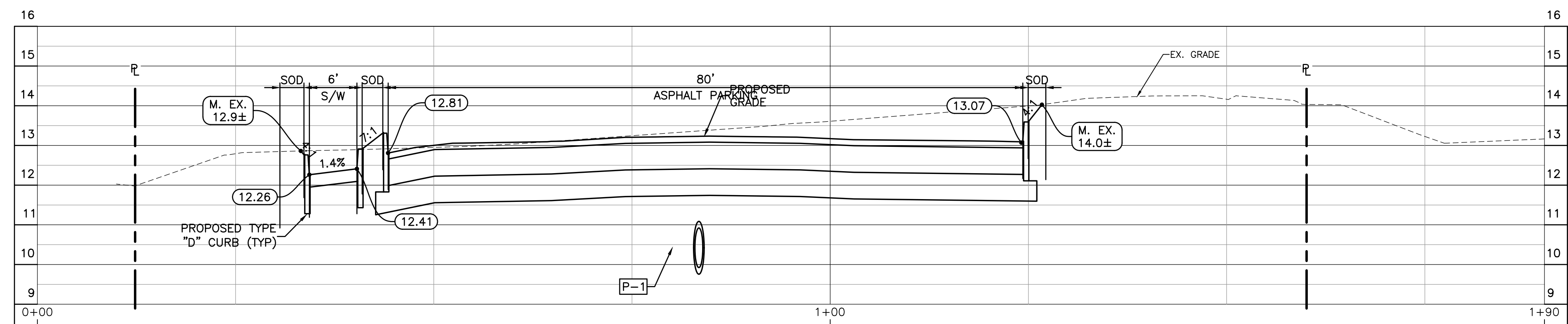
AJAX PAVING INDUSTRIES  
ONE AJAX DRIVE  
NORTH VENICE, FLORIDA 34275  
(941) 486-3600



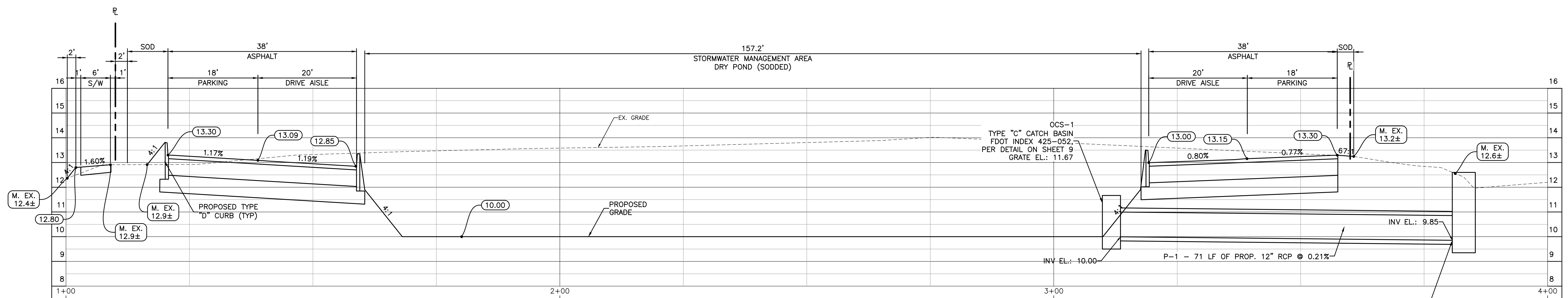
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Phone: (941) 412-1293, email: info@dmkassoc.com  
Certificate of Authorization No. 3943

DATE 05/10/2024	CKD. BY	DATE
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SCALE @ 24x36"	DMK NO. 24-0080	

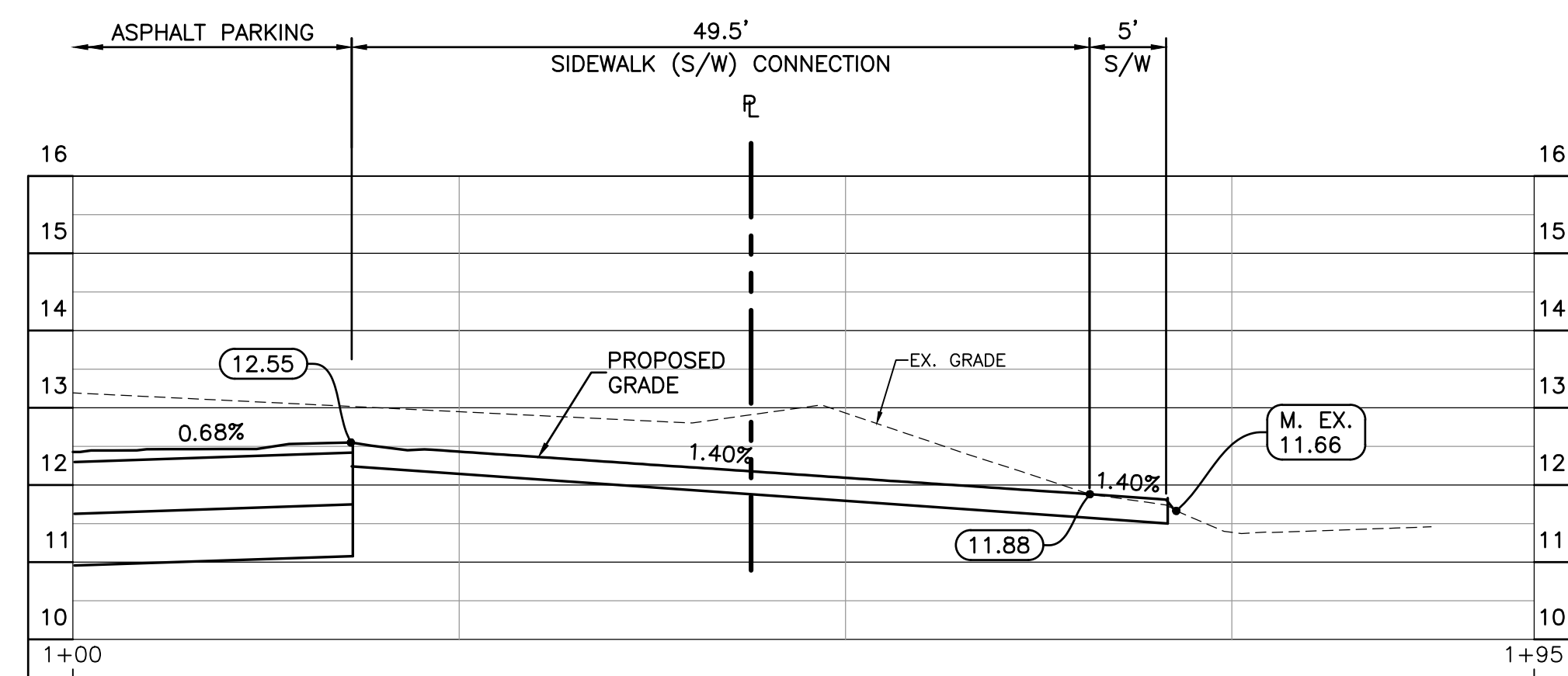
EPIPHANY CATHEDRAL CATHOLIC CHURCH PARKING LOT EXPANSION  
225 N. HARBOR DRIVE VENICE, FLORIDA 34285  
STORMWATER SCHEDULES AND PROJECT CROSS SECTION (1)



SECTION D-D  
SCALE: H:1"=10'; V:1"=2'



SECTION E-E  
SCALE: H:1"=10'; V:1"=2'



SECTION F-F SIDEWALK CONNECTION PROFILE  
SCALE: H:1"=10'; V:1"=2'

△ No.	REVISION	DATE	BY

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EPIPHANY CATHEDRAL CATHOLIC CHURCH PARKING LOT EXPANSION  
225 N. HARBOR DRIVE VENICE, FLORIDA 34285

PROJECT CROSS SECTION (2)

SHEET No.

3

24" R1-1 STOP SIGN DETAIL  
N.T.S.

DETECTABLE WARNING SURFACE SHALL  
BEGIN 2' FROM NEAREST EDGE OF CURB  
AND EXTEND TO FARTHEST EDGE TO FIT  
FIELD CONDITIONS.

ON RAMPS THAT ARE PERPENDICULAR WITH THE CURB LINE, THE DOME PATTERN SHALL BE IN-LINE WITH THE DIRECTION OF TRAVEL. ON RAMPS INTERSECTING CURBS ON A RADIUS, THE DOME PATTERN SHALL BE IN-LINE WITH THE DIRECTION OF TRAVEL TO THE EXTENT PRACTICAL.

BASE-TO-BASE SPACING SHALL  
BE 0.65" MINIMUM BETWEEN  
DOMES

TRUNCATED DOME  
THE TOP WIDTH OF THE DOME  
SHALL BE A MINIMUM OF 50% AND A  
MAXIMUM OF 65% OF THE BASE DIAMETER.  
TRUNCATED DOMES SHALL BE PAVERS OR  
STAMPED CONCRETE (PAVERS PREFERRED)  
PLASTIC AND RUBBER MATS SHALL NOT BE USED

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES FROM THE BACK-OF-CURB, OR EDGE OF PAVEMENT IF NO CURB EXISTS.

