

SITE AND DEVELOPMENT PLANS FOR BORDER ROAD SELF STORAGE

GENERAL NOTES

- * OWNERSHIP & UNIFIED CONTROL STATEMENT: THE SUBJECT PROJECT WILL BE OWNED BY SOUTHWEST FLORIDA 1, LLC 1290 N. PALM AVE, SUITE 102, SARASOTA, FL 34236
- * CHARACTER & INTENDED USE STATEMENT: THE SITE IS CURRENTLY USED AS MULTIPLE SINGLE FAMILY DWELLINGS. THE SUBJECT PROJECT PROPOSES (2) 3-STORY SELF STORAGE FACILITY TOTALING 214,000 SF WITH ASSOCIATED SITE IMPROVEMENTS.
- * SITE ADDRESS IS 2114 BORDER RD, VENICE, FL, 34292
- * MAINTENANCE OF COMMON FACILITIES STATEMENT: ALL SITE IMPROVEMENTS, EXCEPT WHERE NOTED ON THE PLANS, ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND SHALL NOT BE DEDICATED TO OR MAINTAINED BY THE PUBLIC.
- * ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CODE OF ORDINANCES CITY OF VENICE, FLORIDA.
- * WATER DISTRIBUTION AND SANITARY SEWER COLLECTION SYSTEMS CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF VENICE, FLORIDA DEPARTMENTS OF ENGINEERING & UTILITIES UPDATED MAY 2020
- * THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE" ONE CALL, FP&L, AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ON-SITE OR OFF-SITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
- * EXISTING ZONING: COMMERCIAL
- * FUTURE LAND USE: COMMERCIAL
- * PARCEL ID(S): 099020022
- * THE SELF STORAGE FACILITY IS ACCESSIBLE 24 HOURS. THE OPERATING HOURS FOR THE SITE LIGHTING ARE 6:00 PM TO 6:00 AM.
- * PROJECT SITE COVERAGE:
 - NET PROJECT AREA: 229,715± SF 5.27± Ac. (100.00%)
 - BUILDING (FOOTPRINT): 71,334± SF 1.638± Ac. (31.08%)
 - IMPERVIOUS: 60,236± SF 1.383± Ac. (26.24%)
 - TOTAL IMPERVIOUS: 131,570± SF 3.020± Ac. (57.31%)
- * BUILDING SQUARE FOOTAGE (GROSS): 214,000 SF
- * PARKING:
 - SELF STORAGE/INDOOR (0.5 SPACE/1,000 SF): 214,000 SF/0.5 SPACE = 107 MIN. REQUIRED; 74 SPACES PROVIDED (AN ALTERNATIVE PARKING PLAN WILL BE SUBMITTED IN ACCORDANCE WITH SECTION 3.6.4.A OF THE CITY OF VENICE CODE OF ORDINANCES);
 - HANDICAP SPACES REQUIRED: 4; HANDICAP SPACES PROVIDED: 4;
- * DENSITY: N/A
- * INTENSITY/FAR: 0.936
- * OPEN SPACE REQUIRED: 30.0% (1.58 Ac.); OPEN SPACE PROVIDED 42.64% (2.25 Ac.);
- * MAXIMUM BUILDING HEIGHT (ROOF HEIGHT SHALL BE IN ACCORDANCE WITH CHAPTER 87, SECTION 3.1.1.A OF THE LAND DEVELOPMENT REGULATIONS (LDR): 35' (TO HIGHEST POINT OF ROOF, AS MEASURED FROM THE AVERAGE CROWN OF ADJACENT ROADWAY PLUS 18 INCHES);
- * PROPOSED BUILDING HEIGHT: 35' (TO HIGHEST POINT OF ROOF, AS MEASURED FROM THE AVERAGE CROWN OF ADJACENT ROADWAY PLUS 18 INCHES);
- * ROOF HEIGHT SHALL BE IN ACCORDANCE WITH CHAPTER 87, SECTION 3.1.1.A OF THE LAND DEVELOPMENT REGULATIONS (LDR);
- * NUMBER OF STORIES: 3
- * SETBACK REQUIREMENTS: FRONT (STREET): 15' (100' MAX.); SIDE: 10' (50' MAX.); REAR: 10' (50' MAX.);
- * THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE
- * ANTICIPATED CONSTRUCTION START: FEBRUARY 1, 2026; ESTIMATED COMPLETION DATE: FEBRUARY 1, 2026.
- * SIGNS: THE PROPOSED SIGN IS SHOWN FOR THIS PROJECT AND WILL BE PERMITTED SEPARATELY THROUGH THE BUILDING DEPARTMENT. NO SIGNAGE IS PROPOSED ON THE NORTHWEST OR EAST SIDES OF THE STRUCTURE
- * LIGHTING: A LIGHTING PLAN, PREPARED BY A REGISTERED LIGHTING ENGINEER, WILL BE PERMITTED SEPARATELY.
- * LANDSCAPE BUFFER: SEE LANDSCAPE PLAN BY REGISTERED LANDSCAPE ARCHITECT
- * SANITARY SEWER SYSTEM: SANITARY SEWER SERVICE TO BE PROVIDED BY CITY OF VENICE UTILITIES.
- * WATER DISTRIBUTION SYSTEM: WATER SERVICE TO BE PROVIDED BY CITY OF VENICE UTILITIES.
- * A CITY OF VENICE UTILITIES CONSTRUCTION PERMIT IS REQUIRED FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- * A CITY OF VENICE RIGHT-OF-WAY USE PERMIT IS REQUIRED FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- * A SARASOTA COUNTY RIGHT-OF-WAY USE PERMIT SHALL BE REQUIRED FOR THE PROPOSED IMPROVEMENTS.
- * SARASOTA COUNTY UTILITIES PERMIT IS REQUIRED FOR THE OFFSITE UTILITY (FORCE MAIN) CONSTRUCTION.
- * A FIRE LINE PERMIT SHALL BE REQUIRED FOR THE PROPOSED IMPROVEMENTS.
- * AN FDEP WATER PERMIT IS REQUIRED FOR THE PROPOSED IMPROVEMENTS.
- * AN FDEP WASTEWATER PERMIT IS REQUIRED FOR THE PROPOSED IMPROVEMENTS.
- * THE SITE LIES WITHIN THE BOUNDARIES OF FLOOD ZONES "X" & "AE" (12.8 FEET BASE FLOOD ELEVATION), PER FEMA FIRM PANEL #1215C 0332F, DATED NOVEMBER 4, 2016.
- * TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS ONE EXISTING WELL LOCATED ON THE SUBJECT SITE. ANY WELLS FOUND ON-SITE AND DETERMINED TO BE OF NO USE WILL BE PLUGGED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL PERTINENT REGULATIONS. ANY WELLS DISCOVERED DURING EXCAVATION, EARTHMOVING OR CONSTRUCTION BE REPORTED TO SARASOTA COUNTY HEALTH DEPARTMENT ENVIRONMENTAL HEALTH WITHIN 24 HOURS OF DISCOVERY.
- * TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS ONE EXISTING SEPTIC TANKS LOCATED ON THE SUBJECT SITE TO BE REMOVED. ANY SEPTIC TANKS DISCOVERED ON THE SUBJECT SITE WILL BE ABANDONED AND REMOVED IN ACCORDANCE WITH ALL PERTINENT REGULATORY AGENCIES.
- * SEDIMENT AND EROSION CONTROL/BEST MANAGEMENT PRACTICES (BMP'S):
 - THE FOLLOWING PERTAINS TO SEDIMENT & EROSION CONTROL/BEST MANAGEMENT PRACTICES AND SHALL BE ADHERED TO ACCORDINGLY: SAID MEASURES AND PRACTICES SHALL BE IMPLEMENTED DURING CONSTRUCTION BY THE CONTRACTOR. SITE SPECIFIC MEASURES SHALL PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING UTILITY AND STORM WATER DRAINAGE SYSTEMS INCLUDING BUT NOT LIMITED TO DITCHES, WATER BODIES, WETLANDS, AND ADJACENT PROPERTIES. THE EFFECTIVENESS OF THE BMP'S SHALL BE CHECKED DAILY DURING CONSTRUCTION BY THE CONTRACTOR. METHODS USED SHALL INCLUDE BUT NOT BE LIMITED TO SODDING OF RETENTION AREAS AND SHALES IMMEDIATELY UPON THEIR COMPLETION, SILT FENCE AND HAY BALES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM WATER MANAGEMENT SYSTEM AND/OR ANY ON-SITE OR OFF-SITE DRAINAGE AREAS.
 - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITION, OR BETTER, TO THE SATISFACTION OF THE OWNER.
- * ALL FACILITIES CONTAINED HEREIN HAVE BEEN DESIGNED FOR HANDICAP ACCESSIBILITY IN ACCORDANCE WITH BOTH THE FLORIDA ACCESSIBILITY CODE, LATEST EDITION, AND THE AMERICAN DISABILITY ACT STANDARDS.
- * REFUSE & RECYCLABLES TO BE PICKED UP BY AN AUTHORIZED TRASH HAULER OR TAKEN TO A PRIVATE RECYCLING CENTER.
- * THERE ARE NO KNOWN HISTORIC SITES OR HISTORIC BUILDINGS LOCATED ON THE SITE.
- * NO FOUNDATION MOUNDS OR HIDDEN AREAS OF HISTORIC ORIGIN ARE LOCATED ON SITE.
- * I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE FACILITIES COMPLY WITH ALL APPLICABLE STANDARDS, INCLUDING THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AND THE CITY OF VENICE CODE OF ORDINANCES.
- * THE WETLANDS, MITIGATION AREAS AND ASSOCIATED UPLAND VEGETATIVE BUFFERS SHALL BE MAINTAINED IN ACCORDANCE WITH MANAGEMENT GUIDELINES CONTAINED WITHIN THE COMPREHENSIVE PLAN AS A PRESERVE AND LABELED A PRESERVE ON ALL PLANS.
- * ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO FILLING, EXCAVATING, WELL DRILLING, ALTERING VEGETATION (INCLUDING TRIMMING OF BOTH TREES AND UNDERSTORY) AND STORING OF MATERIALS SHALL BE PROHIBITED WITHIN PRESERVATION AREAS, UNLESS WRITTEN APPROVAL IS FIRST OBTAINED FROM CONSERVATION ENVIRONMENTAL PERMITTING. EXCEPTION MAY BE GRANTED BY CONSERVATION ENVIRONMENTAL PERMITTING TO FACILITATE IMPLEMENTATION OF APPROVED HABITAT MANAGEMENT PLANS OR THE HAND REMOVAL OF NUISANCE/INVASIVE VEGETATION.
- * A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION OR NATIVE VEGETATIVE REMOVAL WITHIN THE DRIP LINE OF A TREE, AND/OR TREE REMOVAL.
- * IF ANY SOILS CONTAMINATION IS DISCOVERED, THE CITY OF VENICE ENGINEERING DEPARTMENT SHALL BE CONTACTED AND ALL CONTAMINATION WILL BE HANDLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- * ALL UNDERGROUND PIPING SUBJECT TO INCREASED PRESSURE BY A FIRE PUMP OR ANY OTHER MEANS SHALL COMPLY WITH NFPA 24 AND BE FULLY RESTRAINED USING APPROVED METHODS OR DEVICES CONTRACTOR SHALL PROVIDE RECORD DRAWINGS THAT MEET THE REQUIREMENTS OF THE CITY OF VENICE ENGINEERING & UTILITY DEPARTMENT'S STANDARDS, LATEST REVISED JANUARY 2020.

CONSTRUCTION NOTES

- * ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW USE PERMIT.
- * ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMIT.
- * TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE CITY OF VENICE.
- * POST-DEVELOPMENT RUNOFF NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
- * ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521
- * CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION
- * ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
- * CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION
- * ALL DRAINAGE STRUCTURES SHALL HAVE PAVED INVERTS TO PREVENT IMPOUNDED WATER.
- * ALL TACTILE SURFACES ON CURB CUT RAMPS SHALL CONFORM TO FDOT INDEX NO. 304
- * SIGN POSTS SHALL BE 2"x2" SQUARE BREAK-AWAY 14 GAUGE GALVANIZED STEEL WITH PUNCHED HOLES.
- * ALL DRAINAGE CULVERT JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 280.
- * RIP-RAP SHALL MEET ALL SPECIFICATIONS OF SECTION 530 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- * ALL ROADWAY AND DRAINAGE RELATED STRUCTURES SHALL BE 3,000 PSI CONCRETE.
- * A MINIMUM OF 2 FEET OF SOD SHALL BE PLACED AT THE BACK OF ALL CURBS AND PAVEMENT EDGES, EXCEPT LANDSCAPE AREAS.
- * ALL SHALES, BERMS, AND RETENTION AREAS TO THE NORMAL WATER LEVEL SHALL BE SODDED.
- * CLOSURE PLAN: NO STOCKPILING VEGETATIVE DEBRIS WILL BE LOCATED ON-SITE. SITE CONTRACT WITH CONTRACTOR WILL PROVIDE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS AND FILL FROM THE SITE IN THE EVENT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION AND WILL ALLOW CONTRACTOR TO LIEN PROPERTY FOR COMPENSATION.
- * VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OFF-SITE OR IF USED ON-SITE, MUST BE VERIFIED WITH THE CITY AND THE ENGINEER FOR LOCATION, DEPTH, AND WIDTH AND BE LOCATED ABOVE SEASONAL HIGH WATER LEVEL. A MIXING SPECIFICATION WILL BE PROVIDED FOR REVIEW.
- * A SEPARATE BUILDING PERMIT WILL BE REQUIRED PRIOR TO ANY RETAINING WALL SYSTEM AND ALL MASONRY OR ENGINEERED STRUCTURAL PRIVACY WALLS.
- * CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL ENCLOSURE OR SCREENING ETC.
- * IF EVIDENCE OF THE EXISTENCE OF CULTURAL RESOURCES IS DISCOVERED OR OBSERVED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AREA OF EFFECT AS DETERMINED BY THE DIRECTOR. THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE OFFICE OF HISTORICAL RESOURCES (941) 882-7376 WITHIN TWO WORKING DAYS. EXAMPLES OF SUCH EVIDENCE MAY INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS. THE DIRECTOR SHALL ADDRESS THE SIGNIFICANCE OF THE FINDS WITHIN THREE WORKING DAYS OF NOTIFICATION AND MITIGATE ANY ADVERSE EFFECTS SO AS TO MINIMIZE DELAYS TO DEVELOPMENT ACTIVITIES.
- * IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITY, ALL WORK IN THE AREA MUST CEASE, AND THE PERMITTEE MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE AND NOTIFY THE DEPARTMENT OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.
- * ALL TRAFFIC CONTROL SIGNS WITHIN THE RIGHT-OF-WAY SHALL BE PER SECTION 700 OF THE FDOT SPECIFICATIONS IN ADDITION TO THE CITY OF VENICE ENGINEERING STANDARDS. ALL SIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MUTCD CRITERIA FOR SIGN SIZE, SHAPE AND LETTERING DIMENSIONS.
- * ALL STREET STOP SIGNS WILL BE MANUFACTURED USING DIAMOND GRADE REFLECTIVE SHEETING (OR AN EQUIVALENT). ALL OTHER TRAFFIC/STREET SIGNS SHALL BE MANUFACTURED USING (MINIMUM) HIGH INTENSITY REFLECTIVE SHEETING. TRAFFIC SIGN POSTS AND STREET NAME SIGNS SHALL BE INSTALLED CONSISTENT WITH APPENDIX C3 OF THE UCD. THE POLETICH SYSTEM (OR AN EQUIVALENT) SHALL BE EMPLOYED WHERE SIGN POSTS ARE INSTALLED IN PAVED AREAS.
- * ELEVATIONS HEREON ARE BASED UPON NAVD83 (NORTH AMERICAN VERTICAL DATUM OF 1983).

214,000 SF SELF STORAGE FACILITY

PROJECT TEAM

OWNER/CLIENT:

Southwest Florida 1 LLC
1290 N. Palm Ave.
Suite 102
Sarasota, FL 34236

CIVIL ENGINEER:

CAVOLI Engineering, Inc.
63 Sarasota Center Boulevard, Unit 101
Sarasota, FL 34240
(941) 927-3647
Fax: (941) 927-3646

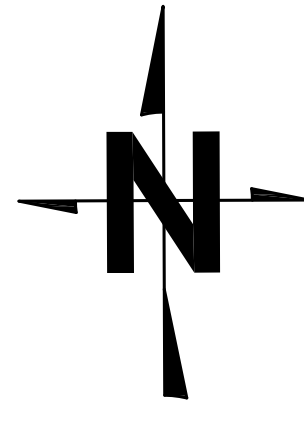
LANDSCAPE ARCHITECT:

DWJA Landscape Architects, Inc.
1491 2nd Street, Suite B
Sarasota, FL 34236
(941) 366-3159

SURVEYOR:

Athca Surveying, Inc.
4813 Andrew Avenue
Sarasota, FL 34233
(941) 650-5400

SARASOTA COUNTY



SCALE: N.T.S.
SECTION: 34
TOWNSHIP: 38S
RANGE: 19E
LATITUDE: 27° 7' 26" N
LONGITUDE: 82° 23' 20" W



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LEGEND

EX MH	EXISTING MANHOLE	MH #5	PROPOSED MANHOLE
EX F. HYD.	EXISTING FIRE HYDRANT	FF 36.75	PROPOSED FINISH FLOOR ELEVATION
33X 91	EXISTING SPOT GRADE	FH #2	PROPOSED FIRE HYDRANT
	OVERLAND DRAINAGE FLOW DIRECTION	6" PVC WM (TYP)	PROPOSED WATER MAIN SIZE WITH SPECIFICATION (POLYVINYL CHLORIDE PIPE)
	PAVEMENT DRAINAGE FLOW DIRECTION	WM	PROPOSED WATER MAIN
64.00	PROPOSED SPOT GRADE		PROPOSED DOUBLE SANITARY SEWER SERVICE
D.E.	PROPOSED DRAINAGE EASEMENT		PROPOSED SINGLE SANITARY SEWER SERVICE
CB #5	PROPOSED CATCH BASIN		PROPOSED DOUBLE WATER SERVICE
JB	PROPOSED JUNCTION BOX		PROPOSED SINGLE WATER SERVICE
E/W W/ RIP-RAP INV. 29.05	PROPOSED END WALL WITH RIP-RAP AND INVERT	FM	PROPOSED FORCEMAIN
57 LF 36" RCP AT 1.72%	PROPOSED LINEAR FEET OF REINFORCED CONCRETE PIPE AND SLOPE PERCENTAGE	(TYP)	TYPICAL
INV.	PROPOSED INVERT		PROPOSED HANDICAP PARKING SPACE
BM	BENCHMARK	6" CL. MIN.	6" CLEAR MINIMUM
	SEASONAL HIGH/NORMAL WATER LINE		PROPOSED DRAINAGE BASIN
	PROPOSED RIGHT-OF-WAY		PROPOSED EASEMENT (SEE PLANS FOR TYPE)

FOR AGENCY USE:



CAVOLI Engineering, Inc.

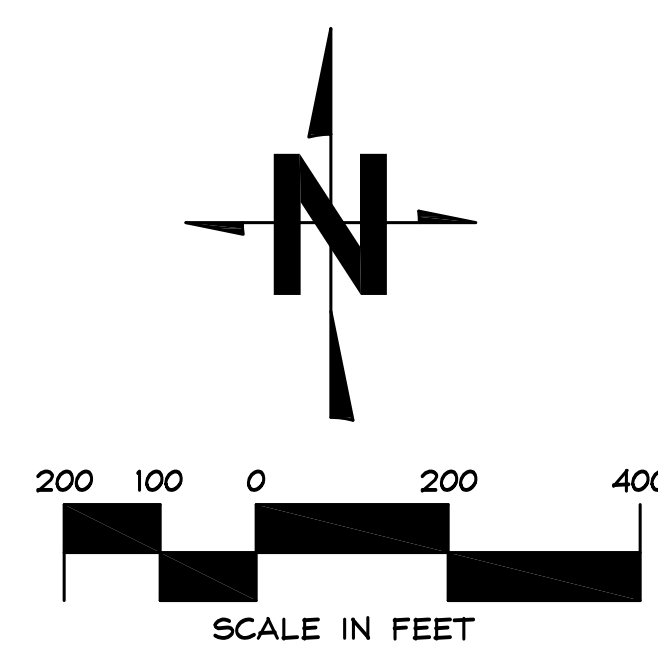
Consulting Civil Engineers

FL Cert. of Auth. No. 8875
63 Sarasota Center Blvd., Unit 101, Sarasota, FL 34240
email: info@cavoliengineering.com

(941) 927-3647

Fax: (941) 927-3646

THE PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY JOHN F. CAVOLI P.E. ON THE DATE INDICATED ON THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS PRIOR TO THE START OF
CONSTRUCTION



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Consulting Civil Engineers
P. Cent. of Auth. No. 8875
63 Sarasota Center Blvd., Unit 101, Sarasota, FL 34240
(941) 927-3646
Fax: (941) 927-3646
email: info@covollengineering.com

CLIENT: SOUTHWEST FLORIDA 1, LLC

PROJECT: BORDER ROAD SELF STORAGE

SHEET: AERIAL W/ SITE PLAN

NO.	REVISIONS	DATE	BY

THIS DRAWING HAS BEEN EXAMINED AND FOUND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS.

DATE
2/14/24

SCALE
1" = 200'

JOB NO.
TCAP03

SHEET
2

APPROX. LIMITS OF FLOODPLAIN
ENCROACHMENT AREA #1 (450,694 SF)

TRACT 100
VETERA ASSOCIATES, LLC
(PB 52, PG. 428-436)
PID: 039000000
ZONING: PUD
FLUG: INCORPORATED AREA
USE: RES. COMMON AREAS/ELEMENTS

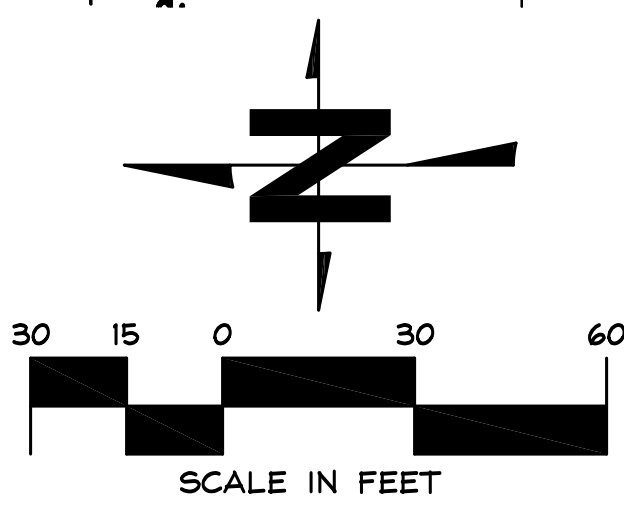
TRACT 804
NEAL SIGNATURE HOMES, LLC
(PB 52, PG. 428-436)
PID: 039000000
ZONING: PUD
FLUG: INCORPORATED ARTEA
USE: RES. COMMON AREAS/ELEMENTS

SUBJECT PARCEL
#2114 BORDER ROAD
PID: 0390003020
CONTAINS 224,052 SF OR
5.27± AC

TRACT 100
VETERA ASSOCIATES, LLC
(PB 52, PG. 428-436)
PID: 039000000
ZONING: PUD
FLUG: INCORPORATED AREA
USE: RES. COMMON AREAS/ELEMENTS

NOW OR FORMERLY LANDS OF
CITY OF VENICE
210 BORDER ROAD
PID: 0390003015
ZONING: PUD
FLUG: INCORPORATED AREA
USE: DRAINAGE RESERVOIR

- APPROX. AREA OF FLOODPLAIN
- APPROX. AREA OF OSW/EX. WETLAND TO BE FILLED



CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS PRIOR TO THE START OF
CONSTRUCTION

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY COMMENTS	4/7/25	JRR

THIS PLAN HAS BEEN PREPARED AND SEALED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. ANY CHANGES TO THIS PLAN MUST BE MADE BY A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.

NOTES:

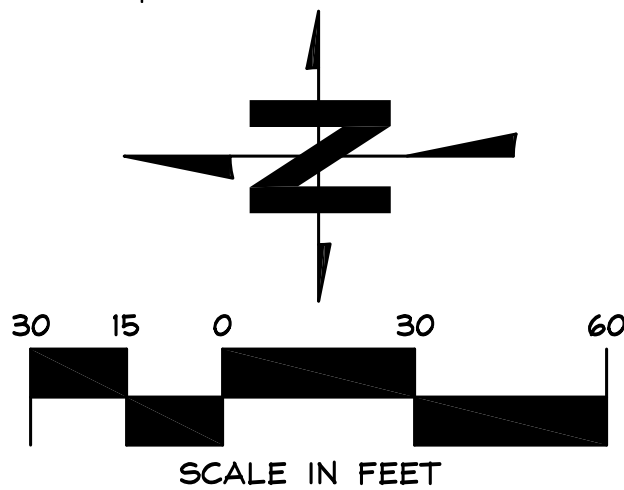
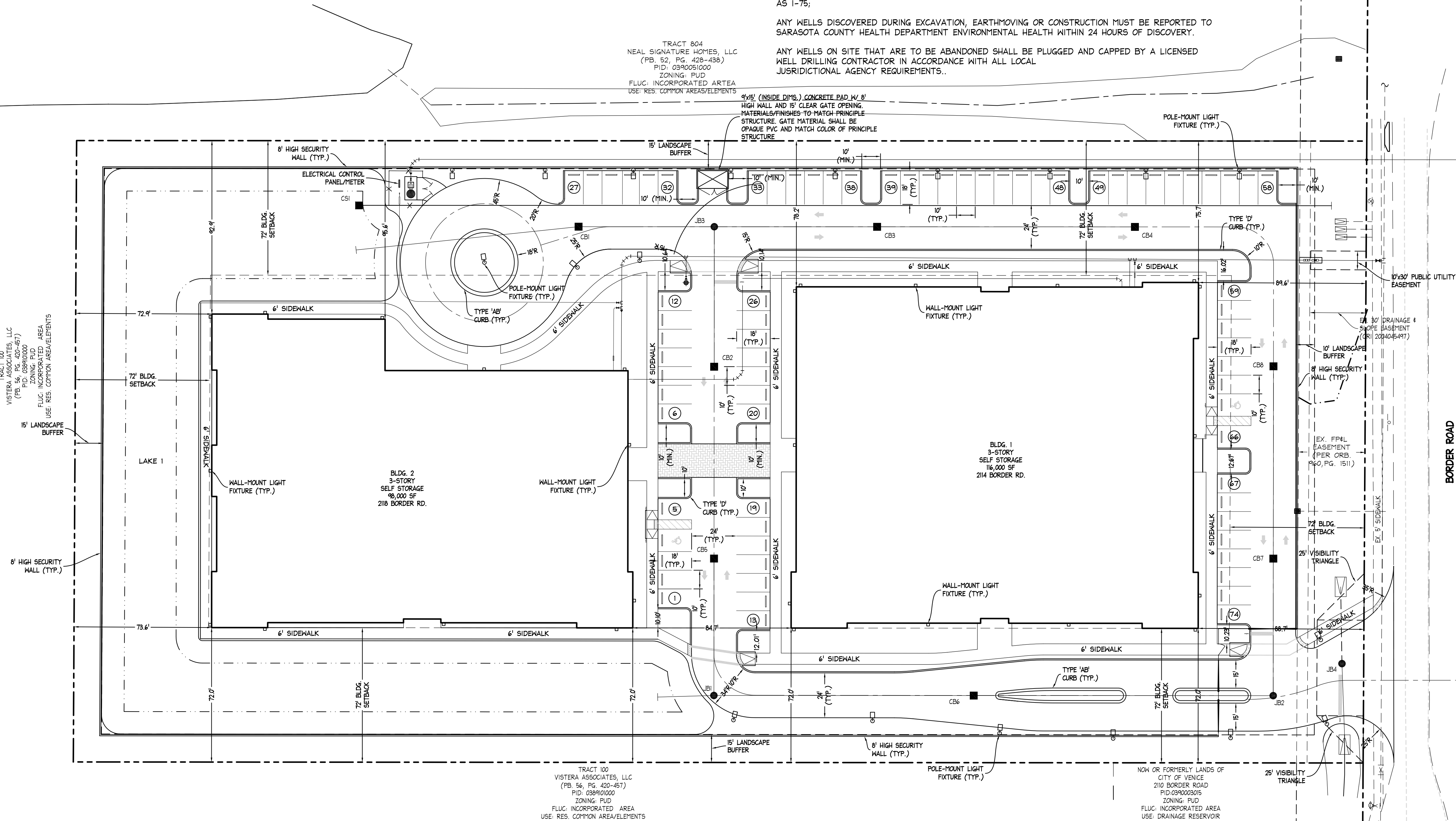
BUILDING HEIGHT IS 35' TOTAL. BUILDING HEIGHT SHALL BE IN ACCORDANCE WITH CHAPTER 87 SECTION 3.1.1.A OF THE LAND DEVELOPMENT REGULATIONS (LDR);

A 100% WILDLIFE SURVEY WILL BE REQUIRED 90 DAYS OUT TO BEGINNING CONSTRUCTION OR CLEARING OF THE PROPERTY PER THE ENVIRONMENTAL NARRATIVE. A COPY OF THE FINDINGS AND ANY SUBSEQUENT PERMITTING REQUIRED BY THE SURVEY WILL NEED TO BE PROVIDED TO THE CITY OF VENICE PLANNING AND ZONING OFFICE;

REFUSE COLLECTION, MECHANICAL EQUIPMENT, TRASH COMPACTION, LOADING AREAS, RECYCLING, ROOF-TOP EQUIPMENT AND OTHER SERVICE FUNCTION AREAS SHALL BE FULLY SCREENED AND OUT OF VIEW FROM ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. THE SCREENING SHALL EXTEND ONE FOOT ABOVE THE HEIGHT OF THE OBJECT TO BE SCREENED. COMPLETE SCREENING FROM ADJACENT ROADWAYS MAY NOT BE POSSIBLE IN AREAS WITH ELEVATED ROADWAYS SUCH AS I-75;

ANY WELLS DISCOVERED DURING EXCAVATION, EARTHMOVING OR CONSTRUCTION MUST BE REPORTED TO SARASOTA COUNTY HEALTH DEPARTMENT ENVIRONMENTAL HEALTH WITHIN 24 HOURS OF DISCOVERY.

