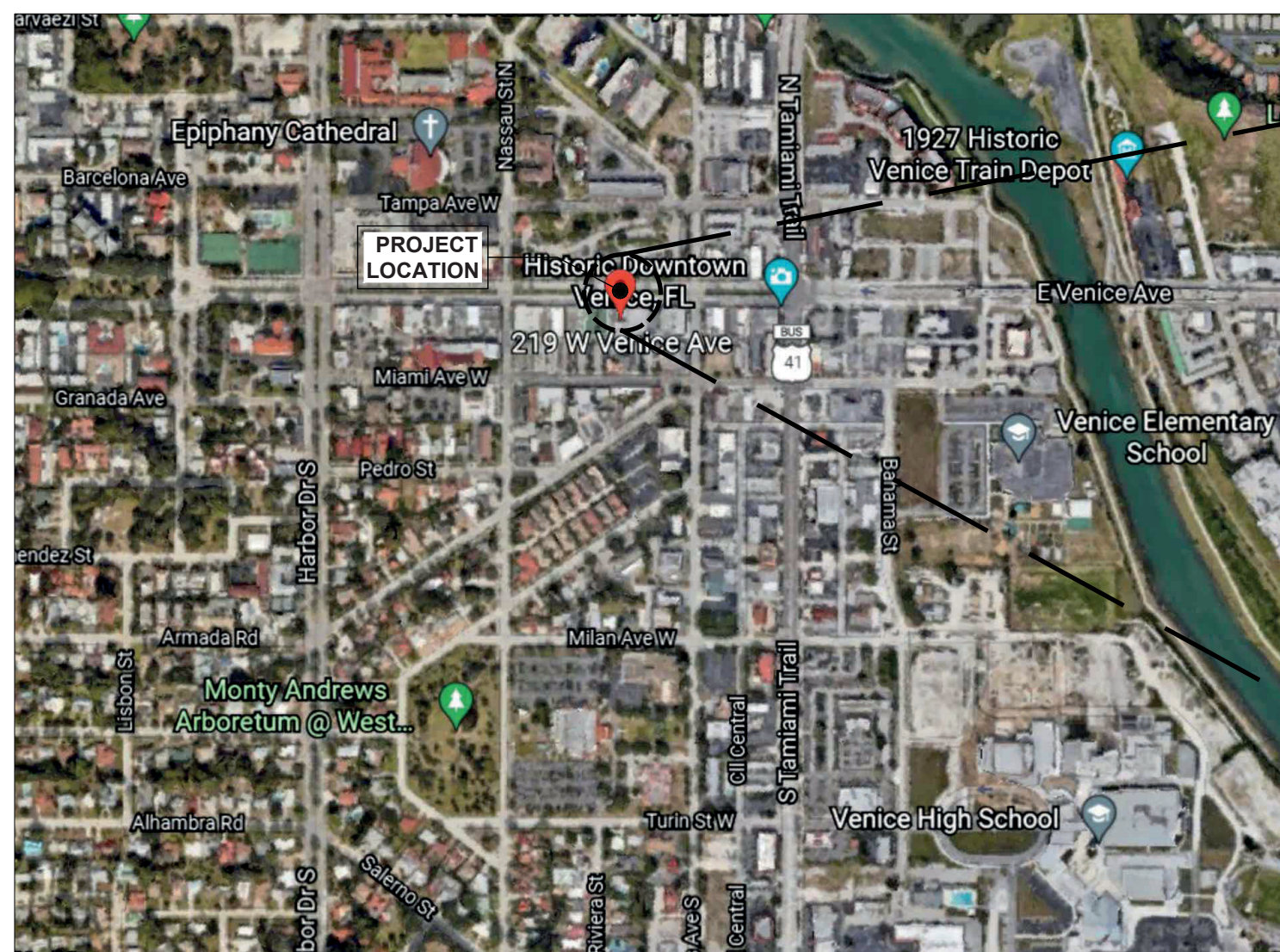


PROPOSED RENOVATION ARCHITECTURAL REVIEW BOARD PLANS

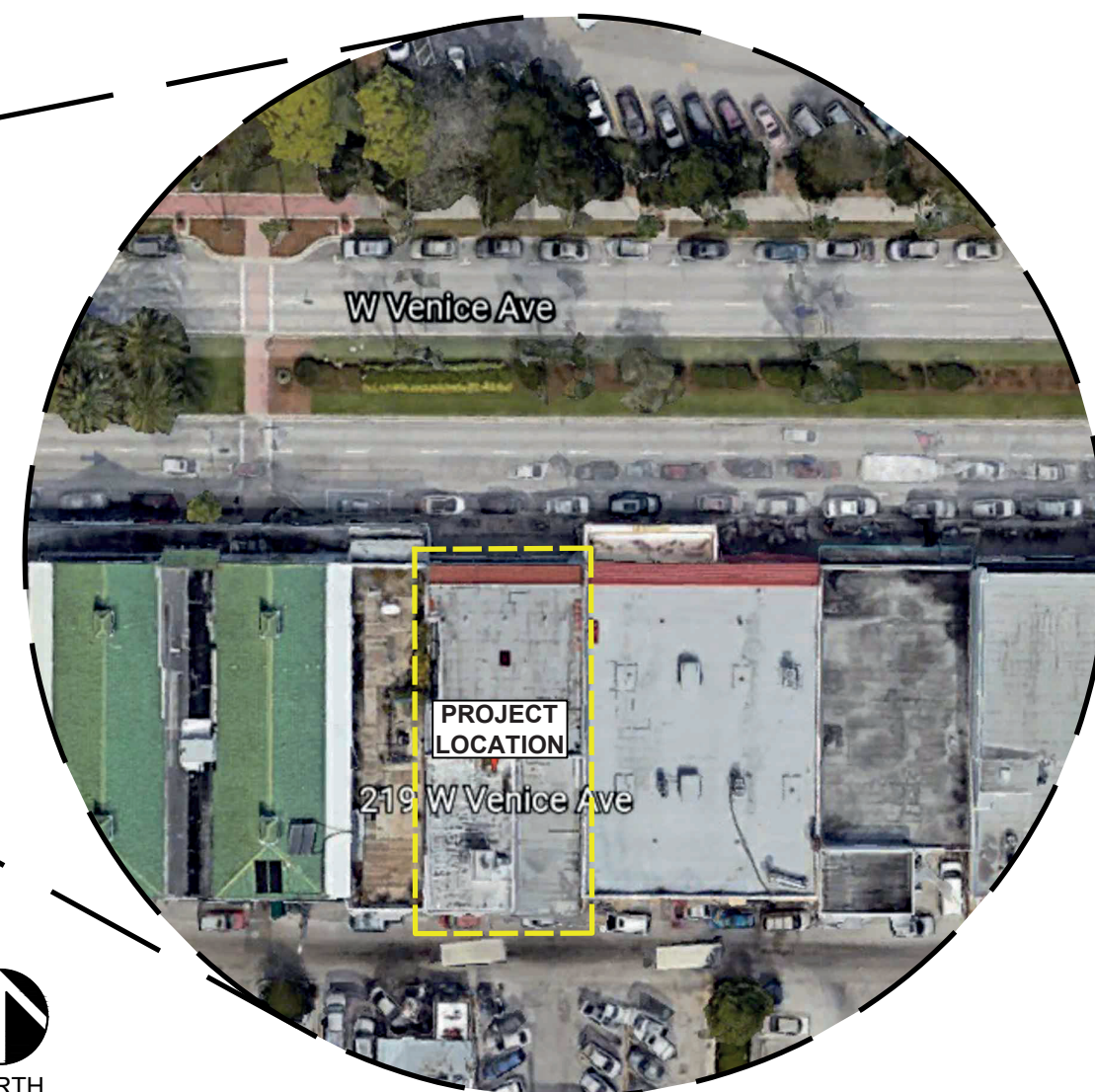
219 West Venice Avenue
Venice, Florida 34285



RENDERING



VICINITY MAP (N.T.S.)



LOCATION MAP (N.T.S.)

SCOPE OF WORK

THESE DOCUMENTS ARE FOR A PROPOSED RENOVATION OF THE EXISTING BUILDING FOR MULTI-FUNCTION USE AS FOLLOWS:

GROUND LEVEL - WHICH IS EXISTING AND IS PROPOSED FOR A COMPLETE LEVEL III ALTERATION OF THE EXISTING 5,750 SQ. FT. SITE AND THE MODIFICATION OF THE EXTENSION OF THE BUILDING SPACE INTO THREE (3) POTENTIAL RETAIL/COMMERCIAL TENANT SPACES. THE EXISTING STAIRWAYS WILL BE REMOVED AND RELOCATED. THE STRUCTURE CARRYING THE FLOOR ABOVE WILL BE MODIFIED TO CARRY THE JOISTS FOR THE FLOOR ABOVE.

SECOND LEVEL - PRESENTLY CONSISTS OF FOUR (4) LIVING UNITS WHICH ARE ALSO IN NEED OF A LEVEL III RENOVATION AND WILL DIVIDE THE SPACE INTO FOUR (4) ONE-BEDROOM APARTMENTS WITH FOUR (4) OFFICES AND A CONFERENCE ROOM. THE NEW UNITS WILL INCLUDE EXPANSION ONTO THE REAR ROOF DECK AND NEW ACCESS STAIRS.

THIRD LEVEL/ROOFTOP - THE ROOFTOP AREA IS PROPOSED TO BE CONSTRUCTED AS AN INDOOR/OUTDOOR RESTAURANT/BAR, WHICH WILL BE ENTIRELY NEW CONSTRUCTION. THIS CONSTRUCTION WILL ALSO BE COMPLIANT WITH THE REVISED STRUCTURE BELOW.

BUILDING CODE SUMMARY - COMMERCIAL PROJECTS:

BUILDING DATA:

OCCUPANCY: ASSEMBLY BUSINESS EDUCATIONAL MERCANTILE HAZARDOUS
 FACTORY/INDUSTRIAL INSTITUTIONAL RESIDENTIAL (R-2) UTILITY/MISCELLANEOUS

MIXED OCCUPANCY: YES NO SEPARATION: 2-HOUR FLOOR/CEILING FIRE SEPARATION PER U.L. DETAIL 301
GROUND FLOOR & EGRESS STAIR WALLS: 2-HOUR FIRE SEPARATION PER U.L. DETAIL U905

CONSTRUCTION TYPE: I (A) I (B) II (A) II (B) III (A) III (B) IV (H.T.) V (A) V (B)

MIXED CONSTRUCTION: YES NO

BUILDING HEIGHT: 30'-0" ABOVE GRADE 3 - STORES
BASE FLOOD ELEVATION: FLOOD ZONES X

MEZZANINE: YES NO
HIGH RISE: YES NO
FIRE SPRINKLED: YES NO
FIRE ALARM: YES NO
ZONING DISTRICT: CBD / HV

(E) TOTAL SITE AREA: 5,750 S.F. (0.1320 ACRES)

BUILDING A/C AREA	
GROUND FLOOR A/C AREA:	4,573.00 S.F.
SECOND FLOOR A/C AREA:	5,131.44 S.F.
ROOF TOP (RESTAURANT):	3,285.00 S.F.
TOTAL A/C AREA	12,989.44 S.F.

FAR / FLOOR AREA RATIO = 12,950 / 5,750 = 2.259

APARTMENT A/C AREA	
APARTMENT 1:	610.00 S.F.
APARTMENT 2:	706.00 S.F.
APARTMENT 3:	690.00 S.F.
APARTMENT 4:	682.00 S.F.

LIFE SAFETY SYSTEM:

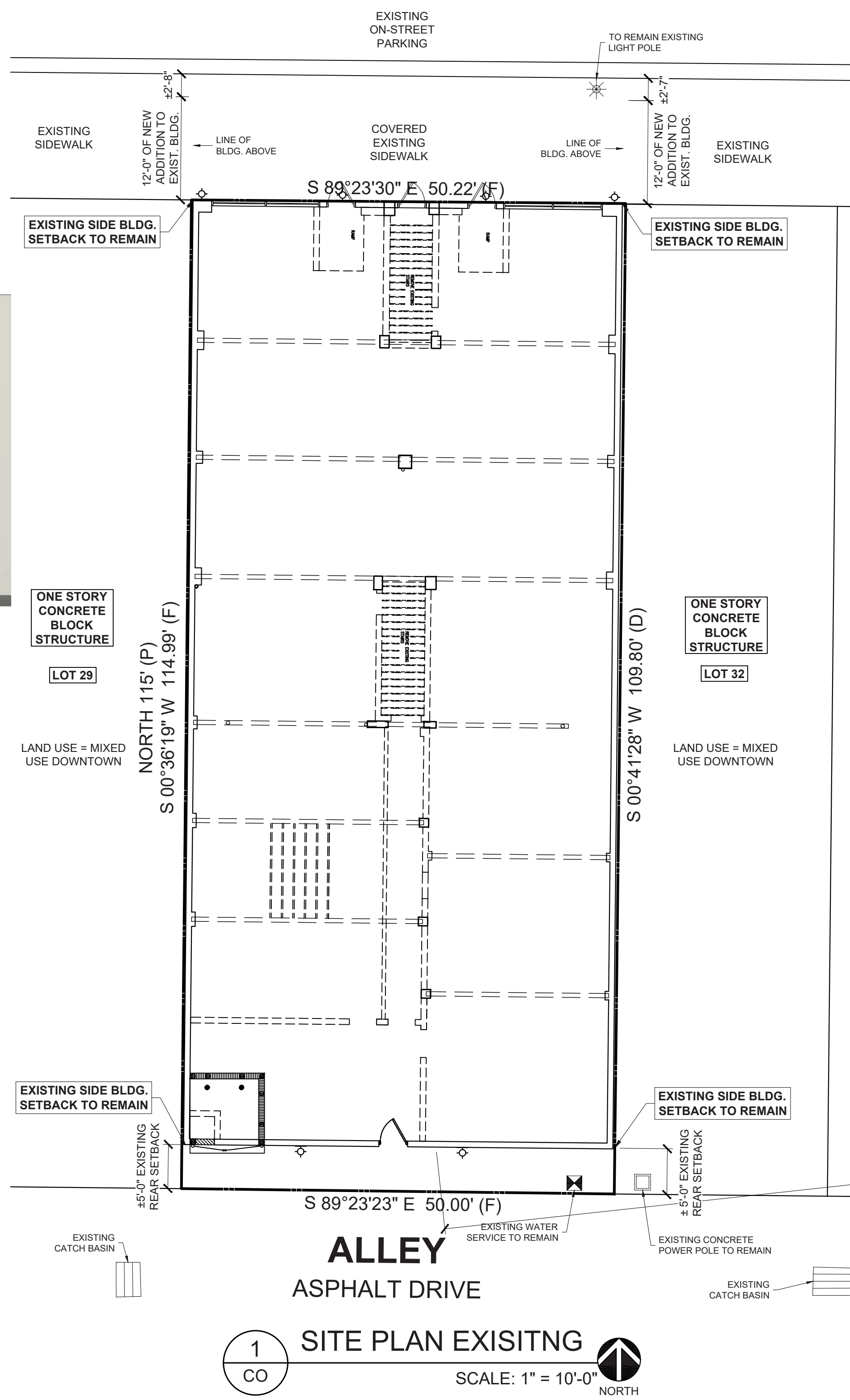
EMERGENCY LIGHTING & EXIT SIGNAGE: YES NO
FIRE ALARM: YES NO
SMOKE DETECTION SYSTEMS: YES NO
PANIC HARDWARE: YES NO

APPLICABLE CODES:

7th EDITION (2020) FLORIDA BUILDING CODE
7th EDITION (2020) FLORIDA BUILDING CODE (MECHANICAL)
7th EDITION (2020) FLORIDA BUILDING CODE (PLUMBING)
7th EDITION (2020) FLORIDA BUILDING CODE (ACCESSIBILITY)
7th EDITION (2020) FLORIDA BUILDING CODE (ENERGY)
7th EDITION (2020) FLORIDA FIRE PREVENTION CODE
NFPA 2017 NATIONAL ELECTRICAL CODE (NEC 2017)

PARKING CALCULATOR
4 APARTMENTS = 4 SPACES
7,858 SQ. FT. / 500 = 15.7 SPACES
TOTAL SPACES = 20 SPACES

VENICE AVENUE 120' PUBLIC RIGHT-OF-WAY



WINDS:

WINDS APPLIED PER ASCE7-10, BUILDINGS OF ALL HEIGHTS

ANALYTICAL METHOD: BASIC WIND SPEED: 160 MPH

BUILDING RISK CATEGORY: II

WIND EXPOSURE: D

APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .18 (ENCLOSED)

COMPONENTS AND CLADDING: SEE STRUCTURAL SHEET FOR ALL DESIGN PRESSURES

NOTE: FOLLOW MANUFACTURERS INSTRUCTIONS FOR NUMBER OF JAMB CLIPS, SPACING AND ANCHOR SIZES.