DETECTABLE	WARNING	DETAIL
NTS		

TYPE "D" CURB TRANSITION DETAIL  
N.T.S.

## GUTTER APPLICATION

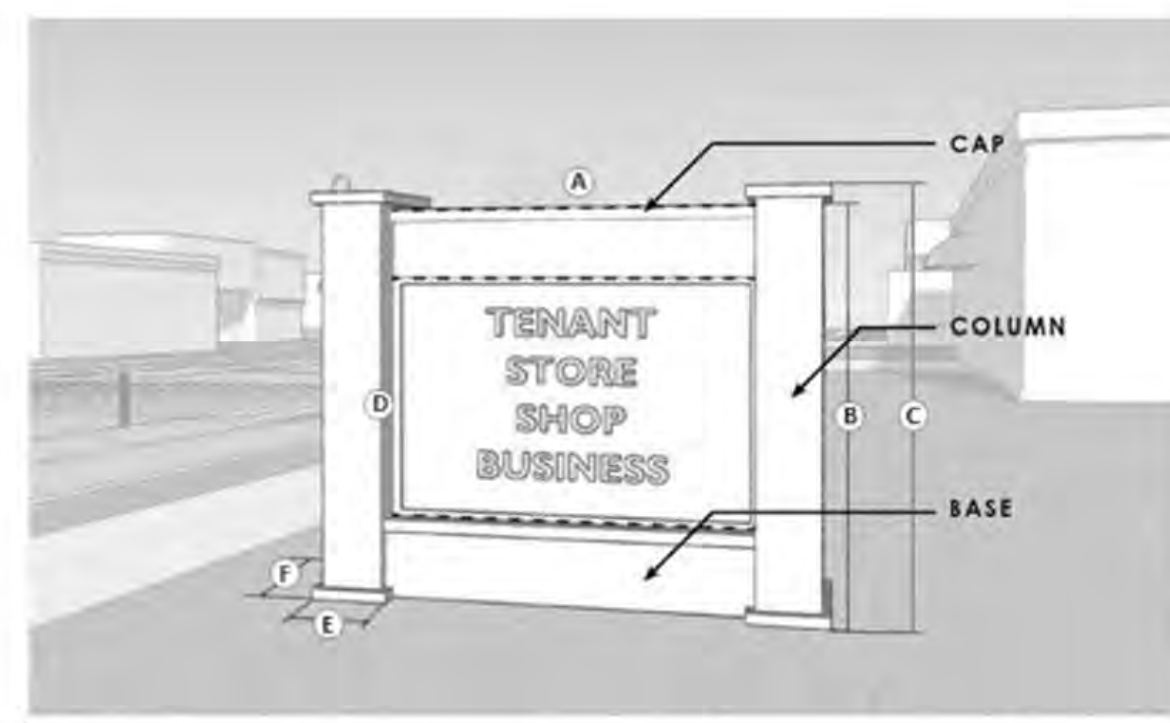
NOTES:

1. CONCRETE TO BE F.D.O.T. CLASS I OR EQUAL. (2,500 P.S.I. MINIMUM STRENGTH)
2. CONSTRUCTION TO BE IN ACCORDANCE WITH F.D.O.T. SPECIFICATION SECTION 520.
3. FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN, EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.

TYPE "D" CURB  
N.T.S.

CONCRETE TO BE 2,500 PSI STRENGTH MINIMUM.

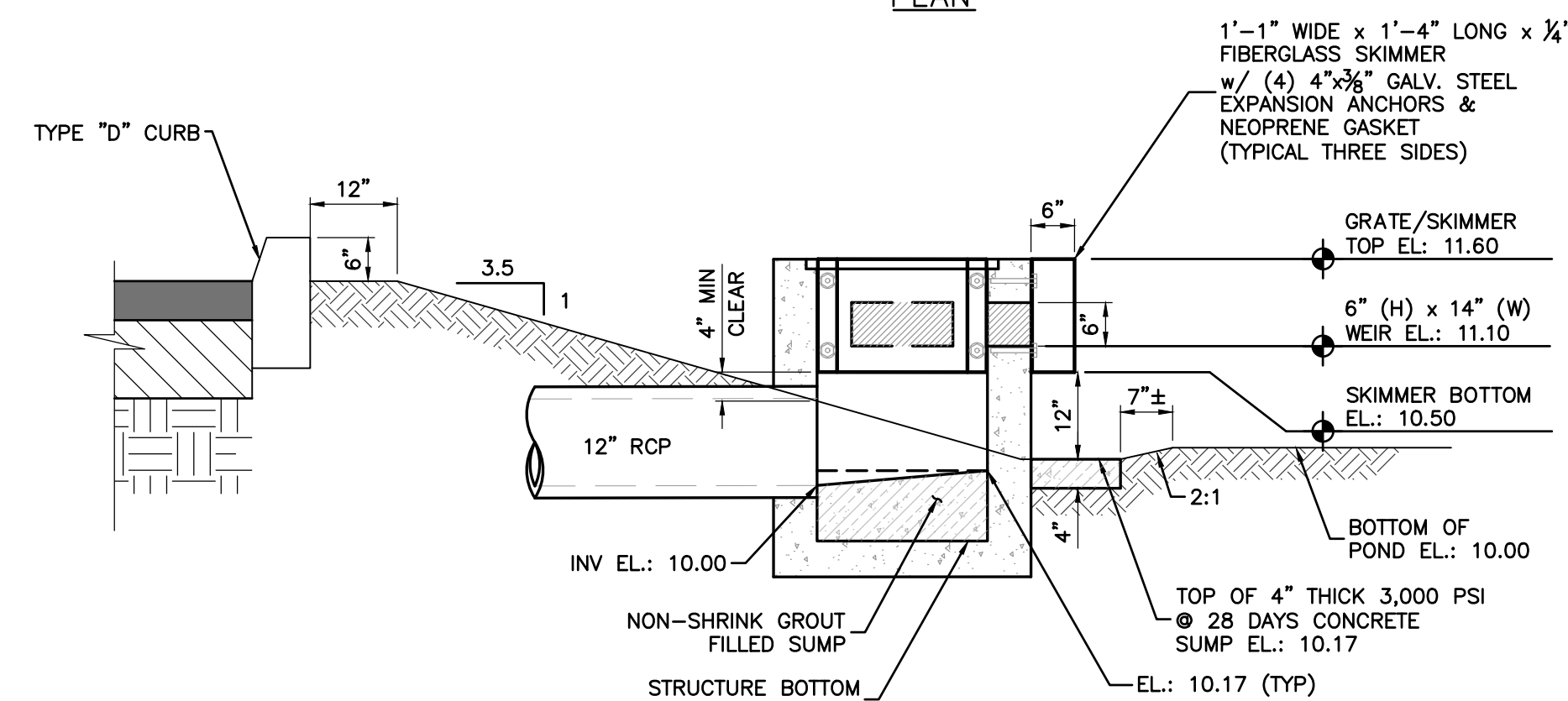
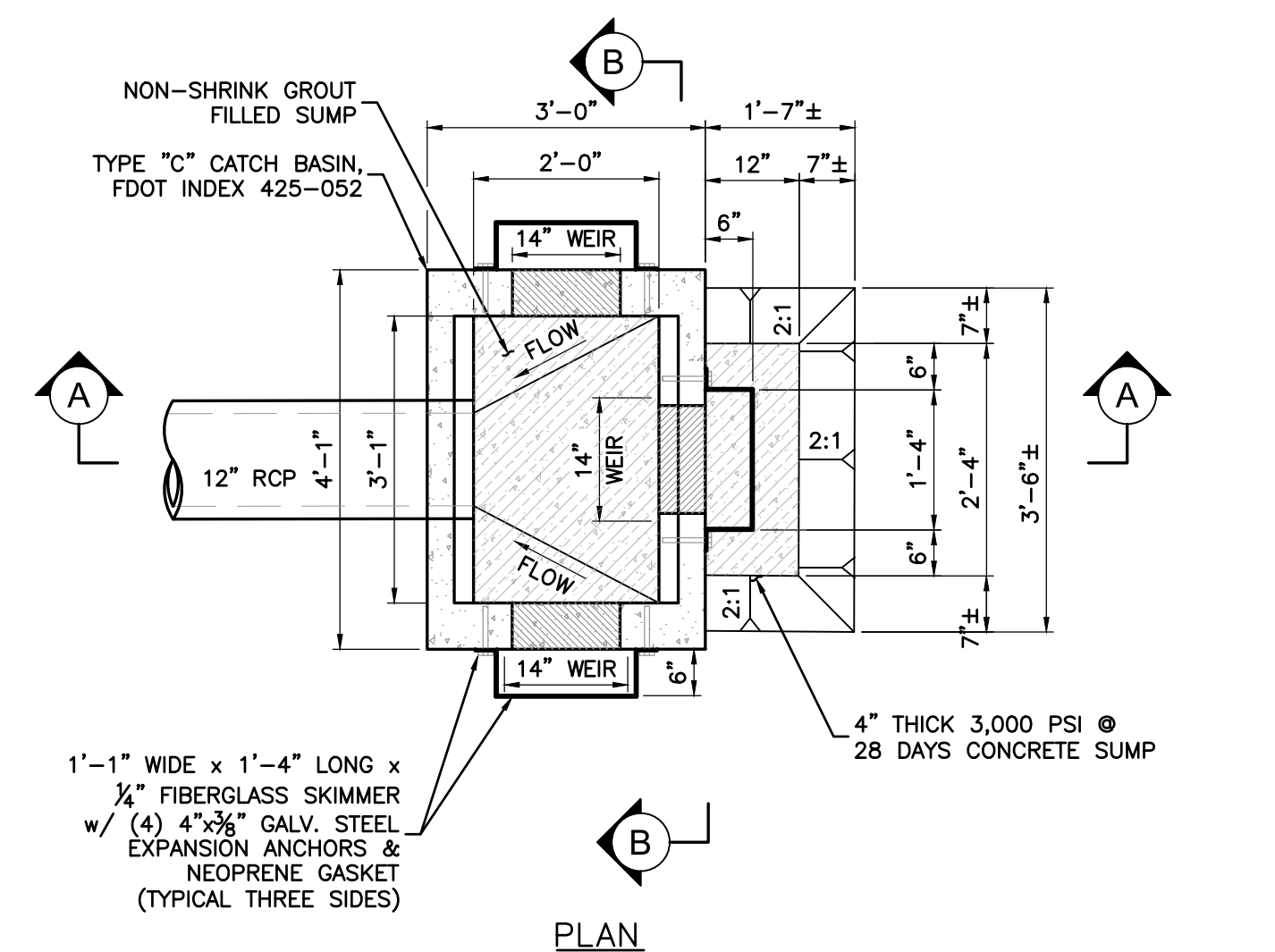
WHEEL STOP DETAIL  
N.T.S.