ANY WELLS ON SITE THAT ARE TO BE ABANDONED SHALL BE PLUGGED AND CAPPED BY A LICENSED WELL DRILLING CONTRACTOR IN ACCORDANCE WITH ALL LOCAL JURISDICTIONAL AGENCY REQUIREMENTS..



CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION

CLIENT: SOUTHWEST FLORIDA 1, LLC
PROJECT: BORDER ROAD SELF STORAGE
SHEET: SITE PLAN

NO.	REVISIONS	DATE	BY
4	REVISED PER CITY COMMENTS	5/23/25	JRR
3	REVISED PER CITY COMMENTS	4/7/25	JRR
2	REVISED PER CITY COMMENTS	3/5/25	JRR
1	REVISED PER CITY COMMENTS	11/11/24	JRR

THIS PLAN HAS BEEN DESIGNED AND SEALED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, LICENSE NO. 12500. IT IS HEREBY CERTIFIED THAT THE DESIGN AND CALCULATIONS HAVE BEEN REVIEWED AND APPROVED BY ME, THE SEALING ENGINEER, AND THAT I AM A duly licensed professional engineer in the State of Florida.

DATE	11/8/23
SCALE	1" = 30'
JOB NO.	TCAP03
SHEET	4

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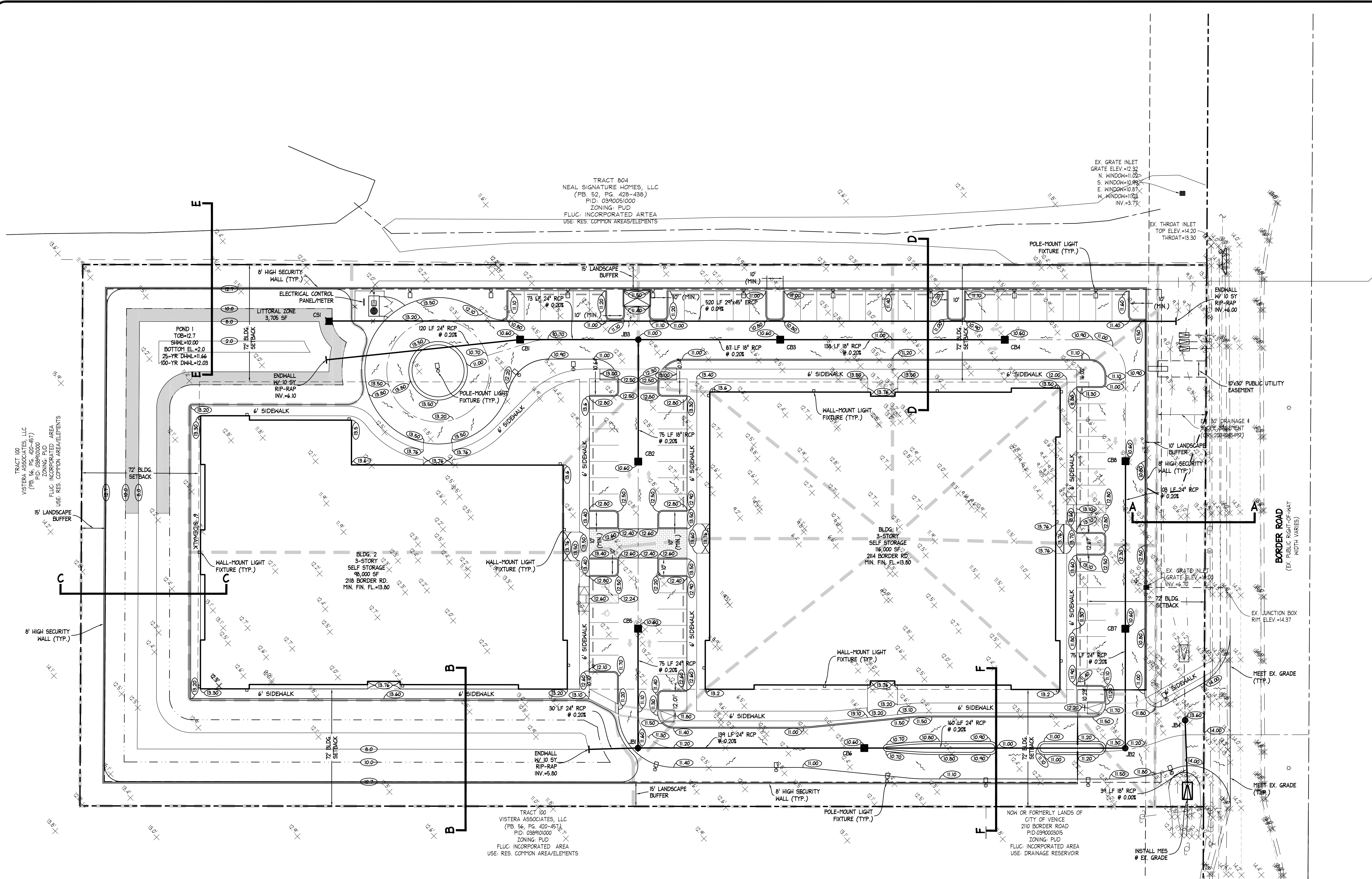
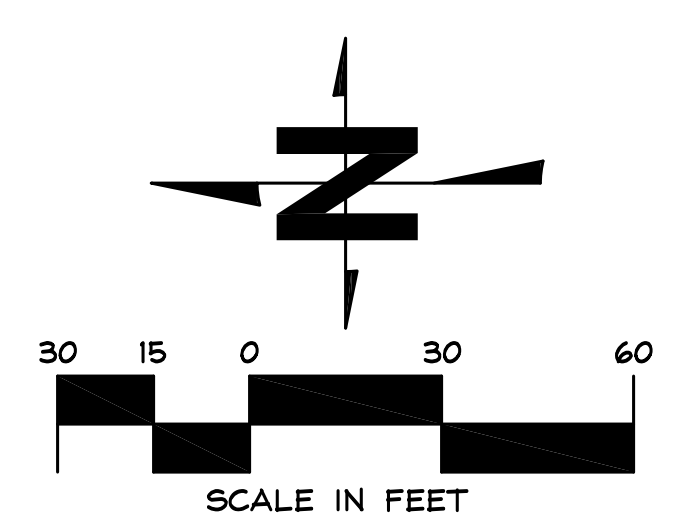


TABLE FOR STRUCTURES / INVERTS

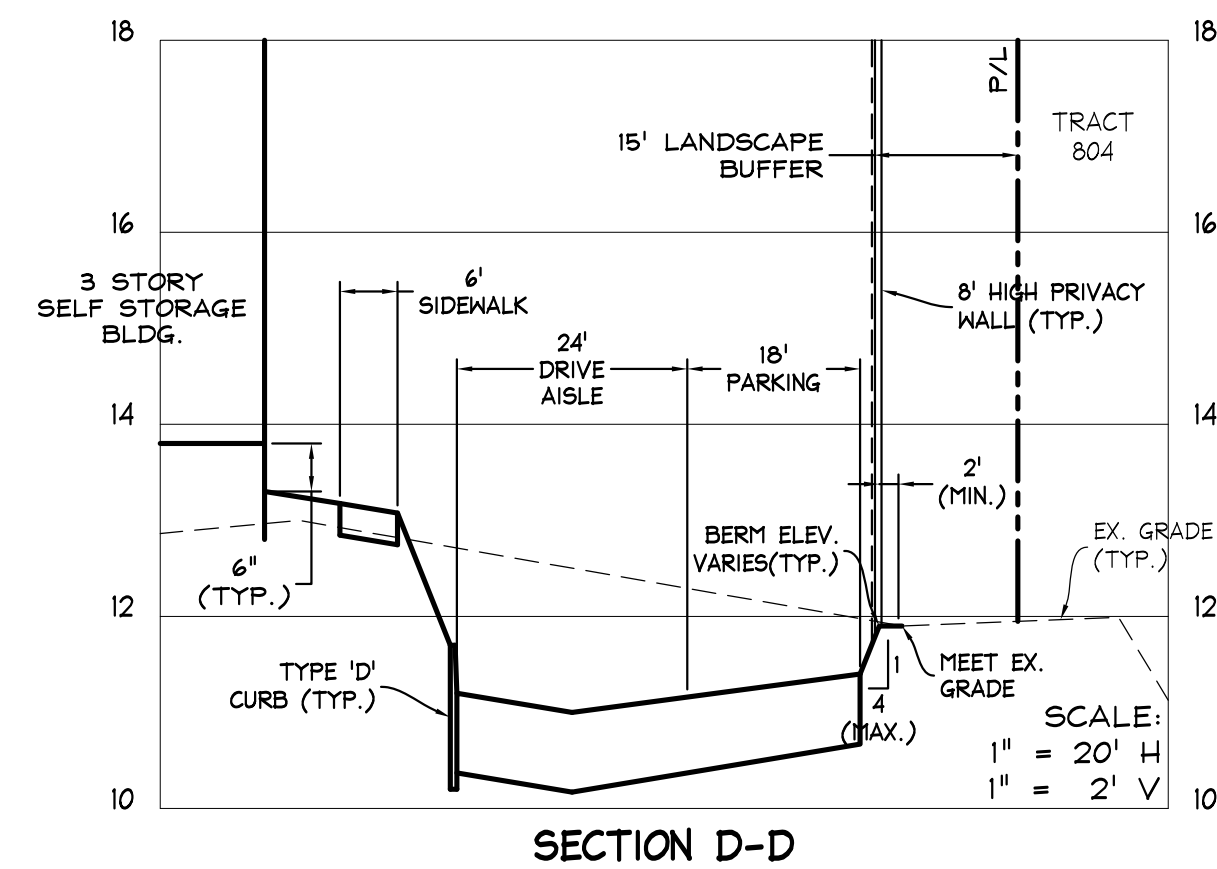
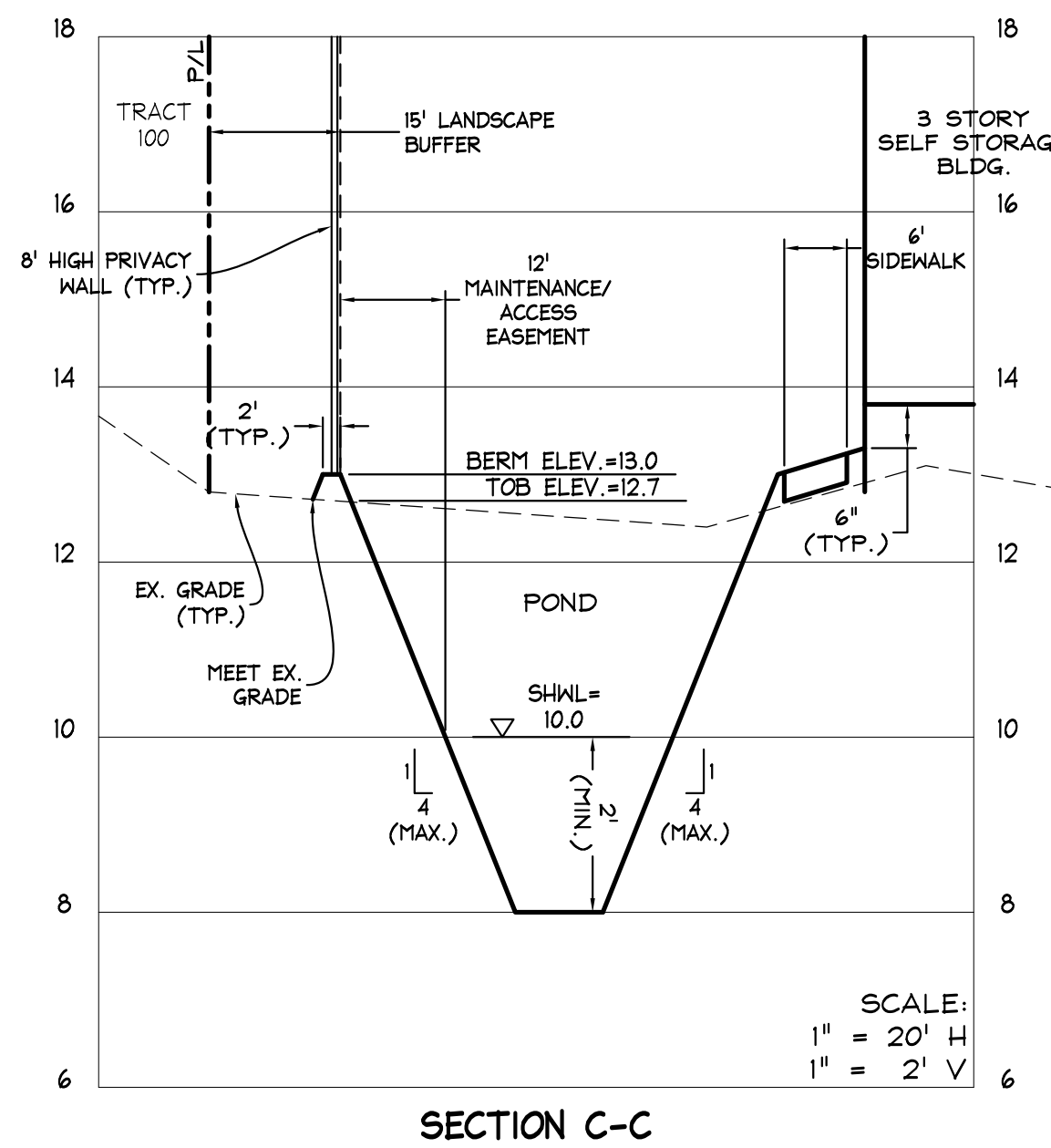
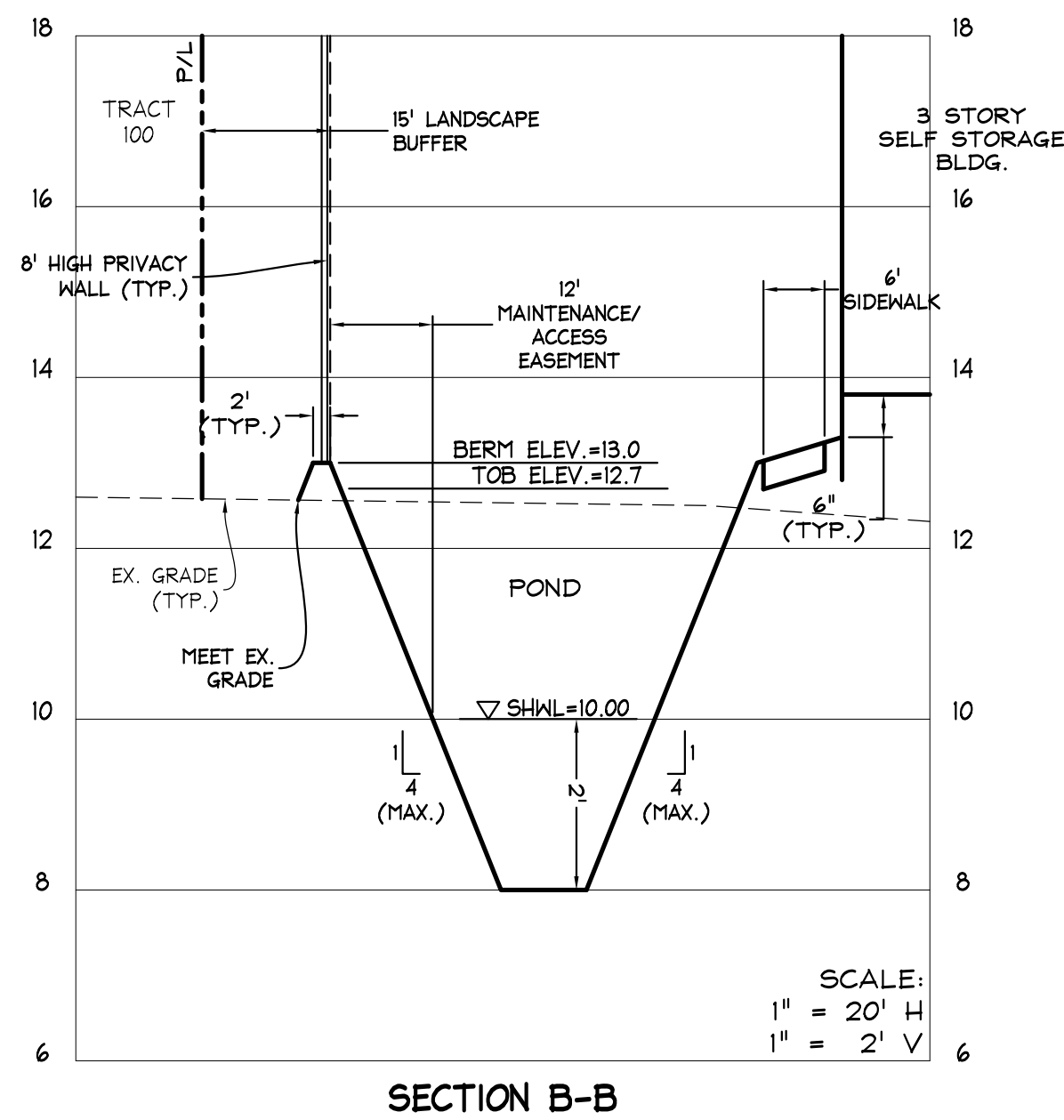
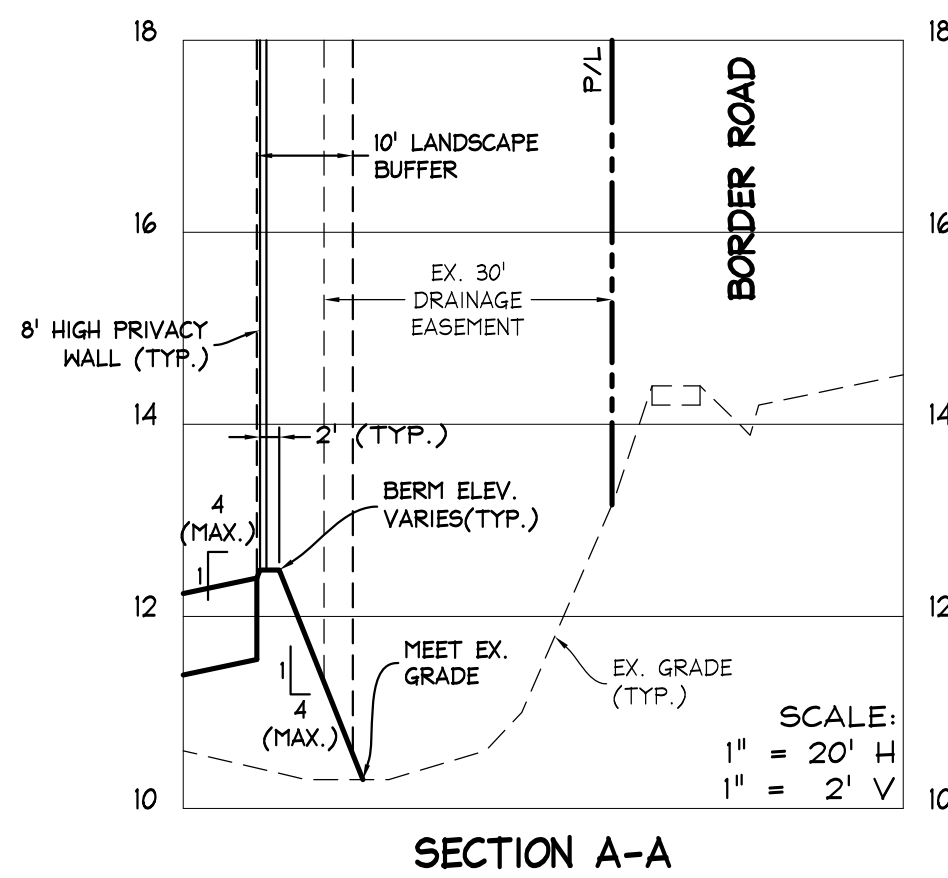
		TOP EL.	THROAT EL.	INV. N	INV. S	INV. E	INV. W
CB1	TYPE 'C'	10.60	-	6.40	6.40	-	-
CB2	TYPE 'C'	10.60	-	-	-	6.80	-
CB3	TYPE 'C'	10.60	-	6.80	6.80	-	-
CB4	TYPE 'C'	10.60	-	7.10	-	-	-
CB5	TYPE 'C'	10.60	-	-	-	-	6.00
CB6	TYPE 'C'	10.60	-	6.20	6.20	-	-
CB7	TYPE 'C'	10.60	-	-	-	6.80	6.80
CB8	TYPE 'C'	10.60	-	-	-	-	8.70
JB1	JUNCTION BOX	11.60	-	5.90	5.90	5.90	-
JB2	JUNCTION BOX	11.20	-	6.60	-	6.60	-
JB3	JUNCTION BOX	11.00	-	6.00	6.60	-	6.60
JB4	JUNCTION BOX	13.60	-	-	-	11.00 (EX.)	11.00