INDEX OF DRAWINGS

SHEET #	DESCRIPTION
1	CO COVER SHEET
2	RE FRONT & LEFT RENDERINGS
3	RE2 REAR & RIGHT RENDERINGS
4	RE3 3D MODEL
5	SUR SURVEY
6	A-1.0 FIRST FLOOR DEMOLITION PLAN
7	A-1.1 PROPOSED STRUCTURAL LAYOUT PLAN
8	A-1.2 DOOR & WINDOW DETAILS
9	A-2.0 PROPOSED FIRST FLOOR PLAN
10	A-2.1 PROPOSED SECOND FLOOR
11	A-2.2 PROPOSED ROOF DECK PLAN
12	A-4.0 FRONT ELEVATION
13	A-4.1 REAR ELEVATION
14	A-4.2 LEFT ELEVATION
15	A-4.3 RIGHT ELEVATION

ABBREVIATIONS:

A.F.C.	ABOVE FINISH CEILING	H.M.	HOLLOW METAL
A.F.F.	ABOVE FINISH FLOOR	IMAG.	IMAGE
A.C.T.	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
ALUM.	ALUMINUM	JT.	JOINT
B.L.K.	BLOCK	K.O.	KNOCK OUT
BOTT.	BOTTOM	L.K.	LOCK
BTM.	BOTTOM	MANUF.	MANUFACTURER
BLDG.	BUILDING	M.C.	MEDICAL CLOSET
C.L.S.	CELLING	M.C.J.	MASONRY CONTROL JOINT
C.	CARPET	M.O.	MASONRY OPENING
C.T.	CERAMIC TILE	MAX.	MAXIMUM
C.B.	CHALK BOARD	MECH.	MECHANICAL
COLUMN.	COLUMN	MTL.	METAL
CONC.	CONCRETE	M.L.	METAL LATH
C.J.	CONTROL JOINT	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	MIRR.	MIRROR
DN.	DOWN	N.	NORTH
D.S.	DOWN SPOUT	N.I.C.	NOT IN CONTRACT
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE
ELAST.	ELASTOMERIC	NO.	NUMBER
ELEV.	ELEVATION	O.C.	ON CENTER
EQ.	EQUAL	P.T.	PAINT
EXIST.	EXISTING	PLAST.	PLASTER
EXP.	EXPANSION	P.T.	PRESSURE TREATED
E.J.	EXPANSION JOINT	Q.T.	QUARRY TILE
EXST'G.	EXISTING	REINF.	REINFORCING
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	REQD.	REQUIRED
FIN.	FINISH	R.F.D.	ROOF DRAIN
F.E.	FIRE EXTINGUISHER	RFG.	ROOFING
F.A.	FIRE ALARM	RM.	ROOM
PLAS.	PLASTER	R.T.	RUBBER TILE
FL.	FLOOR	SPECS.	SPECIFICATIONS
FLR.	FLOOR	STL.	STEEL
FTS.	FOOTING	T.B.	TACK BOARD
FT.	FOOT OR FEET	TYP.	TYPICAL
FDN.	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	VERT.	VERTICAL
GA.	GALVANIZED	V.C.T.	VINYL COMPOSITION TILE
G.W.B.	GYPSUM WALL BOARD	WGT.	WEIGHT
HDW.	HARDWARE	W.C.	WATER CLOSET
HGT.	HEIGHT	WDW.	WINDOW
		W.	WITH
		WD.	WOOD

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE AND CONSULTANTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRECORDED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT
219 W. Venice Ave.
Venice, Florida
COVER SHEET

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@ABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: AT/JB
UPDATED ON: Jan. 20, 23
DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #: CO



1 FRONT RENDERING
RE SCALE: N.T.S.



2 LEFT RENDERING
RE SCALE: N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - ARCHITECT
 COMPANY AND CONTRACTS ARE THE PROPERTY OF JOHN A. BODZIAK, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS. MAKE NO CHANGE OR MODIFICATION TO ANYTHING APPROVED ON THESE PLANS.

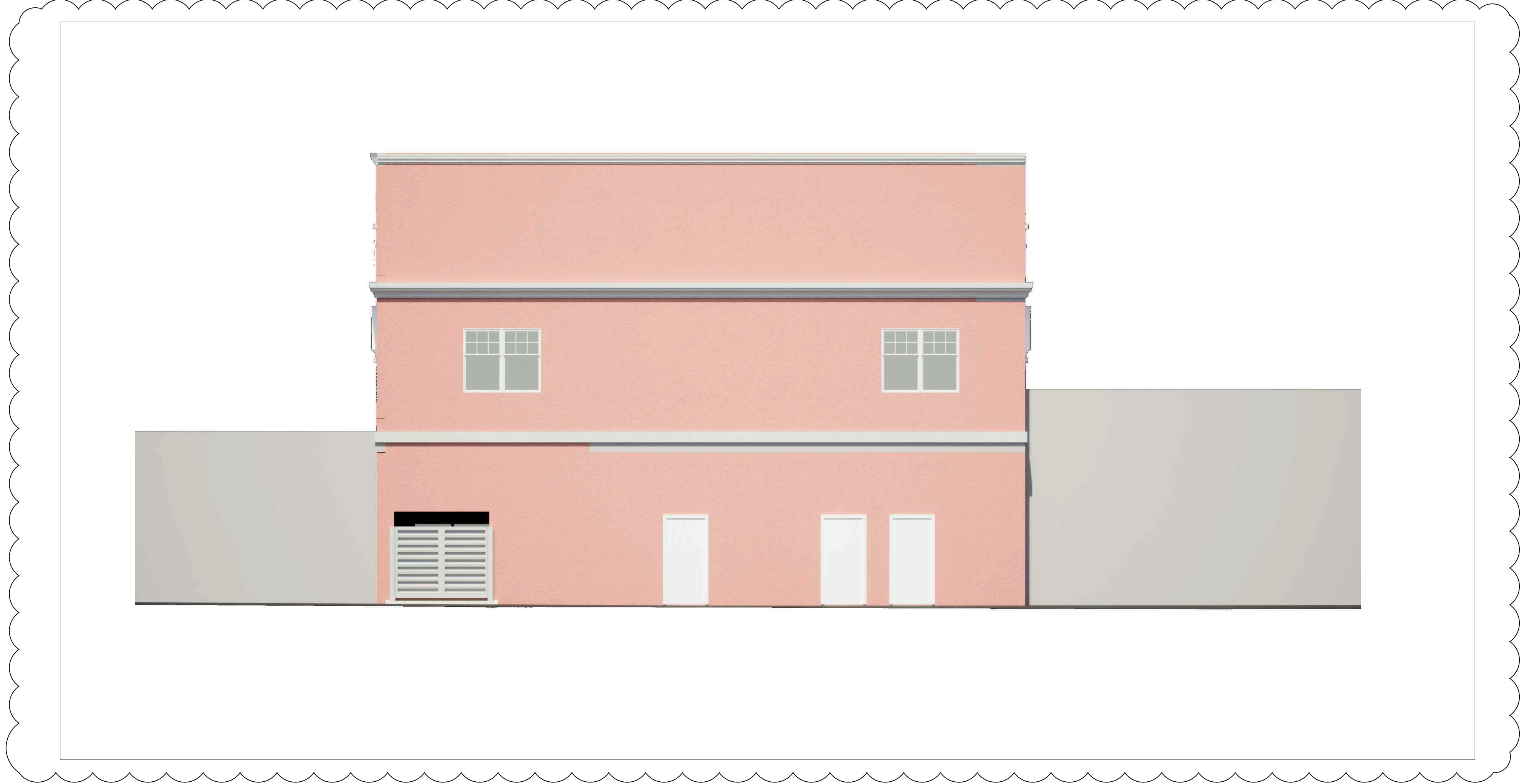
NO.	DATE	REVISIONS	DESCRIPTION

PROJECT
219 W. Venice Ave.
 Venice, Florida
 RENDERING

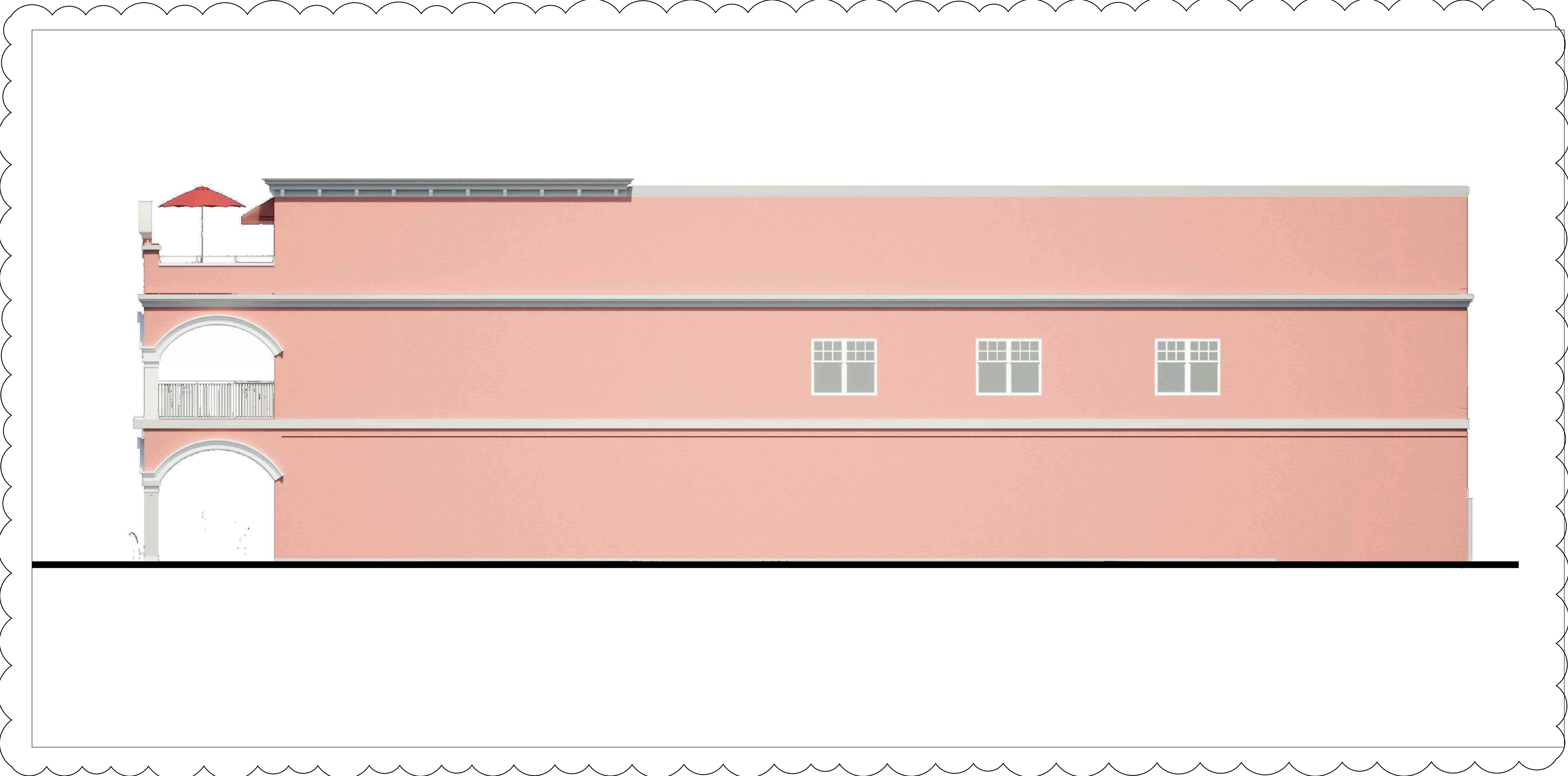
ARCHITECT
JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

SEAL
 STATE OF FLORIDA
 JOHN A. BODZIAK
 ARCHITECT
 AR0005065
 01/20/2023
 REGISTERED ARCHITECT

DRAWN BY	AT/JB
UPDATED ON	Jan. 20, 23
DATE	10 - 2020
JOB PROJECT #	2020-051
SHEET #	RE



1 REAR RENDERING
SCALE: N.T.S.



2 RIGHT RENDERING
SCALE: N.T.S.

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JOHN A. BODZIAK ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #: RE2

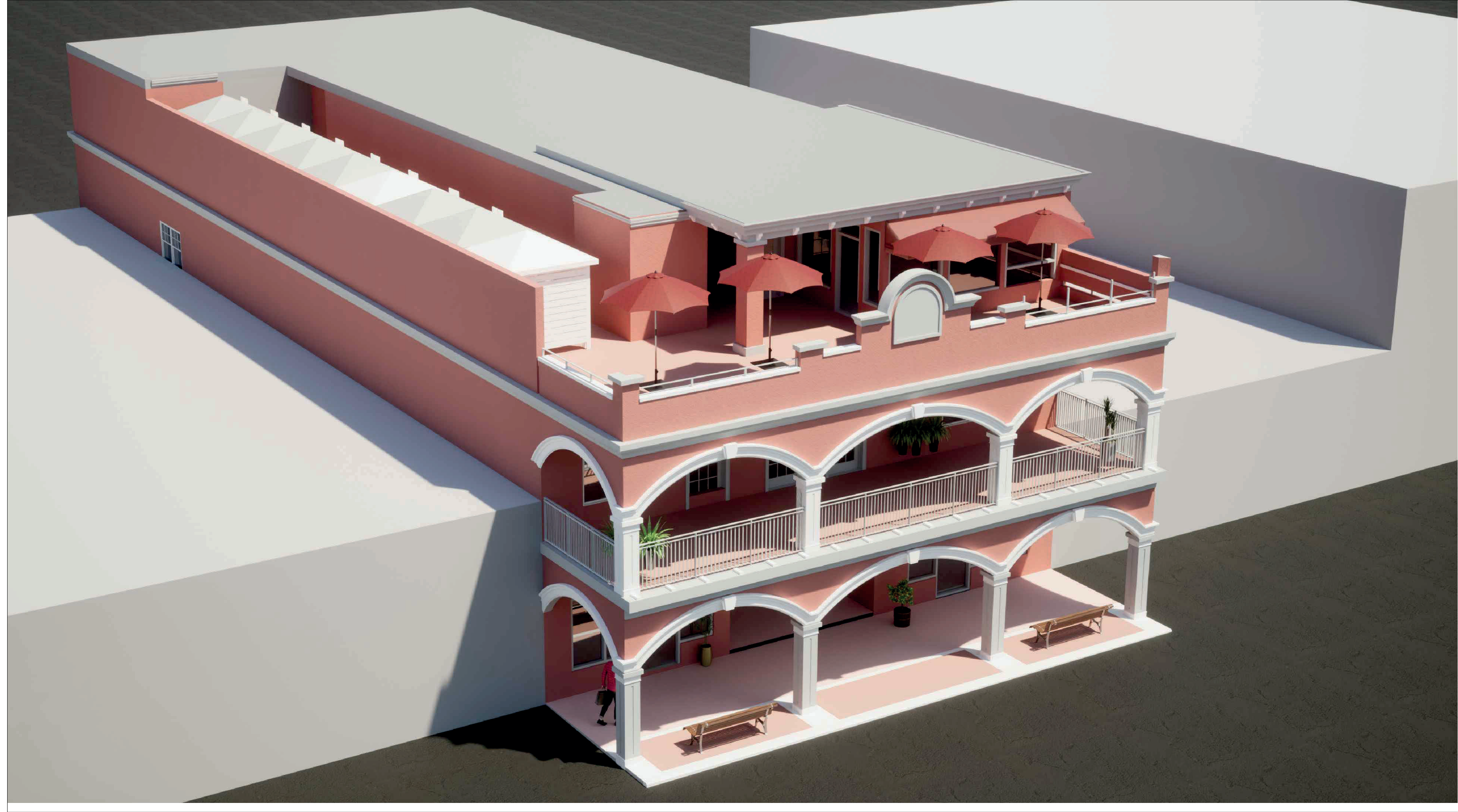
PROJECT: 219 W. Venice Ave.
Venice, Florida
RENDERING