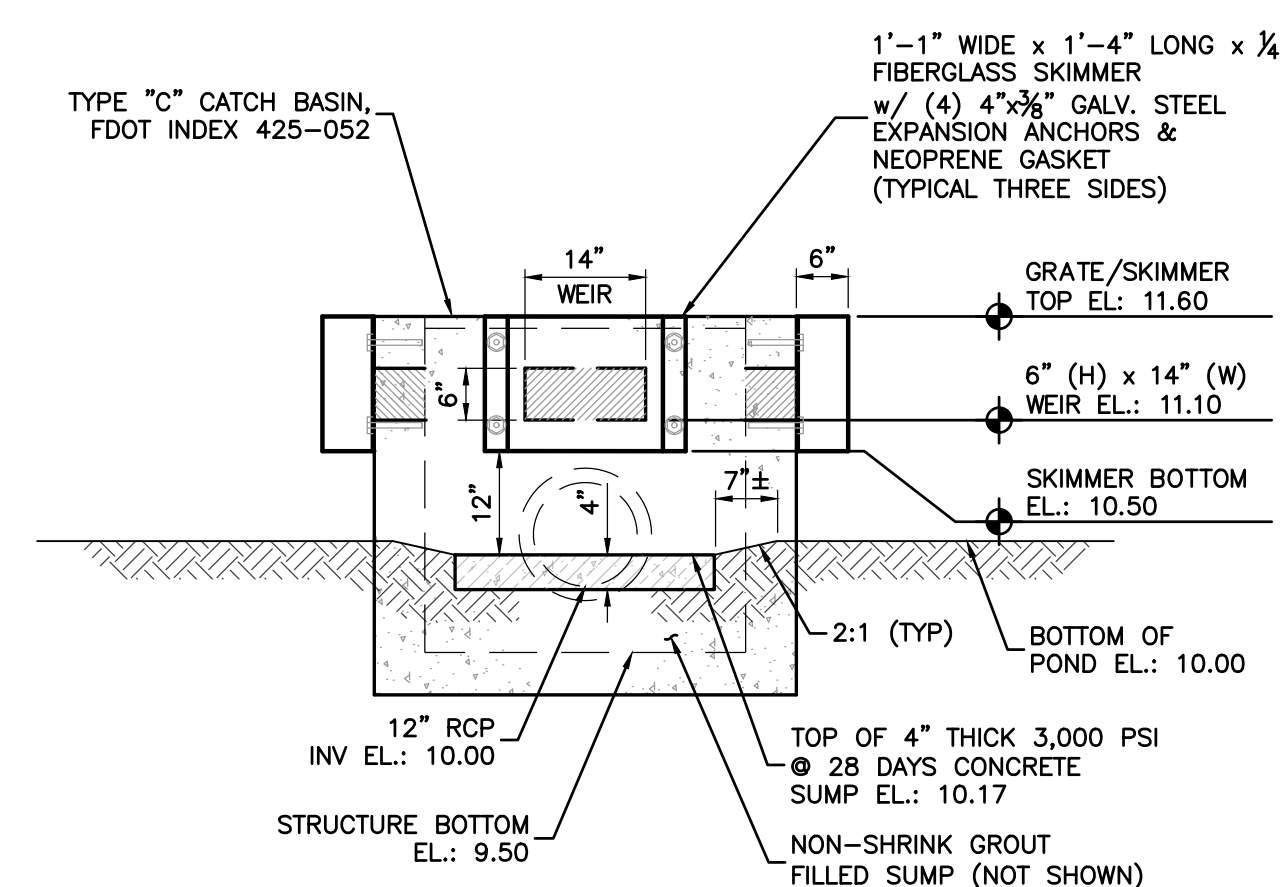
- |                        |  |
|------------------------|--|
| 1. Description         | <p>A freestanding ground sign with a supporting structure with two columns on the end of the sign. A monument sign is not attached, supported or suspended to or from any building or structure. All monument signs shall include three separate and distinct features: base, cap, and columns. Each of these features must be distinguishable by form, finish, or other means besides color. All ground signs shall be in the form of monument signs, except directory signs, and shall include the physical address on the sign.</p> |
| 2. Location and Number | 1 sign per frontage maximum.   |
| 3. Size                | <p>Sign Area and Height:</p> <p>A. Sign Width: Maximum 10'.</p> <p>B. Sign Height: Maximum 9' if adjacent to a roadway with a posted speed limit of 30 mph or less AND less than four lanes; otherwise, maximum 15', measured from ground to top of cap.</p> <p>C. Column Height: No greater than 1' above the sign cap.</p> <p>D. Sign Face Area: Maximum 75 square feet.</p> <p>E. Column Width: Maximum 16".</p> <p>F. Column Length: Maximum 18".</p>  |

CITY OF VENICE LDC  
MONUMENT SIGN SPECIFICATIONS  
NTS

LIGHT DUTY PARKING SECTION  
(PER CoV STD DETAIL ENG-3 ON SHEET 10)  
N.T.S.