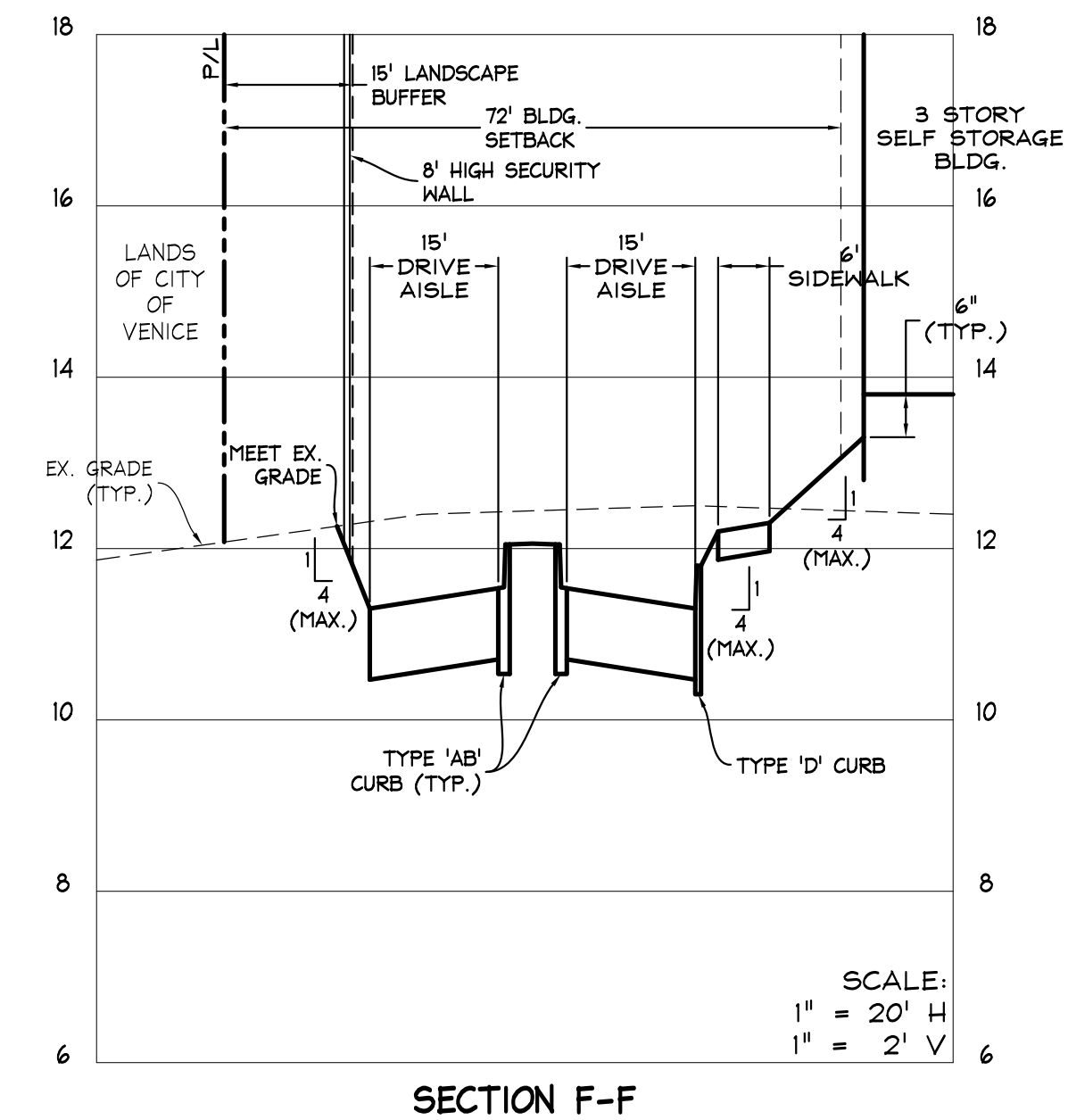
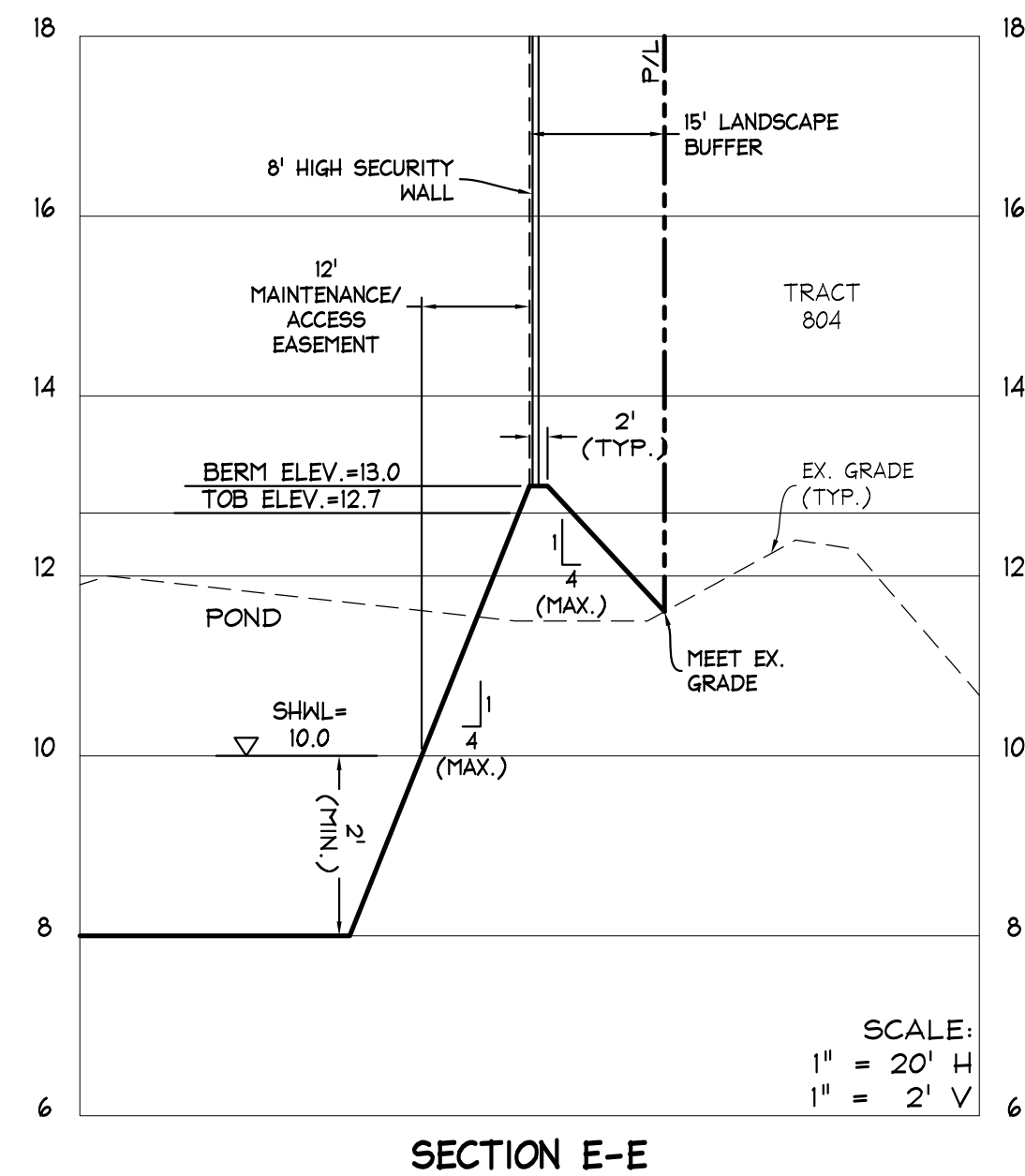
CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS PRIOR TO THE START OF
CONSTRUCTION

NO.	REVISIONS	PER CITY COMMENTS	DATE	BY
4	REVISED	PER CITY COMMENTS 5/23/25 JRR		
3	REVISED	PER CITY COMMENTS 4/7/25 JRR		
2	REVISED	PER CITY COMMENTS 3/5/25 JRR		
1	REVISED	PER CITY COMMENTS 11/11/24 JRR		

THIS PLAN HAS BEEN PREPARED AND DESIGNED BY JOHN F. CAVOLI, P.E.
A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA
AND HAS BEEN REVIEWED AND APPROVED BY JOHN F. CAVOLI, P.E.
A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA
DATE: 2/14/24



NOTE:
ALL BERMS AND SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH CITY OF VENICE CODE OF ORDINANCES, CHAPTER 84, SECTION 2.10;
LAKE BANKS/SLOPES ARE TO BE SODDED. AQUATIC PLANTS SHALL BE EVENLY DISTRIBUTED AROUND THE LAKE PERIMETER;



CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

NO.	REVISIONS	DATE	BY
2	PER CITY REVIEW COMMENTS	5/23/25	JRR
1	PER CITY REVIEW COMMENTS	4/7/25	JRR

THESE PLANS HAVE BEEN PREPARED AND DESIGNED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER OF RECORD.

LITTORAL SHELF NOTES:

LITTORAL ZONE AREA REQUIRED: 0.083 AC. = 3,608 S.F.
LITTORAL ZONE AREA PROVIDED: 0.085 AC. = 3,705 S.F.

SPECIES	% COMPOSITION	NUMBER
ARROWHEAD (SAGITTARIA LANICIFOLIA)	45	86
PICKERELWEED (PONTEDERIA CORDATA)	45	86
GIANT SPIKERUSH (ELEOCHARIS INTERSTINCTA)	10	22
		TOTAL 194

PROPOSED SPECIES ARE SUITABLE FOR ALL DESIGNATED LITTORAL ZONE DEPTHS.

PLANT SIZE SHALL BE 2" MINIMUM IN SIZE, OBTAINED FROM NURSERY STOCK, HEALTHY AND FREE FROM DISEASE AT TIME OF PLANTING.

A PLANT SPACING OF 3' ON-CENTER WILL BE USED FOR EMERGENTS AND 5' ON-CENTER FOR WATER LILIES.

ANY REQUESTED CHANGES TO THE SPECIES LIST OR INITIAL AND/OR SUPPLEMENTAL PLANTING WILL BE SUBMITTED TO RESOURCE PROTECTION FOR APPROVAL. RESOURCE PROTECTION SHALL BE NOTIFIED WITHIN 7 DAYS OF PLANTING.

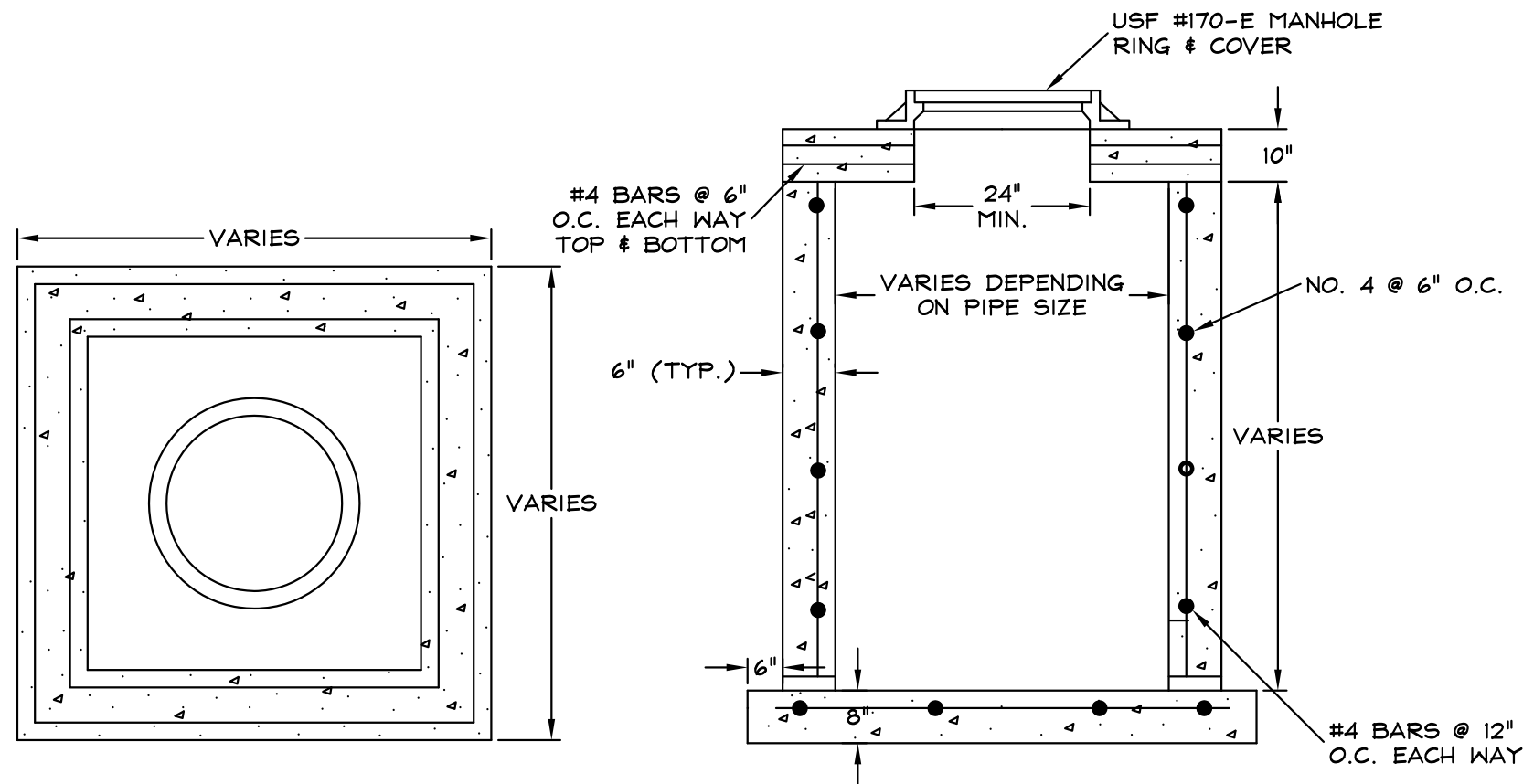
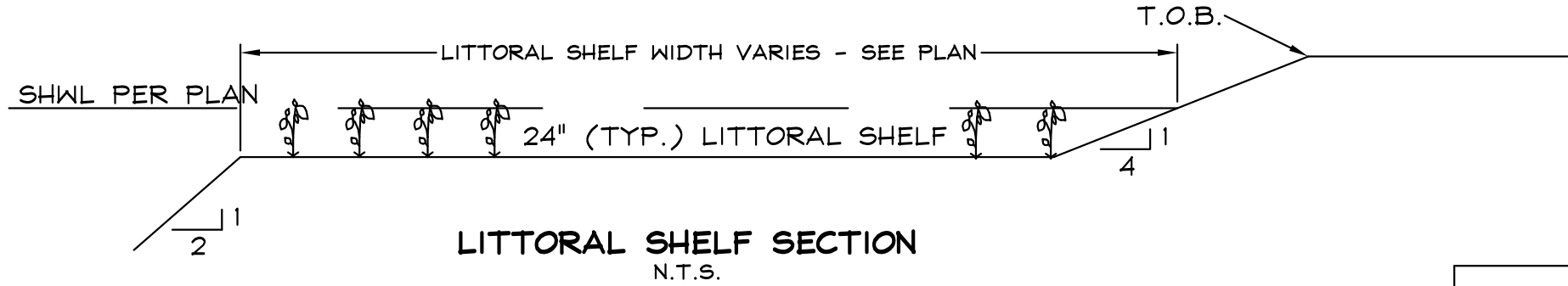
THE PLANTS WILL BE PLANTED DURING THE MONTHS OF APRIL THROUGH SEPTEMBER.

THE LITTORAL ZONES SHALL BE MONITORED SEMI-ANNUALLY FOR TWO YEARS (OR LESS IF DETERMINED SUCCESSFUL BY RESOURCE PROTECTION). REPORTS WILL BE SUBMITTED TO RESOURCE PROTECTION WITHIN 30 DAYS OF DATA COLLECTION. MONITORING DATA SHALL INCLUDE PERCENT SURVIVAL OF PLANTED SPECIES, PERCENT COVERAGE OF NATURALLY RECRUITED UNDESIRABLE SPECIES, AND PHOTO-DOCUMENTATION FROM FIXED POINTS. THE DEVELOPER OR ASSIGNED (I.E. HOMEOWNERS' ASSOCIATION) WILL BE RESPONSIBLE FOR CONTRACTING A QUALIFIED CONSULTANT TO PERFORM MONITORING OF LITTORAL ZONES.

MAINTENANCE OF EXOTIC AND/OR NUISANCE SPECIES (I.E. TYPHA SPP., LUDWIGIA PERUVIAN, PANICUM REPENS) WITHIN LITTORAL ZONES WILL BE PERFORMED TO LIMIT SUCH UNDESIRABLES TO LESS THAN FIFTEEN PERCENT COVERAGE. SUPPLEMENTAL PLANTING WILL OCCUR AT THE END OF THE FIRST AND SECOND YEARS FOLLOWING INITIAL PLANTING IF SURVIVAL OF INDIVIDUAL SPECIES FALLS BELOW EIGHTY-FIVE PERCENT OR IF COVERAGE IS LESS THAN EIGHTY-FIVE PERCENT AND CONSTITUTES FEWER THAN THREE SPECIES. THE DEVELOPER OR ASSIGNED (I.E. HOMEOWNERS' ASSOCIATION) WILL BE RESPONSIBLE FOR CONTRACTING A QUALIFIED AND EXPERIENCED PLANT/VEGETATIVE MAINTENANCE CONTRACTOR TO PERFORM VEGETATIVE MAINTENANCE WITHIN LITTORAL ZONES.

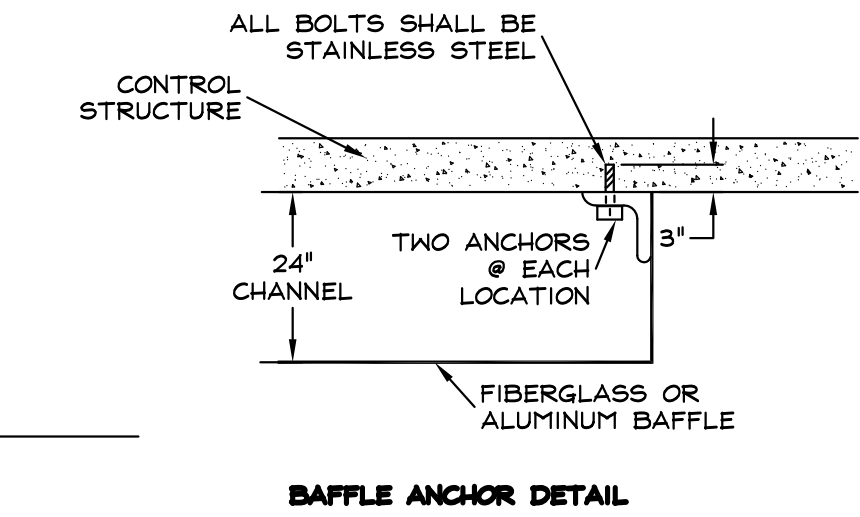
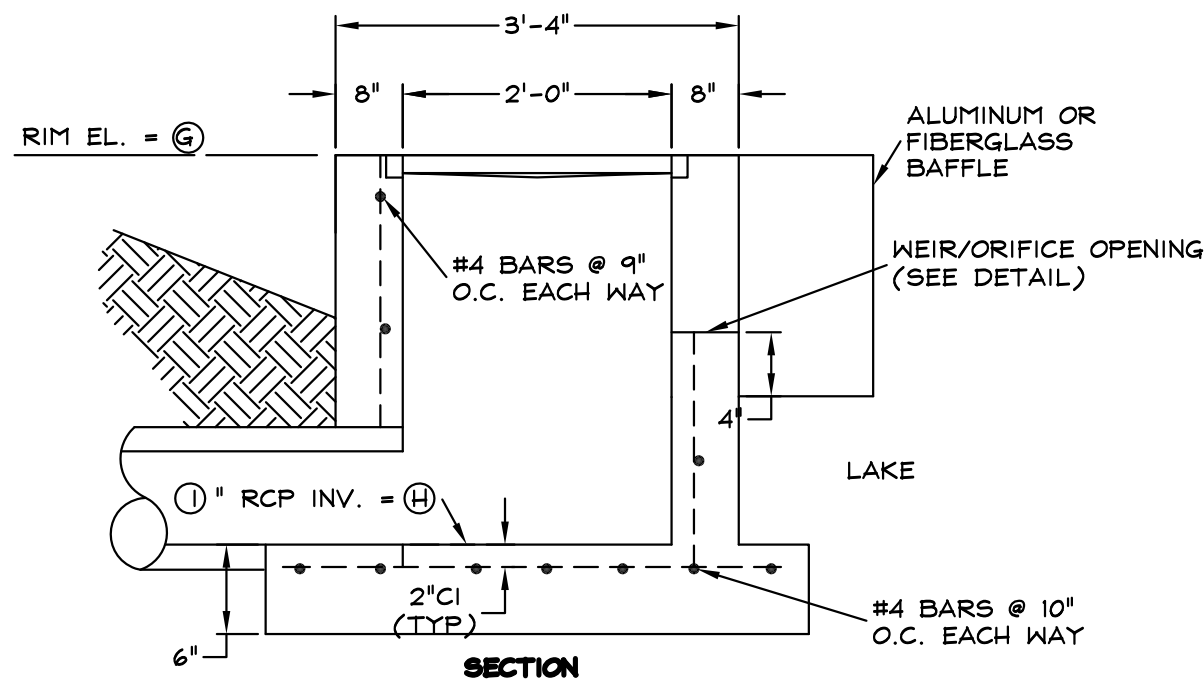
THE LITTORAL ZONES SHALL BE MAINTAINED IN PERPETUITY.

A MONITORING AND MAINTENANCE BOND IN A FORM ACCEPTABLE TO THE BOARD SHALL BE SUBMITTED TO THE COUNTY PRIOR TO EXCAVATION OF THE ON-SITE LAKE. SAID BOND SHALL BE IN THE AMOUNT TO COVER ONE HUNDRED PERCENT (100%) OF THE ESTIMATED COST FOR TWO YEARS OF MONITORING AND MAINTENANCE OF THE LITTORAL ZONE.

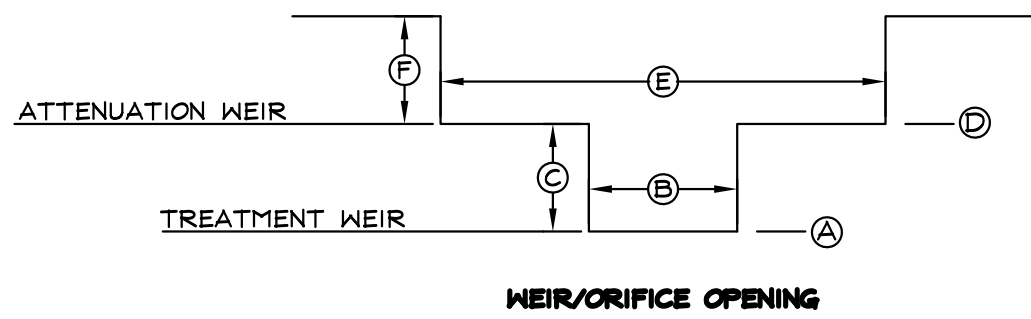
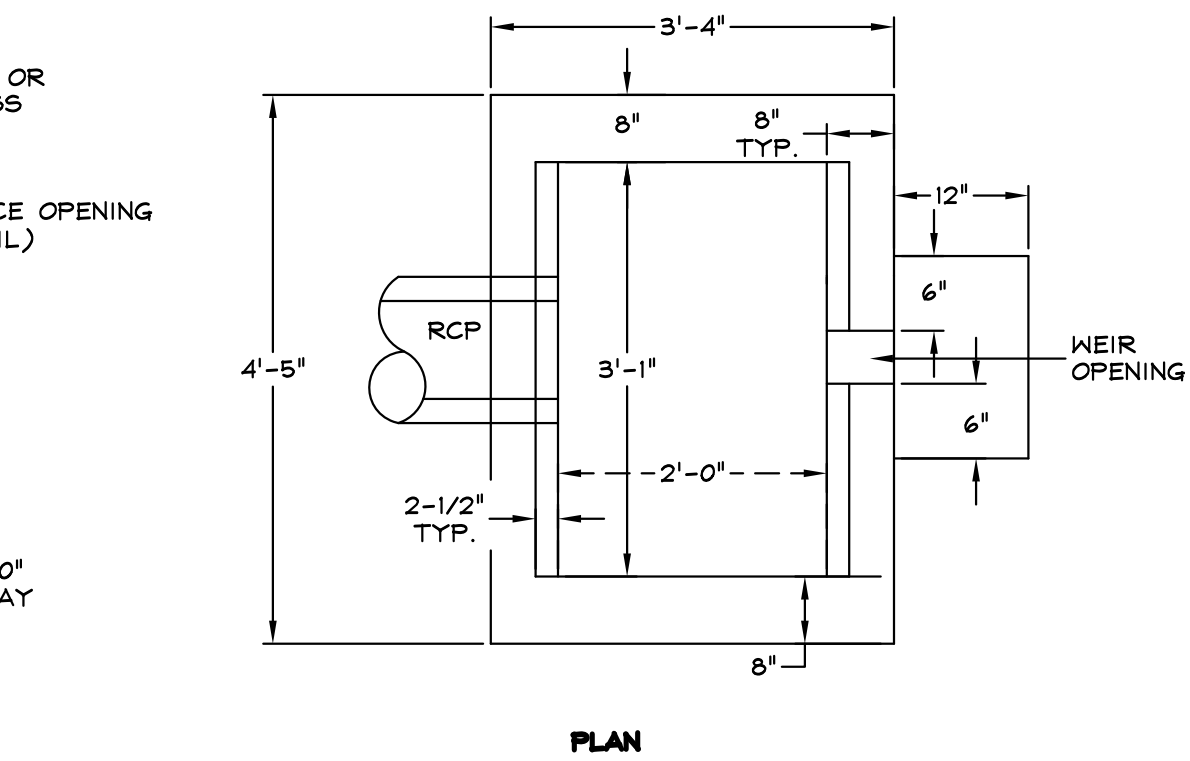


JUNCTION BOX DETAIL
N.T.S.

- GENERAL NOTES:**
TV VIDEO INSPECTION IS REQUIRED FOR ALL RCP STORMWATER PIPES WHICH CONVEY RUNOFF FROM STREETS (PUBLIC OR PRIVATE).
LASER PROFILE IS REQUIRED FOR ALL ADS/HDPE STORMWATER PIPES WHICH CONVEY RUNOFF STREETS (PUBLIC OR PRIVATE). FOR PIPE 48 INCHES OR LESS IN DIAMETER, PROVIDE THE ENGINEER A VIDEO DVD AND REPORT USING LOW BARREL DISTORTION VIDEO EQUIPMENT WITH LASER PROFILE TECHNOLOGY, NON-CONTACT MICROMETER AND ASSOCIATED SOFTWARE (OR APPROVED EQUAL) THAT PROVIDES:
1. ACTUAL RECORDED LENGTH AND WIDTH MEASUREMENTS OF ALL CRACKS WITHIN THE PIPE.
2. ACTUAL RECORDED SEPARATION MEASUREMENT OF ALL PIPE JOINTS.
3. PIPE OVALITY REPORT.
4. DEFLECTION MEASUREMENTS AND GRAPHICAL DIAMETER ANALYSIS REPORT IN TERMS OF X AND Y AXIS.
5. FLAT ANALYSIS REPORT.
6. REPRESENTATIVE DIAMETER OF THE PIPE.
7. PIPE DEFORMATION MEASUREMENTS, LEAKS, DEBRIS, OR OTHER DAMAGE OR DEFECTS.
8. DEVIATION IN PIPE LINE AND GRADE, JOINT GAPS, AND JOINT MISALIGNMENT.