NO.	DATE	DESCRIPTION

REVISIONS

CLIENT

SEAL



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JOHN A. BODZIAK, INC. - ARCHITECT'S REGISTERED OFFICE
 COMPANY AND CONTRACTS AND OTHER PROPERTY
 SHALL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC.
 UNLESS OTHERWISE SPECIFICALLY NOTED OTHERWISE.
 THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC.
 THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC.
 JOHN A. BODZIAK, INC. SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE CONTRACTS TO CONSTRUCT THIS PROJECT.
 THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC.
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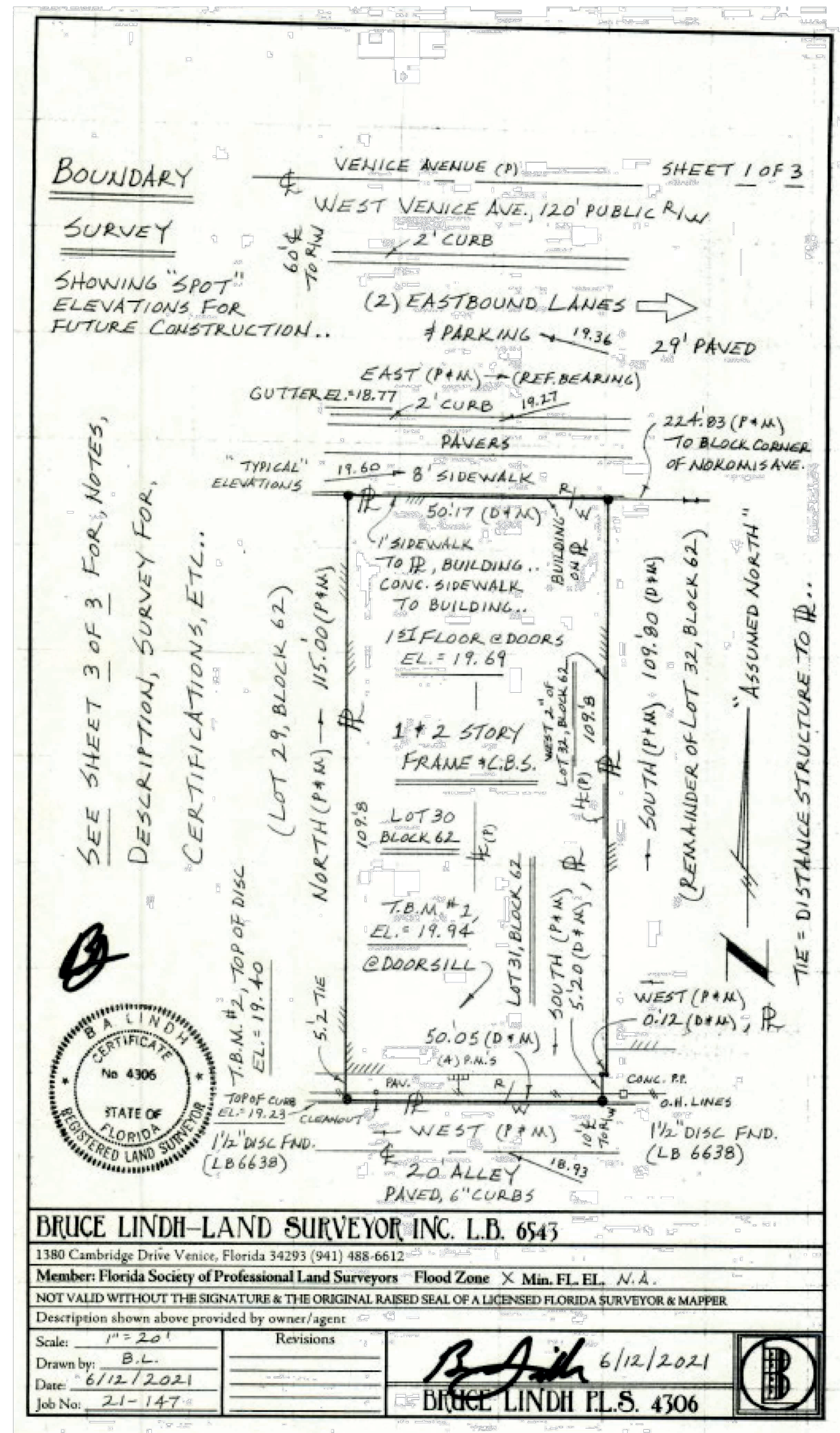
NO.	DATE	DESCRIPTION

PROJECT
219 W. Venice Ave.
 Venice, Florida

CLIENT
RENDERING

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
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 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY	AT/JB
UPDATED ON	Jan. 20, 23
DATE	10 - 2020
JOB PROJECT #	2020-051
SHEET #	RE3



BRUCE LINDH
LAND SURVEYOR, INC.

(941) 488-6612
 1380 CAMBRIDGE DRIVE
 VENICE, FLORIDA 34293

JOB NO: 21-147 CLIENT: HANNEMAN SHEET 2 OF 3

ABBREVIATION'S

(P)= PLAT;(M)= MEASURED;(D)= DEED;(C)= CALCULATED; \overline{P} = PROPERTY LINE;
 CL = CENTERLINE; P.B.= PLAT BOOK; P.= PAGE; BLK.= BLOCK; P.O.B.= POINT OF BEGINNING; P.O.C.= POINT OF COMMENCEMENT; S.D.= SUBDIVISION; R/W= RIGHT-OF-WAY; P.R.M.= PERMANENT REFERENCE MONUMENT; EL.= ELEVATION;
 FL.= FLOOR; FND.= FOUND; B.M.= BENCH MARK; T.B.M.= TEMPORARY BENCH MARK; INV.= INVERT; I.R.= IRON ROD; S.F.= SQUARE FEET; P.P.= POWER POLE;
 P.C.P.= PERMANENT CONTROL POINT; C.M.= CONCRETE MONUMENT;
 CONC.= CONCRETE; DESC.= DESCRIPTION; COR.= CORNER; CO.= COUNTY;
 EASE.= EASEMENT; COV.= COVERED; O.H.= OVERHEAD; O.A.= OVERALL;
 ANT.= ANTENNA; P.M.= POWER METER; BUILD.= BUILDING; PAV.= PAVEMENT;
 (C.B.)= CATCH BASIN; ATTN.= ATTENTION; CERT.= CERTIFIED; N.T.S.= NOT TO SCALE; TOPO.= TOPOGRAPHICAL; C.B.S.= CONCRETE BLOCK STRUCTURE;
 M.H.W.L.= MEAN HIGH WATER LINE; N.G.V.D.= NATIONAL GEODETIC VERTICAL DATUM; S.T.= SEPTIC TANK; D.F.= DRAIN FIELD; D.N.R.= DEPARTMENT OF NATURAL RESOURCES; ALUM.= ALUMINUM; P.C.= POINT OF CURVE; P.T.= POINT OF TANGENCY; P.R.C.= POINT OF REVERSE CURVATURE; A= ARC; C= CHORD;
 T= TANGENT; Δ = CENTRAL ANGLE; C.B.= CHORD BEARING; P.C.C.= POINT OF COMPOUND CURVATURE; P.L.S.= PROFESSIONAL LAND SURVEYOR;
 C.C.C.L.= COASTAL CONSTRUCTION CONTROL LINE; AVG.= AVERAGE;
 R.L.S.= REGISTERED LAND SURVEYOR; L.P.= LIGHT POLE; M.H.= MAIN HOLE;
 L= LOT LINE; I.P.= IRON PIPE; SCAT.= SCATTERED; D.H.= DRILL HOLE;
 W.M.= WATER METER; A/C= AIR CONDITIONER; F.H.= FIRE HYDRANT;
 F.Z.= FLOOD ZONE; REF.= REFERENCE; O= ROUND; \square = SQUARE;
 SECT.= SECTION; T.= TOWNSHIP; R.= RANGE; P.S.M.= PROFESSIONAL SURVEYOR AND MAPPER; I.D.#= IDENTIFICATION NUMBER; MIN.= MINIMUM; S.S.= STATE STATUTE; F.A.C.= FLORIDA ADMINISTRATIVE CODE; P.I.= POINT OF INTERSECTION; #= NUMBER; ADD'L.= ADDITIONAL; ADDN.= ADDITION; N= NAIL;
 C.L.= CHAIN LINK; D.&U.= DRAINAGE AND UTILITY; F.E.M.A.= FEDERAL EMERGENCY MANAGEMENT AGENCY; P.K.= PARKER KALON; TYP.= TYPICAL;
 W/V= WATER VALVE; L.B.= CERTIFICATE OF AUTHORIZATION NUMBER;
 F.B.= FIELD BOOK; CONDO.= CONDOMINIUM; SHN.= SHOWN; PROP.= PROPERTY;
 O.R.B.= OFFICIAL RECORD BOOK; W/C= WATER CONDITIONER; T= TRAVERSE LINE; BLVD.= BOULEVARD; DR.= DRIVE; RD.= ROAD; H.W.= HEAD WALL;
 T.V.= TELEVISION; L.S.= LAND SURVEYOR

B.L.

[Signature] 6/12/2021
 BRUCE LINDH P.L.S.#4306, L.B.#6543

SHEET 3 OF 3

DESCRIPTION: LOTS 30, 31 & A STRIP ALONG THE WEST SIDE OF LOT 32 OF THE NORTH 109.80 FOOT STRIP BEING 2 INCHES (0.17) WIDE ON THE NORTH & 5/8 OF AN INCH (0.05) TO THE SOUTH, BLOCK 62, GULF VIEW SECTION OF VENICE, PER PLAT BOOK 2, PAGE 77 & 77A, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.. PROPERTY IN SECTION 7, TOWNSHIP 39 SOUTH, RANGE 19 EAST..

BASED ON COUNTY PROPERTY APPRAISERS OFFICE..

SURVEY FOR & CERTIFIED TO: HANNEMAN FAMILY TRUST..

CERTIFIED TO:

[Signature]

BRUCE LINDH-LAND SURVEYOR INC. L.B. 6543
 1380 Cambridge Drive Venice, Florida 34293 (941) 488-6612
 Member: Florida Society of Professional Land Surveyors Flood Zone X Min. FL. EL. N.A.
 NOT VALID WITHOUT THE SIGNATURE & THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR & MAPPER
 Description shown above provided by owner/agent

Scale: N.A.	Revisions:
Drawn by: B.L.	
Date: 6/12/2021	
Job No: 21-147	

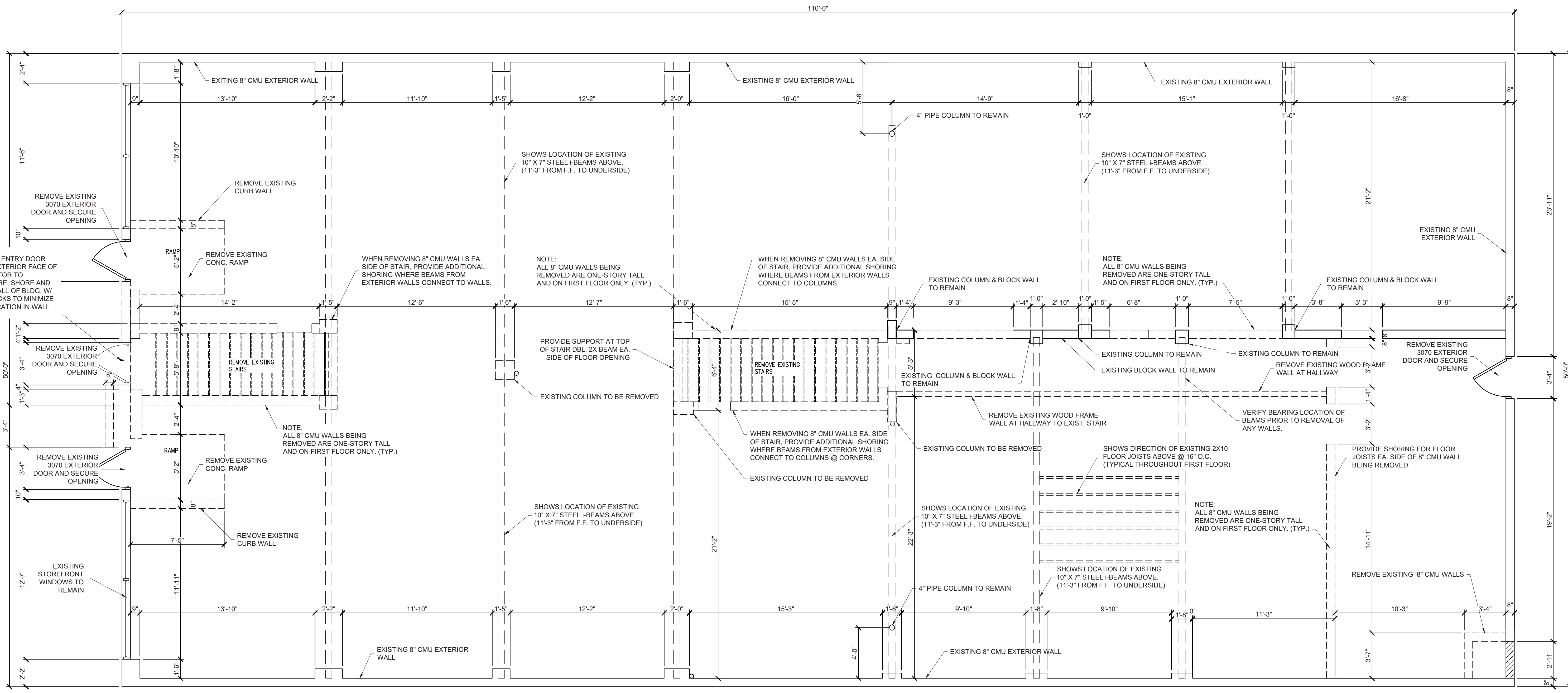
[Signature] 6/12/2021
 BRUCE LINDH P.L.S. 4306

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JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR00050065
 EMAIL: JACK@ABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10-2020
 SHEET # SUR



NOTE:
REMOVE CENTER ENTRY DOOR
AND WALLS AT EXTERIOR FACE OF
BLDG. CONTRACTOR TO
PROPERLY SECURE, SHORE AND
BRACE FRONT WALL OF BLDG. W/
STL BRACING JACKS TO MINIMIZE
ANY JOINT SEPARATION IN WALL
ABOVE.