SECTION A-A



ELEVATION VIEW B-B

NOTE:  
6" TALL BY 14" WIDE WEIR IS PROPOSED ON THREE SIDES OF  
STRUCTURE AT ELEVATION 11.10' NAVD88

OCS-1  
CONTROL STRUCTURE TYPE "C" DBI  
NTS

△ No.	REVISION	DATE	BY

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ONE AJAX DRIVE  
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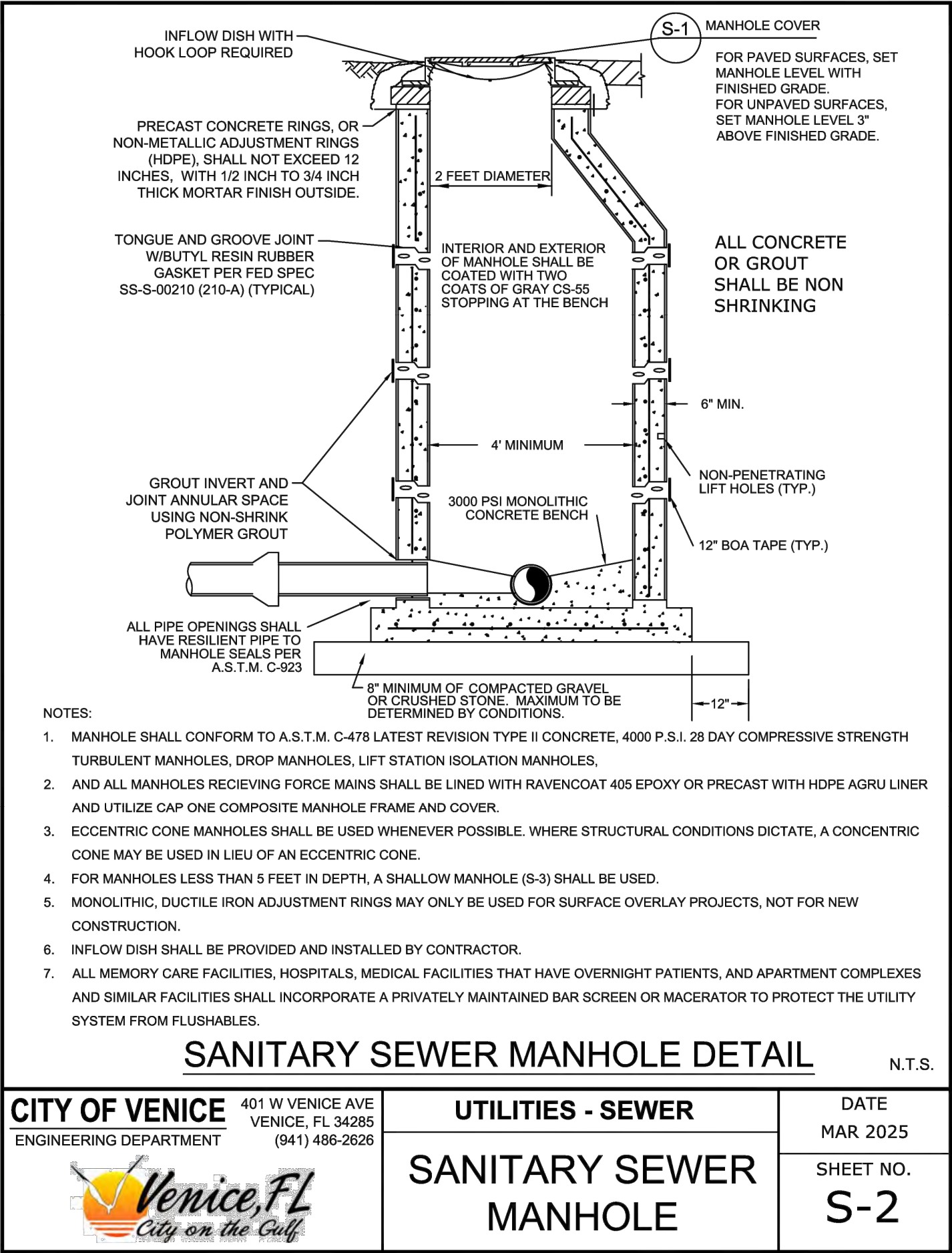