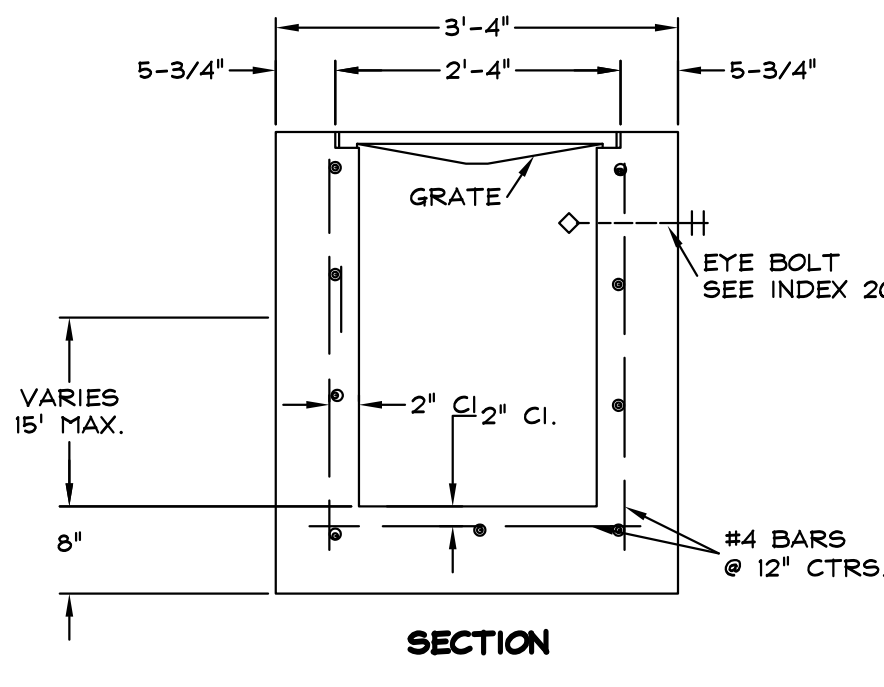
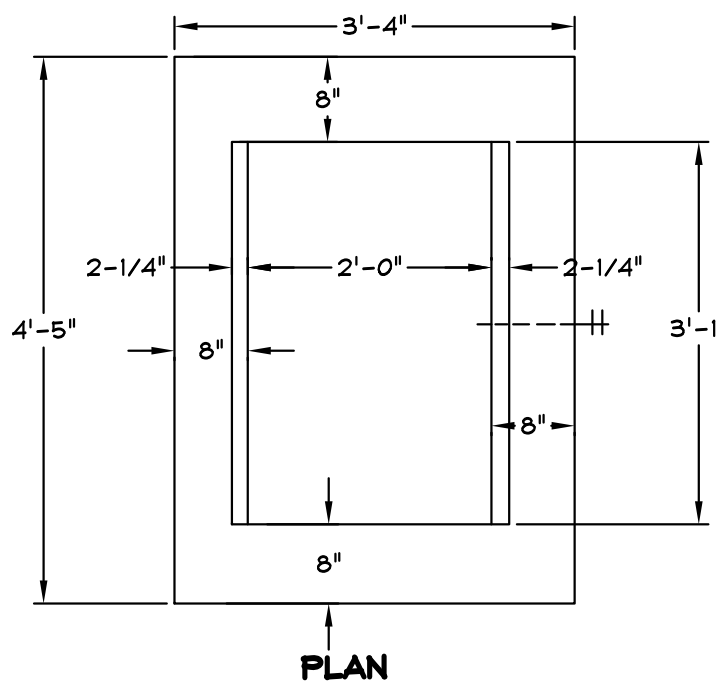
BAFFLE ANCHOR DETAIL



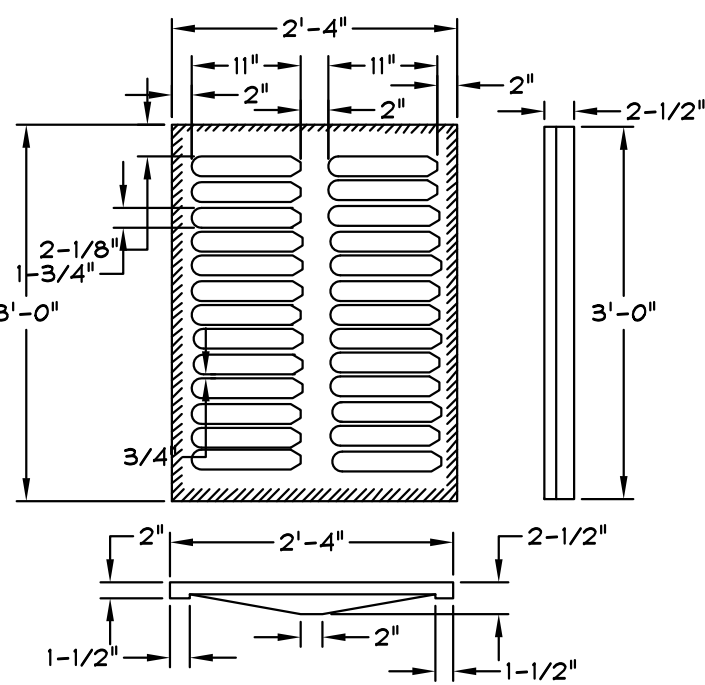
NOTE: ALL BAFFLES TO BE MOUNTED 6" PAST EITHER SIDE OF THE WEIR OPENING

"WEIR INFORMATION"									
STRUCT. ID	A TREATMENT WEIR EL (FT)	B TREATMENT WEIR WIDTH (FT)	C TREATMENT WEIR HEIGHT (FT)	D ATTENUATION WEIR 1 EL (FT)	E ATTENUATION WEIR 1 WIDTH (FT)	F ATTENUATION WEIR 1 HEIGHT (FT)	G RIM EL (FT)	H PIPE INVERT (FT)	I PIPE DIAMETER (IN)
CSI	10.00	2.7	0.7	10.70	2.7	0.9	11.60	6.50	29"x45"

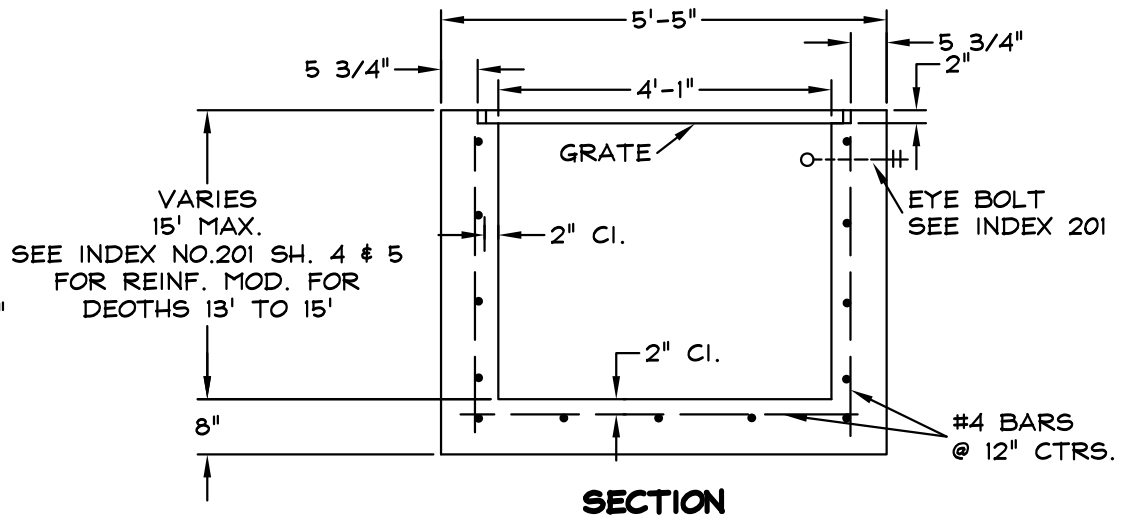
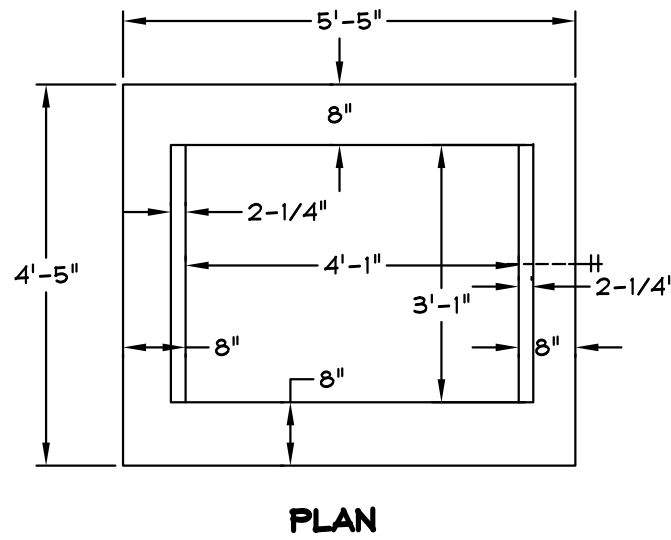
CONTROL STRUCTURE TABLE (MODIFIED FDOT INLET)
N.T.S.



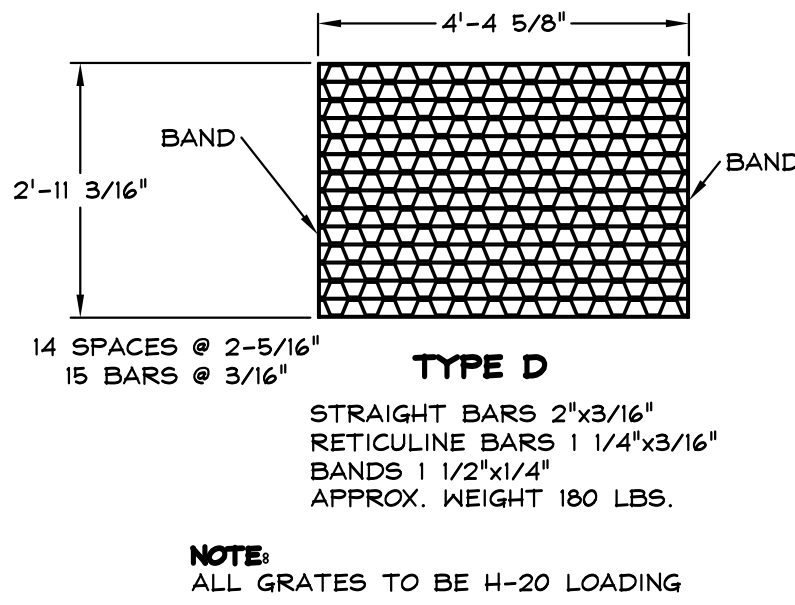
TYPE C (GRATE INLET)
RECOMMENDED MAXIMUM PIPE SIZE:
2'-0" WALL-18" PIPE
3'-1" WALL-24" PIPE



TYPE C
APPROX. WEIGHT 235 LBS.

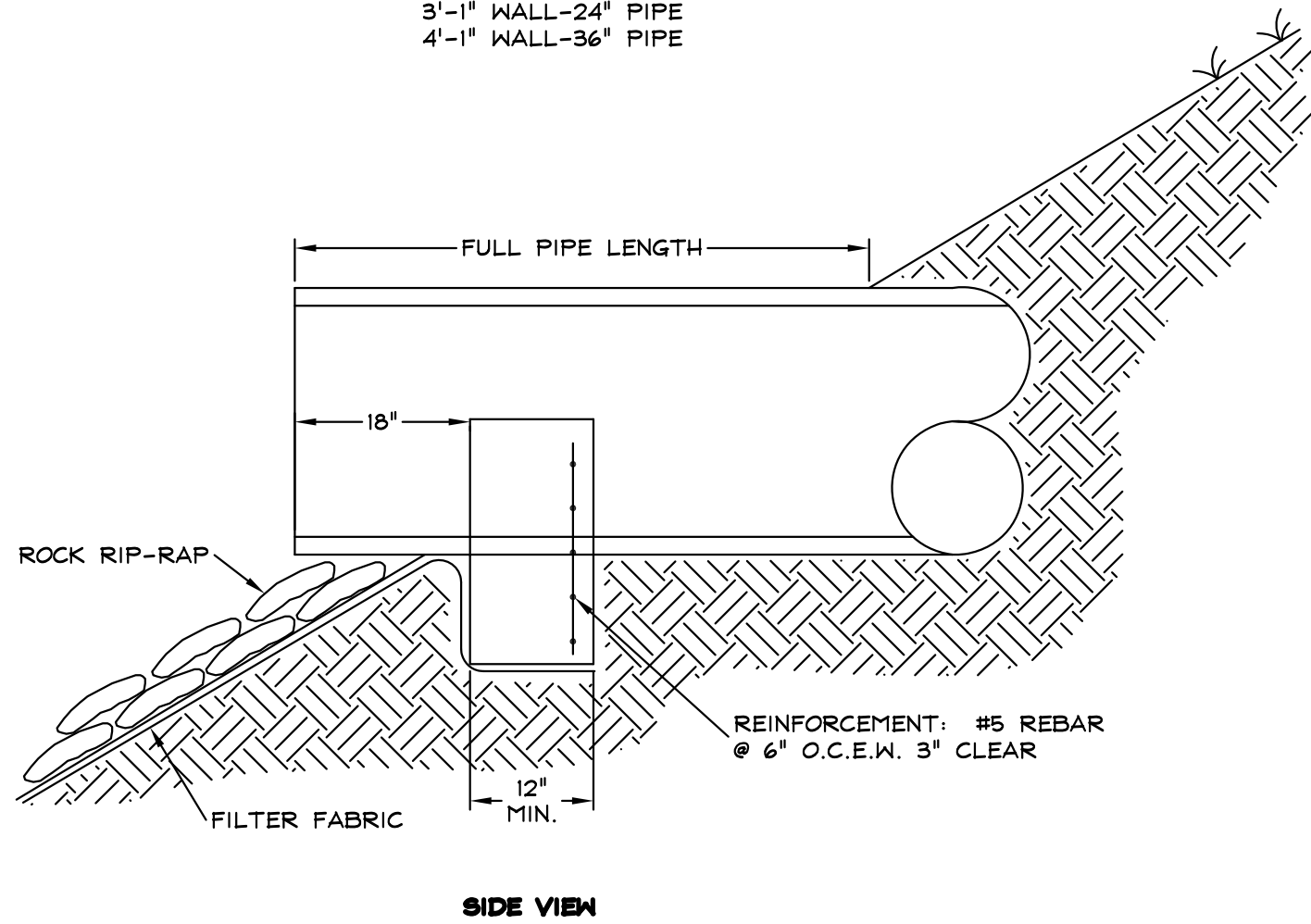


TYPE D (GRATE INLET)
RECOMMENDED MAXIMUM PIPE SIZE:
3'-1" WALL-24" PIPE
4'-1" WALL-36" PIPE

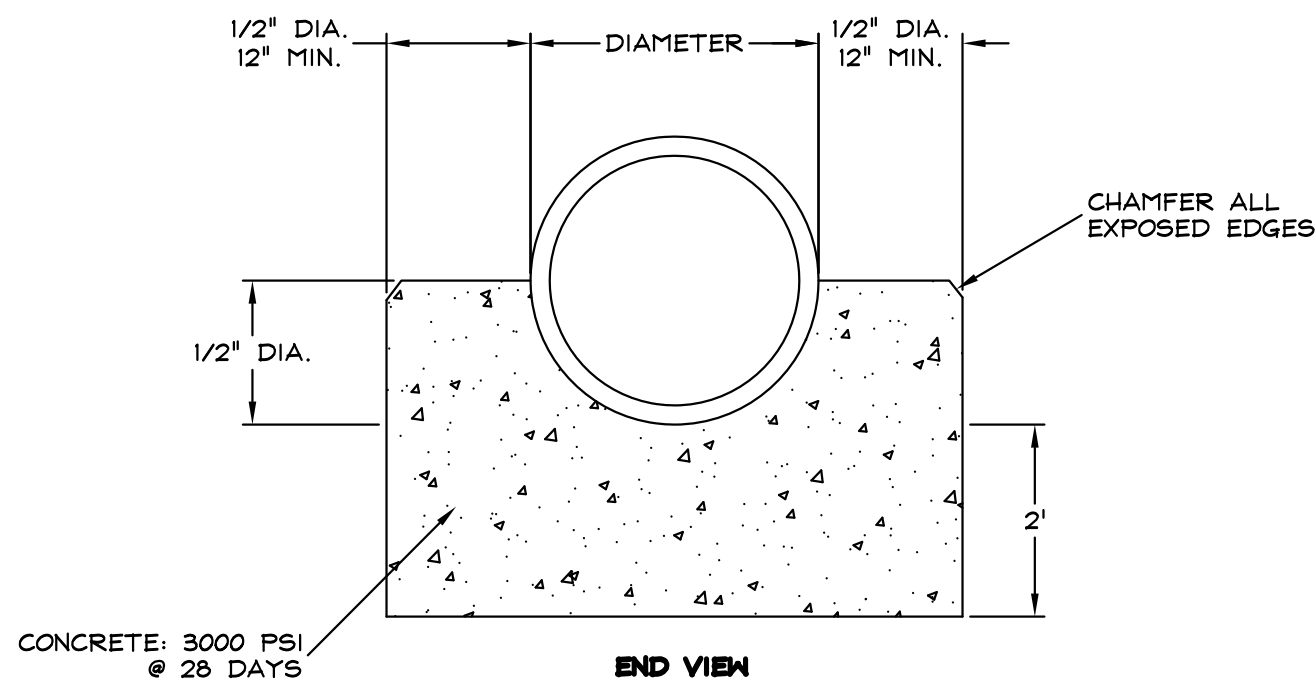


TYPE D
STRAIGHT BARS 2"x3/16"
RETICULINE BARS 1 1/4"x3/16"
BANDS 1 1/2"x1/4"
APPROX. WEIGHT 180 LBS.

NOTE: ALL GRATES TO BE H-20 LOADING



SIDE VIEW

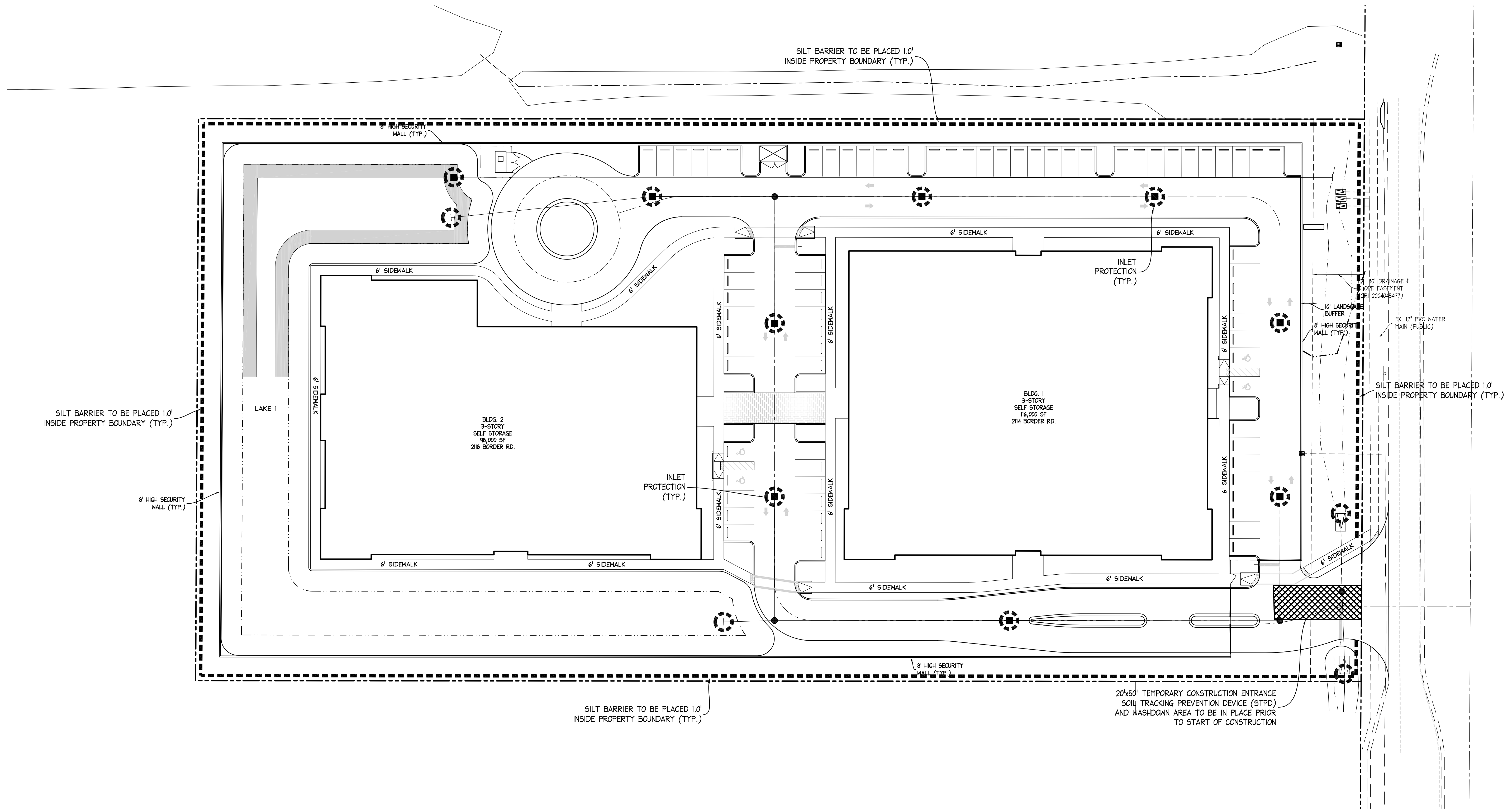


CONCRETE: 3000 PSI
@ 28 DAYS

ENDWALL
PIPE SUPPORT DETAIL
N.T.S.

NO.	REVISIONS	DATE	BY
1	PER CITY REVIEW COMMENTS	4/7/25	JRR

CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION



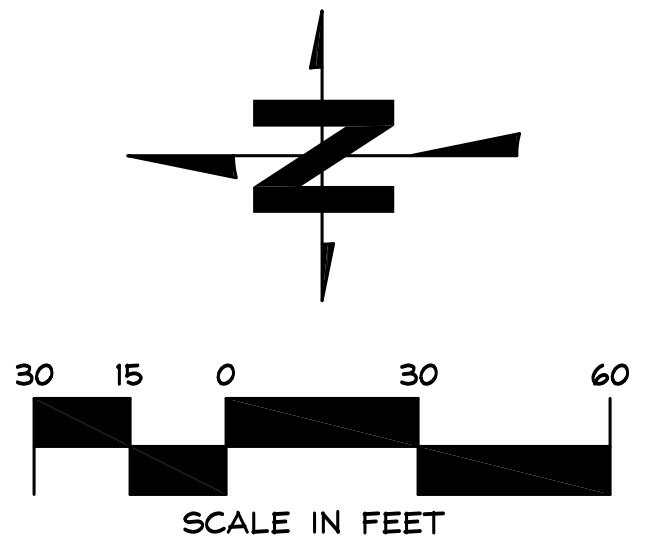
POLLUTION PREVENTION NOTES:

- 1) EROSION AND SEDIMENT CONTROL BMPs IN ADDITION TO THOSE PRESENTED ON THE PLANS AND OUTLINED IN THE EROSION AND SEDIMENT CONTROL PLAN (ECP), BEST MANAGEMENT PRACTICES (BMP) PLAN, OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF-SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON-SITE WETLANDS AND SURFACE WATERS. BMPs SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF-SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.)
- 2) OFF-SITE SURFACE WATER DISCHARGES, DISCHARGES TO THE MS4, OR DISCHARGES TO ON-SITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTUs) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO CITY OF VENICE PUBLIC WORKS DEPARTMENT, STORMWATER MANAGEMENT DIVISION, WITHIN 24 HOURS OF THE OCCURRENCE. (941) 882-7413. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- 3) THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-246.320(4)(C), F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- 4) FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORM WATER DRAINS OR WATER BODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO CITY OF VENICE PUBLIC WORKS DEPARTMENT. (941) 426-2422. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.

- 5) IF PREVIOUSLY UNKNOWN RECOGNIZED ENVIRONMENTAL CONDITIONS (E.G. CONTAMINATED SOIL AND/OR GROUNDWATER, BURIED WASTES, ETC.) ARE DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE IMMEDIATE VICINITY SHALL CEASE, AND CITY OF VENICE PUBLIC WORKS DEPARTMENT, STORMWATER MANAGEMENT DIVISION, SHALL BE CONTACTED. (941) 882-7413.
- 6) PRIOR TO RENOVATION OR DEMOLITION OF EXISTING ON-SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
- 7) FERTILIZER APPLICATION SHALL BE CONSISTENT WITH THE CITY OF VENICE STORMWATER REGULATIONS.
- 8) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM - STORMWATER:

- A. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (AKA, CONSTRUCTION GENERIC PERMIT, OR CGP).
- B. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH PART 2.6 OF THE GENERIC PERMIT.
- C. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO CITY OF VENICE WITHIN 7 CALENDAR DAYS IN ACCORDANCE WITH PART 2.6 OF THE GENERIC PERMIT.
- D. THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH PART 4.6 OF THE GENERIC PERMIT, AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO THE CITY OF VENICE AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- E. A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO CITY, COUNTY, OR STATE INSPECTORS AT ALL TIMES.

- 9) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM - DENATURING:
IF NOT OTHERWISE COVERED AS OUTLINED UNDER PART 3.4 OF THE GENERIC PERMIT, THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DENATURING, TO SURFACE WATERS, OR TO ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DENATURING. ANALYTICAL RESULTS FROM PRE-DISCHARGE TESTING SHALL BE PROVIDED TO CITY OF VENICE.



CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS PRIOR TO THE START OF
CONSTRUCTION

CLIENT: SOUTHWEST FLORIDA 1, LLC
PROJECT: BORDER ROAD SELF STORAGE
SHEET: SEDIMENT / EROSION CONTROL PLAN

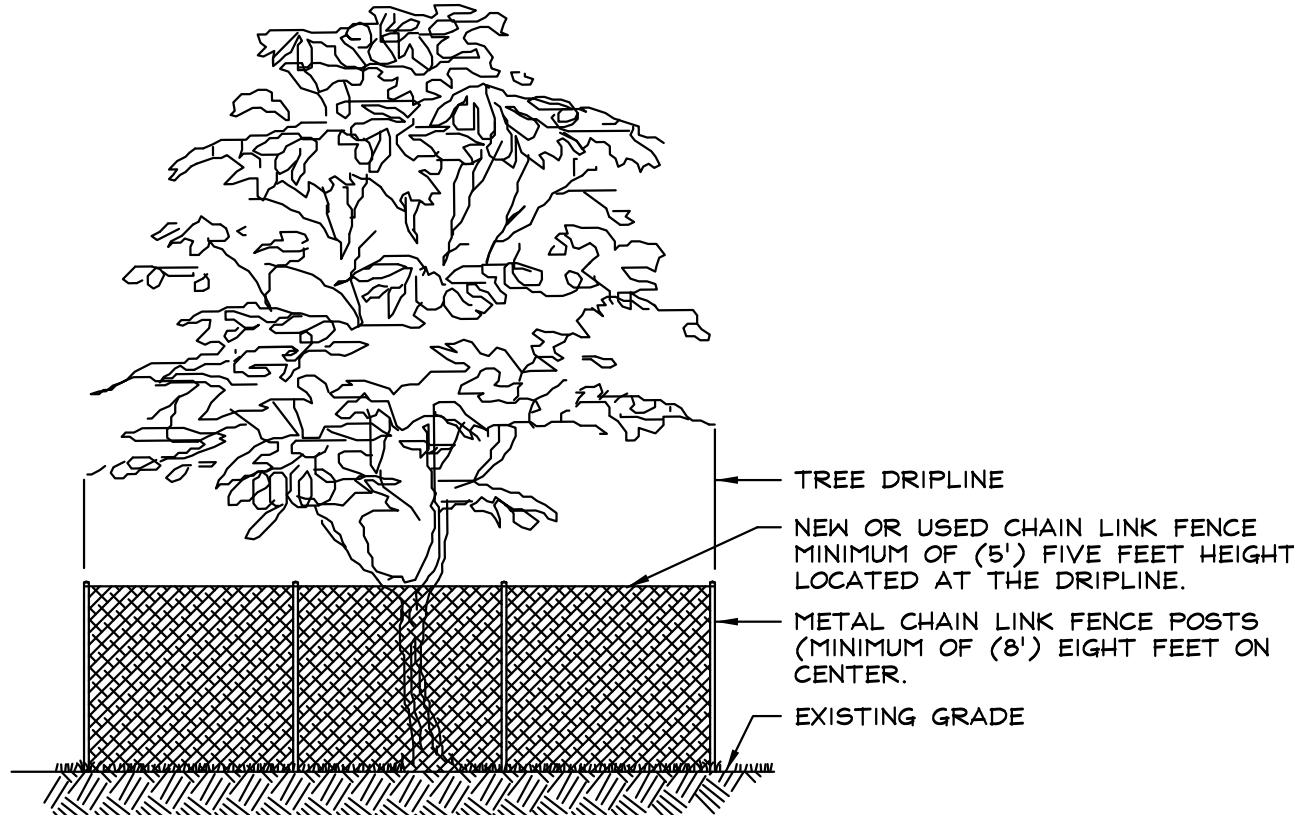
NO.	REVISIONS	DATE	BY
3	REVISED PER CITY COMMENTS	5/23/25	JRR
2	REVISED PER CITY COMMENTS	4/7/25	JRR
1	REVISED PER CITY COMMENTS	3/5/25	JRR

THIS PLAN HAS BEEN PREPARED, DESIGNED, AND DRAINED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, LICENSE NO. 12500. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THIS PLAN TO BE VALID.

DATE	2/14/24
SCALE	1" = 30'
JOB NO.	TCAP03
SHEET	8

CAVOLI Engineering, Inc.
Consulting Civil Engineers
11111 11th Ave. N., Suite 101, Sarasota, FL 34240
(941) 927-3647
Fax: (941) 927-3646
email: info@covallengineering.com

BARRIER SHALL BE PLACED AT THE DRIPLINE AROUND THE TREE(S) TO BE PROTECTED. NO IMPROVEMENTS, FILL, GRADE CHANGES OR COMPACTION OF SOIL DUE TO HEAVY MACHINERY IS TO BE PERMITTED WITHIN THE DRIPLINE OF THE TREE(S) PROPOSED TO BE PRESERVED. THE AREA WITHIN THE DRIPLINE IS TO REMAIN UNDISTURBED. BARRICADES ARE TO BE CONSTRUCTED IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.