NOTE:
REMOVE EXISTING 3070 EXTERIOR
DOOR AND SECURE OPENING

NOTE:
REMOVE EXISTING 3070 EXTERIOR
DOOR AND SECURE OPENING

EXISTING STOREFRONT
WINDOWS TO REMAIN

EXISTING 8\"/>

SHOWS LOCATION OF EXISTING
10\"/>

NOTE:
ALL 8\"/>

WHEN REMOVING 8\"/>

SHOWS LOCATION OF EXISTING
10\"/>

NOTE:
ALL 8\"/>

WHEN REMOVING 8\"/>

SHOWS LOCATION OF EXISTING
10\"/>

SHOWS LOCATION OF EXISTING
10\"/>

SHOWS LOCATION OF EXISTING
10\"/>

NOTE:
ALL 8\"/>

PROVIDE SHORING FOR FLOOR
JOISTS EA. SIDE OF 8\"/>

1 AS-BUILT / DEMO PLAN - GROUND FLOOR
A-1.0 SCALE: 1/4" = 1'-0"

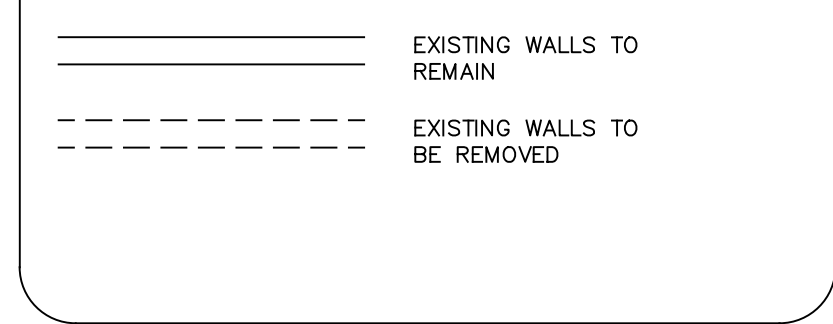
DEMOLITION NOTES:

- IN COMPANY WITH THE OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE.
- SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
- COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
- ALL DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
- DEMOLITION WORK IS NOT LIMITED TO DEMOLITION ITEMS LISTED OR SPECIFICALLY IDENTIFIED ON THE CONSTRUCTION DOCUMENTS, BUT SHALL INCLUDE THOSE ITEMS NECESSARY FOR A FINISHED AND COMPLETE PROJECT.
- GENERAL CONTRACTOR TO INCLUDE ALL INTERIOR AND EXTERIOR PATCHING, REPAIRING AND PAINTING TO PROVIDE A PROFESSIONAL AND COMPLETELY FINISHED PROJECT ACCEPTABLE TO THE OWNER.
- USE PROPERLY DESIGNED SHORING, BRACING, UNDERPINNING, ETC. AS NECESSITATED BY CONDITIONS OR AS REQUIRED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION OR ANY DEMOLITION.
- NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY ARCHITECT. THIS INCLUDES (BUT IS NOT LIMITED TO) REVISIONS DUE TO MISLOCATION, MISFIT OR ANY OTHER CONSTRUCTION ERRORS OR DISCOVERIES DURING DEMOLITION.
- BRACE ALL WALLS DURING CONSTRUCTION TO PREVENT DAMAGE FROM WIND, WATER, EARTH PRESSURE AND CONSTRUCTION LOADS UNTIL ALL SUPPORTING ELEMENTS ARE IN PLACE AND OF SUFFICIENT STRENGTH.
- NO OPENING OR DEMOLITION SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN INDICATED ON APPROVED DRAWINGS) UNTIL LOCATION HAS BEEN APPROVED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARD BUILDING CODE.
- ALSO, PROVIDE DIAGONAL BRACING AT ANY BRACING OR SHORING THAT IS LOCATED AT ANY STRUCTURAL ELEMENT OR ANY LOAD BEARING WALL, BEING REMOVED FROM THE TOP OF SHORING OR BRACING DOWN TO THE FLOOR.

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS. ACTUAL CONDITIONS ARE TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, TO INCLUDE ALL STATE LAWS, AND LOCAL ORDINANCES.
- REPAIR, PATCH, AND REFINISH ALL EXISTING STRUCTURES AFFECTED BY THIS CONSTRUCTION.
- ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS TO EXPOSE ALL AFFECTED EXISTING CONDITIONS AND RELOCATE ADJUST, CHANGE OR ABANDON EXISTING CONDITIONS ACCORDING TO ALL APPLICABLE CODES AND LOCAL ORDINANCES

WALL LEGEND



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNEXPECTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

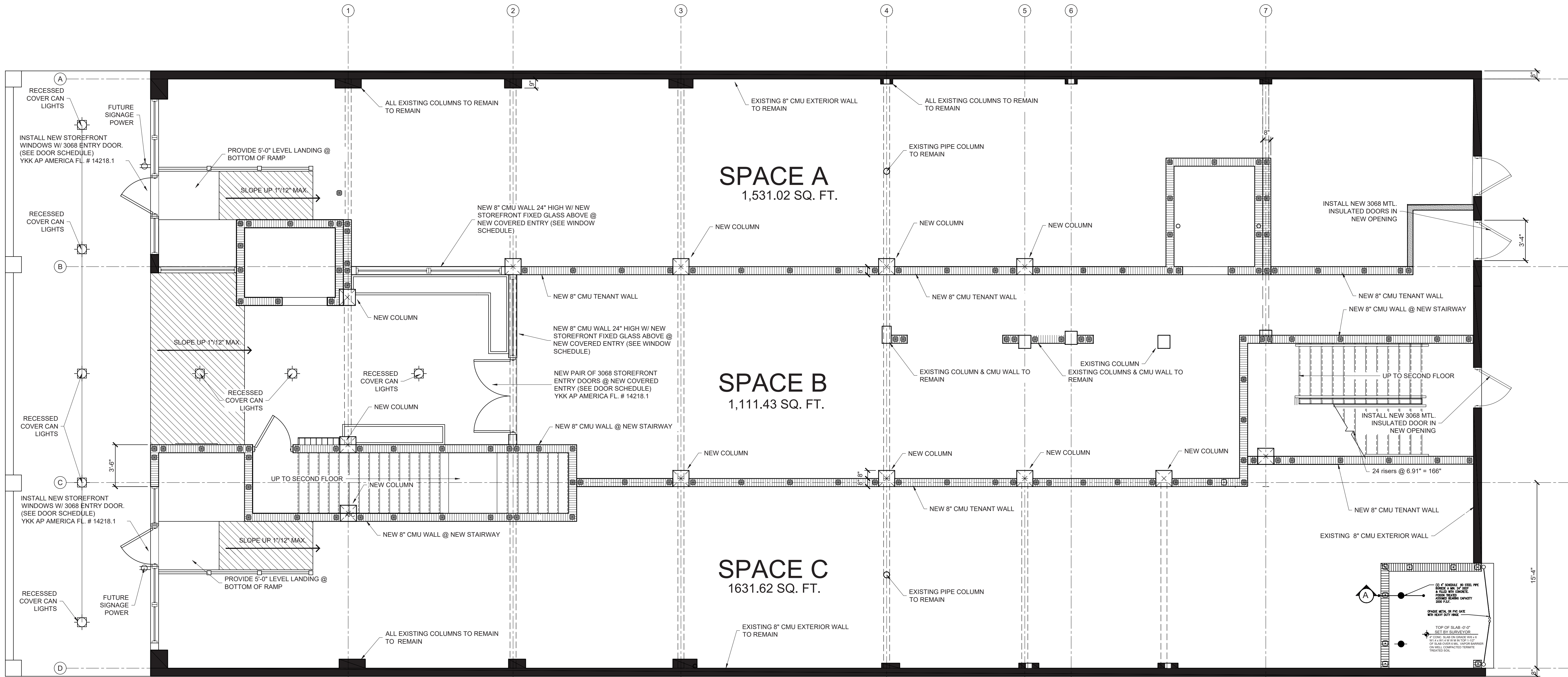
DATE: 10-2020

JOB PROJECT #: 2020-051

SHEET #: A-1.0

PROJECT: **219 W. Venice Ave.**
Venice, Florida
AS-BUILT / DEMO PLAN - GROUND FLOOR

ARCHITECT: **JOHN A. BODZIAK**
ARCHITECT AIA, PA
ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@ABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968



1
A-1.1 PROPOSED STRUCTURAL LAYOUT PLAN
SCALE: 3/16" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGINEERING, AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 630 AND 632, LAWS OF FLORIDA.

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PROJECT
219 W. Venice Ave.
Venice, Florida