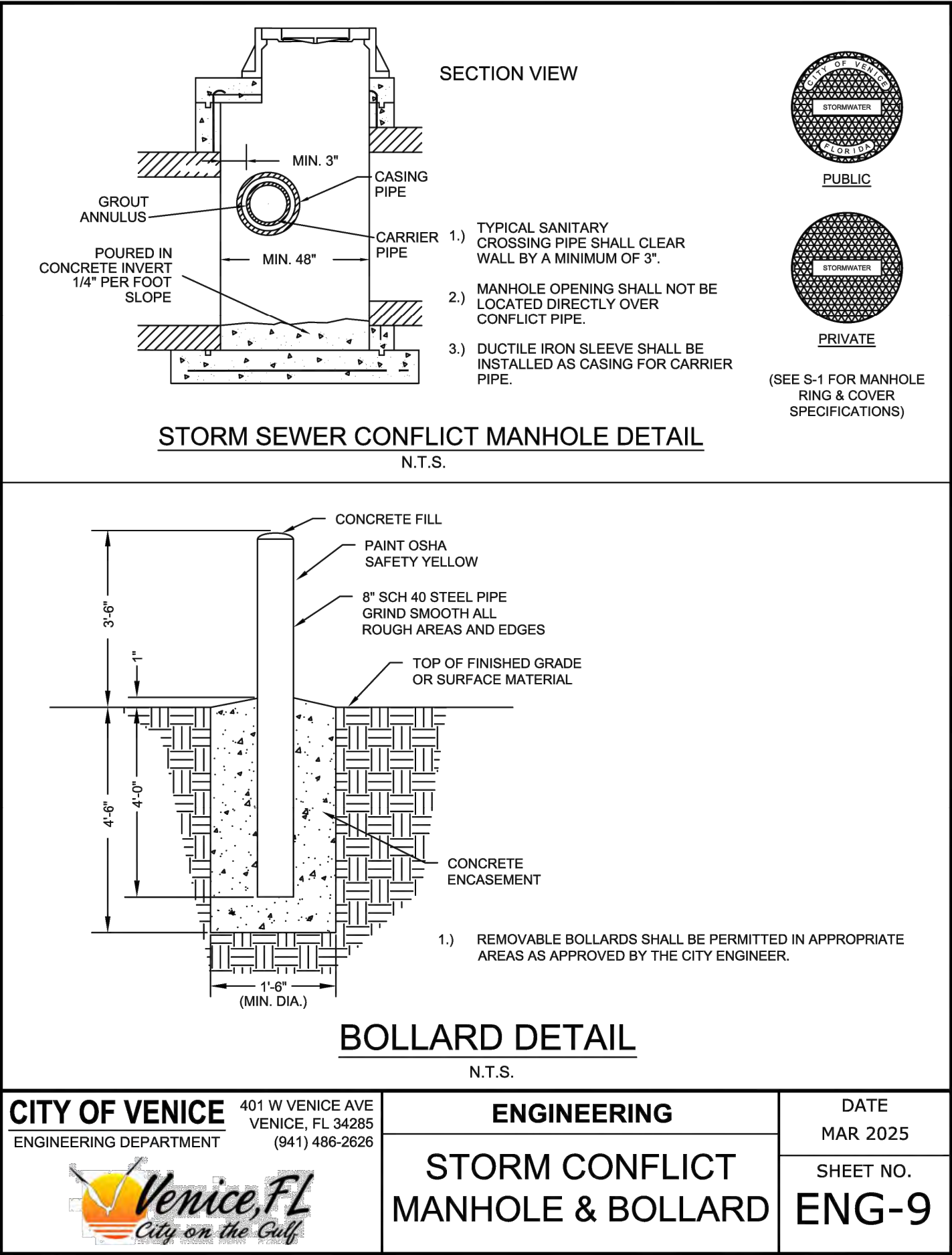
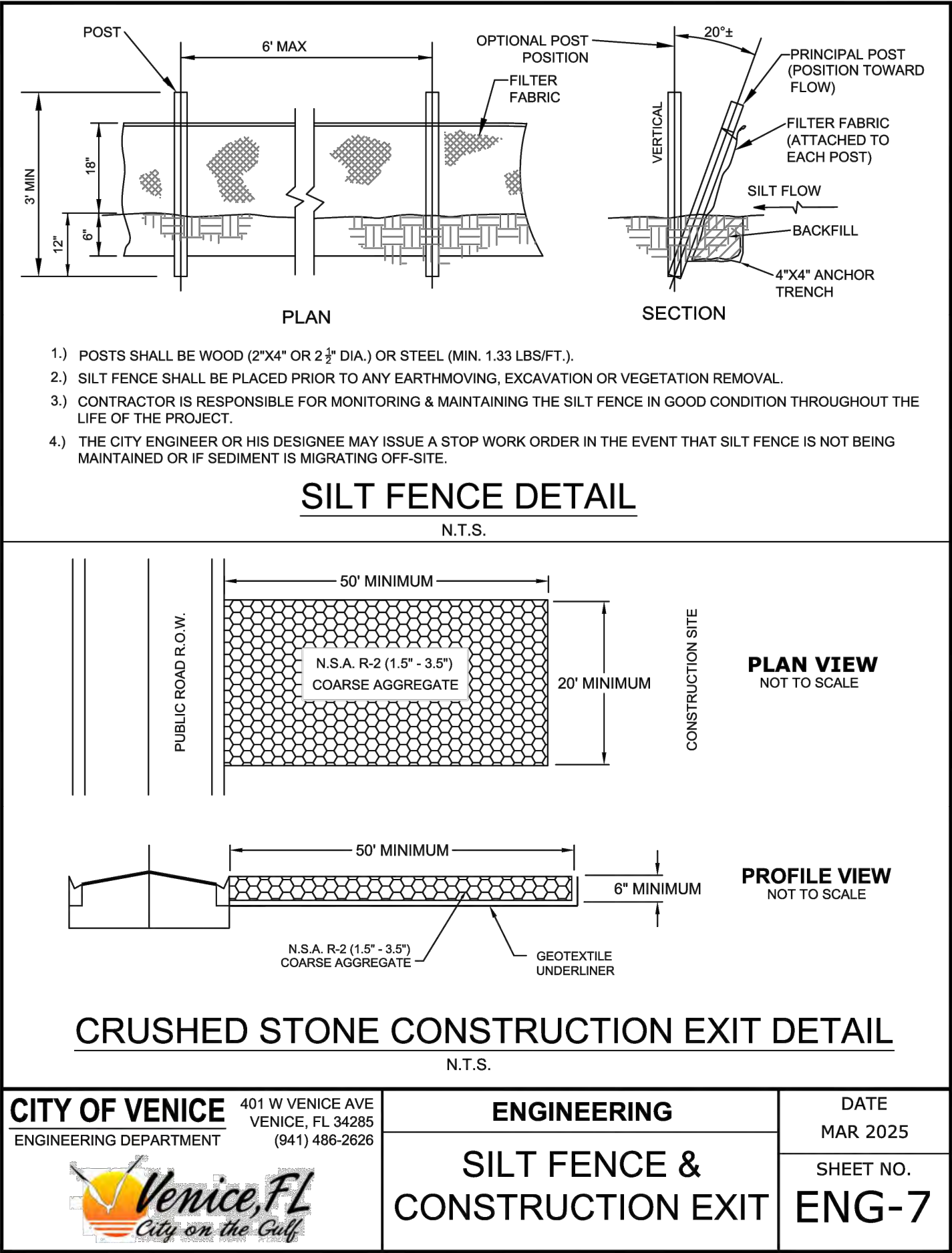
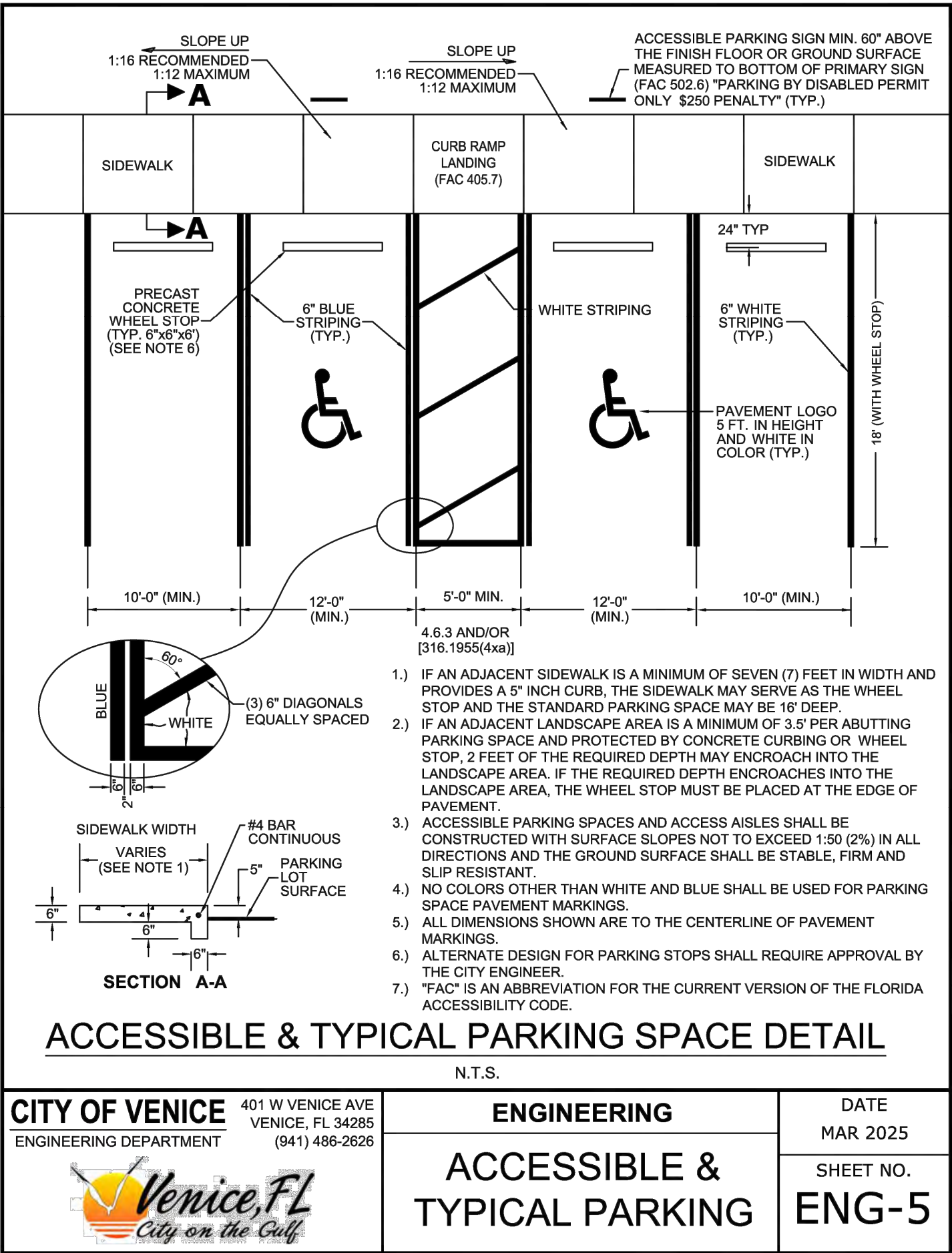
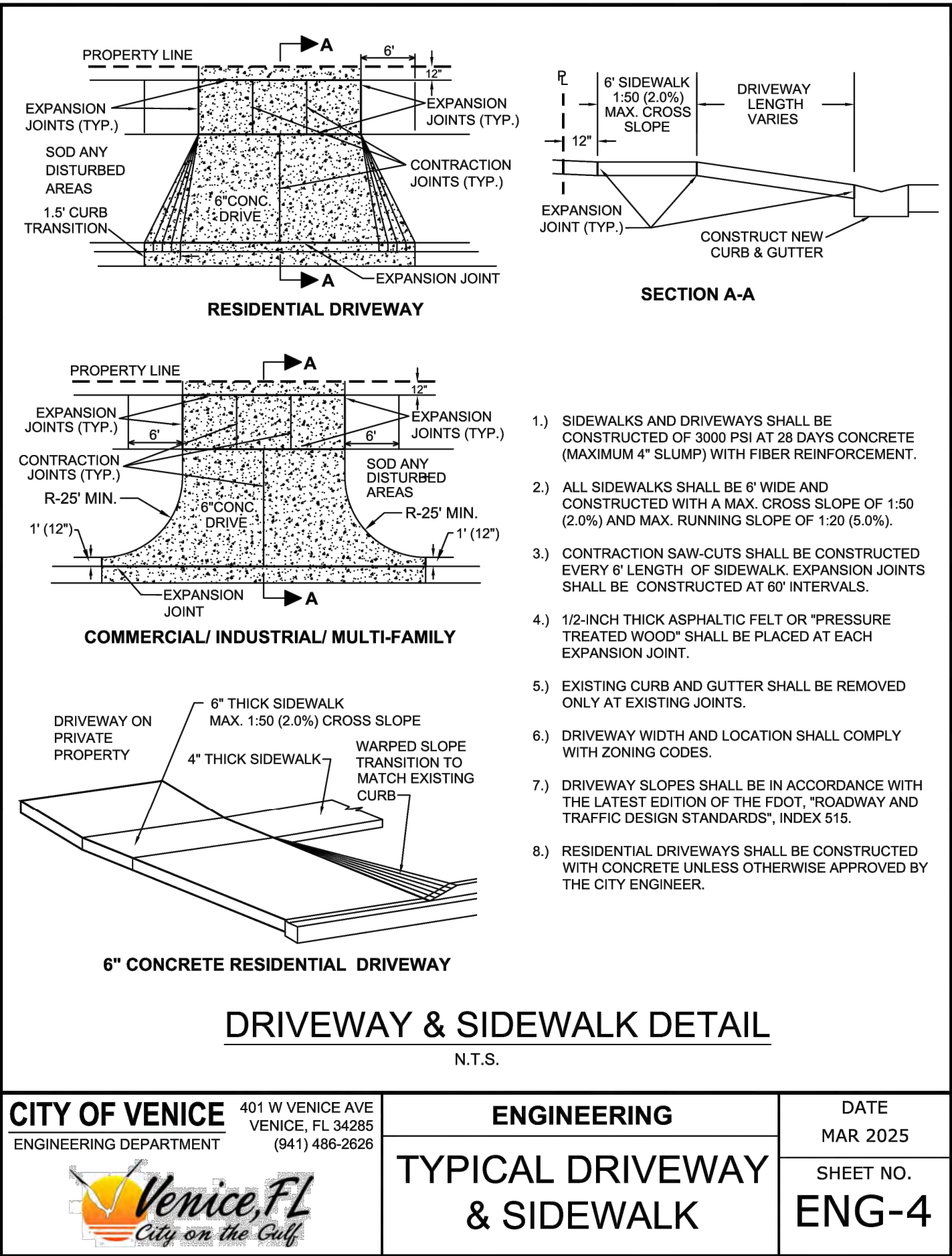
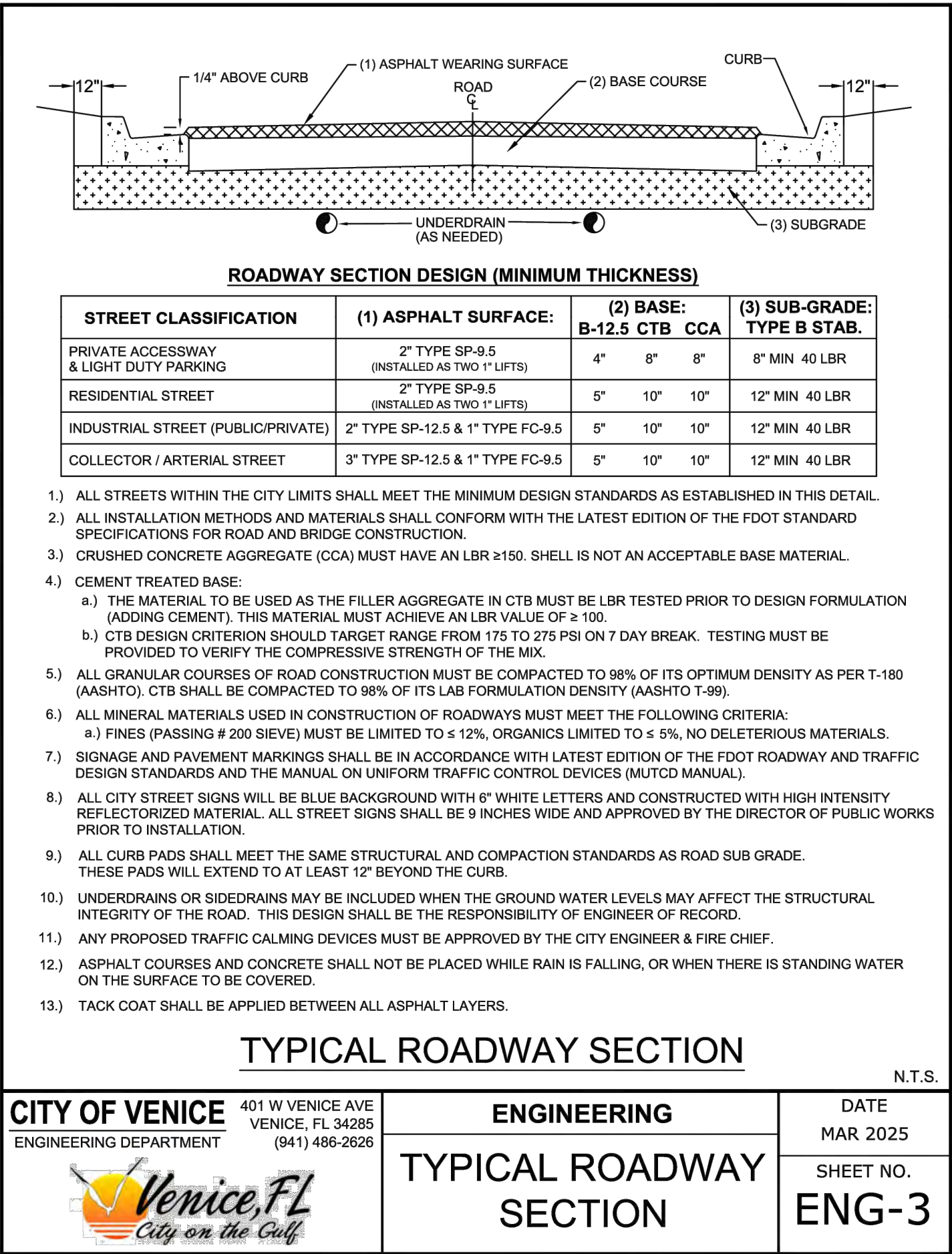
EPIPHANY CATHEDRAL CATHOLIC CHURCH PARKING LOT EXPANSION  
225 N. HARBOR DRIVE VENICE, FLORIDA 34285