NOTE: CHAINLINK FENCE TO ONLY BE UTILIZED FOR PROTECTION OF SIGNIFICANT TREES (OVER 30" CALIPER). ORANGE OR SILT FENCE CAN BE UTILIZED OTHERWISE INSTALLED AT THE DRIPLINE UNLESS OTHERWISE NOTED.

TREE PROTECTION DETAIL
(PRIOR TO CONSTRUCTION ACTIVITIES)
N.T.S.

EROSION CONTROL NOTES

GENERAL:

- * EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED DURING CONSTRUCTION BY THE CONTRACTOR. SITE SPECIFIC BEST MANAGEMENT PRACTICES SHALL PREVENT SEDIMENT AND OTHER HARMFUL CONTAMINATES FROM ENTERING THE STORM WATER MANAGEMENT SYSTEM AND ADJACENT PROPERTIES.
- * THE EFFECTIVENESS OF THE SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE CHECKED DAILY BY THE CONTRACTOR.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM WATER MANAGEMENT SYSTEM BOTH ON-SITE AND OFF-SITE.
- * ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE VERIFIED AND INSPECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- * ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE EXISTING CONDITION, OR BETTER, TO THE SATISFACTION OF THE OWNER.
- * SILT FENCE MAY BE USED INSTEAD OF TREE PROTECTION BARRICADES, STAFF MUST APPROVE SILT FENCE. FIELD ADJUST SILT FENCE TO AVOID TRENCHING WITHIN DRIP LINES OF TREES, USE OF HAY BALES PERMITTED.

SITE GRADING PRACTICES:

- * SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EARTH MOVING ACTIVITIES.
- * THE CONTRACTOR SHALL MINIMIZE IMPACT TO AREAS WHICH ARE TO REMAIN UNDISTURBED. ALL AREAS TO REMAIN SHALL BE PROTECTED ACCORDINGLY (TREE BARRICADES, ETC.).
- * TEMPORARY Dewatering BASINS SHALL BE CONSTRUCTED PRIOR TO STORM WATER MANAGEMENT LAKE EXCAVATION.
- * STOCKPILED AREAS SUCH AS TOPSOIL SHALL BE PLACED AND PROTECTED SO AS TO LIMIT SEDIMENT RUNOFF. ANY STOCKPILED MATERIAL NOT USED WITHIN 30 DAYS SHALL BE STABILIZED.
- * ORGANIC MATERIAL AND DEBRIS SHALL BE DISPOSED OF ACCORDINGLY.
- * ALL SLOPES SHALL BE IN ACCORDANCE WITH THE PLANS AND STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

WETLAND PROTECTION:

- * ALL WETLANDS AND BUFFERS SHALL BE IDENTIFIED AND DELINEATED PRIOR TO THE START OF CONSTRUCTION.
- * PRIOR TO PERFORMING ANY WORK WITHIN THE WETLAND DRAINAGE BASIN, ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON THE PLANS.
- * TEMPORARY AND/OR PERMANENT IMPACTS TO WETLANDS AND/OR BUFFERS SHALL BE MINIMIZED. THESE AREAS WILL BE CLEARLY DEFINED AND APPROPRIATE MEASURES TAKEN TO ENSURE NO ADDITIONAL AREAS ARE AFFECTED.
- * MATERIAL FROM IMPACTED AREAS SHALL BE STOCKPILED AND USED IN THE RESTORATION OF SUCH AREAS.
- * ANY ADDITIONAL IMPACTS OR DAMAGE TO WETLANDS AND BUFFER SHALL BE IDENTIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE ADDITIONAL IMPACTS OR DAMAGE.

TEMPORARY Dewatering BASINS (IF REQUIRED):

- * Dewatering BASINS SHALL BE PROVIDED TO ENSURE NO OFF-SITE DISCHARGE VIOLATE TURBIDITY STANDARDS.
- * ALL TEMPORARY Dewatering BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS.
- * ALL BASIN SLOPES SHALL BE A MAXIMUM OF 4:1 HORIZONTAL TO VERTICAL.
- * BASIN OUTFALL PIPE TO HAVE EITHER A RISER STRUCTURE WITH SKIMMER OR PROVIDE A MEANS OF FILTERING WATER PRIOR TO DISCHARGE.
- * ALL EMBANKMENTS SHALL BE COMPACTED AND STABILIZED TO PREVENT BREACHING.
- * Dewatering SHALL NOT EXCEED 120 DAYS OR A WATER USE PERMIT MUST BE OBTAINED FROM THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND WILL NOT EXCEED A Dewater RATE OF 3.34 FPS OR AS INDICATED BY THE Dewater CALCULATION IN THE STORM WATER MANAGEMENT REPORT.

MAINTENANCE OF SEDIMENT AND EROSION CONTROL PRACTICES:

- * ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY AND/OR AFTER ANY STORM EVENT FOR INTEGRITY AND REPAIRED AND/OR REPLACED ACCORDINGLY IF SIGNS OF FAILURE ARE OBSERVED.
- * SEDIMENT SHALL BE REMOVED FROM ALL SUMP AREAS AS NECESSARY TO MAINTAIN REQUIRED VOLUMES.
- * ALL SEDIMENT AND EROSION CONTROL MEASURES WILL REMAIN IN PLACE UNTIL ALL STABILIZATION HAS BEEN COMPLETED.
- * ANY EROSION EXPERIENCED UPON REMOVAL OF SEDIMENT AND EROSION CONTROL MEASURES WILL BE STABILIZED IMMEDIATELY.

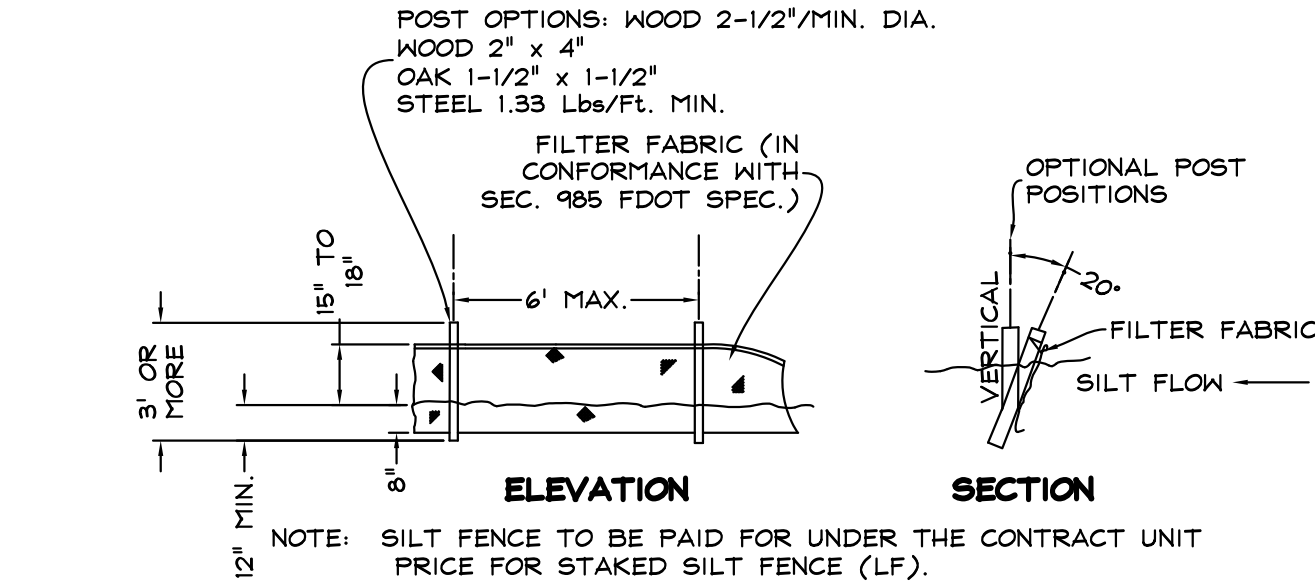
SEQUENCING PLAN:

- * SITE PERIMETER SILT FENCE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- * SILT FENCE IN ROCKPIDE SWALES TO BE INSTALLED PRIOR TO Dewatering OR INITIATION OF ANY RIGHT-OF-WAY IMPROVEMENTS.
- * AS INLETS WITH PIPING ARE CONSTRUCTED, INLET PROTECTION WILL BE INSTALLED.
- * SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY FOR PROPER OPERATION.
- * STABILIZATION MEASURES WILL BE INITIATED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
- * SEDIMENT AND EROSION CONTROL MEASURES WILL BE REMOVED ONLY UPON COMPLETION OF ALL STABILIZATION MEASURES.

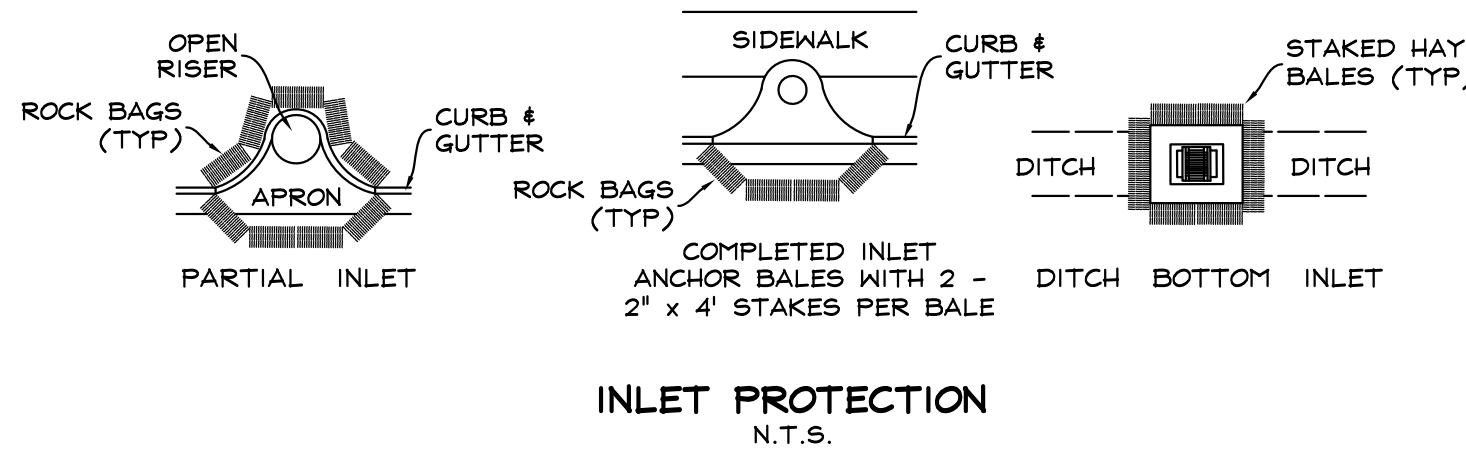
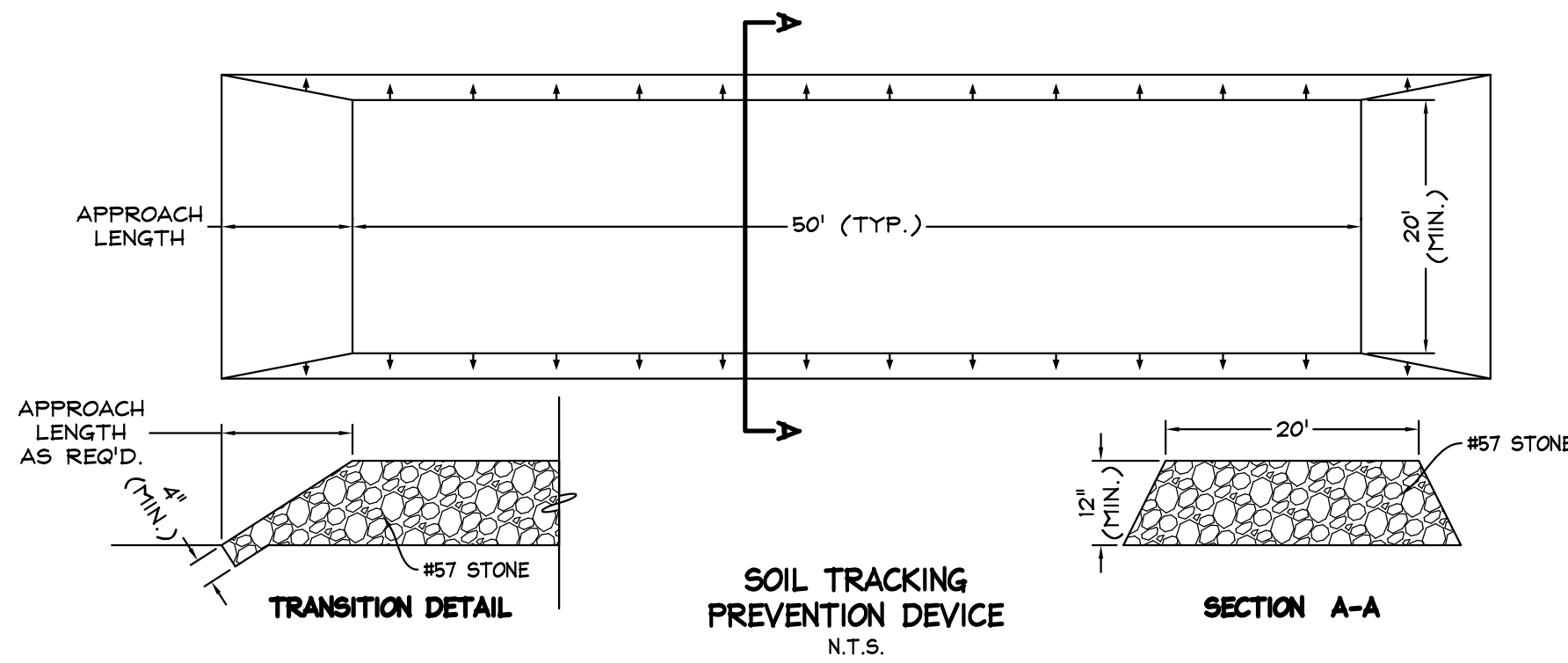
SEDIMENT & EROSION CONTROL PLAN:

EROSION AND SEDIMENT CONTROL PLAN (ESCP): PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AUTHORIZED WITH SITE PLAN APPROVAL, THE DEVELOPER SHALL BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) TO THE CITY OF VENICE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE PLAN SHALL IDENTIFY CONSTRUCTION SEQUENCING, BEST MANAGEMENT PRACTICES (BMPS) TO MINIMIZE EROSION AND SEDIMENTATION AND TO MANAGE THE QUALITY AND QUANTITY OF STORMWATER RUNOFF DURING AND AFTER CONSTRUCTION, AND OTHER PRACTICES EMPLOYED TO MINIMIZE FUGITIVE PARTICULATE EMISSIONS DURING AND AFTER CONSTRUCTION. GENERALLY, PROJECTS THAT ARE GREATER THAN FIVE (5) ACRES AND SMALLER PROJECTS WITH MAJOR LAND DISTURBANCES (I.E. STOCKPILING, EXCAVATION OF OVERSIZED LAKES, FILING OF LOTS, ETC.) ARE SUBJECT TO THIS REQUIREMENT. REDEVELOPMENT PROJECTS OR PROJECTS WITH MINOR IMPROVEMENTS MAY NOT BE SUBJECT TO THIS REQUIREMENT. THE CITY ENGINEER OR DESIGNEE MAY, AT HIS/HER DISCRETION, WAIVE THIS REQUIREMENT ON A CASE BY CASE BASIS. THE ESCP SHALL, AT A MINIMUM, INCLUDE THE FOLLOWING INFORMATION:

1. DETAILS OF CONSTRUCTION SEQUENCING, Dewatering ACTIVITIES AND SUMP LOCATIONS, STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS:
 - THE SEQUENCING PLAN SHALL PROCEED AS FOLLOWS: THE PERIMETER SILT FENCE SURROUNDING THE SITE SHALL BE INSTALLED PRIOR TO ANY EARTHMOVING ACTIVITIES. THE INLET PROTECTION ELEMENTS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF THE STORM WATER INLETS WITH THEIR ASSOCIATED PIPING. UPON THE COMPLETION OF FINAL GRADING, STABILIZATION MEASURES WILL BE INITIATED. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED AFTER STABILIZATION HAS TAKEN PLACE.
- A. DESCRIPTION OF LAND CLEARING/DISTURBING ACTIVITIES, EXISTING SITE CONDITIONS AND ADJACENT LAND USES/AREAS THAT MIGHT BE AFFECTED BY LAND CLEARING/DISTURBANCES:
 - CLEARING AND GRUBBING WILL TAKE PLACE WITHIN THE SITE. EXISTING SITE CONDITIONS INCLUDE A LEVEL SITE WITH TREES. TREE BARRICADES SHALL BE INSTALLED AS PER THE LANDSCAPE PLANS AROUND THE TREES TO BE SAVED.
- B. IDENTIFICATION OF STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS:
 - ANY EXCAVATED MATERIAL FROM THE LAKE AREAS SHALL BE USED AS FILL ON THE SITE.
- C. DESCRIPTION OF POTENTIAL ON-SITE PROBLEM AREAS SUCH AS STEEP GRADE CHANGES, HIGHLY ERODIBLE SOILS, AREAS ADJACENT TO WETLANDS, SURFACE WATERS, OR UPLAND PRESERVATION AREAS:
 - THE PROJECT AREA WILL CONTAIN AREAS ADJACENT TO WETLANDS, SURFACE WATERS, AND/OR UPLAND PRESERVATION AREAS.
- D. CONSTRUCTION SCHEDULING, INCLUDING THE EXPECTED STARTING AND STABILIZATION DATES:
 - THE ANTICIPATED START DATE OF CONSTRUCTION IS JUNE 1, 2023 AND THE ANTICIPATED COMPLETION OF ALL STABILIZATION IS JUNE 1, 2024 OR WITHIN THREE YEARS OF APPROVAL OF THE PROPOSED SITE PLAN.
- E. IDENTIFICATION OF DISTURBED AREAS WHERE CONSTRUCTION WILL NOT BE ONGOING, AND FINAL GRADE WILL NOT BE ACHIEVED WITHIN FOURTEEN (14) DAYS, AND AN INDICATION OF TEMPORARY STABILIZATION MEASURES:
 - ANY AREAS OR STOCKPILES THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN FOURTEEN (14) DAYS SHALL BE TEMPORARILY SEEDED.



TYPE III SILT FENCE
N.T.S.



SEDIMENT & EROSION CONTROL PLAN (CONT.):

2. DETAILS OF BEST MANAGEMENT PRACTICES AND FUGITIVE PARTICULATE ABATEMENT METHODS.
 - A. DETAILS, DRAWINGS AND CROSS-SECTIONS OF EROSION AND SEDIMENT CONTROL DEVICES, IF DIFFERENT FROM THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS, AND WHEN THEY WILL BE INSTALLED:
 - SEE SEDIMENT/EROSION CONTROL PLAN IN THE SITE PLAN.
 - B. MAINTENANCE PROGRAM FOR EROSION AND SEDIMENT CONTROL DEVICES INCLUDING INSPECTION FREQUENCY AND MAINTENANCE ACTIVITIES:
 - EROSION AND SEDIMENTATION DEVICES SHALL BE INSPECTED DAILY TO ENSURE PROPER OPERATION AND AFTER EVERY STORM EVENT.
 - C. HAUL ROUTES AND DETAILS OF APRON STABILIZATION AT INGRESS/EGRESS POINTS TO RIGHTS-OF-WAY:
 - HAUL ROUTES WILL BE DETERMINED BY THE CONTRACTOR. APRON STABILIZATION AT INGRESS/EGRESS POINTS SHALL BE PER THE EROSION AND SEDIMENT CONTROL DEVICE AND PER THE APPROVED SITE PLAN.
 - D. DETAILS/LOCATION OF EQUIPMENT WASHING AREA:
 - THE EQUIPMENT WASHING AREA SHALL BE LOCATED AT THE EDGE OF THE PROPERTY LINE CLOSEST TO THE ENTRANCE/EXIT AREA. IT WILL CONSIST OF A SOIL TRACKING PREVENTION DEVICE PER FDOT INDEX 106.
 - E. DETAILS OF FUGITIVE PARTICULATE ABATEMENT METHODS:
 - FUGITIVE PARTICULATE SHALL BE CONTAINED BY THE MEASURES, MAINLY SILT FENCE, SHOWN ON THE PLANS. FURTHERMORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE A CLEAN SITE BY MONITORING THE EFFECTIVENESS OF THE SILT FENCE AND WIND BLOWN PARTICLES.
 - F. CONTRACTOR INFORMATION, INCLUDING A TWENTY-FOUR-HOUR, SEVEN-DAY CONTACT AND PHONE NUMBERS:
 - TBD. WILL BE PROVIDED ONCE A CONTRACTOR HAS BEEN CHOSEN.
3. DETAILS OF Dewatering ACTIVITIES AND LOCATIONS, DRAWINGS AND CROSS-SECTIONS OF Dewatering SUMPS:
 - Dewatering DETAILS HAVE BEEN INCLUDED WITH THIS PLAN, TO BE UTILIZED IF Dewatering IS REQUIRED.
4. WATER QUALITY MONITORING PLAN AND MONITORING STATIONS (IF APPLICABLE):
 - N/A.

ANY CHANGES TO THE APPROVED ESCP MUST BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION. CHANGES THAT QUALIFY AS AN AMENDMENT TO THE FINAL SITE PLAN AND/OR CONSTRUCTION PLANS MUST BE APPROVED BY THE CITY OF VENICE STORMWATER MANAGEMENT DIVISION PRIOR TO IMPLEMENTATION.

SILT FENCE OR OTHER DEVICES SHALL NOT BE TRENCHED WITHIN THE ROOT SYSTEMS OF ANY TREE TO BE PRESERVED. SILT FENCE WITHIN DRIP LINES IS TO BE INSTALLED AT GRADE OR HAY BALES ARE TO BE UTILIZED.

PRIOR TO CONSTRUCTION COMMENCING THE DEVELOPER SHALL:

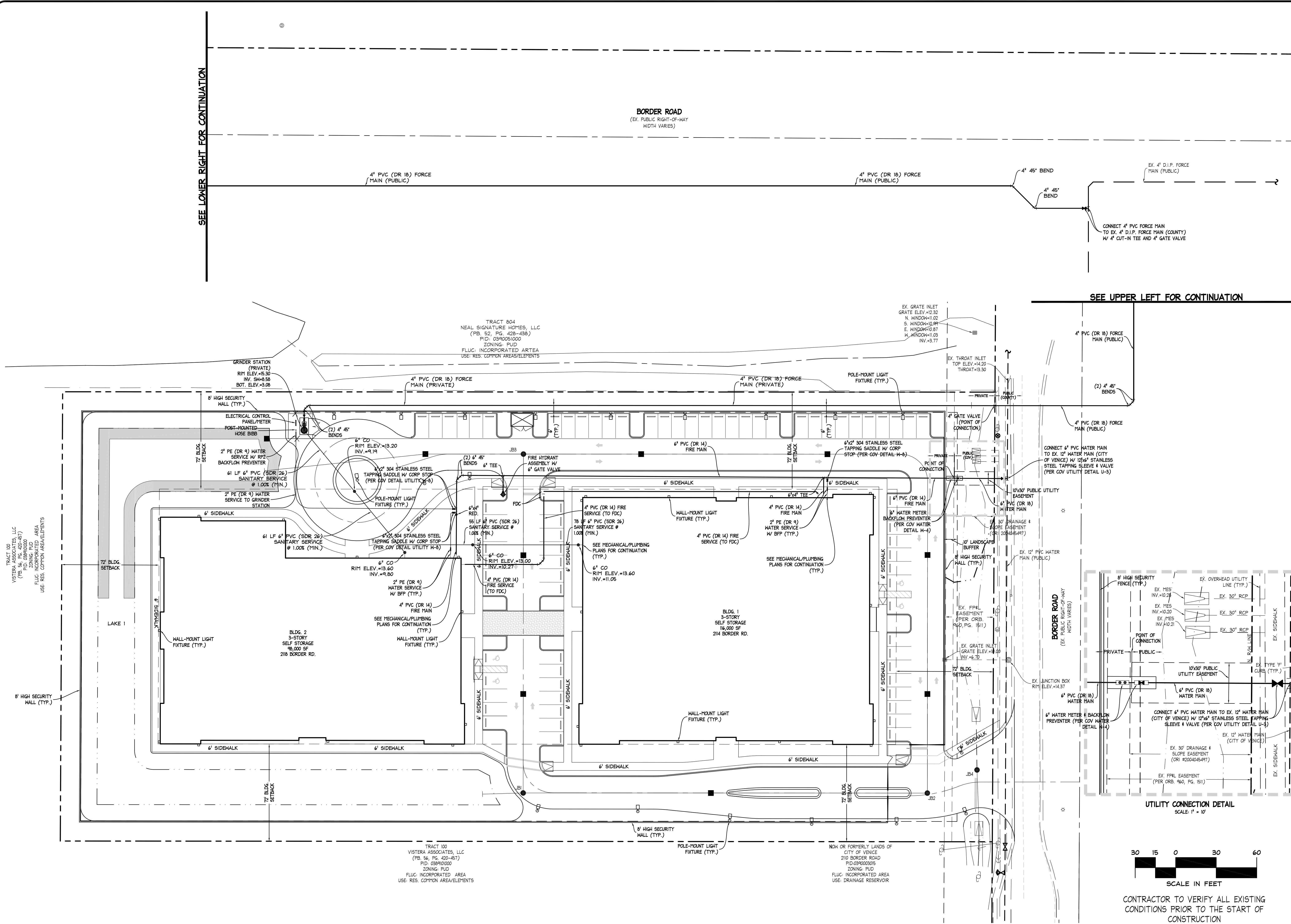
1. OBTAIN ALL APPLICABLE APPROVALS (FINAL SITE PLAN, CONSTRUCTION PLANS, ENVIRONMENTAL RESOURCE PERMIT AND NPDES PERMIT).
2. STAKE THE BOUNDARIES OF THE WETLAND BUFFERS, UPLAND PRESERVATION AREAS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS AS INDICATED ON THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS.
3. STAKE ALL SILT SCREEN LOCATIONS EVERY ONE HUNDRED (100) FEET, AS INDICATED ON THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS.
 - K. SUCH ADDITIONAL MATERIAL AND INFORMATION AS THE DIRECTOR MAY REASONABLY REQUIRE.

NO.	REVISIONS	DATE	BY

CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

SEE LOWER RIGHT FOR CONTINUATION

SEE UPPER LEFT FOR CONTINUATION



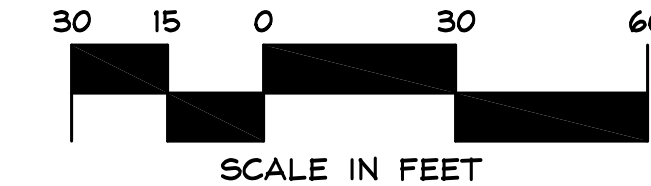
CAVOLI Engineering, Inc.
Consulting Civil Engineers
11111 Center of Ave. No. 8875
63 Sarasota Center Blvd., Unit 101, Sarasota, FL 34240
(941) 927-3647
Fax: (941) 927-3646
email: info@covallengineering.com

CLIENT: SOUTHWEST FLORIDA 1, LLC
PROJECT: BORDER ROAD SELF STORAGE
SHEET: MASTER UTILITY PLAN

NO.	REVISIONS	DATE	BY
3	REVISED PER CITY COMMENTS	5/23/25	JRR
2	REVISED PER CITY COMMENTS	3/5/25	JRR
1	REVISED PER CITY COMMENTS	11/11/24	JRR

THESE PLANS HAVE BEEN PREPARED AND SEALED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, LICENSE NO. 12543. ANY CHANGES TO THESE PLANS MUST BE MADE IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND THE SIGNATURE OF THE ENGINEER.