PROPOSED STRUCTURAL LAYOUT PLAN

NO.	DATE	DESCRIPTION

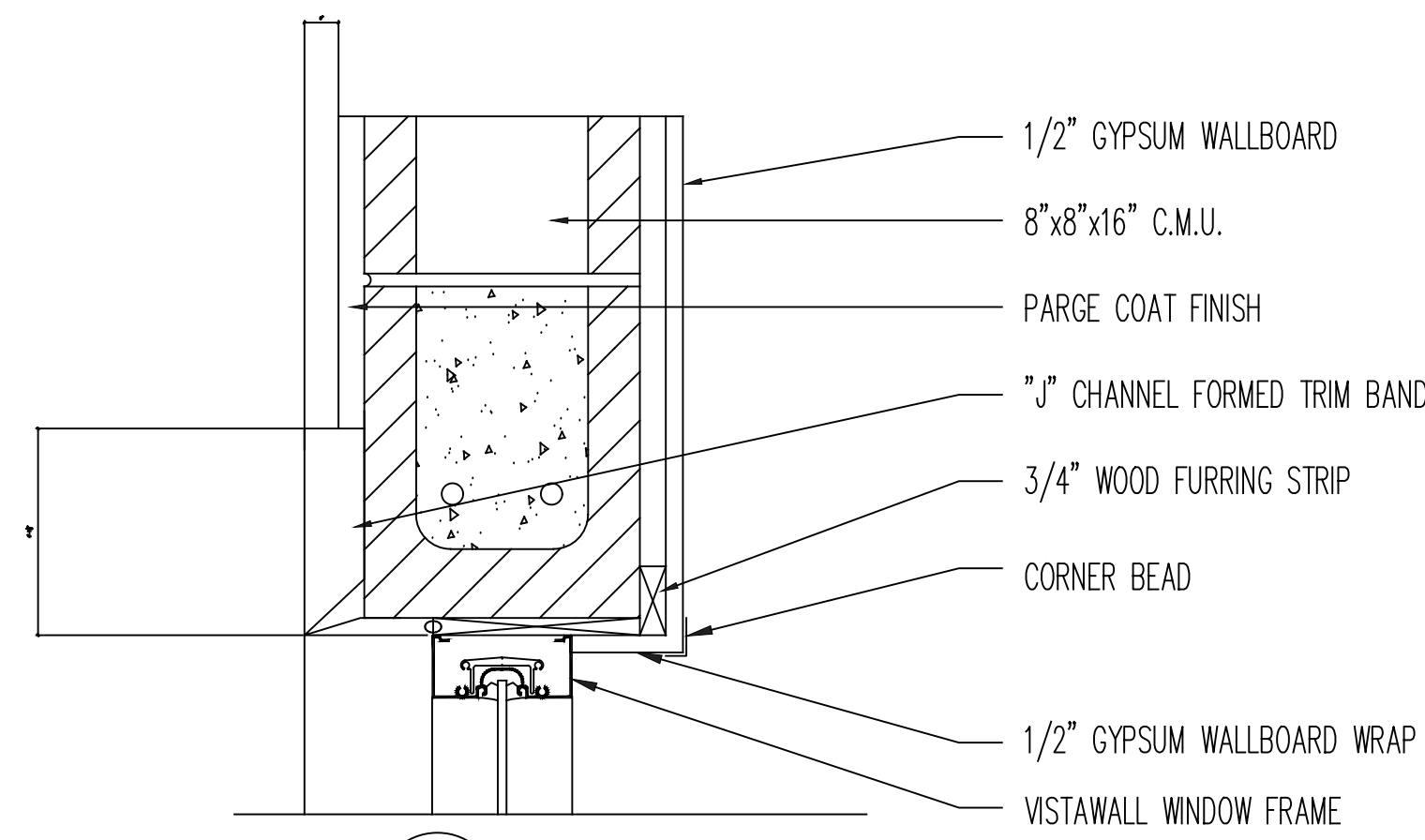
REVISIONS

CLIENT

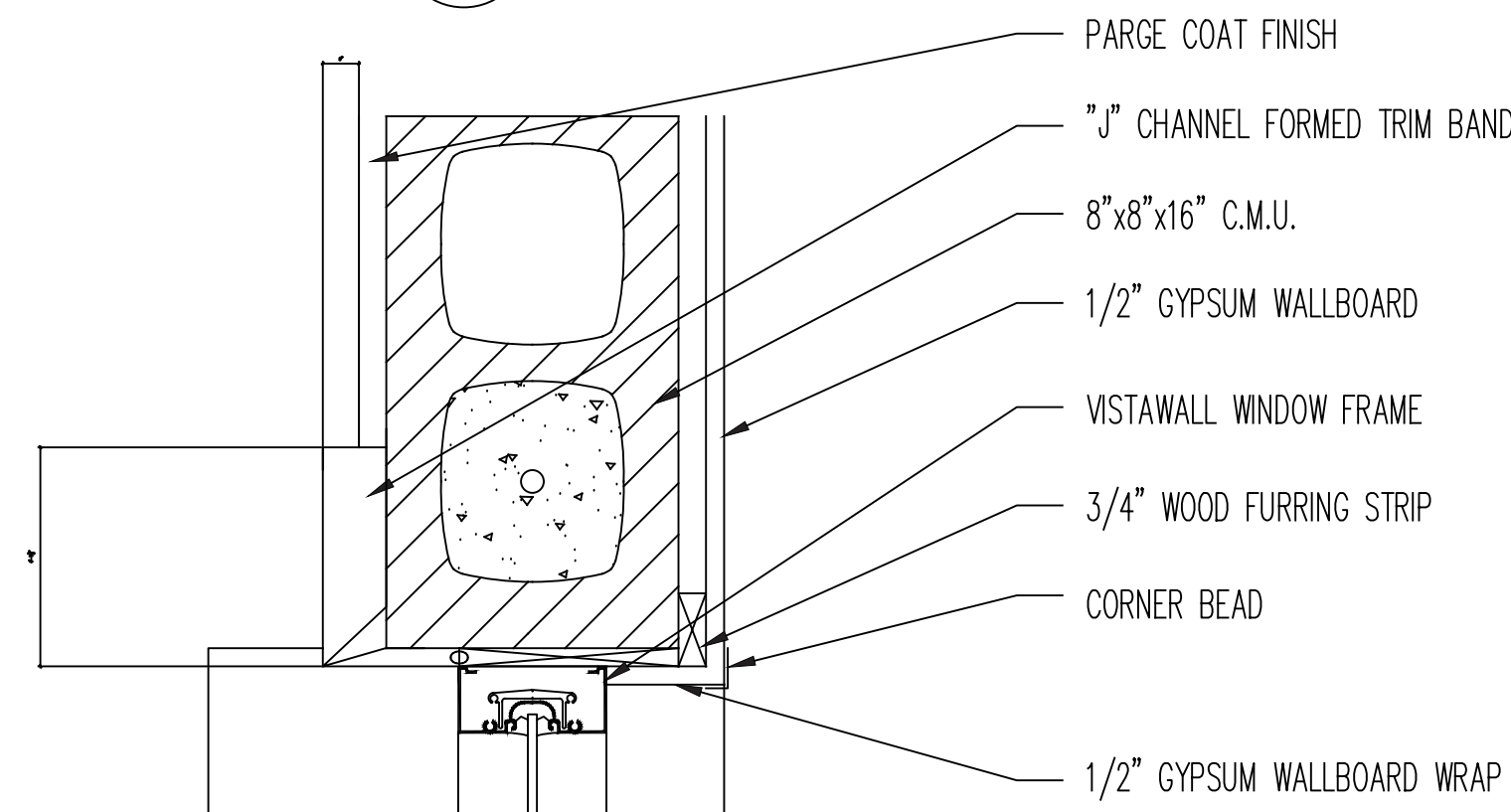
SEAL

REGISTERED ARCHITECT
STATE OF FLORIDA
A. BODZIAK
ARCHITECT
AR0005065
01/20/2020

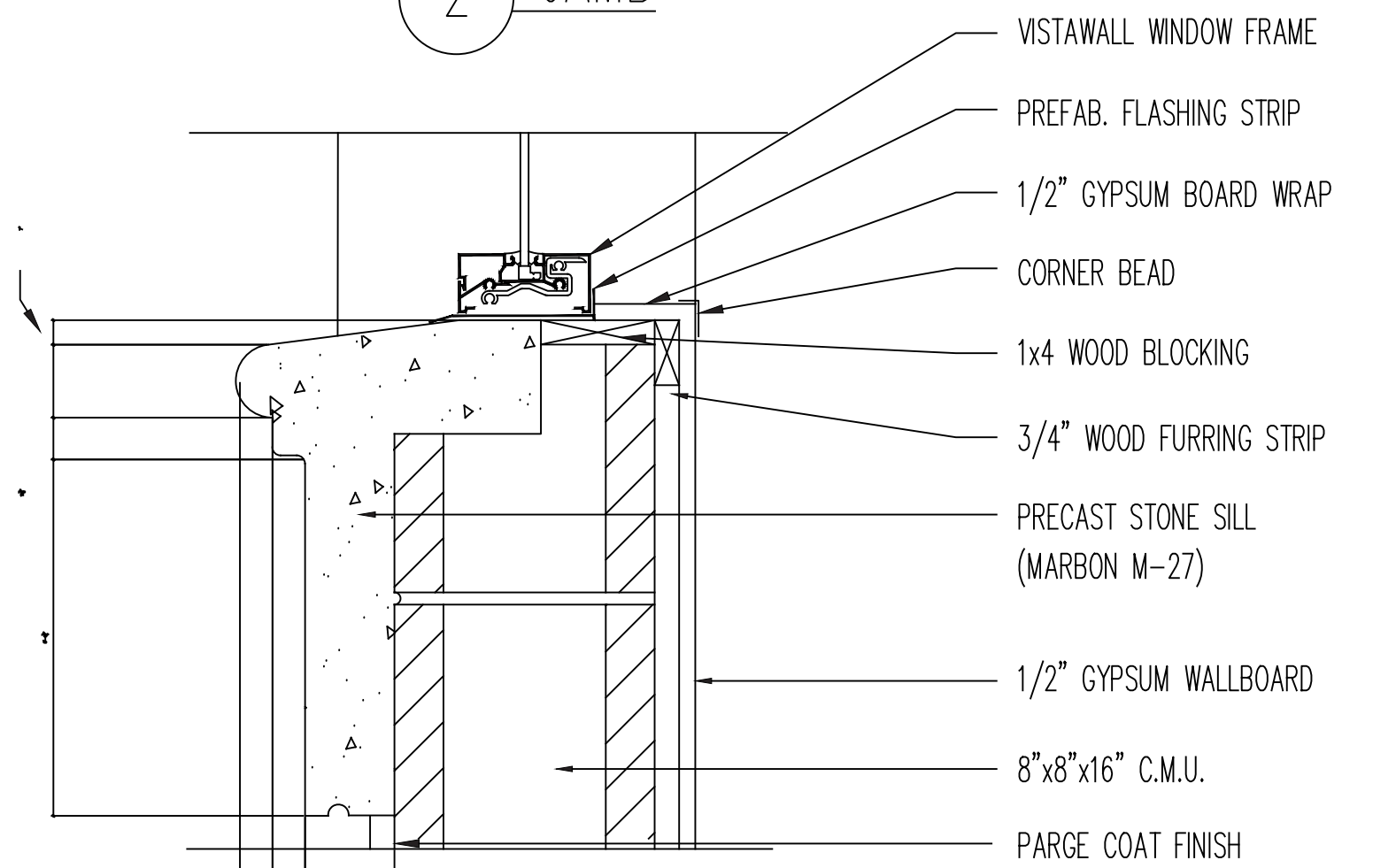
DRAWN BY AT/JB
UPDATED ON Jan. 20, 23
DATE 10 - 2020
JOB PROJECT # 2020-051
SHEET # A-1.1



1 HEAD



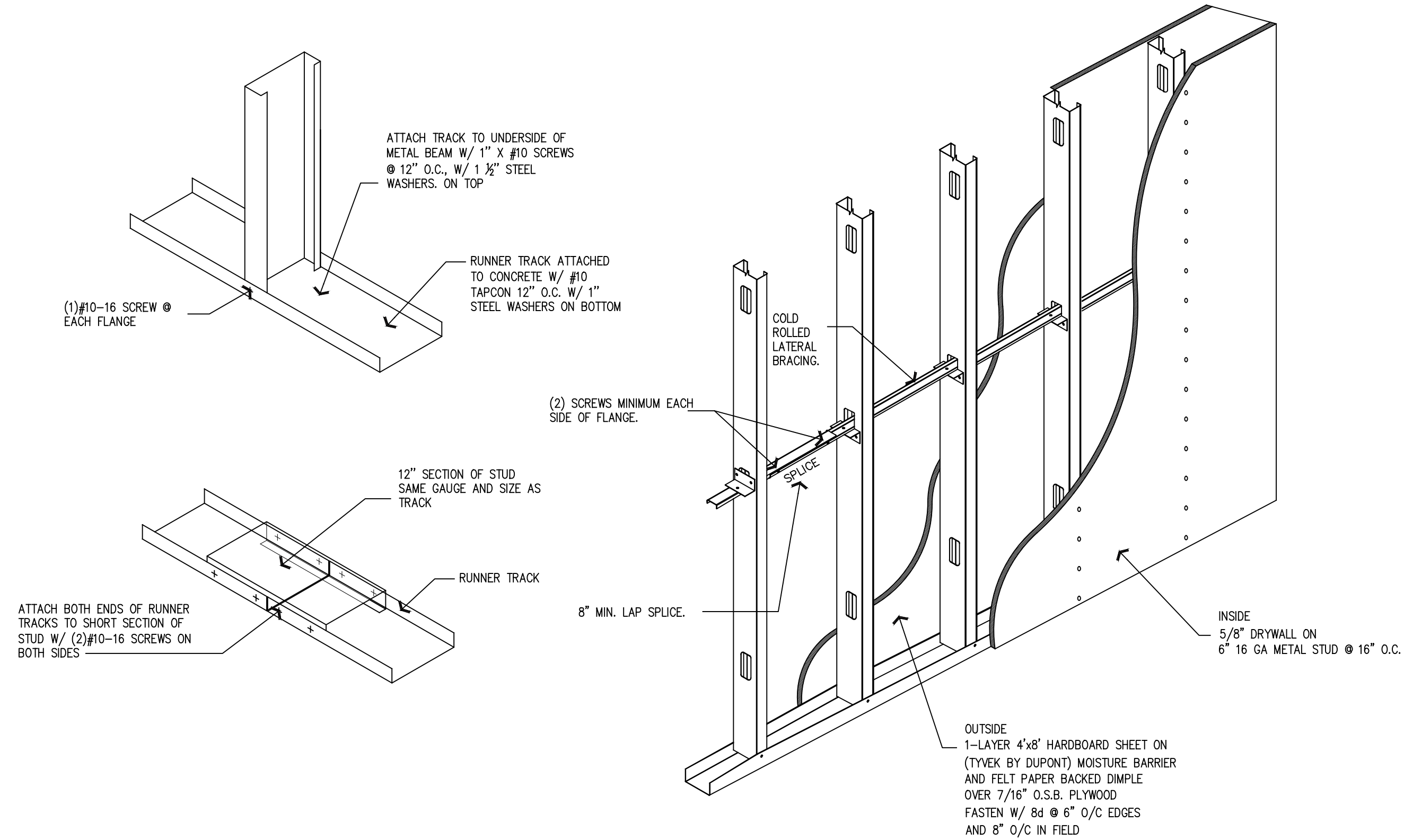
2 JAMB



3 SILL

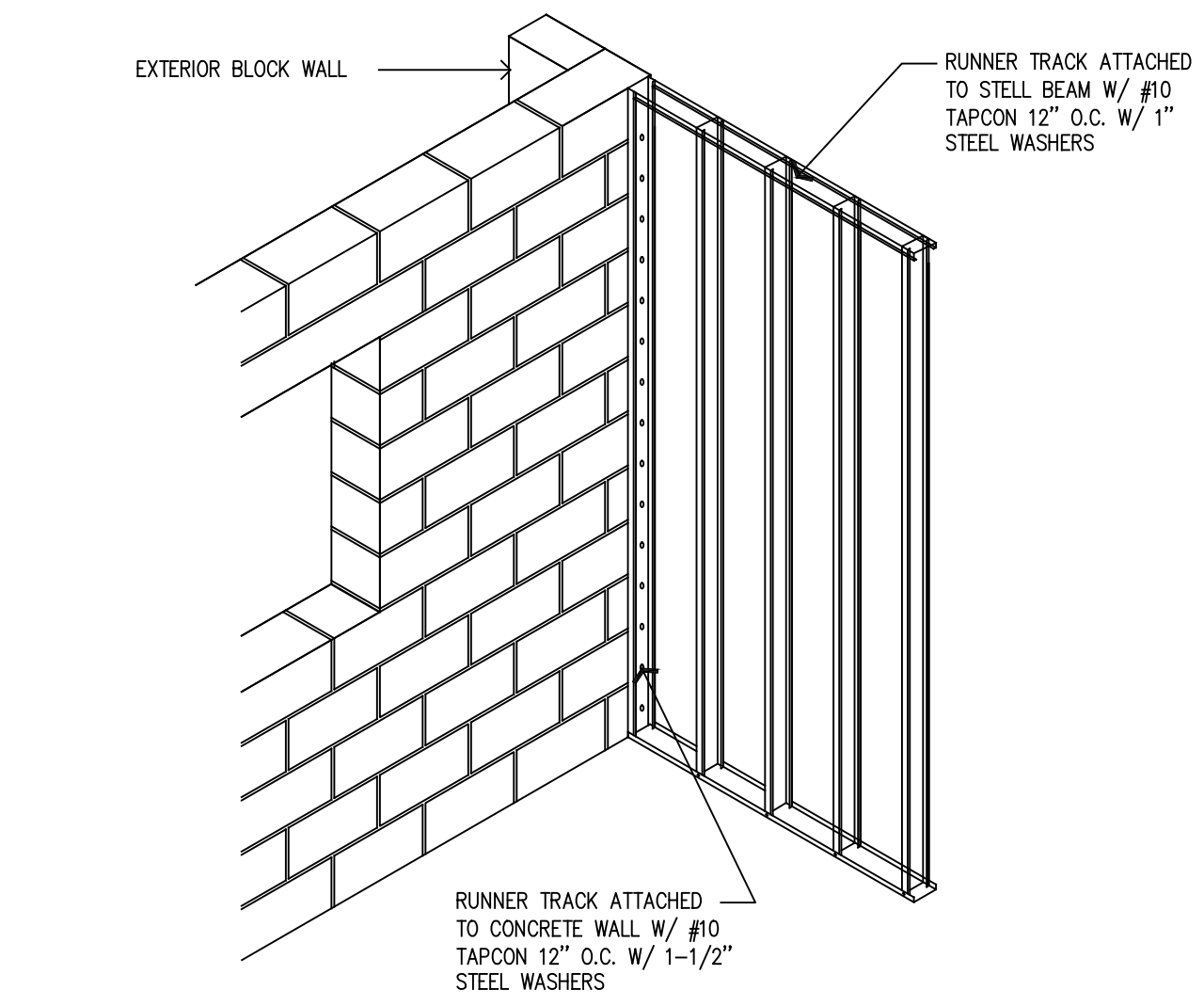
MASONRY WALL FRAMING DETAIL

N.T.S.