## SITE AND DRAINAGE DETAILS

SHEET No.
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C

Drawing name: F:\Projects\2024\24-0080 Epiphany Church Parking Lot.dwg Tab: SHT 10 Date Printed: Thu, 25 Sep 2025 - 12:51pm



AJAX PAVING INDUSTRIES  
ONE AJAX DRIVE  
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EPIPHANY CATHEDRAL CATHOLIC CHURCH PARKING LOT EXPANSION  
225 N. HARBOR DRIVE VENICE, FLORIDA 34285  
CITY OF VENICE STANDARD DETAILS

Drawing name: F:\Projects\2024\24-0080\_Epiphany Church Parking Lot\24-0080\_2Site.dwg Tab: SMT 10 Date Printed: Thu, 25 Sep 2025 - 12:51pm

EROSION CONTROL NOTES  
(IF APPLICABLE)

1. GENERAL

THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, TOOLS, MATERIALS AND SERVICES NEEDED TO INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES. THESE MEASURES SHALL CONFORM TO THE PLANS AND SPECIFICATIONS AND ALL APPLICABLE STATE AND LOCAL REQUIREMENTS.

2. WETLAND PROTECTION

IN AREAS OF CONSTRUCTION ADJACENT TO WETLANDS, THE FOLLOWING SHALL BE PERFORMED:

- a. THE ACTUAL WETLAND AND REQUIRED BUFFERS, AS SHOWN ON THE PLANS, MUST BE ESTABLISHED AND ROPED OFF PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY ADJACENT TO SAID AREAS.
- b. PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL ADJACENT TO WETLANDS OR BUFFER AREAS, A SILTATION BARRIER SHALL BE CONSTRUCTED.
- c. NO RIM DITCHING OF THE WETLANDS SHALL BE PERFORMED. WATER LEVELS IN THE WETLANDS SHALL BE MAINTAINED ACCORDING TO LEVELS EXISTING PRIOR TO SITE DISTURBANCE.
- d. IN AREAS OF WETLANDS IN WHICH WORK IS TO BE PERFORMED, SUCH AREAS MUST BE CLEARLY STAKED AND ROPED OFF. ALONG SUCH LIMITS, A SILTATION BARRIER MUST BE CONSTRUCTED.
- e. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF BARRIERS. BARRIERS SHALL REMAIN IN PLACE UNTIL ALL AREAS ARE STABILIZED.
- f. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON DISTURBANCE OF WETLAND AREAS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ALL PROTECTED AREAS.
- g. AREAS WHERE IMPACTS WILL BE PERFORMED SHALL BE STRIPPED OF EXISTING MATERIAL AND STOCKPILED FOR USE IN THE RE-CREATION OF THE DISTURBED AREAS OR IN LITTORAL ZONES.

3. EARTH MOVING ACTIVITIES

- a. THE CONTRACTOR SHALL EXERCISE CARE TO PRESERVE THE NATURAL LANDSCAPE AND SHALL PLAN CONSTRUCTION OPERATIONS SO AS TO PREVENT ANY UNNECESSARY DESTRUCTION, SCARRING, OR DEFACTING OF THE NATURAL SURROUNDINGS. EXCEPT WHERE CLEARING IS REQUIRED FOR PERMANENT WORK, FOR APPROVED CONSTRUCTION ROADS, OR FOR EXCAVATION OPERATIONS, ALL TREES, NATIVE SHRUBBERY AND VEGETATION SHALL BE PRESERVED AND SHALL BE PROTECTED FROM DAMAGE WHICH MAY BE CAUSED BY THE CONTRACTOR'S CONSTRUCTION OPERATIONS AND EQUIPMENT.
- b. THE FIRST STAGE OF THE EARTH MOVING ACTIVITY SHALL BE CONFINED TO THE EXCAVATION OF THE STORMWATER FACILITY.
- c. TOPSOIL SHOULD BE TAKEN FROM THE CONSTRUCTION AREAS AND SHOULD BE STOCKPILED FOR REUSE IN FINISHED GRADING. STOCKPILES SHOULD BE PLACED SO AS NOT TO ADD ANY ADDITIONAL SEDIMENT TO THE CONSTRUCTION. THE STOCKPILES SHOULD BE MULCHED AND/OR SEEDED WHEN EXPOSED BEYOND THIRTY (30) DAYS.
- d. GRADED AREAS ARE TO BE SEEDED AND/OR SODDED WITHIN THIRTY (30) DAYS FOLLOWING EARTH MOVING PROCEDURES. IF THE TIME OF YEAR IS NOT CONDUCE FOR PERMANENT SEEDING, A TEMPORARY MULCH AND/OR SEEDING SHOULD BE USED.
- e. TEMPORARY DIVERSION BERMS AND/OR BARRIERS SHALL BE REMOVED ONLY AFTER THE CONSTRUCTION OF THOSE AREAS DIRECTED TO THE BERMS AND/OR BARRIERS HAVE BEEN COMPLETED.
- f. THE SILT COLLECTION PONDS SHOULD BE REMOVED AND/OR REGRADED FOR PERMANENT USE, AS THE FINAL GRADING AND SEEDING OVERLAP THE AREA USED BY SAME.