DATE
2/14/24
SCALE
1" = 30'
JOB NO.
TCAPO3
SHEET
10



CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION

GENERAL:

* ASPHAL

- ## SOIL CEMENT

DESIGN MIX:

- * 3,000 P.S.I. (7 DAYS) LAB DESIGN.
* CEMENT CONTENT BY WEIGHT MUST BE A MINIMUM OF 5% AND A MAXIMUM OF 8%.

PROJECT TEST SAMPLES:

- * THE PILLS CAST FROM PROJECT OPERATIONS MUST BREAK AT 200 P.S.I. OR HIGHER AT 7 DAYS.
- * CORES MAY BE TAKEN AT 14 DAYS TO PROVIDE ADDITIONAL INFORMATION REGRADING SOIL-CEMENT SECTION.
- * CORE BREAKS BELOW 200 P.S.I. WILL NOT BE ACCEPTABLE.
- * THE LOCATION AND NUMBER OF CORES TAKEN WILL BE AT THE DISCRETION OF THE COUNTY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
- * ALL CORES SHALL BE 6" IN DIAMETER.
- * SUB-GRADE TO BE A MINIMUM L.B.R. 40 (UNLESS NOTED OTHERWISE).

CONSTRUCTION METHODS:

- * CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH 2000 FDOT SPECIFICATIONS, SECTION 270-6, COUNTY TECHNICAL PROVISIONS, AND FAILURE TO CONFORM MAY RESULT IN REJECTION OF AFFECTED AREA REGARDLESS OF TEST RESULTS.

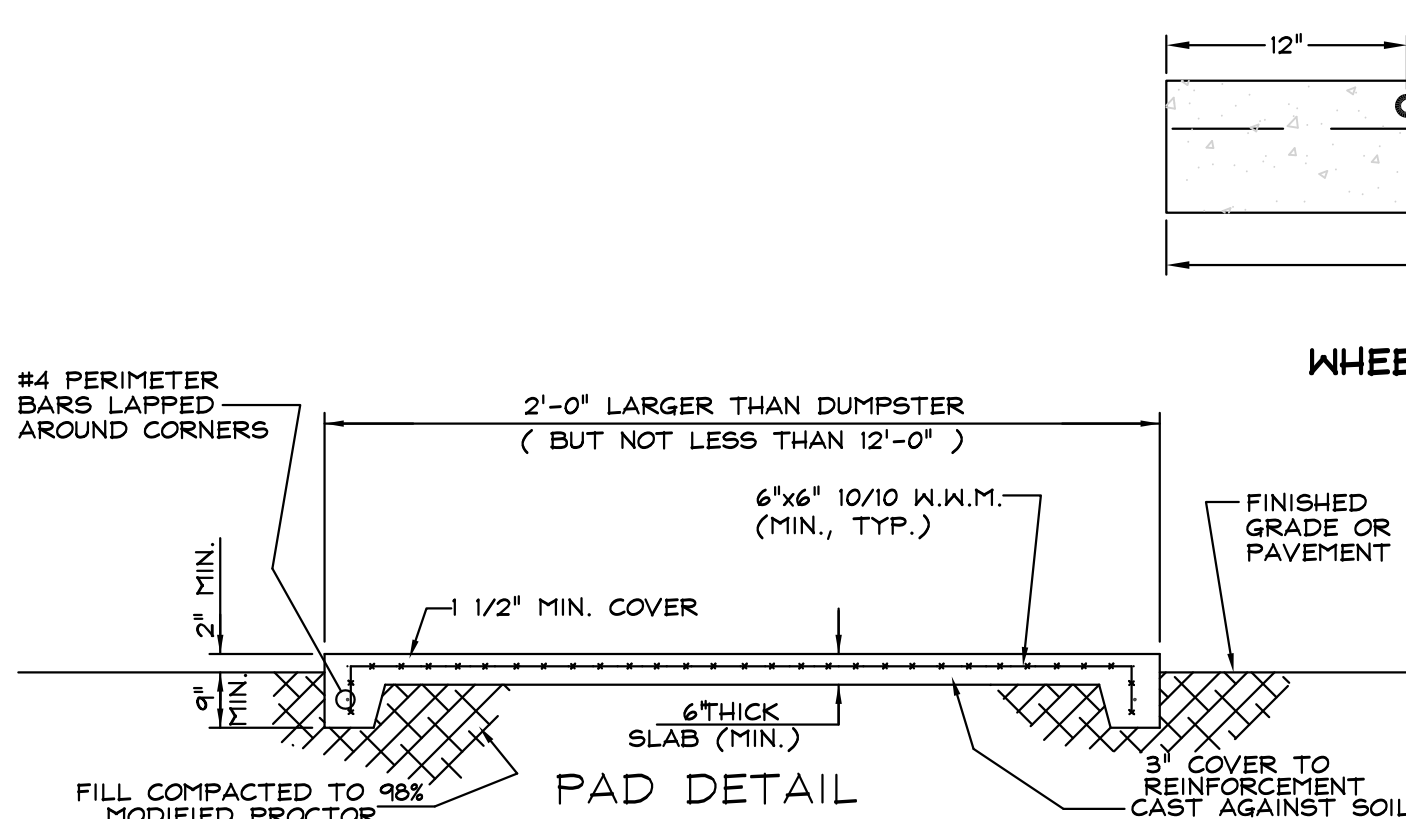
SIDEWALK NOTES

GENERAL:

- * ALL SIDEWALKS ARE TO BE 4" - 3,000 P.S.I. CONCRETE, EXCEPT WHERE SIDEWALK BISECTS DRIVEWAY - 6" MINIMUM THICKNESS. CLASS I CONCRETE REINFORCED WITH 6x6 #10 MESH.
- * THE CONCRETE SHALL BE GIVEN A BROOM FINISH. THE SURFACE VARIATIONS SHALL NOT BE MORE THAN 1/4 INCH UNDER A TEN-FOOT STRAIGHTEDGE, NOR MORE THAN 1/8 INCH ON A FIVE-FOOT TRANSVERSE SECTION. THE EDGE OF THE SIDEWALK SHALL BE CAREFULLY FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/2 INCH.
- * EXPANSION JOINTS BETWEEN THE SIDEWALK AND THE CURB OR DRIVEWAY OR AT FIXED OBJECTS AND SIDEWALK INTERSECTIONS SHALL BE 1/2 INCH JOINTS.
- * CONTRACTION JOINTS/OPEN TYPE JOINTS SHALL BE FORMED BY STAKING A METAL BULKHEAD IN PLACE AND DEPOSITING THE CONCRETE ON BOTH SIDES. AFTER THE CONCRETE HAS SET UP SUFFICIENTLY TO PRESERVE THE WIDTH AND SHAPE OF THE JOINT, THE BULKHEAD SHALL BE REMOVED. AFTER THE SIDEWALK HAS BEEN FINISHED OVER THE JOINT, THE SLOT SHALL BE EDGED WITH A TOOL HAVING A 1/2 INCH RADIUS. SAWED JOINTS SHALL CONSIST OF A SLOT APPROXIMATELY 3/16 INCH WIDE AND NOT LESS THAN 1 1/2 INCHES DEEP CUT WITH A CONCRETE SAW AFTER THE CONCRETE HAS SET.



SIDEWALK ADJACENT TO PARKING
N.T.S.



- NOTES:
- 1) DUMPSTER PAD SHALL BE CLASS I CONCRETE W/ MIN. COMP. STRENGTH $f'_c = 3000$ P.S.I. & MIN. REINFORCEMENT STRENGTH $f_y = 60,000$ P.S.I.
 - 2) DUMPSTER PAD SHALL BE FENCED IN ACCORDANCE WITH THE SARASOTA COUNTY LAND DEVELOPMENT CODE.

DUMPSTER PAD/DETAIL
N.T.S.

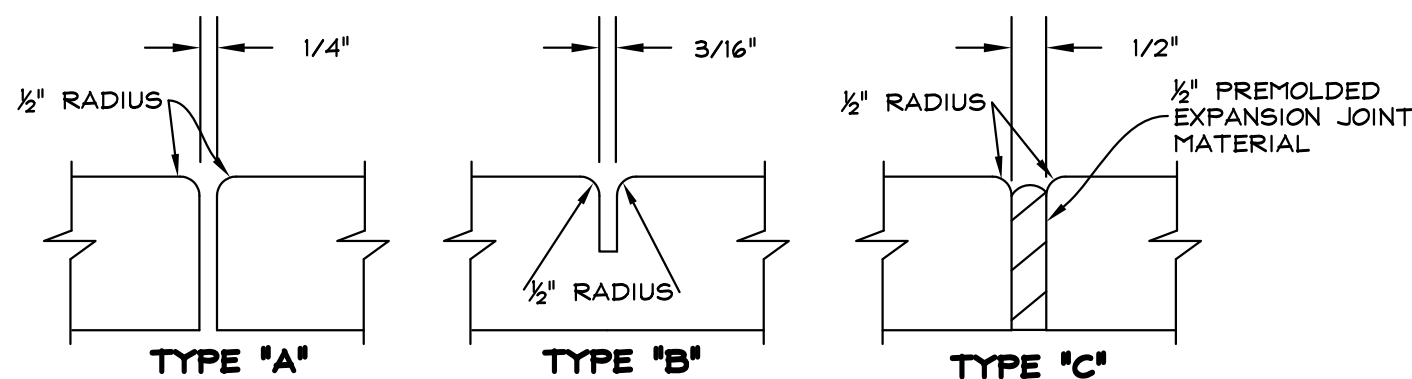
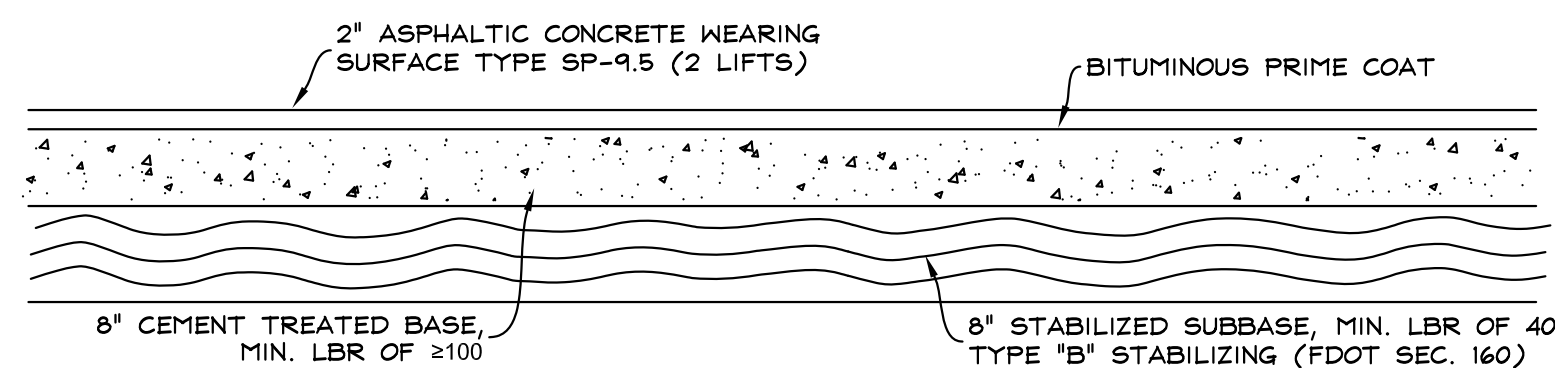


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
A	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
B	5'-0" CENTER TO CENTER ON SIDEWALKS.
C	ANYWHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. CONTINUOUS SIDEWALKS INTERVALS NOT EXCEED 100 FEET.

TABLE OF SIDEWALK THICKNESS	
THK	LOCATION
4"	RESIDENTIAL AREAS
6"	AT DRIVEWAYS AND OTHER AREAS

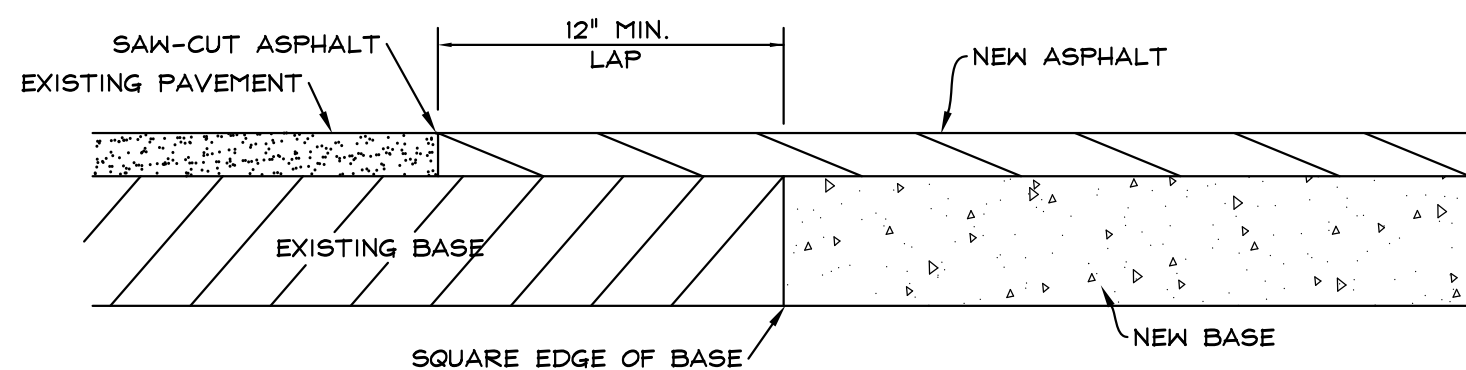
STANDARD SIDEWALK JOINTS
N.T.S.



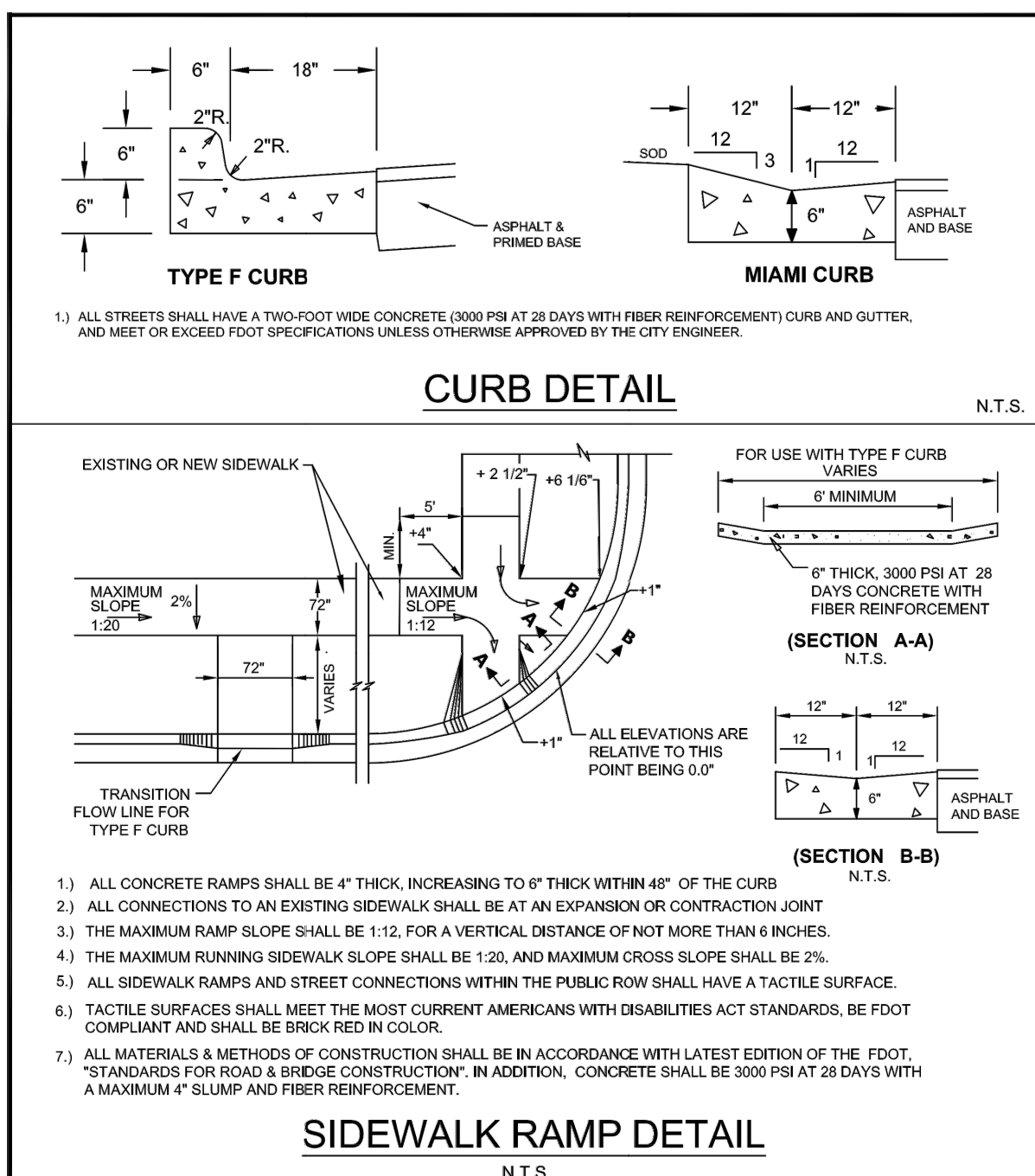
BASE NOTE:
8" CRUSHED CONCRETE AGGREGATE (CCA) MAY BE SUBSTITUTED FOR 8" CEMENT
TREATED BASE AND SHALL HAVE AN LBR OF ≥ 150 .


NOTE:
SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.

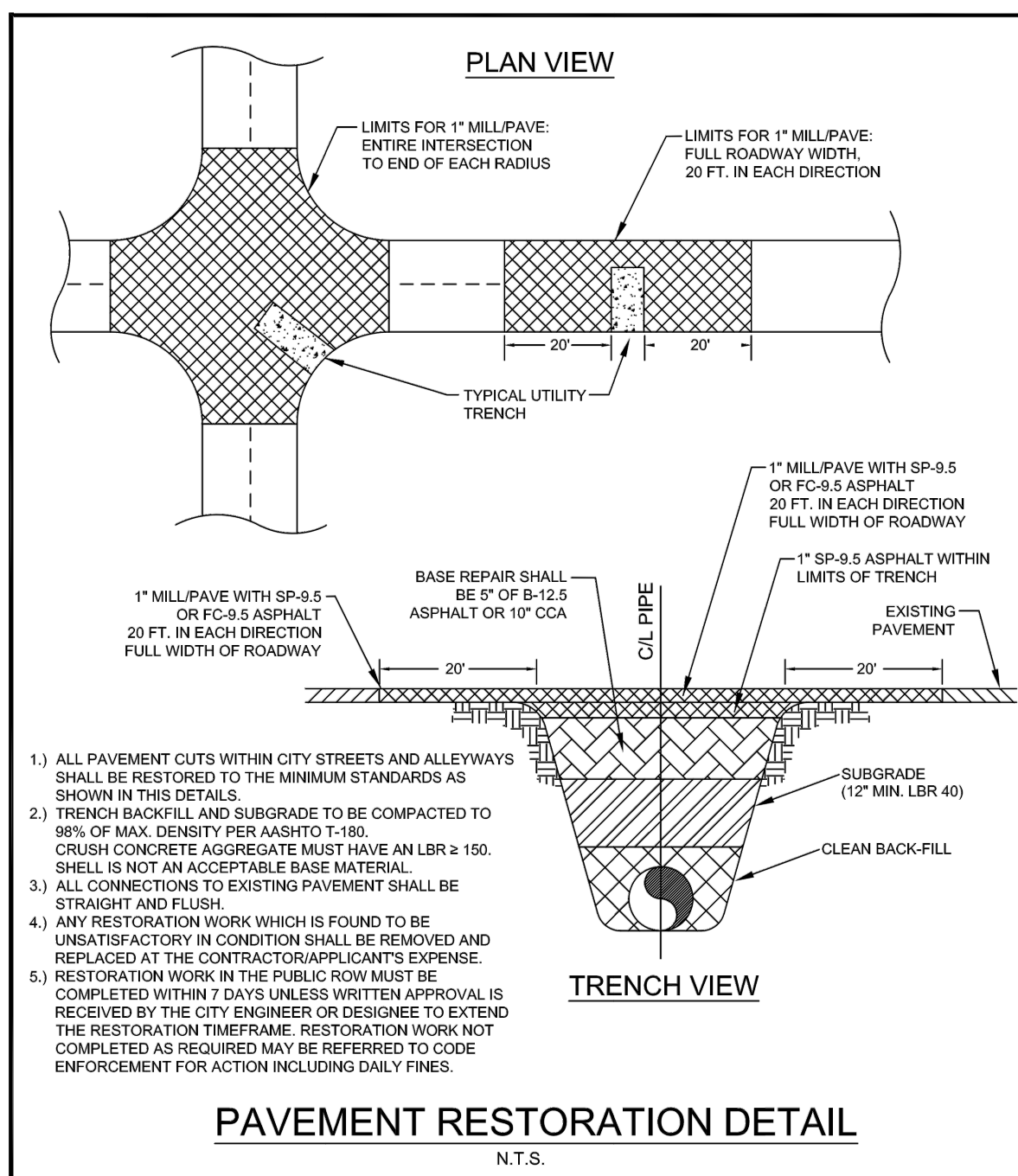
ONSITE ASPHALT PAVEMENT DETAIL
N.T.S.




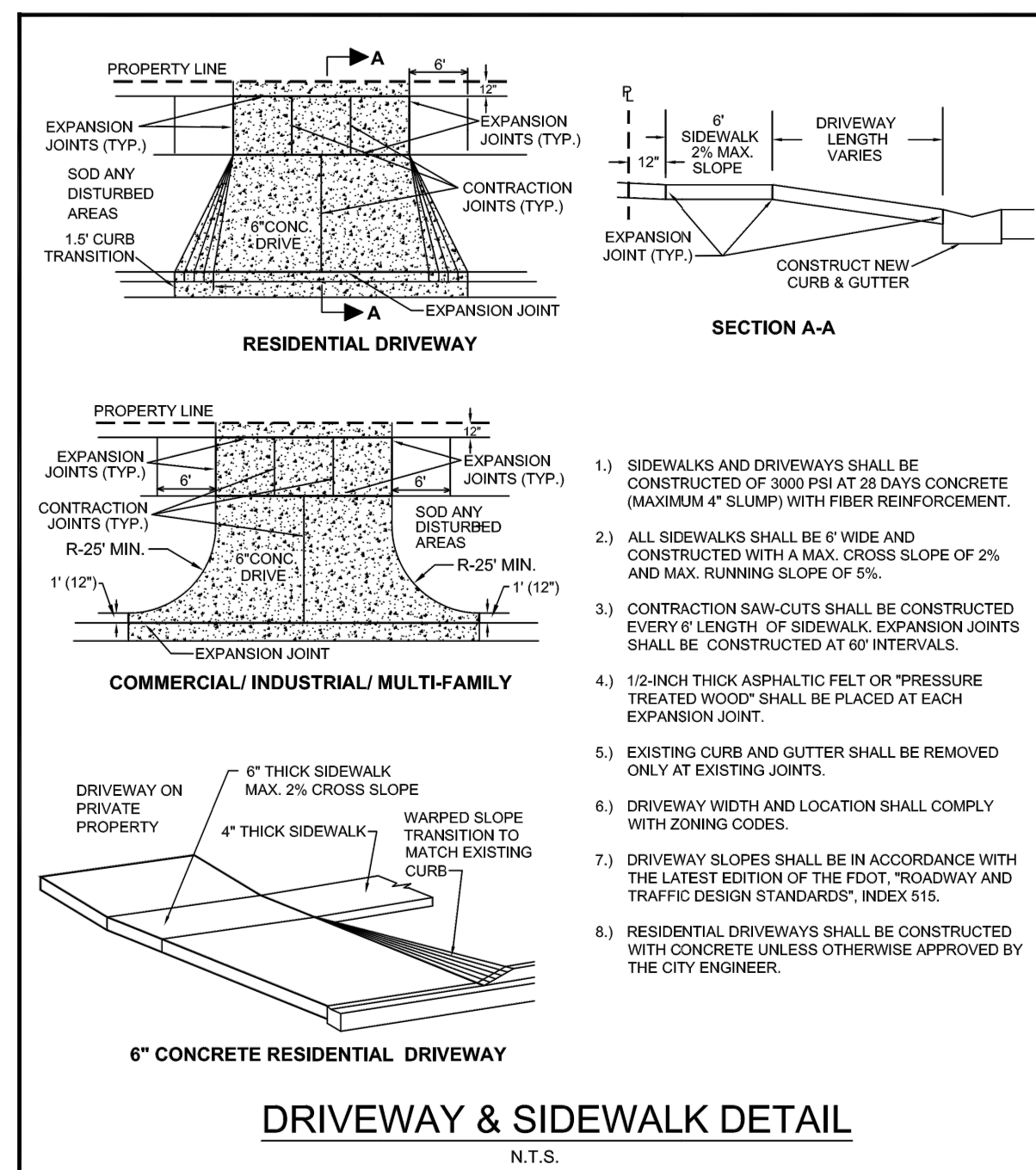
CONNECTION OF EXISTING PAVEMENT
TO PROPOSED NEW PAVEMENT
N.T.S.




