

25-63CP

TRITON INDUSTRIAL

General Information

Address:	490 Substation Road
Request:	Changing the future land use designation from High Density Residential (HDR) to Industrial (IND)
Owner:	Triton Holdings and Development, LLC
Agent:	Annette Boone, Esq., Boone Law Firm
Parcel ID:	0407100008 and 0407100009
Parcel Size:	2.0 ± acres
Future Land Use:	HDR
Zoning:	Residential, Multifamily 1
Comprehensive Plan Neighborhood:	Gateway Neighborhood
Application Date:	October 7, 2025
Associated Petition:	25-64RZ



Project Description

- Future Land Use (FLU) map amendment for two parcels along Substation Road
- Intent is to develop multi-tenant light industrial buildings
 - Currently one single-family residence onsite
- Concurrent with a Zoning Map Amendment petition for implementing zoning district: Industrial



Aerial Map



VNC Airport Terminal Building
Aerial Map

0 75 150 300 Feet





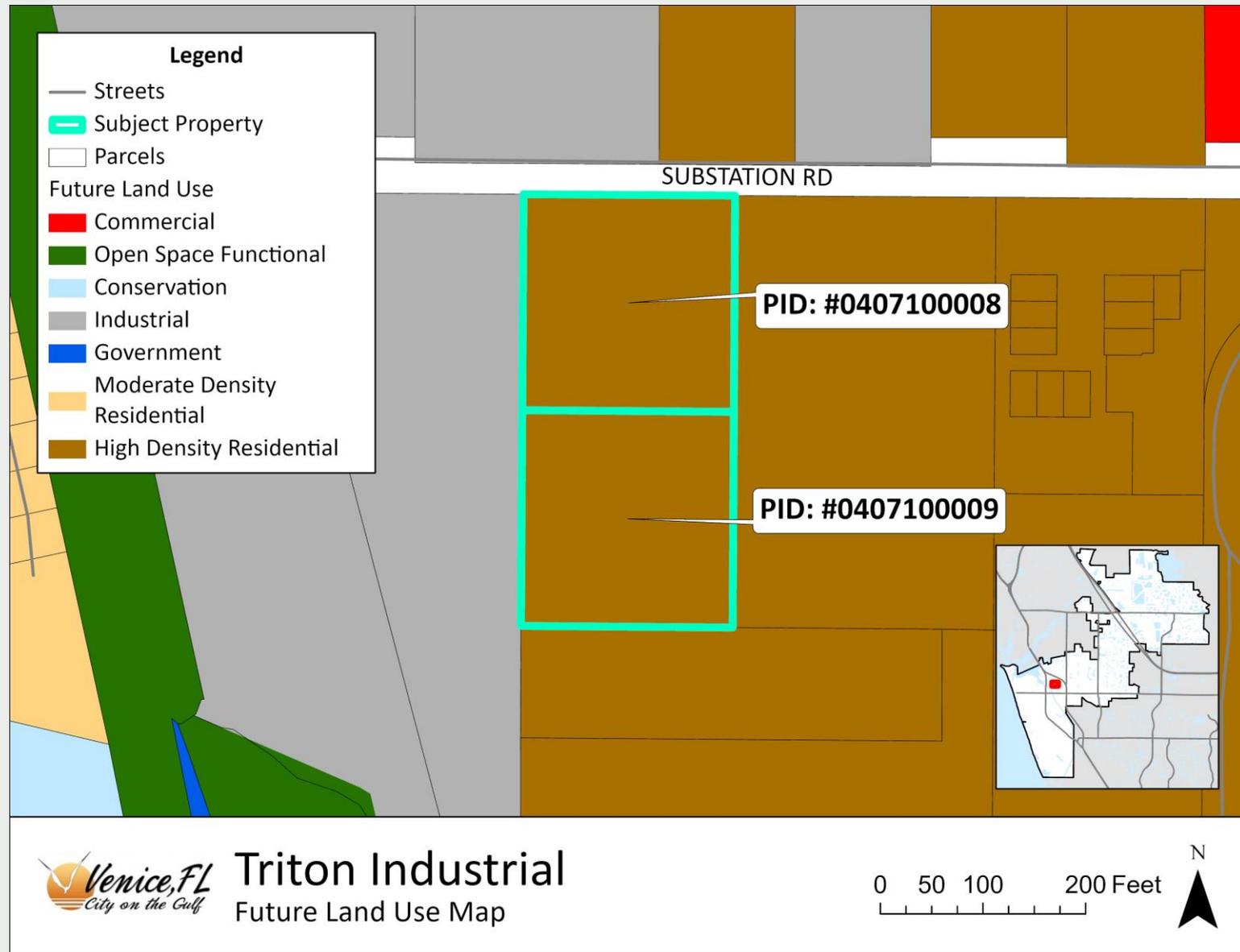
EXISTING CONDITIONS

Site Photographs, Future Land Use Map, Zoning Map, Surrounding Land Uses

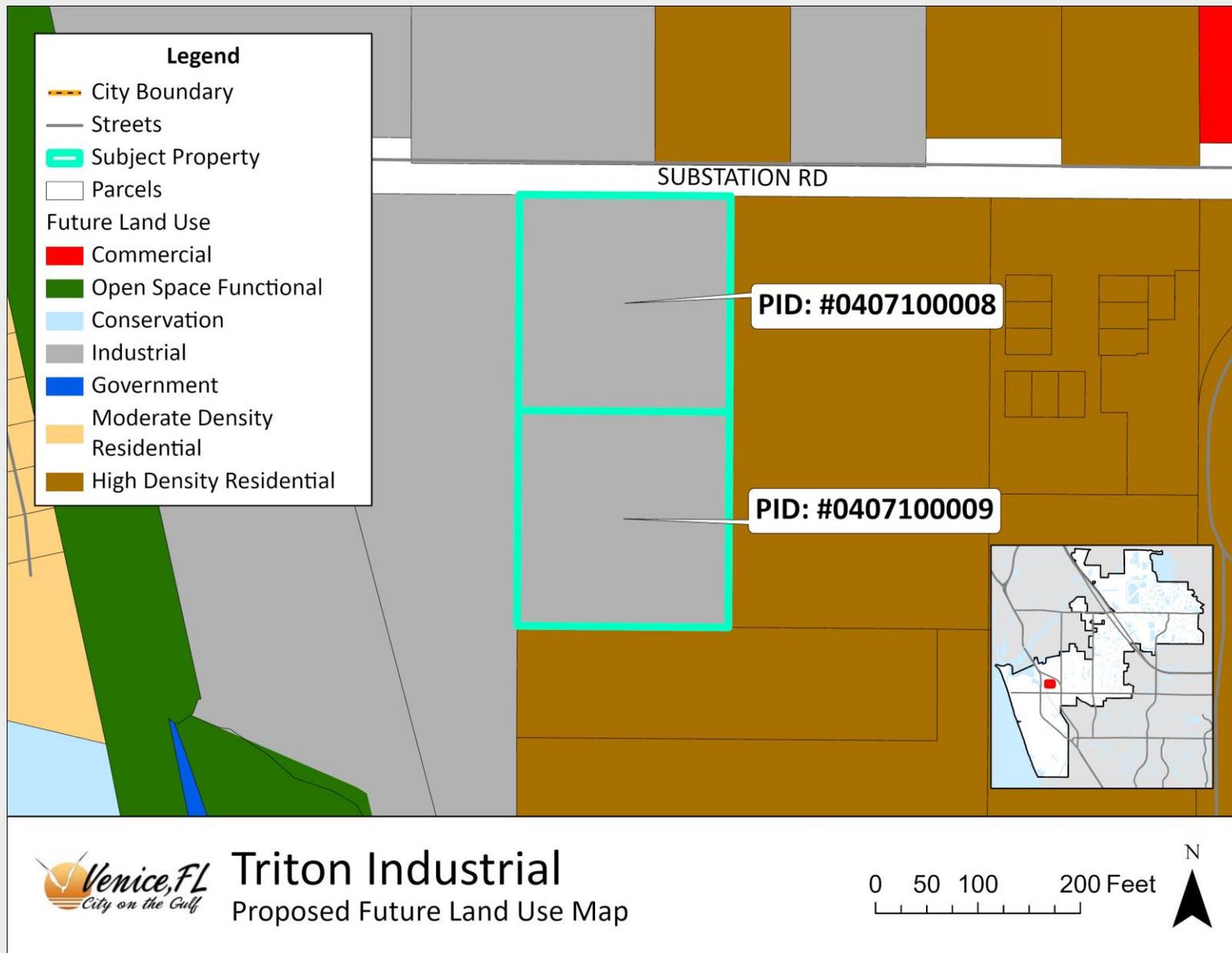


SITE PHOTOGRAPHS

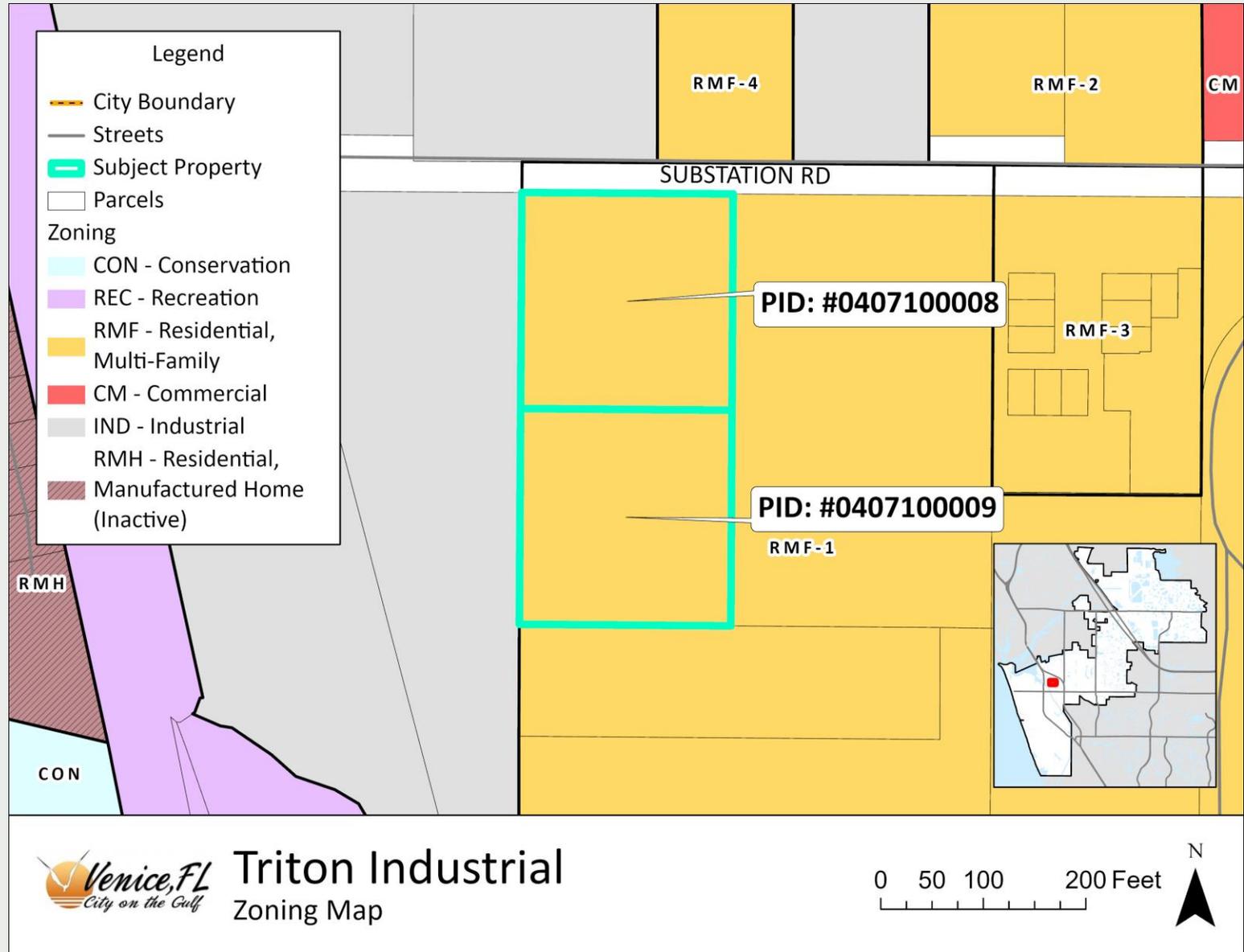
EXISTING FUTURE LAND USE MAP



PROPOSED FUTURE LAND USE MAP



EXISTING ZONING MAP





Surrounding Land Uses