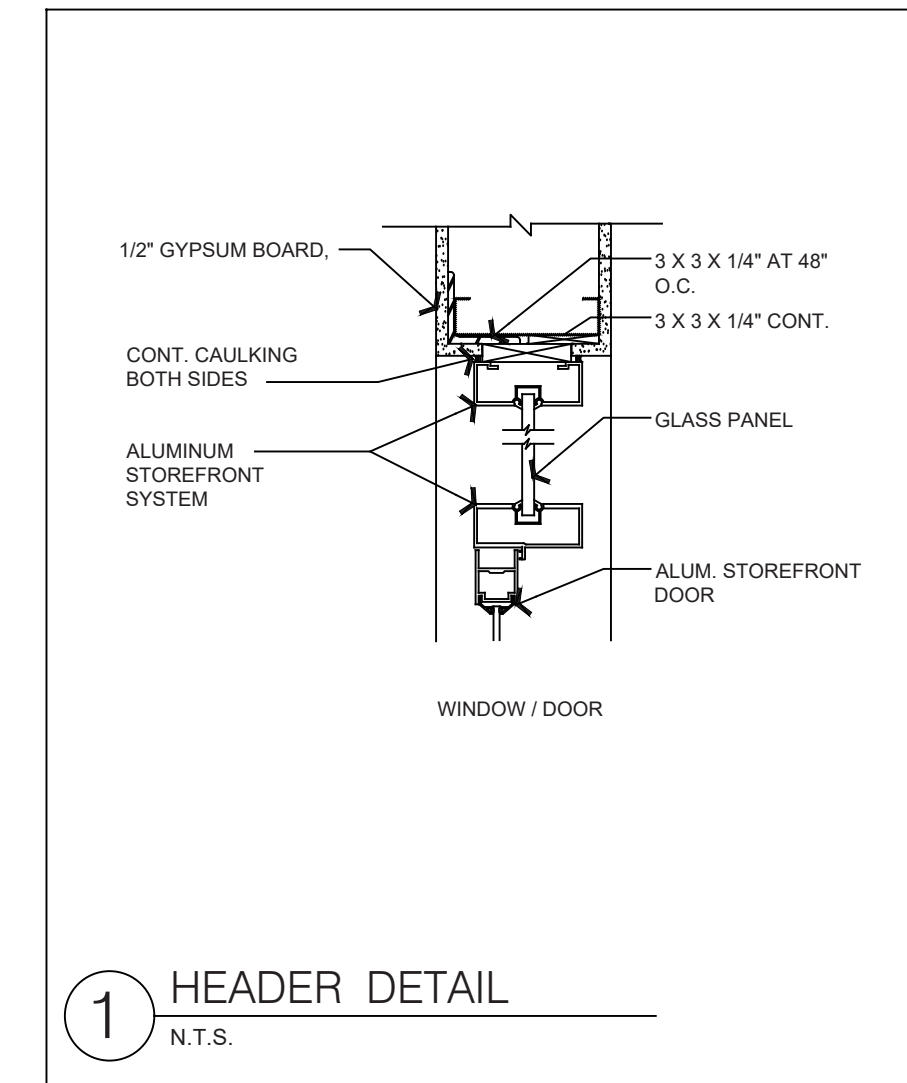


B METAL STUD WALL DETAIL

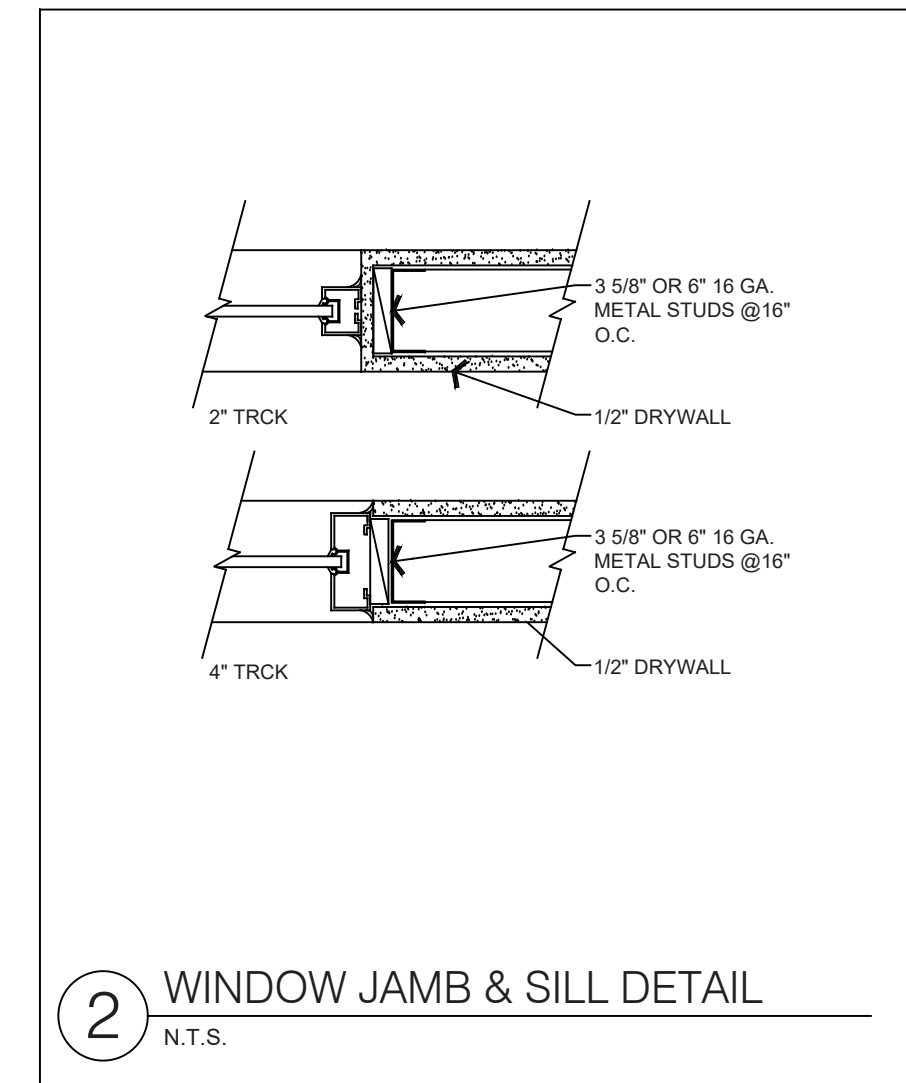
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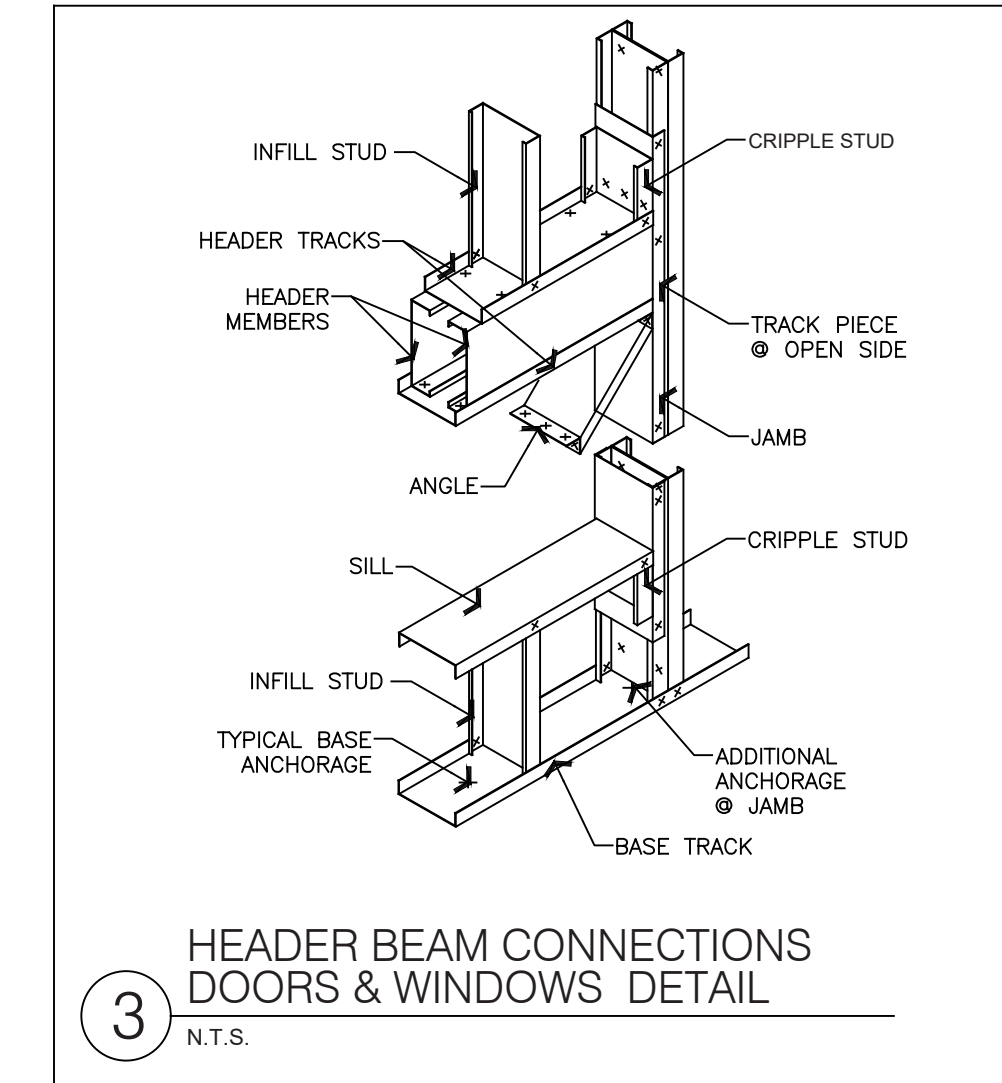
C FRM TO BLK CONNECTION



1 HEADER DETAIL
N.T.S.



2 WINDOW JAMB & SILL DETAIL
N.T.S.



3 HEADER BEAM CONNECTIONS DOORS & WINDOWS DETAIL
N.T.S.

METAL WALL FRAMING DETAIL

N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

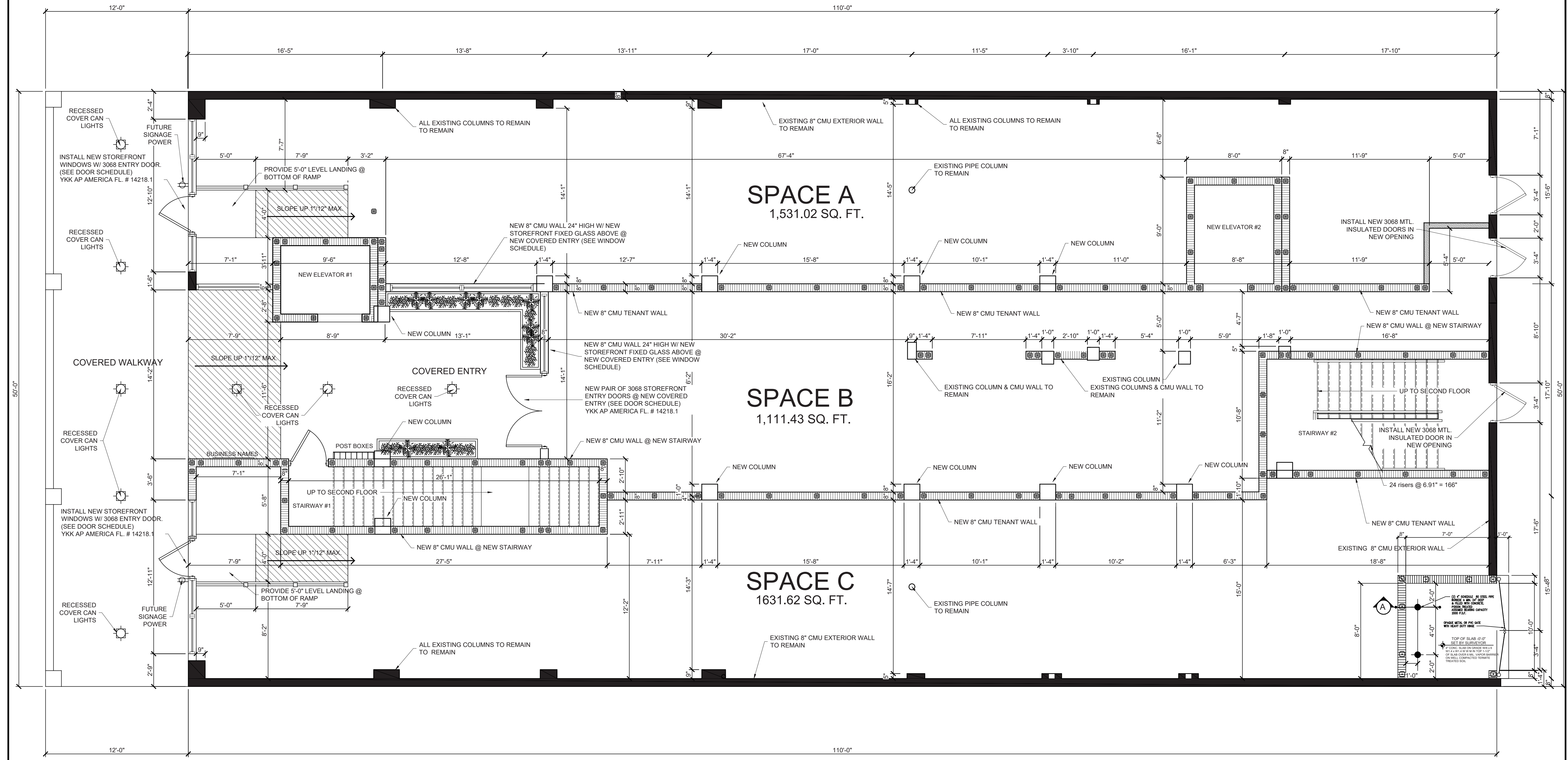
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DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #: A-1.2

REVISIONS
NO. DATE DESCRIPTION

PROJECT
219 W. Venice Ave.
Venice, Florida
CLIENT: DOOR & WINDOW DETAILS

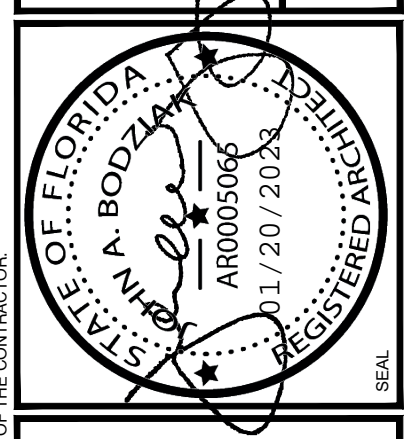
DRAWN BY: AT/JB
UPDATED ON: Jan. 20, 23



NO.	DATE	DESCRIPTION

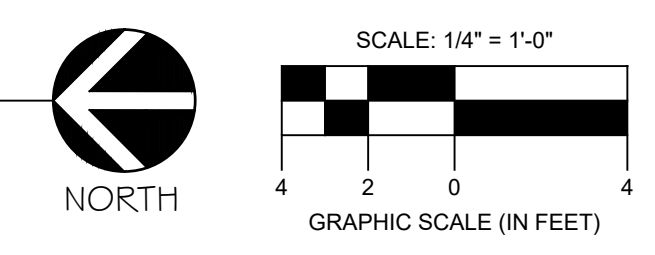
PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENGINEERING, AND SPECIFICATIONS COMPANY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAWS OF FLORIDA.

PROJECT
219 W. Venice Ave.
 Venice, Florida
PROPOSED FIRST FLOOR PLAN



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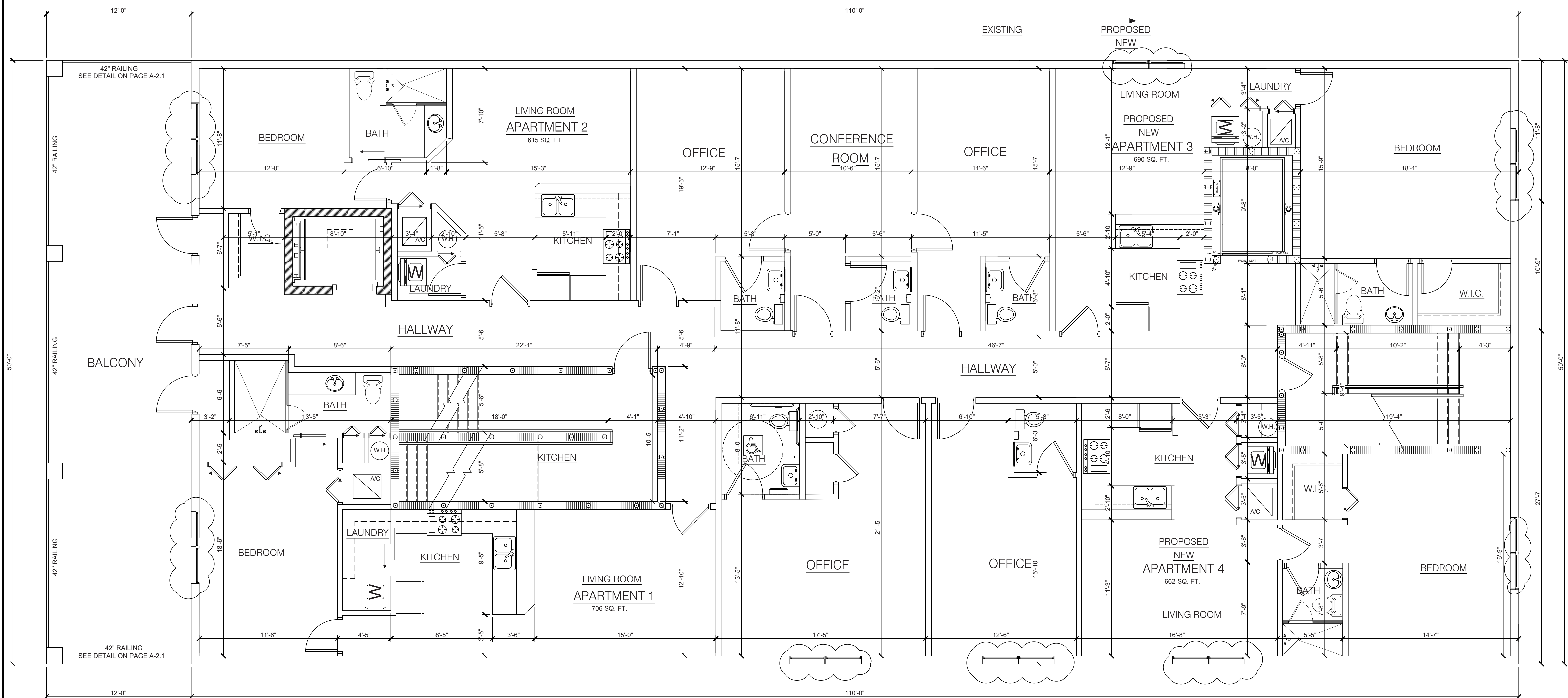
1
A-2.0
PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED FOURED BY REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE 5/8" POWERSHIELD STUCCO OVER 5/8" EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1/2" METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. U904.
	NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD W/ 6" R19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 S.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.