CITY OF VENICE ENGINEERING DEPARTMENT 	401 W VENICE AVE VENICE, FL 34285 (941) 498-2828	ENGINEERING	DATE JAN 2024
		SIDEWALK RAMPS & CURBING	SHEET NO. ENG-1



CITY OF VENICE ENGINEERING DEPARTMENT 	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	ENGINEERING	DATE JAN 2024
		PAVEMENT RESTORATION	SHEET NO. ENG-2



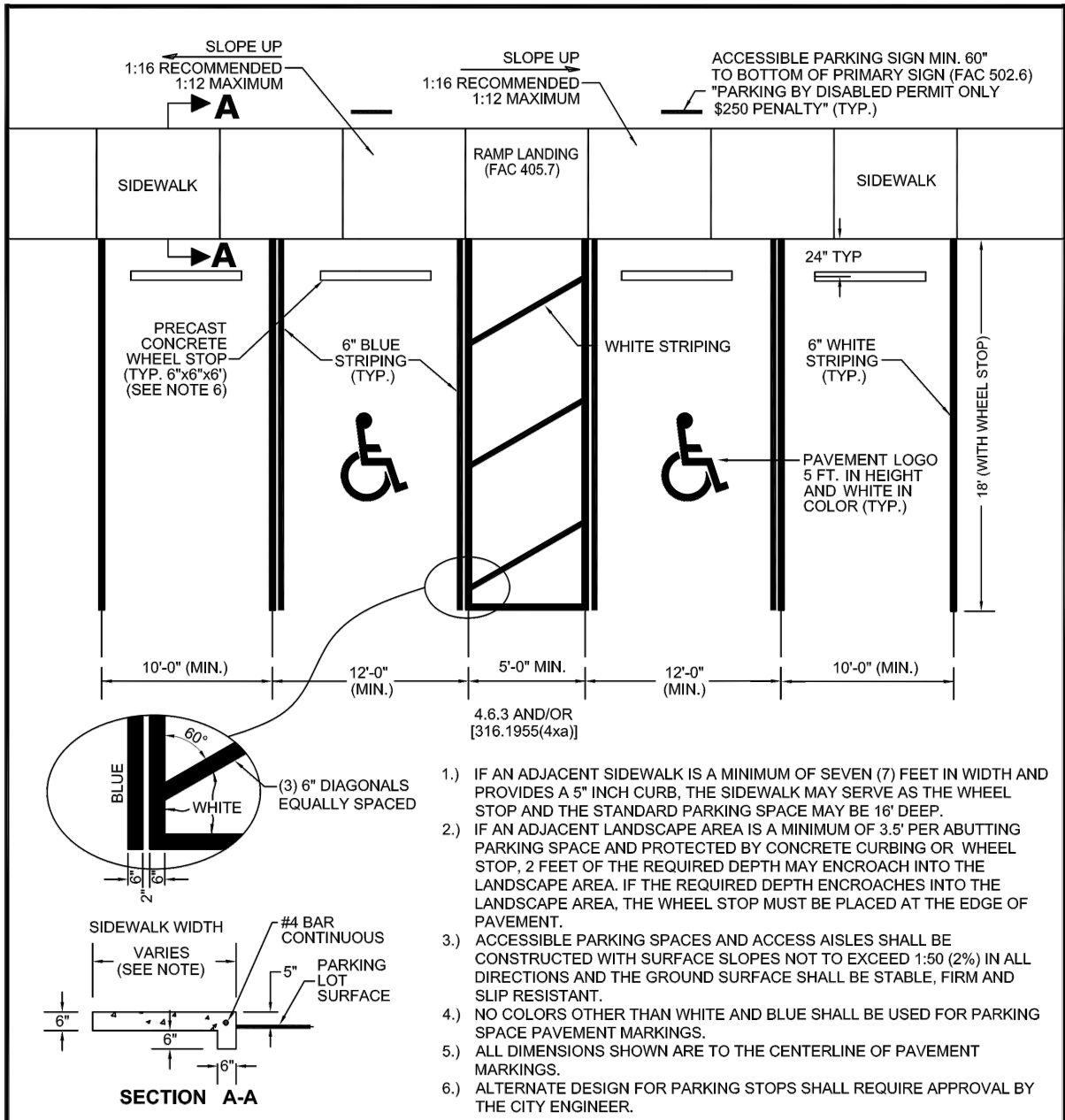
CITY OF VENICE ENGINEERING DEPARTMENT 	401 W VENICE AVE VENICE, FL 34285 (941) 496-2626	ENGINEERING	DATE JAN 2024
		TYPICAL DRIVEWAY & SIDEWALK	SHEET NO. ENG-4

CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

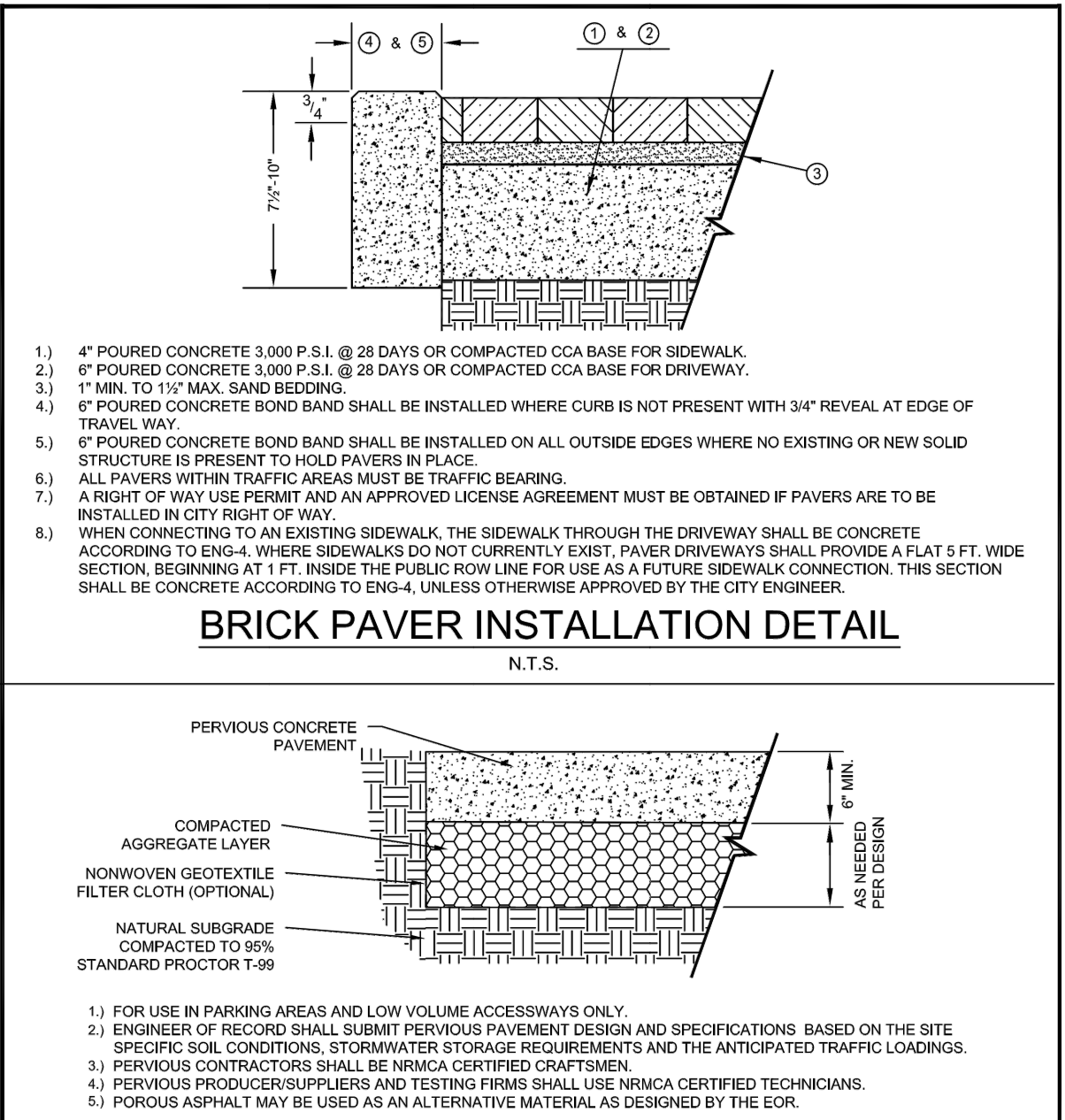
[illegible]

DIGITALLY SIGNED AND SEALED BY JOHN F. CAVOLI, P.E.
 AGENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT
 ERER SIGNED AND SEALED AND THE SIGNATURE MUST BE

DATE 11/8/23
SCALE AS NOTED
JOB NO. TCAPO3
SHEET 11



CITY OF VENICE		ENGINEERING	DATE
ENGINEERING DEPARTMENT			JAN 2024
SHEET NO.		SHEET NO.	
ACCESSIBLE & TYPICAL PARKING		ENG-5	



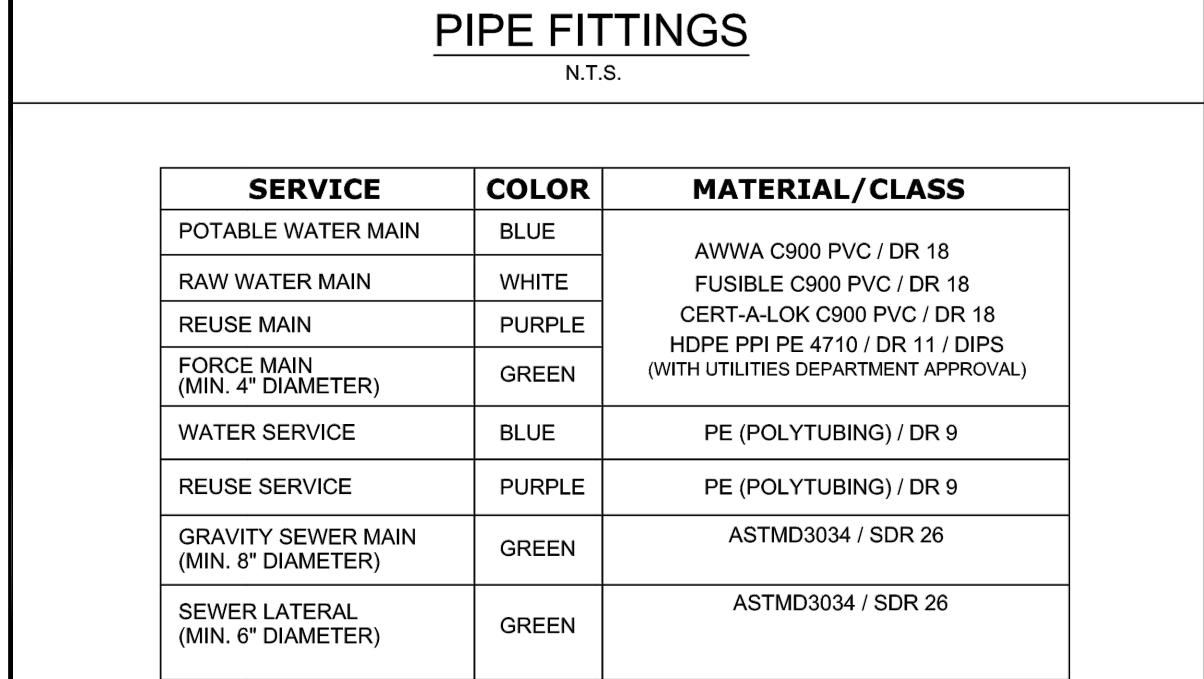
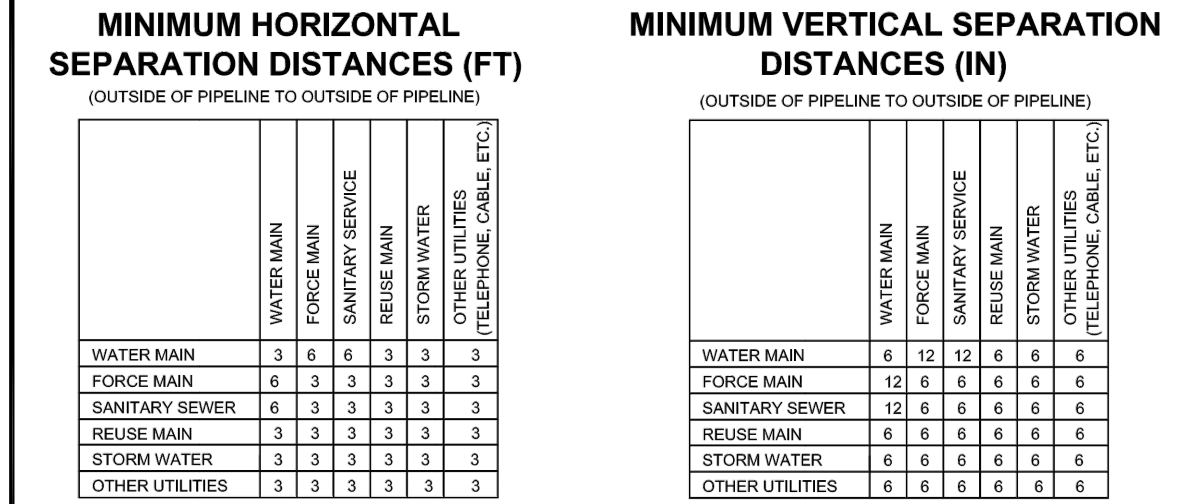
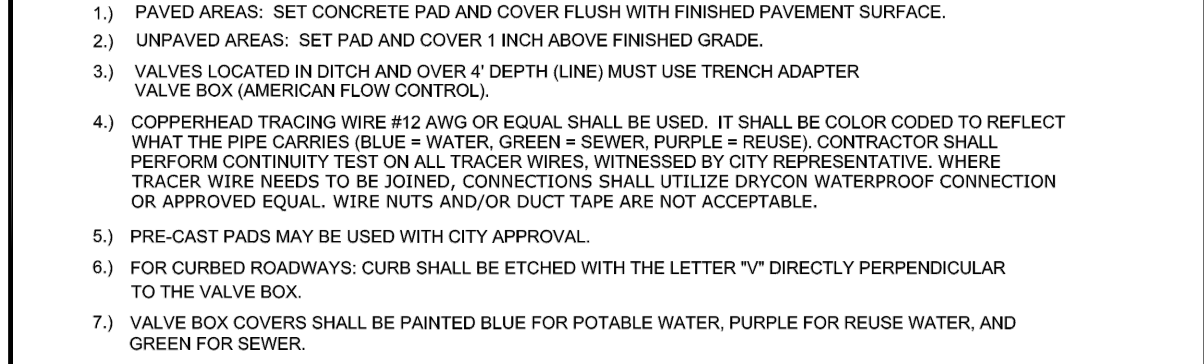
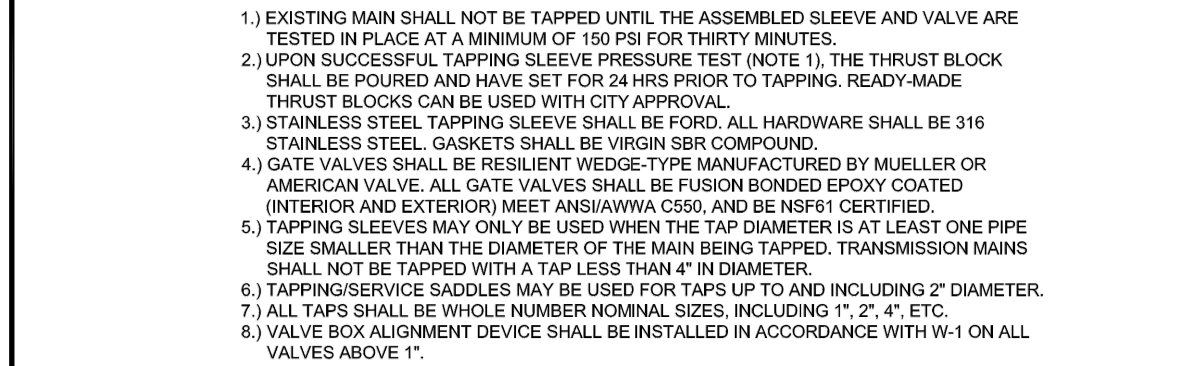
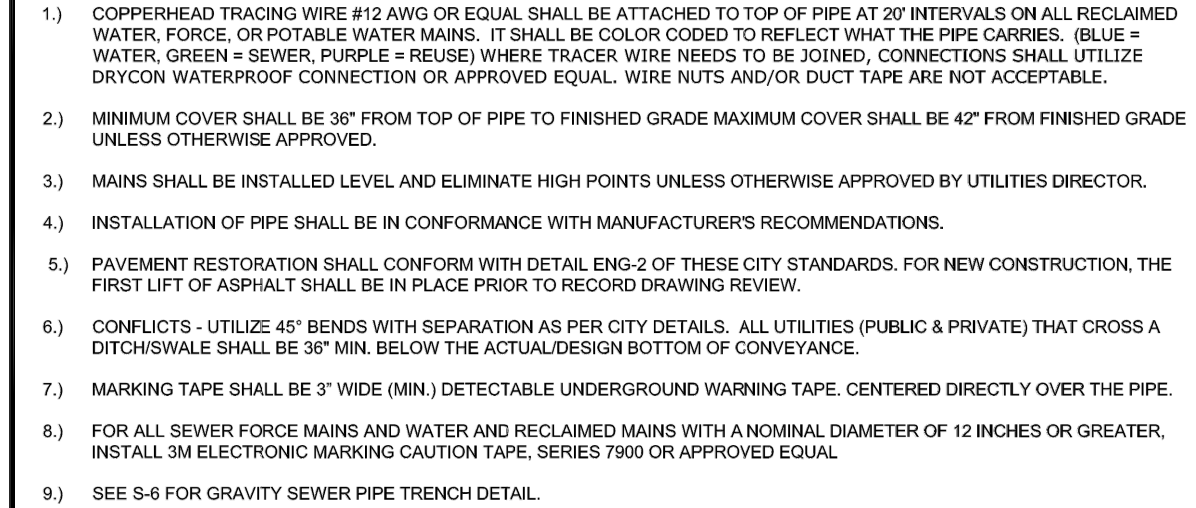
CITY OF VENICE		ENGINEERING	DATE
ENGINEERING DEPARTMENT			JAN 2024
SHEET NO.		SHEET NO.	
BRICK PAVERS & PERVIOUS CONCRETE		ENG-8	

CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

NO.	REVISIONS	DATE	BY

THESE PLANS HAVE BEEN PREPARED AND DESIGNED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA. ANY CHANGES TO THESE PLANS MUST BE MADE IN WRITING AND SIGNED BY THE ENGINEER. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM CAVOLI ENGINEERING, INC.

- * ALL PVC WATER PIPE AND FITTINGS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- * ALL DIP WATER PIPE AND FITTINGS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- * ALL FITTINGS, COUPLINGS, AND SLEEVES SHALL BE MECHANICAL JOINT, WITH THE EXCEPTION OF WELD JOINTS.
- * ALL VALVES, FIRE HYDRANTS, AND CHECK VALVES SHALL SHOW ANMA ON THE CASTING.
- * ALL MATERIALS SHALL BE PER COUNTY CODE AND MEET COUNTY SPECIFICATIONS.
- * PVC WATER PIPE FOUR (4") INCHES TO TWELVE (12") INCHES IN DIAMETER SHALL BE ANMA C900, DR-18 PRESSURE CLASS 150 PSI, BLUE (FOR POTABLE WATER SERVICE) UNLESS NOTED OTHERWISE ON THE PLANS.



CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

SEWER NOTES

GENERAL:

- * ALL NEW AND RELOCATED SEWER LINES SHALL BE LOCATED AT LEAST TEN (10') FEET HORIZONTALLY FROM ALL WATER MAINS/LINES AND FIVE (5') FEET FROM STORM SEWERS, FORCE MAINS, AND RECLAIMED WATER LINES. ALL DISTANCES ARE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
- * NEW OR RELOCATED SEWER LINES THAT CROSS ANY WATER MAINS/LINES, STORM SEWERS, FORCE MAINS, OR RECLAIMED WATER LINES SHALL CROSS BELOW SUCH LINE SO THAT A MINIMUM SEPARATION OF 18 INCHES IS MAINTAINED BETWEEN THE OUTSIDE EDGE OF PIPE TO THE OUTSIDE EDGE OF PIPE. CROSSINGS WHERE SUCH DISTANCES CANNOT BE MAINTAINED SHALL BE IN ACCORDANCE WITH DETAILS PROVIDED IN THE CONSTRUCTION PLANS. CROSSINGS WILL BE MADE TO CENTER ONE FULL PIPE LENGTH OF THE SEWER LINE OVER THE PROPOSED CROSSING.
- * THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH AND SAFETY ACT.
- * ALL MATERIALS USED TO CONSTRUCT THE SEWER SYSTEM SHALL BE NEW AND MANUFACTURED IN THE U.S.A. BY AN APPROVED, RELIABLE, AND DEFENDABLE COMPANY.
- * THE CONTRACTOR SHALL COMPLY WITH THE COUNTY WATER, WASTEWATER, AND REUSE SYSTEM CODE.
- * THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A LIST OF ALL MATERIALS, SPECIFICATIONS, AND MANUFACTURERS.
- * ALL CONCRETE USED FOR THE CONSTRUCTION OF THE WASTEWATER COLLECTION SYSTEM SHALL BE MACHINE MIXED AND POURED IN PLACE.
- * ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS, OR BETTER, TO THE SATISFACTION OF THE OWNER.
- * ANY CONCRETE DISTURBED SHALL BE SAWCUT TO PROVIDE A CLEAN EDGE.
- * THE CONTRACTOR SHALL VERIFY ALL AFFECTED EXISTING UTILITIES AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- * ALL UTILITY CROSSINGS WITHIN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH COUNTY RIGHT-OF-WAY USE PERMIT SPECIFICATIONS.
- * CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE RESULTING FROM DAMAGE TO SAME. ANY CONFLICTS WITH EXISTING UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE.

MATERIALS:

- * ALL PVC SEWER PIPE AND FITTINGS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- * ALL DIP SEWER PIPE AND FITTINGS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- * ALL MANHOLES AND WETNELLS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- * MANHOLES WITH INFILTRATION PROBLEMS WILL BE REQUIRED TO BE REMOVED, RESEALED, AND REPLACED. GROUTING AND/OR GEL IS NOT ACCEPTABLE FOR REPAIRING/STOPPING LEAKS.
- * ALL FORCE MAIN FITTINGS SHALL BE 45 DEGREES OR LESS.
- * PVC GRAVITY SEWER PIPE SIX (6") INCH THROUGH TWELVE (12) INCH DIAMETER SHALL HAVE A MINIMUM SDR OF 26 AND CONFORM TO ASTM D-3034 (MOST RECENT REVISION) COLOR CODED GREEN.
- * PVC SEWAGE FORCE MAINS SHALL BE AWWA C-900, DR-18 PRESSURE CLASS 150 COLOR CODED GREEN (FOR SEWAGE FORCE MAIN)

TESTING:

- * ACCEPTANCE OF THE WASTEWATER COLLECTION SYSTEM/FINAL INSPECTION.
- * ALL COUNTY CODE REQUIREMENTS SHALL BE MET IN ADDITION TO THE FOLLOWING ITEMS:

INFILTRATION TEST:

- * THE GRAVITY SEWER SYSTEM WILL BE AIR TESTED. A WRITTEN REPORT IS REQUIRED FOR EACH LINE BETWEEN MANHOLES WHICH ARE TO BE NUMERICALLY IDENTIFIED.

DEFLECTION TEST:

- * THE ROAD BASE (INCLUDING SOIL CEMENT) SHALL BE CONSTRUCTED TO COMPLETION BEFORE A TEST FOR DEFLECTION OF THE GRAVITY MAIN IS CONSIDERED VALID AND ACCEPTABLE. AN EIGHT (8") INCH GRAVITY LINE MANDREL SHALL HAVE AN O.D. MEASUREMENT OF 7.04 INCHES OR AS SPECIFIED BY COUNTY CODE. THE MANDREL WILL BE PULLED THRU THE GRAVITY LINE BY HAND OR BY USE OF A ONE HUNDRED (100 LB) POUND OR LESS BREAK CORD BETWEEN THE MANDREL AND PULLER.

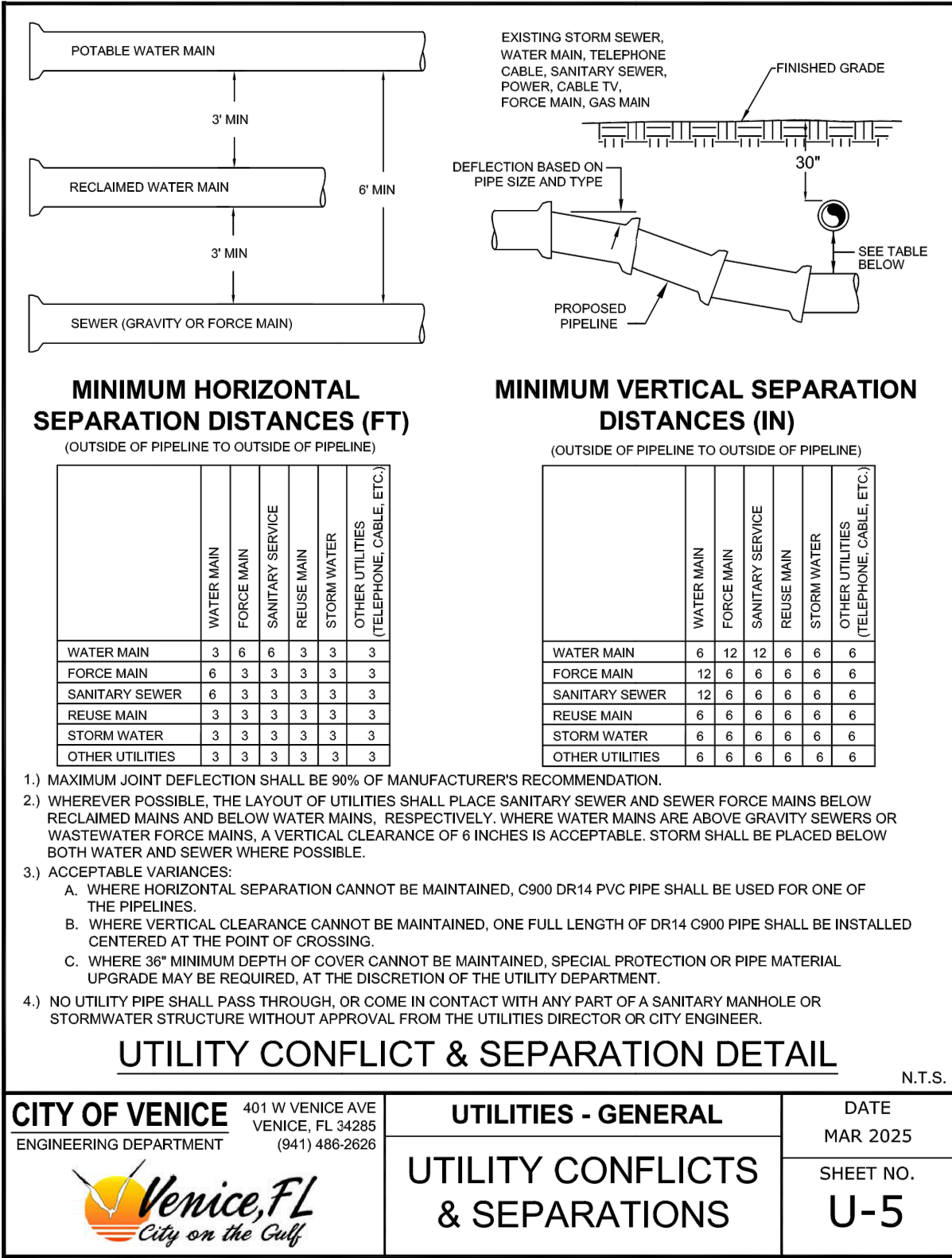
TELEVISION:

- * THE DEFLECTION TEST WILL PASS BEFORE A TELEVISION TEST OF THE GRAVITY LINES IS MADE.
- * DISPLAYED ON THE SCREEN WILL BE THE FOLLOWING INFORMATION: COMPANY PERFORMING THE TEST DEVELOPMENT/PROJECT AND LOCATION DATE AND YEAR MANHOLE NUMBERS FROM AND TO ARE TO BE IDENTIFIED ENGINEERING FIRM PIPE SIZE AND TYPE CONTINUOUS RUNNING FOOTAGE DISPLAYED/RECORDED * BEFORE TELEVISION, WATER WILL BE ADDED TO THE UPSTREAM MANHOLE UNTIL IT FLOWS TO THE DOWNSTREAM MANHOLE. THE CAMERA SHALL BE PULLED UPSTREAM/AGAINST THE FLOW.
- * ANY GRAVITY LINES WITH DIPS SHOWING WATER DEPTH OVER ONE HALF (1/2") INCH SHALL REQUIRE CORRECTIVE REPAIR.
- * ANY GRAVITY LINE REQUIRING REPAIR SHALL BE RETESTED FOR INFILTRATION, DEFLECTION, AND TELEVISION.