4. FILLS

- a. LAND TO BE CUT OR FILLED SHOULD BE CLEARED OF TREES, STUMPS, ROOTS, BRUSH, BOULDERS, SOD AND DEBRIS.
- b. FILL AREAS SHOULD BE SCARIFIED, KEYED AND DRAINED.
- c. FILL MATERIAL SHOULD BE FREE OF SOD, ROOTS, OR OTHER DECOMPOSABLE MATERIAL.
- d. THE PLACING AND SPREADING OF FILL MATERIAL SHOULD BE STARTED AT THE LOWEST POINT.
- e. GENERALLY, A 1:6 SLOPE SHOULD BE USED UNLESS SPECIFIC ENGINEERING DATA SHOWS A STEEPER SLOPE IS STABLE. SLOPES OF 1:4 OR FLATTER ARE DESIRABLE FOR EROSION CONTROL AND MAINTENANCE.
- f. FILLS SHOULD BE SEEDED AND/OR MULCHED IMMEDIATELY UPON COMPLETION OF EARTH PLACEMENT.
- g. WATER MANAGEMENT SYSTEMS SHOULD BE PROVIDED TO PREVENT WATER CONCENTRATION AND ERODING THE FACE OF THE SLOPE. KEEP SURFACE WATER OFF THE FACE OF THE SLOPE.

5. CUTS

- a. DIVERSIONS SHOULD BE CONSTRUCTED AT TOP OF THE SLOPES PRIOR TO CUTTING OPERATIONS TO CONVEY WATER FROM FACE OF SLOPE.
- b. STEEPNESS OF CUTS WILL DEPEND ON SOIL TYPE AND DESIGN; HOWEVER, CUT SLOPES OF 1:4 OR FLATTER ARE DESIRABLE FOR EROSION CONTROL AND STABILITY.
- c. CUT SLOPES SHOULD BE BENCHED TO PROVIDE ACCESS FOR SEEDING AND MULCHING EQUIPMENT.
- d. CUT SLOPES SHOULD BE SEEDED AND/OR MULCHED IMMEDIATELY AFTER REMOVAL OF EARTH.

6. TEMPORARY SEDIMENT BASIN AND PERMANENT STORMWATER BASINS

- a. SITE PREPARATION  
AREAS UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS. IN ORDER TO FACILITATE CLEAN-OUT AND RESTORATION, THE POOL AREA (MEASURED AT THE TOP OF THE SPILLWAY) WILL BE CLEARED OF ALL BRUSH AND TREES.
- b. CUT-OFF TRENCH  
A CUT-OFF TRENCH, WHEN POND DEPTHS ARE IN EXCESS OF THREE FEET, SHALL BE EXCAVATED ALONG THE CENTERLINE OF EARTH FILL EMBANKMENTS. THE MINIMUM DEPTH SHALL BE TWO FEET. THE CUT-OFF TRENCH SHALL EXTEND UP BOTH ABUTMENTS TO THE RISER CREST ELEVATION. THE MINIMUM BOTTOM DEPTH SHALL BE FOUR FEET, BUT WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTION EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS SHALL BE THE SAME AS THOSE FOR THE EMBANKMENT. THE TRENCH SHALL BE DEWATERED DURING THE BACKFILLING-COMPACTION OPERATIONS.
- c. EMBANKMENT  
THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN SOIL FREE OF ROOTS, WOODY VEGETATIONS, OVER-SIZED STONES, ROCKS OR OTHER OBJECTIONABLE MATERIAL. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. FILL MATERIAL SHALL BE PLACED IN SIX TO EIGHT INCHES THICK CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION SHALL BE OBTAINED BY ROUTING HAULING EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OF TREAD TRUCK OF THE EQUIPMENT OR BY THE USE OF A COMPACTOR. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 10% HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT IF COMPACTION IS OBTAINED WITH HAULING EQUIPMENT. IF COMPACTORS ARE USED FOR COMPACTION, THE OVERBUILD MAY BE REDUCED TO NOT LESS THAN 5%.
- d. PIPE SPILLWAYS  
THE RISER SHALL BE SECURELY ATTACHED TO THE BARREL OF THE OUTFALL PIPE. THE BARREL AND RISER SHALL BE PLACED ON A FIRM, SMOOTH SOIL FOUNDATION. THE CONNECTION BETWEEN THE RISER AND RISER BASE SHALL BE WATERTIGHT. THE FILL MATERIAL AROUND THE PIPE SPILLWAY SHALL BE PLACED IN FOUR INCH LAYERS AND COMPACTED UNDER THE SHOULDERS AND AROUND THE PIPE TO AT LEAST THE SAME DENSITY AS THE ADJACENT EMBANKMENT. HAND COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
- e. EROSION POLLUTION CONTROL  
CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

7. MAINTENANCE

- a. REPAIR ALL DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION EQUIPMENT AT OR BEFORE THE END OF EACH WORK DAY.
- b. SEDIMENT SHALL BE REMOVED FROM SUMP AREAS. THE SEDIMENT SHALL BE PLACED IN SUCH A MANNER THAT IT WILL NOT ERODE FROM THE SITE. THE SEDIMENT SHALL NOT BE DEPOSITED DOWNSTREAM FROM THE EMBANKMENT OR IN OR ADJACENT TO A STREAM OR FLOOD PLAIN.
- c. AFTER CONSTRUCTION IS COMPLETED AND AREAS ARE SEEDED AND/OR SODDED, MAINTENANCE IS LIMITED TO VISUAL INSPECTIONS ON A ROUTINE BASIS. ANY DAMAGE TO THE BERM SHALL BE REPAIRED AT ONCE AND RE-SODDED AND/OR RE-SEEDED. IF THE LEVEL OF WATER IS BEING MAINTAINED OVER THE EXPECTED DRAW DOWN TIME, THE OUTFALL SYSTEM SHALL BE CLEANED AND REPAIRED.

8. BEST MANAGEMENT PRACTICES

DEWATERING WILL OCCUR, AS REQUIRED, FOR ALL EXCAVATION ACTIVITY INCLUDING, BUT NOT LIMITED TO STORM SEWERS, SANITARY SEWERS, WATER & SEWER LINES AND STORMWATER PONDS.

ALL DEWATERING EFFLUENT SHALL BE ROUTED TO THE TEMPORARY SEDIMENT SUMP PRIOR TO DISCHARGE TO THE WETLANDS OR OFFSITE. THE GENERAL PROCESS OF THE DEWATERING SYSTEM SHALL BE ADHERED TO DURING CONSTRUCTION, ALTHOUGH THE ACTUAL LAYOUT OF THE SYSTEM SHALL BE CONSTRUCTED AS DICTATED BY FIELD CONDITIONS.

IF THE DEWATERING SYSTEM USES A PUMP AND PIPING, IT MUST BE LESS THE 6 INCHES IN DIAMETER AND OPERATE LESS THAN A TOTAL SIX MONTHS. ANY DEVIATION FROM THIS REQUIREMENT SHALL REQUIRE A WATER USE PERMIT. THE COST OF A WATER USE PERMIT AND ASSOCIATED MATERIAL SHALL BE BORNE BY THE CONTRACTOR.

ALL SILTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED AT A MINIMUM OF ONCE PER WEEK OR AFTER ANY 1/2" OR GREATER RAINFALL EVENT. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL MAINTENANCE AND INSPECTIONS UNTIL CONSTRUCTION IS COMPLETE.

LAY SOD AROUND ALL INLETS, MITERED END WALLS HEADWALLS, SWALES, POND SLOPES, AND A THREE FOOT (3') WIDE STRIP ADJACENT TO EDGE OF PAVEMENT OR AS DIRECTED BY THE ENGINEER AS SOON AS PRACTICAL TO PAVEMENT EROSION. ALL DISTURBED AREAS TO BE SODDED OR SEEDED AS SOON AS PRACTICAL TO PREVENT EROSION.

THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE REQUIREMENTS AND CONDITIONS OF SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (S.W.F.W.M.D.) PERMIT AND HAVE A COPY ON SITE.

SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SILTATION CONTROL BARRIER SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS.

CONTRACTOR SHALL SPRINKLE OR OTHERWISE APPLY WATER TO AFFECTED AREAS TO CONTROL BOTH SIGNIFICANT WIND EROSION AND FUGITIVE DUST.

THE CONTRACTOR SHALL DIRECT ONSITE RUNOFF TO THE STORMWATER SYSTEM DURING CONSTRUCTION.