- WALL LEGEND NOTES:
 1. CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 2. WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 3. DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 4. SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

DRAWN BY: AT/JB
 UPDATED ON: Jan. 20, 23
 DATE: 10 - 2020
 JAB PROJECT #: 2020-051
 SHEET #: **A-2.0**



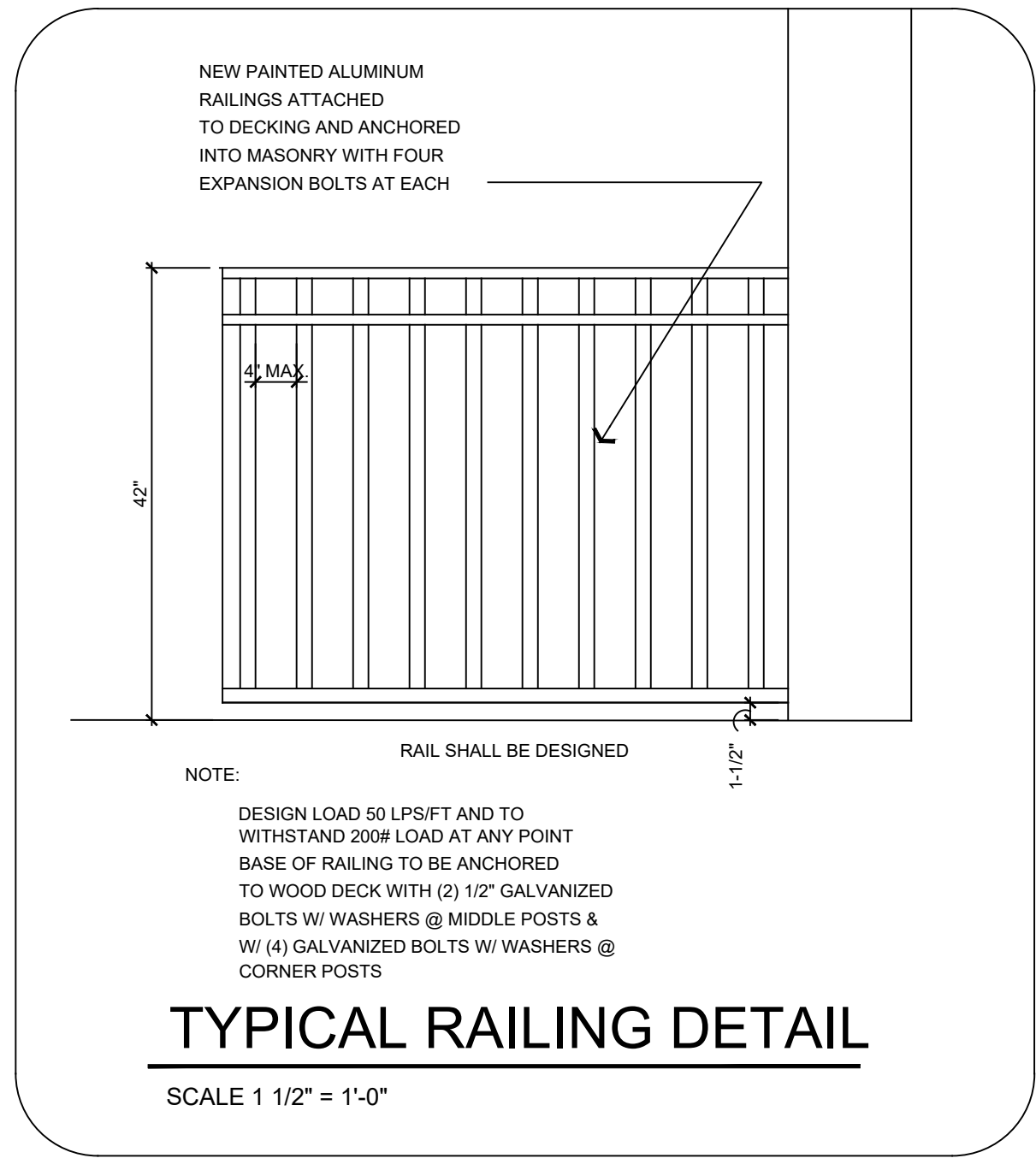
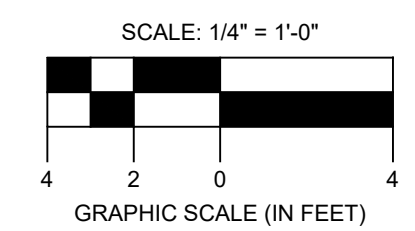
1
A-2.1

PROPOSED SECOND FLOOR PLAN

(4) ONE BEDROOM

SCALE: 1/4"=1'-0"

NORTH



WALL LEGEND

	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED 8\" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8\" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0\" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE STUCCO OVER 5/8\" EXTRUDED WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8\" FX GYPSUM BOARD OVER 1x2 METAL FURRING OVER 3/4\" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. - SEE U.I. DESIGN NO. US04.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 5.Y.P. INTERIOR WALL W/ STUDS AT 16\" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/2\" TYPE 'X' GYPSUM BOARD W/ 6\" R19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 5.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24\" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/2\" TYPE 'X' GYPSUM BOARD.

WALL LEGEND NOTES:
1. CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8\" SIDE ORIENTED TO CORRIDOR SURFACE.
2. WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
3. DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
4. SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS ENFORCED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	REVISIONS	DESCRIPTION

CLIENT

GROUND FLOOR SHELL & FACADE RENOVATION
219 W. Venice Ave.
Venice, Florida

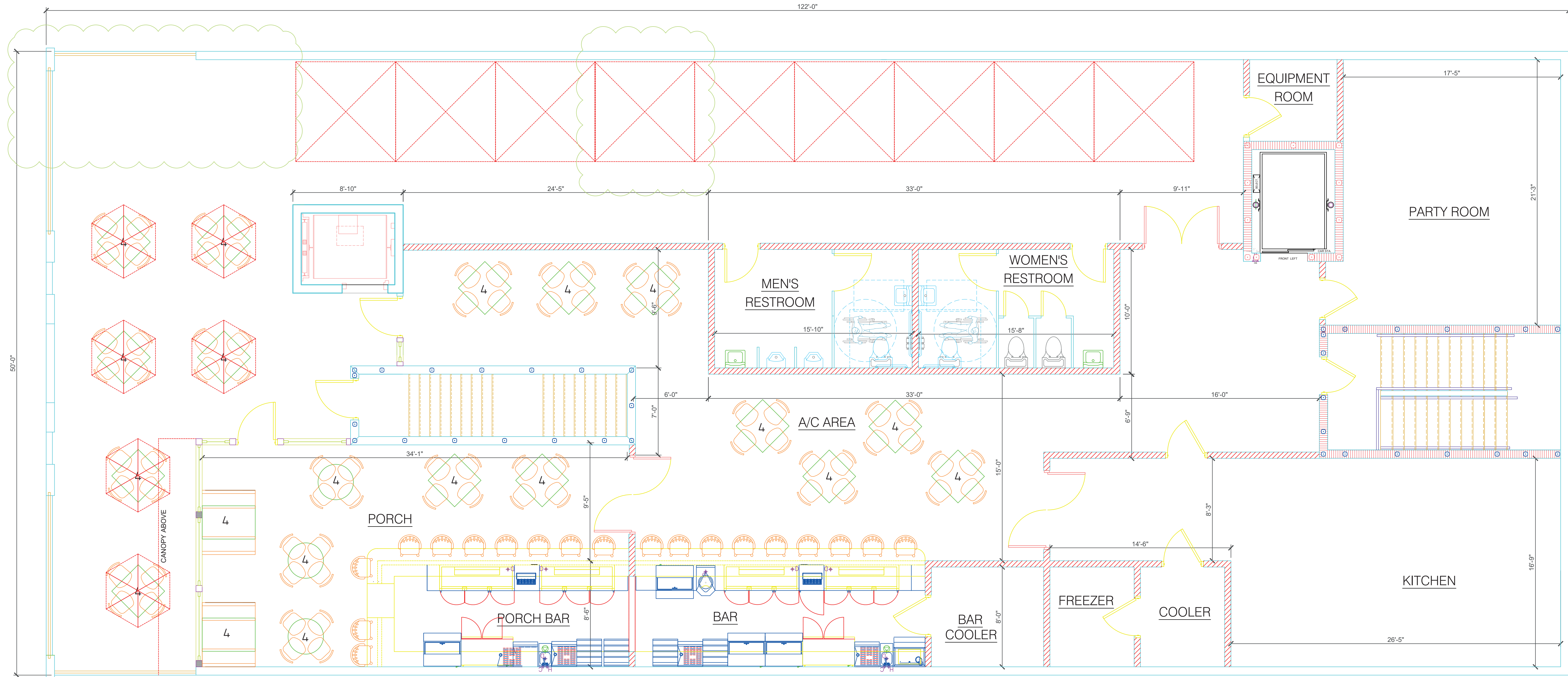
PROPOSED SECOND FLOOR PLAN

JOHN A. BODZIAK
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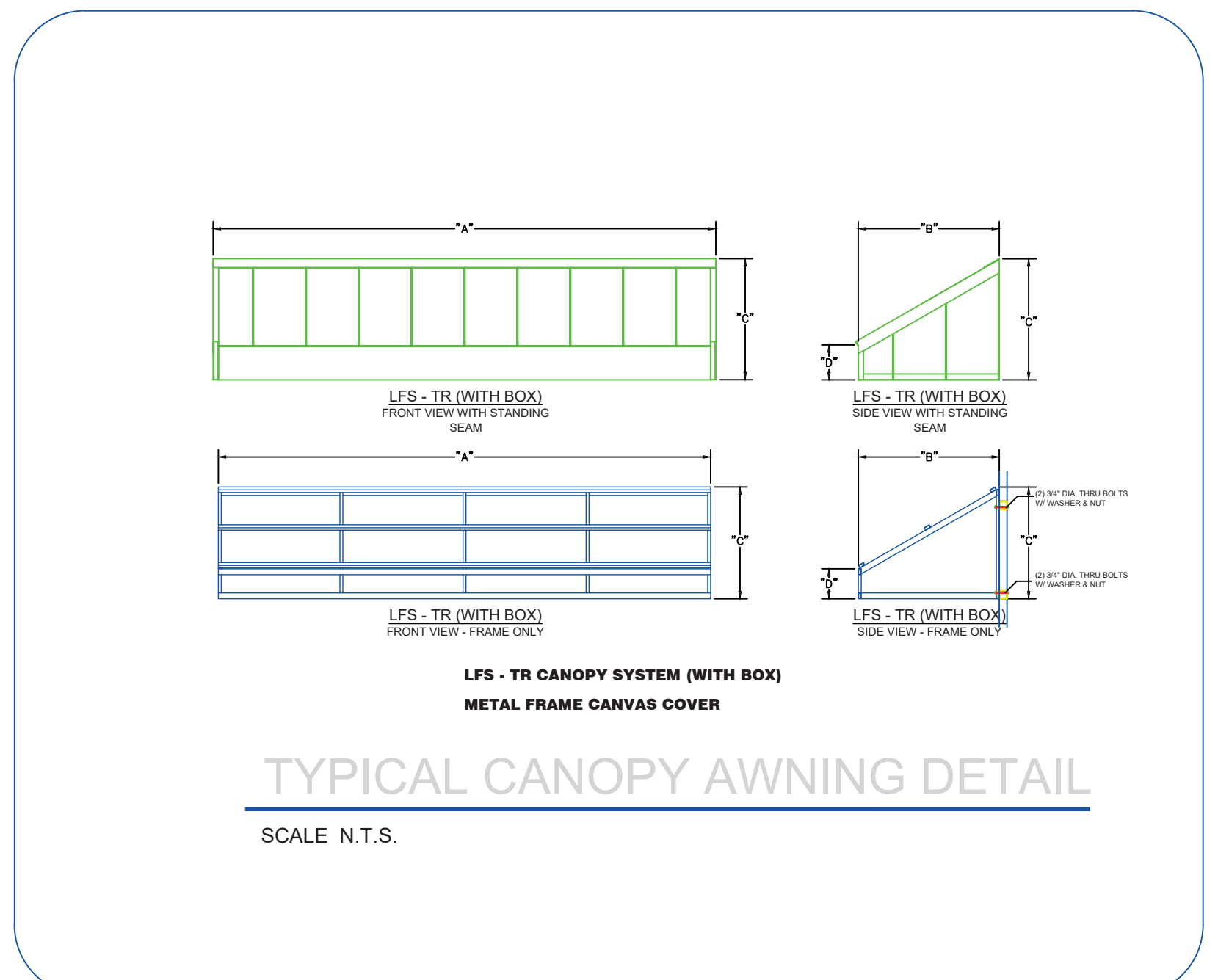
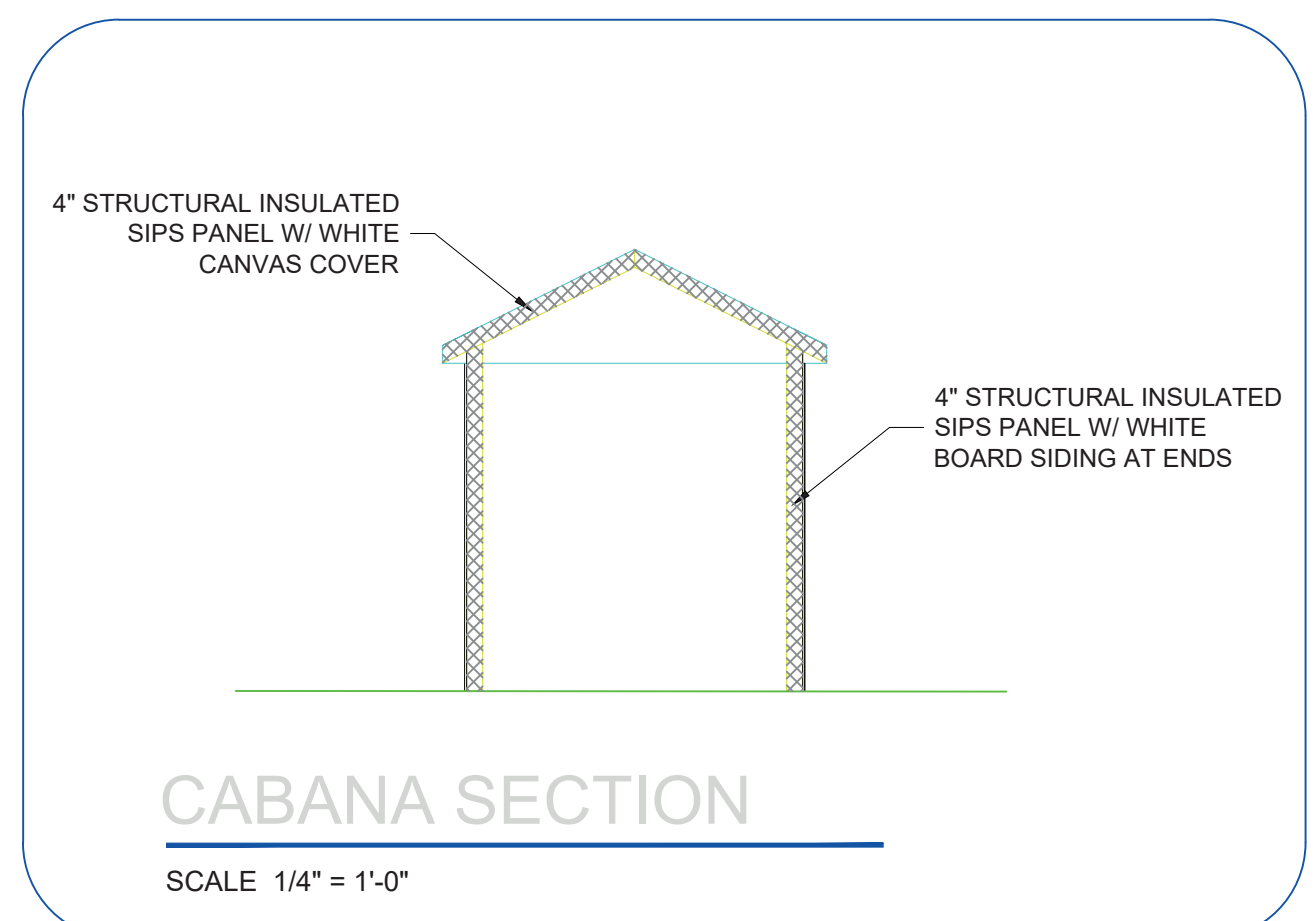
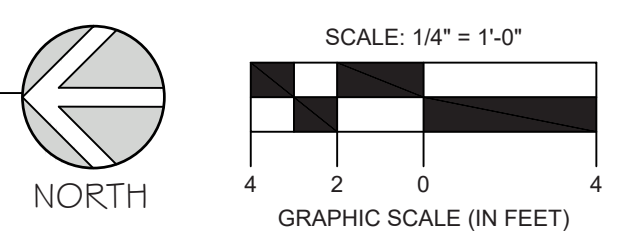
REGISTERED ARCHITECT
STATE OF FLORIDA
A. BODZIAK
AR0005065
01/20/2024

DRAWN BY AT/JB
UPDATED ON Jan. 20, 23
DATE 10 - 2020
JOB PROJECT # 2020-051
SHEET #

A-2.1



1
A-2.2
FUTURE RESTAURANT
PROPOSED ROOF TOP PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED & REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE STU POWERWALL, STUCCO OVER STU EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1x2 METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENGGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. 1904.
	NEW 2x6 5.Y.P. INTERIOR WALL W STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 5.Y.P. INTERIOR WALL W STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W 6" R19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 5.Y.P. NON BEARING WOOD STUD WALL W P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.