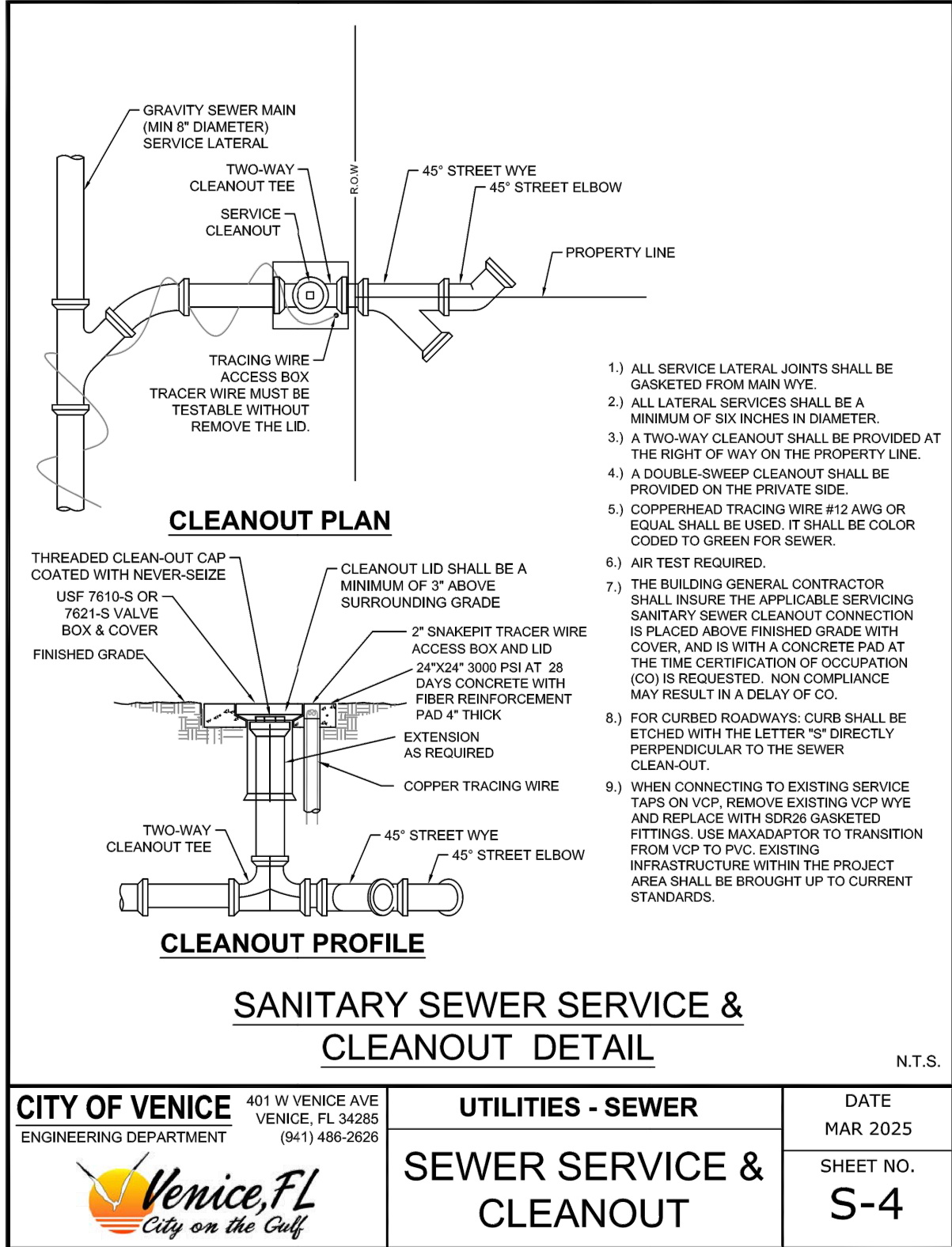
WRITTEN REPORT:

- * THE TELEVISION WRITTEN REPORT WILL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: ALL SERVICES SHALL BE IDENTIFIED AS RIGHT OR LEFT AND THE EXACT LOCATION IN FEET. NORTH ARROW MUST BE SHOWN. LIST MANHOLE NUMBERS. NOTE THE SIZE OF GRAVITY MAIN. NOTE THE GRAVITY LINE MATERIAL. NOTE THE DIRECTION OF CAMERA TRAVEL. NOTE THE DIRECTION OF FLOW. NOTE LOCATION OF ALL DIPS AND DEPTH OF WATER IN INCHES. NOTE THE CLEANLINESS OF THE LINE. NOTE ALL MATERIAL TRANSITIONS AND THE EXACT LOCATION IN FEET. NOTE ALL BAD JOINTS, CRACKS, FISH MOUTH RUBBERS, LEAKS, ETC. AND THEIR EXACT LOCATION IN FEET. NOTE THE OVERALL LENGTH OF THE LINE TELEVIEWED. * COPIES OF HANDWRITTEN REPORTS MUST BE FURNISHED TO THE ENGINEER AND COUNTY UTILITY DEPARTMENT ON THE DATE OF THE TESTING.

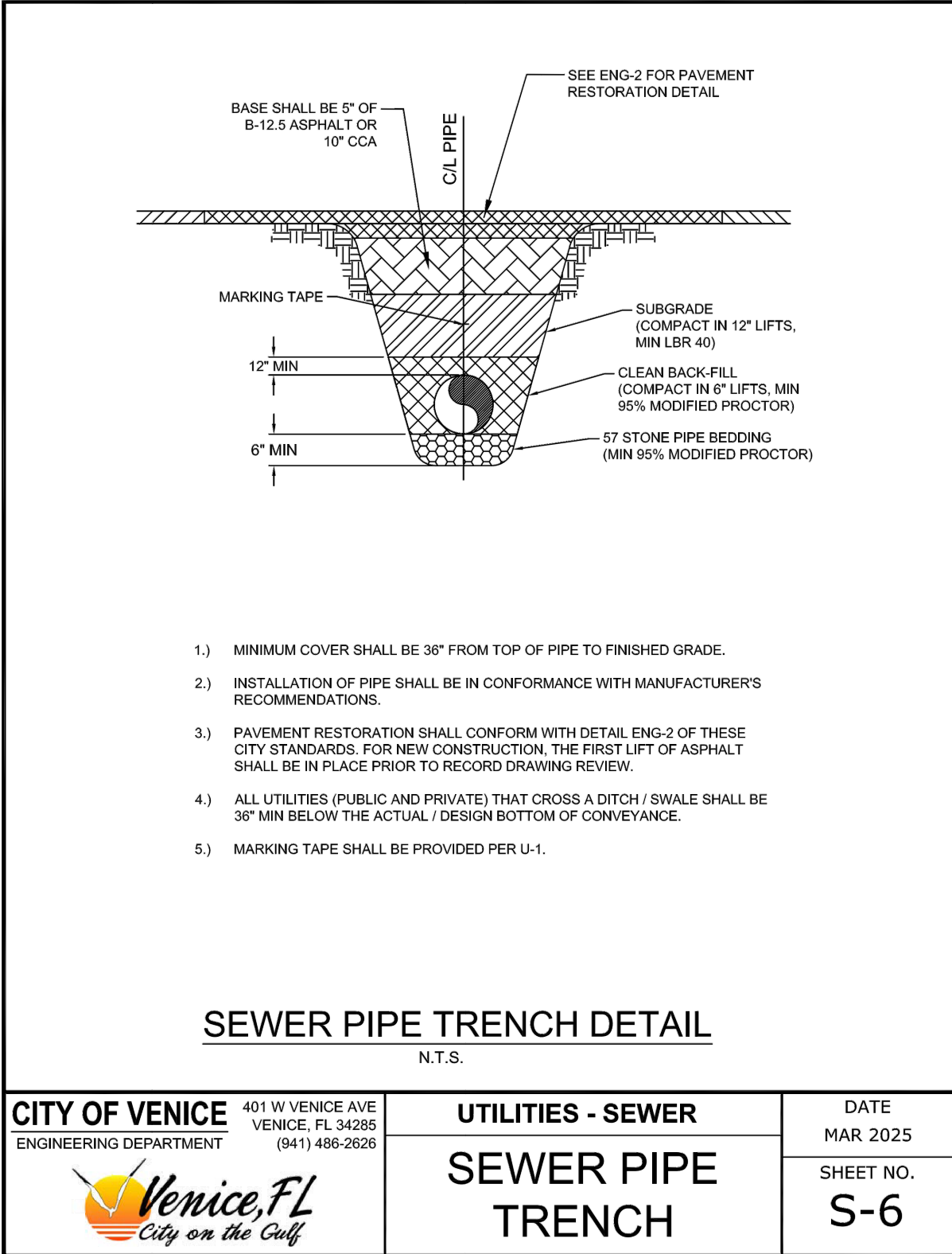
- * A ONE YEAR "WALK-THRU" IS REQUIRED TO INSPECT THE CONSTRUCTED FACILITIES IN ORDER TO DETERMINE DAMAGES, MATERIAL FAILURE, AND LASTING QUALITY OF WORKMANSHIP.



(ONSITE UTILITIES)



(ONSITE UTILITIES)



(ONSITE UTILITIES)

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION

CLIENT: SOUTHWEST FLORIDA 1, LLC

PROJECT: BORDER ROAD SELF STORAGE

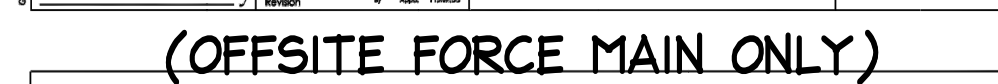
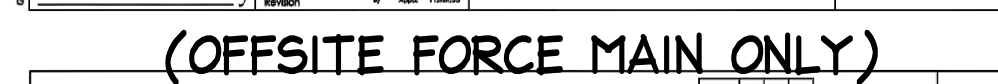
SHEET: SEWER DETAILS

NO.	REVISIONS	DATE	BY
3	UPDATED TO 2025 DETAILS	4/4/25	JRR
2	REVISED PER CITY COMMENTS	3/5/25	JRR
1	REVISED PER CITY COMMENTS	11/1/24	JRR

THE REVIEW HAS BEEN ORIGINALLY DESIGNED AND DRAWN BY JOHN H. CAVOLLE, P.E. AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ENGINEER.

SCALE
N.T.S.
JOB NO.
TCAP03
SHEET
15

CAVOLI Engineering, Inc.
Consulting Civil Engineers
P. Cert. of Awar. No. 8875
43 Sarasota Center Blvd., Unit 101 Sarasota, FL 34240
(941) 927-3647
Fax: (941) 927-3646
email: cavolengineer@aol.com



1/5F LOADING)

20

DISCHARGE

ELEVATION = 12.20

(SCH. 40)

RAIN

2

N

N

ELEVATIONS:

ALARM	<u>8.08</u>
BOTH PUMPS ON	<u>7.58</u>
LEAD PUMP ON	<u>7.08</u>
BOTH PUMPS OFF	<u>5.08</u>



CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

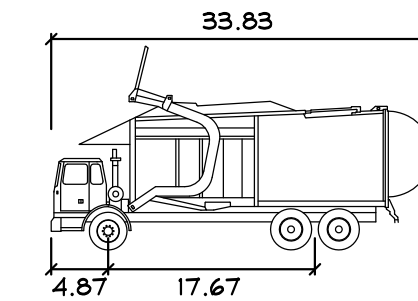
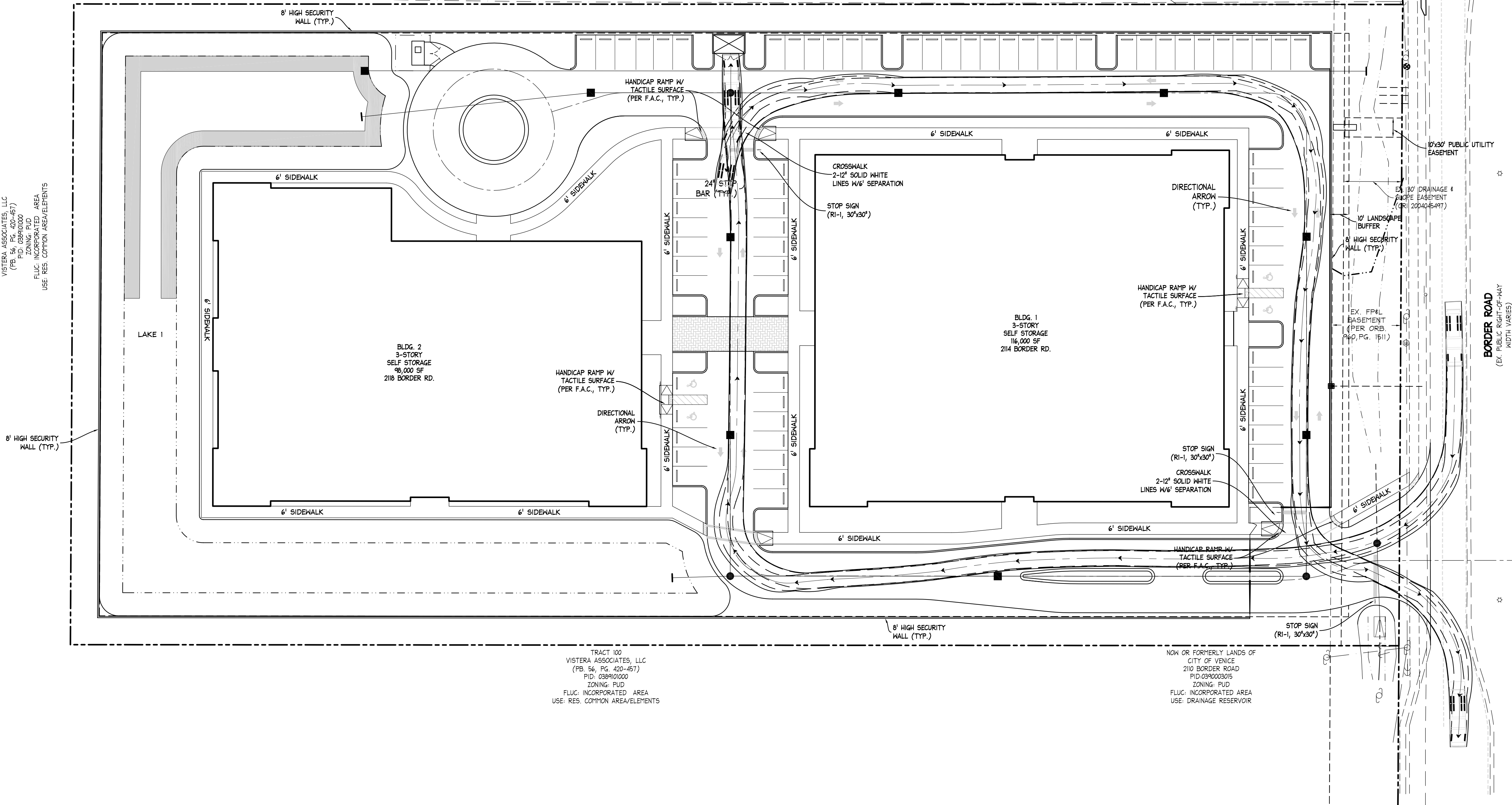
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION

TRACT 00
VISTERA ASSOCIATES, LLC
(PB. 56, PG. 420-457)
PID: 039400000
ZONING: PUD
FLUG: INCORPORATED AREA
USE: RES. COMMON AREA/ELEMENTS

TRACT 804
NEAL SIGNATURE HOMES, LLC
(PB. 52, PG. 428-438)
PID: 03940051000
ZONING: PUD
FLUG: INCORPORATED ARTEA
USE: RES. COMMON AREA/ELEMENTS

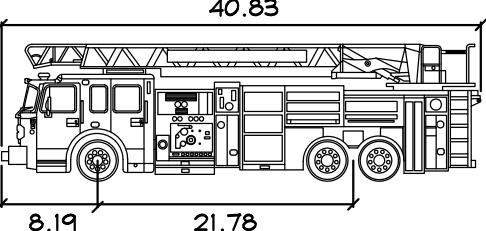
TRACT 00
VISTERA ASSOCIATES, LLC
(PB. 56, PG. 420-457)
PID: 0394010000
ZONING: PUD
FLUG: INCORPORATED AREA
USE: RES. COMMON AREA/ELEMENTS

NOW OR FORMERLY LANDS OF
CITY OF VENICE
2110 BORDER ROAD
PID: 03940003015
ZONING: PUD
FLUG: INCORPORATED AREA
USE: DRAINAGE RESERVOIR



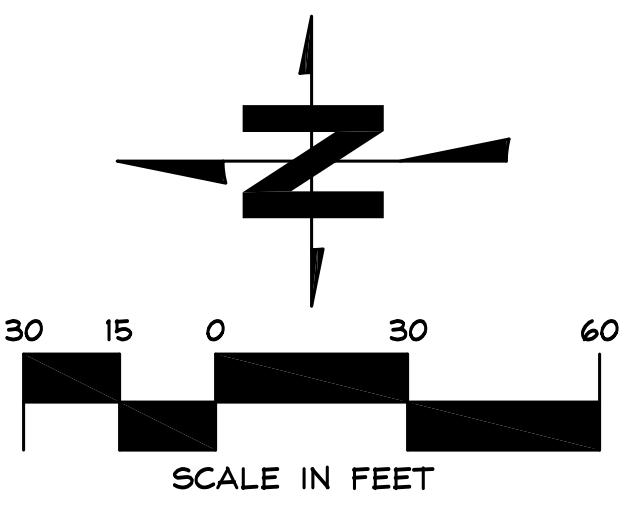
City of Venice Refuse

Width	8.46
Track	8.00
Lock to Lock Time	6.0
Steering Angle	45.0



Sarasota County Fire Rescue

Width	8.19
Track	8.25
Lock to Lock Time	7.87
Steering Angle	46.3



CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS PRIOR TO THE START OF
CONSTRUCTION

NO.	REVISIONS	DATE	BY
2	REVISED PER CITY COMMENTS	5/23/25	JRR
1	REVISED PER CITY COMMENTS	3/5/25	JRR

THESE PLANS HAVE BEEN DESIGNED AND SEALED BY JOHN F. CAVOLI, P.E., A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA. ANY CHANGES TO THESE PLANS MUST BE MADE IN WRITING AND SIGNED BY THE ENGINEER OF RECORD.

Prepared by: City Clerk

ORDINANCE NO. 2023-40

AN ORDINANCE AMENDING THE OFFICIAL ZONING ATLAS OF THE CITY OF VENICE, FLORIDA, PURSUANT TO ZONING MAP AMENDMENT PETITION NO. 22-572R, TO CHANGE THE ZONING DESIGNATION FOR THE PROPERTY LOCATED AT 2114 BORDER ROAD (5.33 ± ACRES), FROM SARASOTA COUNTY OPEN USE ESTATE 1 (OU-E-1) TO CITY OF VENICE COMMERCIAL; PROVIDING FOR REPEAL OF ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, Zoning Map Amendment Petition No. 22-57ZR (“Petition”) has been filed by Dan Lussier, to change the official City of Venice Zoning Map designation for the property located at 2114 Border Road from Sarasota County Open Use Estate 1 (OUE-1) to City of Venice Commercial; and

WHEREAS the subject property is located within the corporate limits of the City of Venice; and

WHEREAS, the City of Venice Planning Commission has been designated as the local planning agency in accordance with F.S. 163.3174; and

WHEREAS, the Planning Commission held a noticed public hearing on September 5, 2023 regarding the Petition and, based upon the evidence and testimony received at the public hearing, voted to recommend approval of the Petition; and

WHEREAS, the Venice City Council has received and considered the report of the Planning Commission concerning the Petition; and

WHEREAS, City Council held a duly noticed public hearing on the Petition in accordance with the requirements of the City's Code of Ordinances, and has considered the evidence and testimony received at said public hearing.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF VENICE, FLORIDA:

SECTION 1. The Whereas clauses above are ratified and confirmed as true and correct.

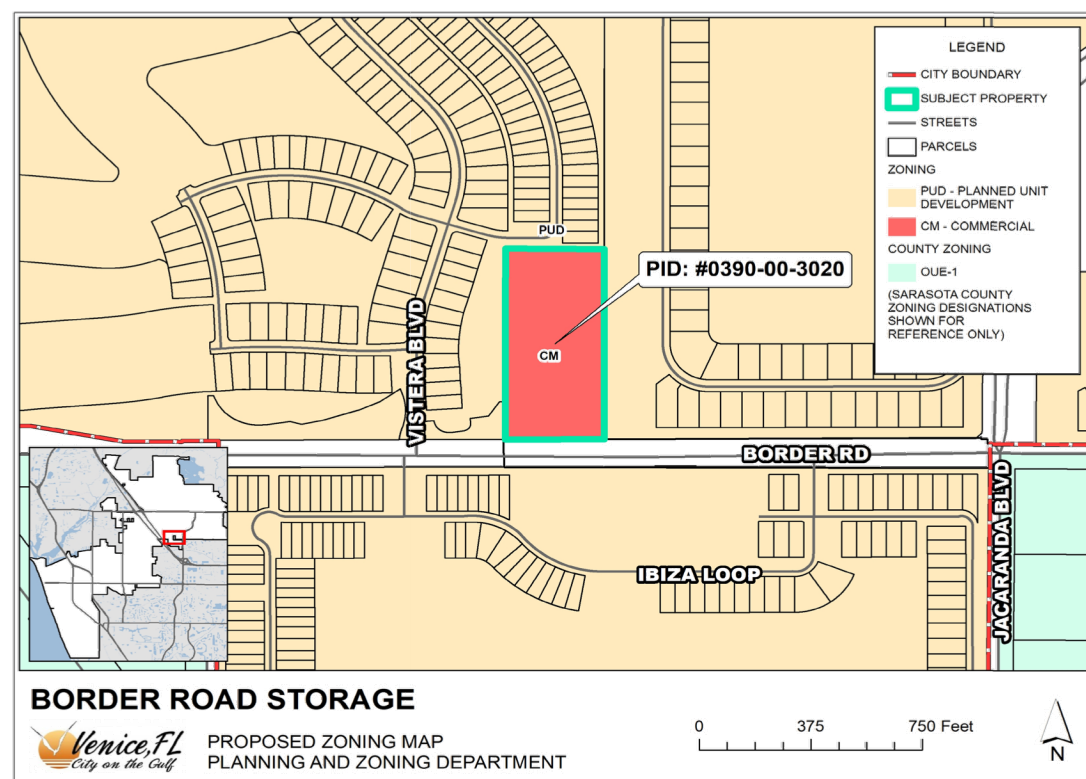
SECTION 2. The City Council hereby makes the following findings of fact:

- A. The Council has received and considered the report of the Planning Commission recommending approval of the Petition.
- B. The Council held, after due public notice, a public hearing on the Petition and considered the evidence and testimony received at said public hearing.

C. The proposed rezoning of the property described herein is in accordance with and meets the requirements of the Land Development Code and is consistent with the City of Venice Comprehensive Plan.

SECTION 3. The Official Zoning Map is hereby amended, by changing the zoning classification for the following described property located at 2114 Border Road from Sarasota County Open Use Estate 1 (OUE-1) to City of Venice Commercial subject to the following stipulation: The subject property will be used for self-storage and the development will be consistent with the conceptual plan site plan and elevations provided by the applicant in the record.

The 5.35+ acre property designated as Parcel Identification No. 0390-00-3020 is depicted on the location map shown below, and further described in Exhibit "A" attached hereto and incorporated herein by reference.



Any discrepancy between the legal description and the map shall resolve in favor of the map.

SECTION 4. All Ordinances or parts of Ordinances in conflict herewith shall be and the same are hereby repealed.

SECTION 5. If any part, section, subsection, or other portion of this ordinance or any application thereof to any person or circumstance is declared void, unconstitutional, or invalid for any reason, such part, section, subsection, or other portion, or the prescribed application thereof, shall be severable, and the remaining provisions of this ordinance, and all applications thereof not having been declared void, unconstitutional, or invalid, shall remain in full force and effect.

SECTION 6. Effective date. This Ordinance shall take effect immediately upon its approval and adoption as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF VENICE, FLORIDA, THIS 24TH DAY OF OCTOBER 2023.

First Reading: October 10, 2023
Final Reading: October 24, 2023

Adoption: October 24, 2023

Nick Pachota, Mayor

Attest:

Kelly Michaels, MMC, City Clerk

I, Kelly Michaels, MMC, City Clerk of the City of Venice, Florida, a municipal corporation in Sarasota County, Florida, do hereby certify that the foregoing is a full and complete, true and correct copy of an Ordinance duly adopted by the City of Venice Council, a meeting thereof duly convened and held on the 24th day of October 2023, a quorum being present.

WITNESS my hand and the official seal of said City this 24th day of October 2023.

Kelly Michaels, MMC, City Clerk

Approved as to form:

Kelly Fernandez, City Attorney

LEGAL DESCRIPTION:

Exhibit "A"

Page 4 of 4, Ordinance No. 2023-40

(PER REFERENCED TITLE COMMITMENT)

COMMENCE AT A POINT 100' NORTH AND 999.77 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4, SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA FOR A POINT OF BEGINNING; THENCE CONTINUE 332.66: THENCE NORTH 0°16'58" WEST, 654.73: THENCE WEST 332.66: THENCE SOUTH 0°16'58" EAST, 654.73: TO THE POINT OF BEGINNING. ALL LYING AND BEING IN THE WEST 1/2 OF THE EAST 1/2 OF SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA.

PARCEL 2:
COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF
SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY,
FLORIDA; THENCE SOUTH 89°52'24" EAST, ALONG THE SOUTH LINE OF
SAID SECTION 34, 998.67' FOR A POINT OF BEGINNING; THENCE
CONTINUE SOUTH 89°52'24" EAST ALONG SAID SOUTH LINE 332.66';
THENCE NORTH 00°104'4" WEST, 100.0' TO THE SOUTHEAST CORNER OF
SAID WADE PROPERTY AS RECORDED IN OFFICIAL RECORDS BOOK 1037
PAGE 10 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA;
THENCE NORTH 89°52'24" WEST ALONG A LINE 100 FEET FROM AND
PARALLEL WITH SAID SOUTH LINE 332.66' TO THE SOUTHWEST CORNER
OF THE WADE PROPERTY AS DESCRIBED HEREIN; THENCE SOUTH
00°104'4" EAST, 100.0' TO THE POINT OF BEGINNING.

LESS AND EXCEPT:
A PARCEL OF LAND LYING IN SECTION 34, TOWNSHIP 38 SOUTH,
RANGE 19 EAST, SARASOTA COUNTY, FLORIDA AND BEING MORE
PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA, ALSO LYING ON THE NORTH RIGHT-OF-WAY LINE OF BORDER ROAD 33' WIDE AT THIS POINT, PUBLIC R/W; THENCE S89°54'02"E, 988.49 FEET, ALONG SAID NORTH RIGHT-OF-WAY, TO THE POINT OF BEGINNING; THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE, N00°24'00"E, 61.58 FEET; THENCE N89°45'20"E, 333.42 FEET TO ITS INTERSECTION WITH THE EAST LINE OF SARASOTA COUNTY PARCEL NO. 0390-00-3020; THENCE S00°20'18"W, ALONG SAID EAST LINE, 64.39 FEET TO ITS INTERSECTION WITH THE AFOREMENTIONED NORTH RIGHT-OF-WAY LINE OF SAID BORDER ROAD; THENCE, ALONG SAID NORTH RIGHT-OF-WAY LINE, N89°45'40"W, 333.47 FEET TO THE POINT OF BEGINNING.

[illegible]

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOHN F. CAVOIT, P.E.
ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPY

DATE 2/14/24
SCALE N.T.S.
JOB NO. TCAP03
SHEET 18

CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO
THE START OF CONSTRUCTION