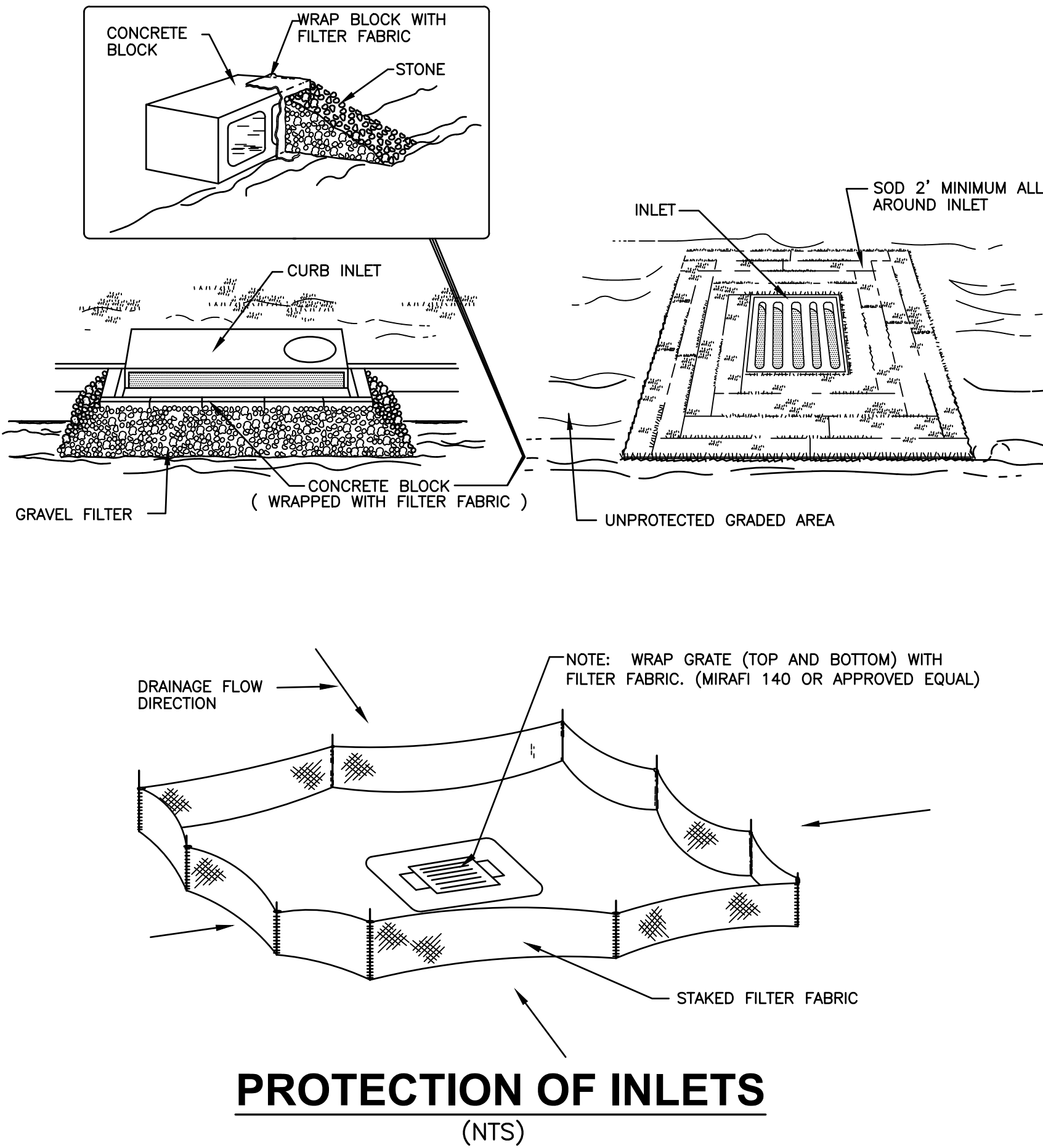
THE CONTRACTOR SHALL EMPLOY EROSION/SEDIMENT PREVENTION MEASURES, AS STATED WITHIN THE "BEST MANAGEMENT PRACTICES SPECIFICATIONS AND DETAILS". FOR THE DURATION OF CONSTRUCTION.

ALL DISTURBED AREAS SHALL BE SODDED AS SOON AS PRACTICAL TO PREVENT EROSION.

SODDING IS TO BE MAINTAINED, INCLUDING SLOPES, UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES LAST. UNTIL THEN, ALL EROSION, SILTATION, AND MAINTENANCE OF GRADES AND GRASS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL PROVISIONS FOR EROSION CONTROL SHALL BE ADHERED TO.

THE CONTRACTOR SHALL ADJUST OR MODIFY ALL UTILITY COVERS AS REQUIRED BY CONSTRUCTION DEPICTED WITHIN THESE PLANS. THESE SHALL INCLUDE, BUT NOT BE LIMITED TO MANHOLE RIMS, HAND HOLES, VALVE BOXES, CT. UTILITY COVERS SHALL BE FLUSH WITH THE FINISHED PAVEMENT GRADE.



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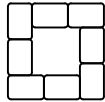
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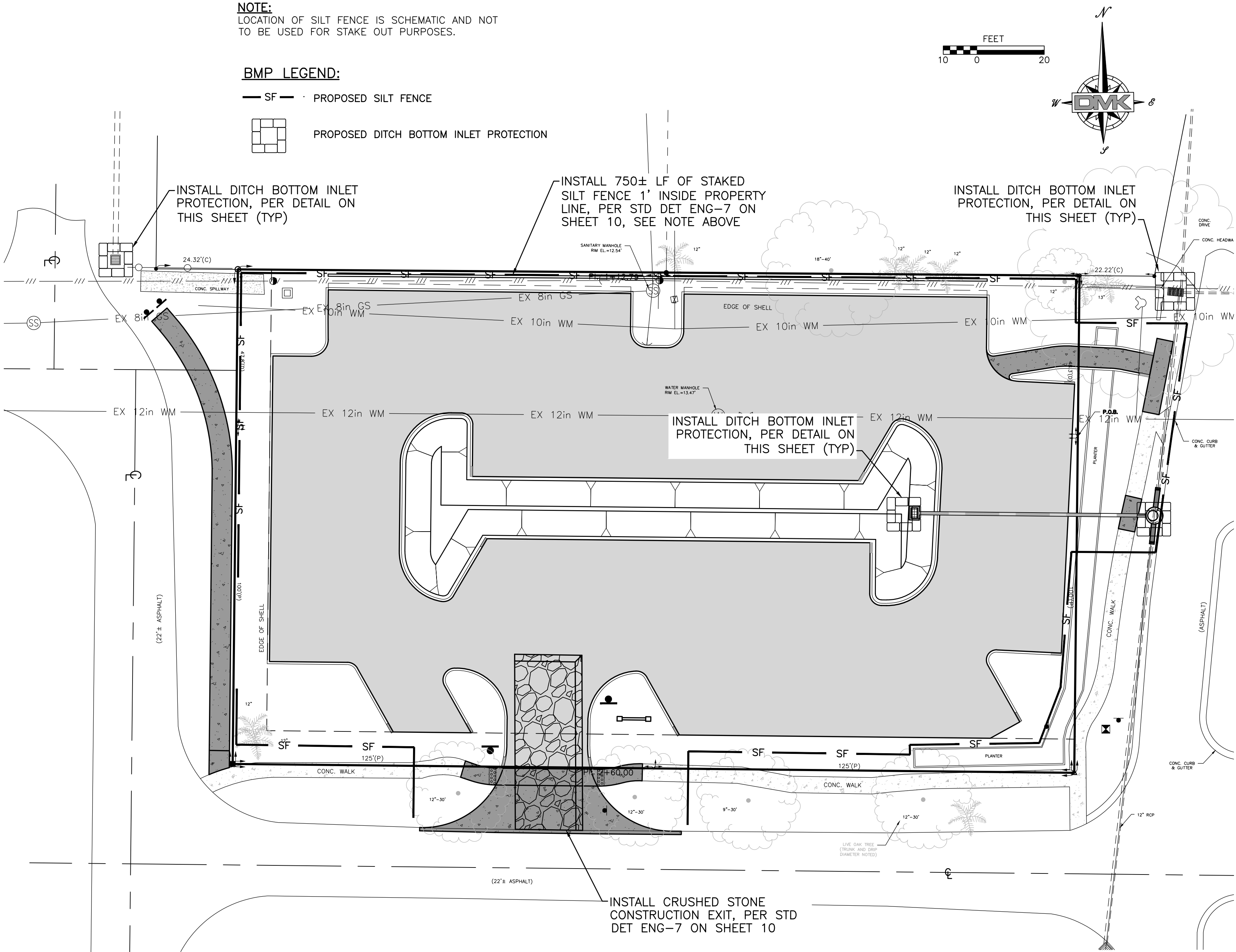
LOCATION OF SILT FENCE IS SCHEMATIC AND NOT TO BE USED FOR STAKE OUT PURPOSES.

BMP LEGEND:

— SF — PROPOSED SILT FENCE



PROPOSED DITCH BOTTOM INLET PROTECTION



BEST MANAGEMENT PRACTICES PLAN

DATE 05/10/2024	CKD. BY	DATE
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EPIPHANY CATHEDRAL CATHOLIC CHURCH PARKING LOT EXPANSION  
225 N. HARBOR DRIVE VENICE, FLORIDA 34285  
BEST MANAGEMENT PRACTICES PLAN, NOTES AND DETAILS

SHEET No.  
**11**