- WALL LEGEND NOTES:
- CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 - WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 - DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 - SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CORRELATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

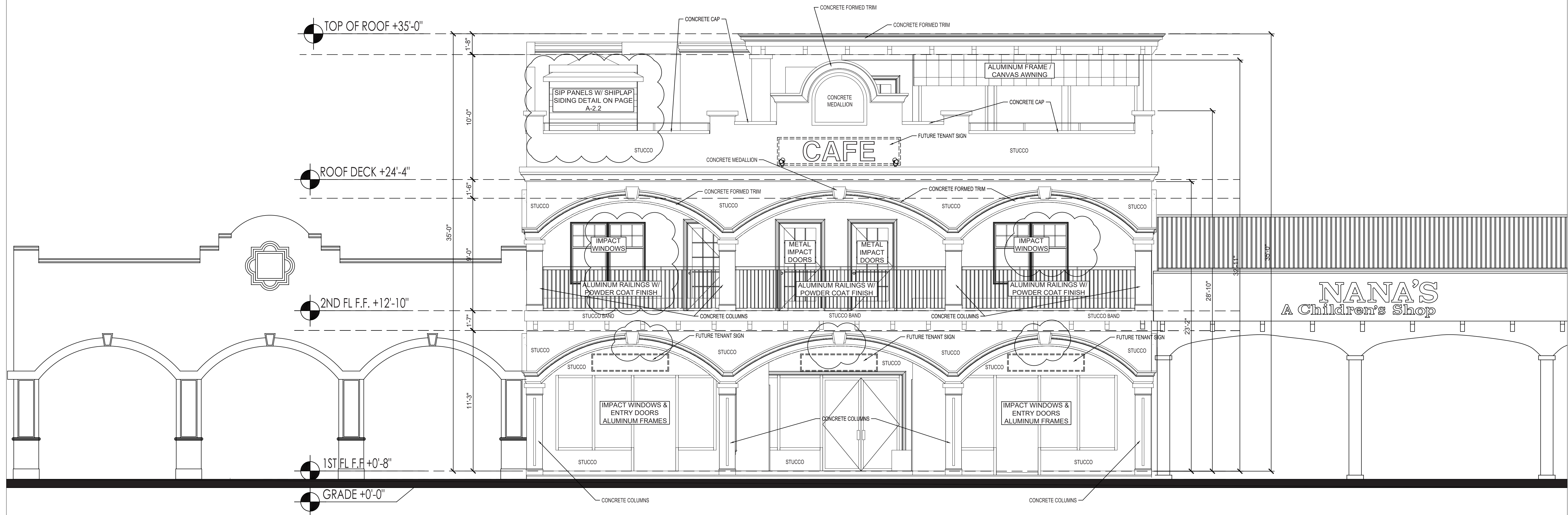
PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63S AND 63L, LAWS OF FLORIDA.

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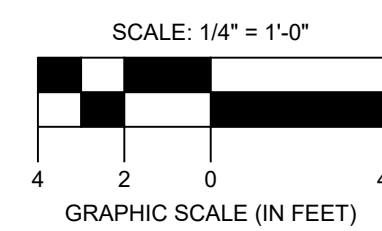
REVISIONS
NO. DATE DESCRIPTION

CLIENT
219 W. Venice Ave.
Venice, Florida
PROPOSED ROOF TOP PLAN

AT/JB
Jan. 20, 23
10 - 2020
2020-051
A-2.2



1
A-4.0 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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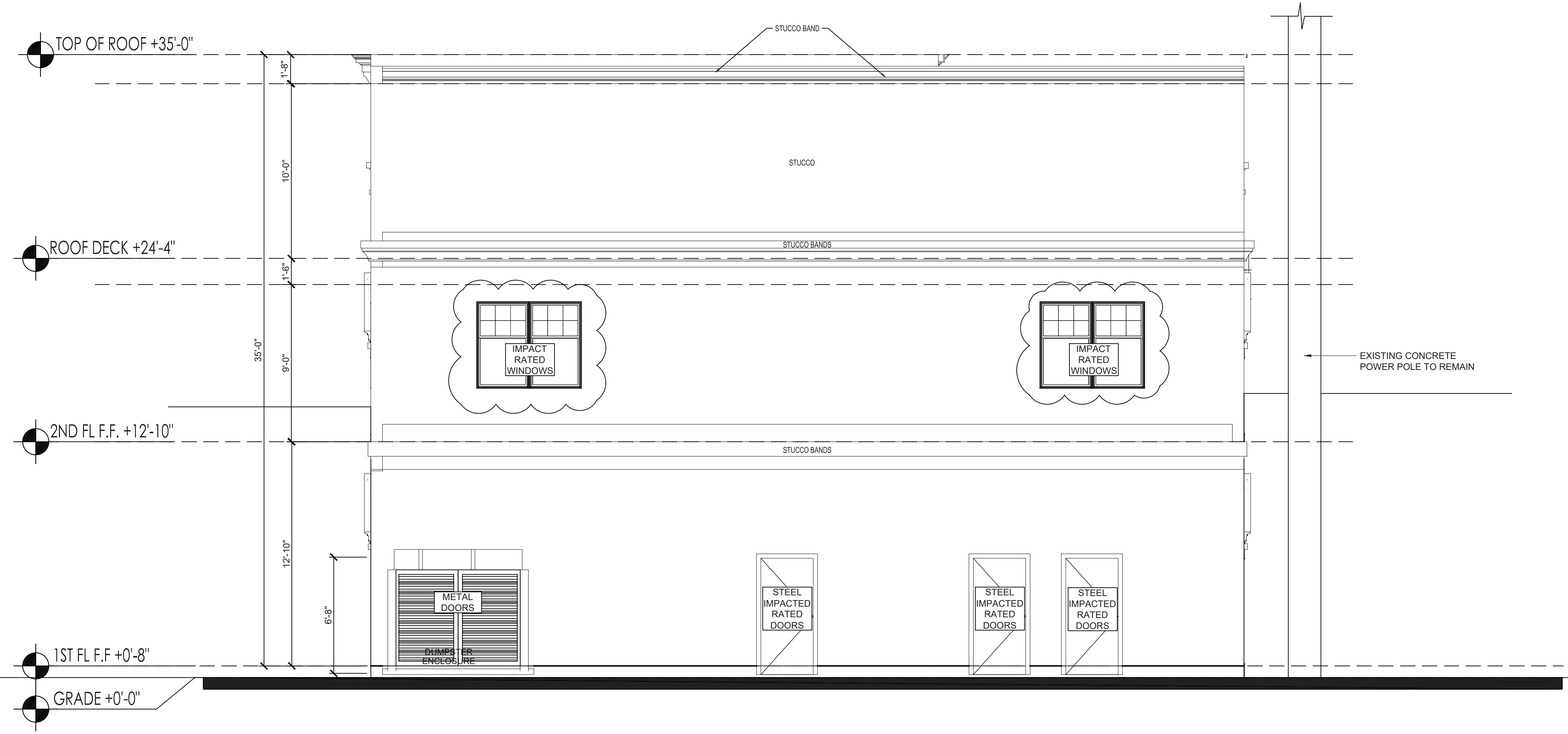
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PROJECT
219 W. Venice Ave.
Venice, Florida
ELEVATIONS

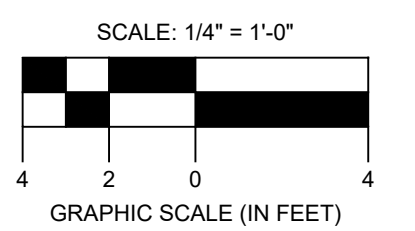
REVISIONS

NO.	DATE	DESCRIPTION

DATE: 10-2020
JOB PROJECT #: 2020-051
SHEET #: A-4.0



1
A-4.1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



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 TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10-2020
 JOB PROJECT #: 2020-051
 SHEET #: A-4.1

PROJECT: 219 W. Venice Ave.
 Venice, Florida
 ELEVATIONS

NO.	DATE	DESCRIPTION

REVISIONS

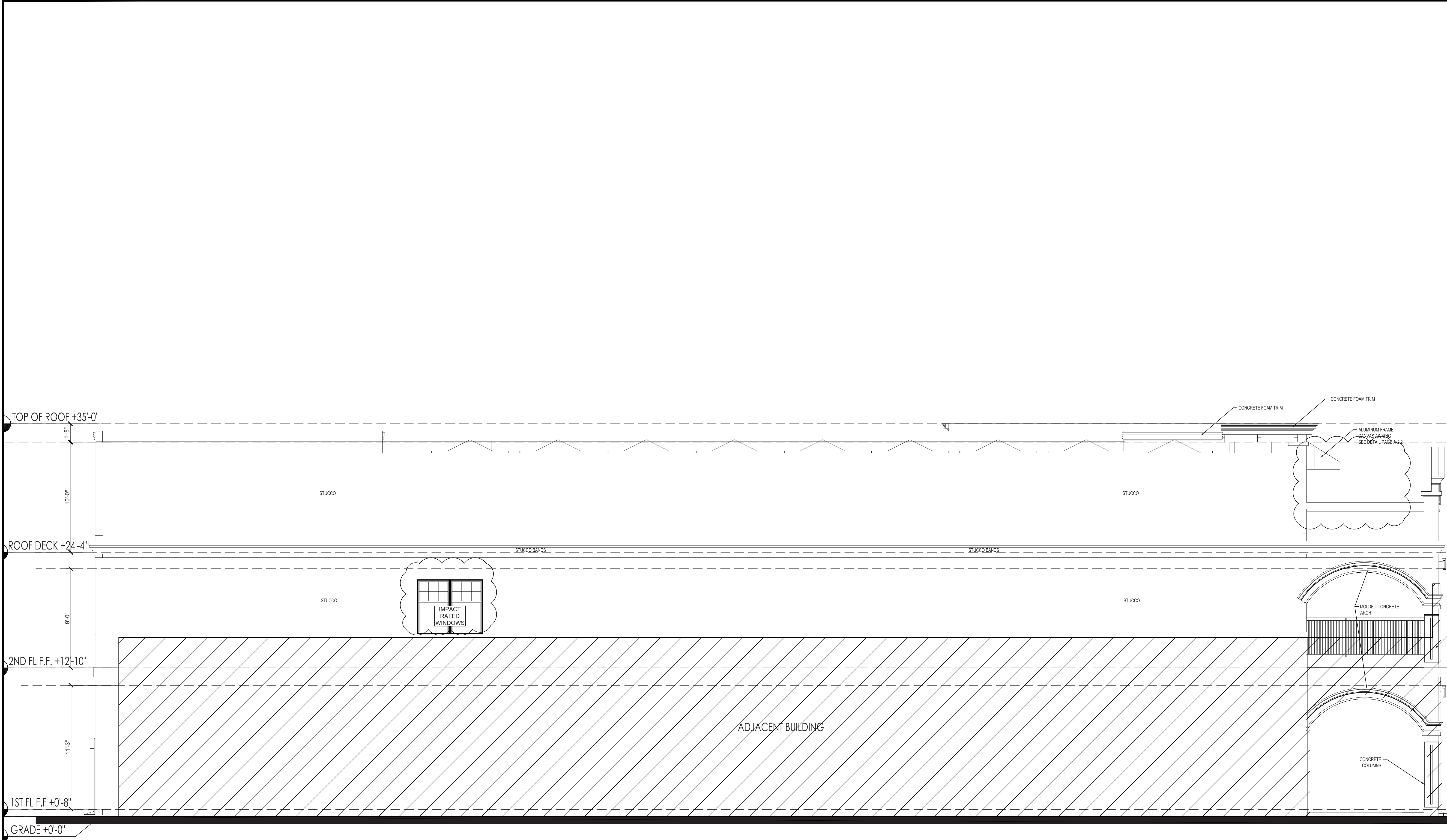
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SEAL

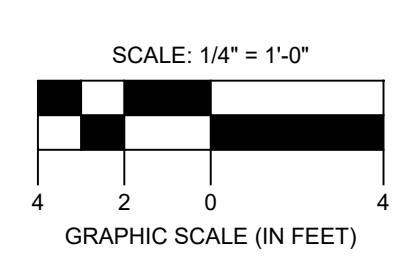
REGISTERED ARCHITECT
 JOHN A. BODZIAK
 AR0005065
 11/20/2018

FLORIDA ARCHITECTS ASSOCIATION

JOHN A. BODZIAK ARCHITECT AIA, PA
 4000 15th Avenue S.E.
 Palm Bay, FL 32909
 TEL: (888) 888-8888



1 LEFT SIDE ELEVATION
A-4.2 SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

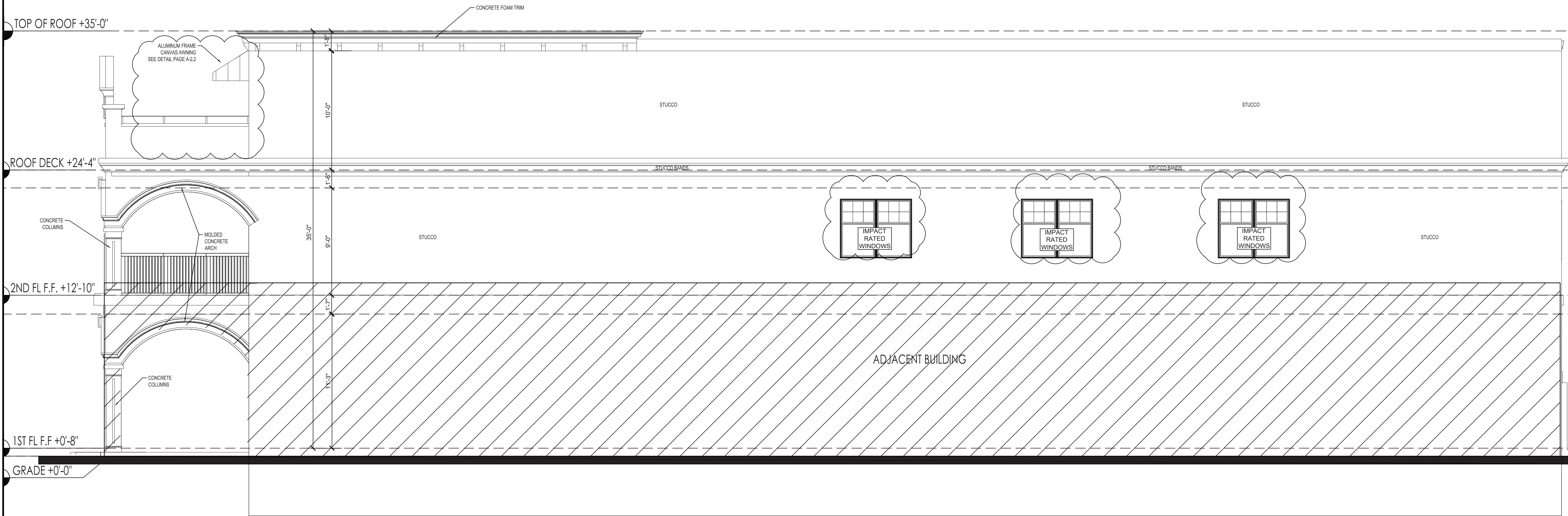
PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 65, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - ARCHITECT'S SEAL
 JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

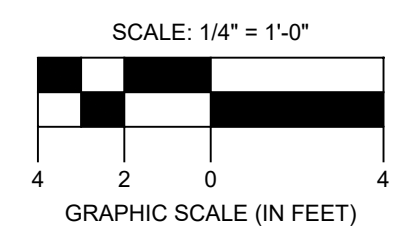
DATE: 10 - 2020
 SHEET #: A-4.2

NO.	DATE	DESCRIPTION

PROJECT: 219 W. Venice Ave.
 Venice, Florida
 LEFT SIDE ELEVATION



1
A-4.3 **RIGHT SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

NO.	DATE	DESCRIPTION

JOHN A. BODZIAK, INC. - ARCHITECT'S OFFICE
 COMPLETE CONTRACTS AND OTHER PROPERTY
 RIGHTS RESERVED. THIS DRAWING IS THE
 PROPERTY OF JOHN A. BODZIAK, INC. AND
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 OR MECHANICAL, INCLUDING PHOTOCOPYING,
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 AND RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF JOHN A. BODZIAK, INC.
 CONTRACTOR SHALL VERIFY AND REPORT TO THE ARCHITECT
 ANY DISCREPANCIES OR CONFLICTS WITH THE
 DRAWING PRIOR TO PROCEEDING OR CONTINUING
 WITH CONSTRUCTION. UNREPORTED DISCREPANCIES
 AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY
 OF THE CONTRACTOR.

PROJECT
219 W. Venice Ave.
 Venice, Florida
 RIGHT SIDE ELEVATION

JOHN A. BODZIAK
 ARCHITECT AIA, PA
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DRAWN BY	AT/JB
UPDATED ON	Jan. 20, 23
DATE	10 - 2020
JOB PROJECT #	2020-051
SHEET #	A-4.3