Direction	Existing Land Uses(s)	Current Zoning District(s)	Future Land Use Map Designation(s)
North	Southern Spring and Stamping/ Residential	Industrial (IND)/Residential, Multifamily 4 (RMF-4)	Industrial and High Density Residential (HDR)
South	Vacant residential land	RMF-1	HDR
East	Knights of Columbus Hall	RMF-1	HDR
West	Turbine Weld	IND	Industrial



PLANNING ANALYSIS

Comprehensive Plan, Land Development Code,
Florida Statutes

► **Strategy LU 1.2.4.c - Industrial:**

1. Supports industrial uses located on individual lots or industrial parks
2. Manufacturing, storage and warehouse/distribution uses including those with outdoor storage, agricultural. Allows non-industrial supporting uses

► **Strategy LU-GW 1.1.1 – Redevelopment:**

City shall support redevelopment designed to enhance intrinsic natural, historic, and cultural characteristics. Redevelopment Strategies shall include:

- A. Consider Coastal High Hazard Area (CHHA)
- B. Strengthen multimodal connections to Island
- C. Encourage retail, service, office, **limited light industrial**, and residential
- D. Encourage mixed-use development, pedestrian-oriented uses
- E. Require installation of pedestrian realm features: street trees, street furniture, wayfinding
- F. Place utilities underground where feasible

Consistency with the Comprehensive Plan



CONCLUSIONS/
FINDINGS OF FACT
(COMPREHENSIVE
PLAN):

- Analysis has been provided to determine consistency with Land Use Element strategies, the Gateway Neighborhood, and other plan elements. This analysis should be taken into consideration upon determining Comprehensive Plan consistency.



Decision Criteria



- A. The City shall consider the impacts to the adopted level of service standards when considering any proposed Comprehensive Plan amendment.
- B. The City shall consider the compatibility matrix in the Comprehensive Plan and its subsequent impact on possible implementing zoning designations.
- C. The application must be found in compliance with all other applicable elements in the Comprehensive Plan and F.S. Ch. 163, Part II.



CONCLUSIONS/
FINDINGS OF FACT
(LAND DEVELOPMENT
CODE):

- The subject petition has been processed with the procedural requirements to consider a zoning map amendment. In addition, the petition has been reviewed by the TRC and no issues regarding compliance with the Land Development Code were identified.

Fla. Stat. § 163.3177(6)(a)9:

9. *The future land use element and any amendments to the future land use element shall discourage the proliferation of urban sprawl*

Summary Staff Comment: The project is already within the City of Venice and public services are available. A site and development plan on the project will require a thorough review of consistency with the code and the comprehensive plan, including requiring sidewalk connectivity to be provided and environmental impact studies to be undertaken and reviewed by the City. The existing land is not currently used for agriculture or public open space, and the proposed project is a nonresidential use. The existing FLU, High Density Residential, accounts for just 0.012% of all land in the city limits, but Industrial land also accounts for only 0.047%, so this is an uncommon use that could provide economic diversity for the needs of the residential population.

Consistency with the Florida Statutes



CONCLUSION

► Upon review of the petition and associated documents, Comprehensive Plan, Land Development Code, Florida Statutes, staff report and analysis, and testimony provided during the public hearing, there is sufficient information on the record for Planning Commission to make a recommendation on Future Land Use Map Amendment Petition No. 25-63CP.