

SITE & DEVELOPMENT PLAN AMENDMENT

FOR

VENETIAN GOLF & RIVER CLUB

PICKLEBALL COURTS

IN
SECTION 26, TOWNSHIP 38S., RANGE 19E.
SARASOTA COUNTY, FLORIDA

FINAL SITE PLAN NOTES

LAND USE DEVELOPMENT DATA

PRESENT ZONING PUD
ABUTTING ZONING N - OUR, OUE-1
S - OUR, OUE-1, PCD
E - RRZ
W - OUR

TOTAL SITE: 7.04 +/- ACRES
PROJECT AREA: 0.22 +/- ACRES

WATER AND SEWER

WATER:
POTABLE WATER SUPPLY SHALL BE PROVIDED BY THE CITY OF VENICE.
SEWER:
WASTEWATER COLLECTION AND TREATMENT SHALL BE PROVIDED BY SARASOTA CO. UTILITY.
REUSE WATER:
REUSE WATER SUPPLY SHALL BE PROVIDED BY THE CITY OF VENICE.

INTERNAL STREETS

PRIVATE STREETS

EASEMENTS

DRAINAGE EASEMENTS ARE SHOWN ON THE PLANS.

TREE LOCATION

SEE SHEET C-01 FOR TREE LOCATIONS WITHIN THE CONSTRUCTION LIMITS

FEMA DESIGNATION

THE SITE IS LOCATED WITHIN FLOOD ZONE X, ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 125154-C-0263-F. ALL HABITABLE FINISHED FLOOR ELEVATIONS SHALL BE CONSTRUCTED ABOVE THE 100 YEAR FLOOD LEVEL.

STATEMENT OF OWNERSHIP AND UNIFIED CONTROL

CURRENT OWNER: VENETIAN COMMUNITY DEVELOPMENT DISTRICT

STATEMENT OF STORMWATER CONCURRENCY

POST-DEVELOPMENT RUNOFF FOR THE 25 YEAR RETURN FREQUENCY
24 HOUR DURATION STORM EVENT DOES NOT EXCEED THE PRE-DEVELOPMENT
RUNOFF FROM A 25 YEAR RETURN FREQUENCY 24 HOUR DURATION STORM EVENT.

"COMMON AREAS" INCLUDING, BUT NOT LIMITED TO, PRIVATE RECREATION
AREAS, OPEN SPACE AND LANDSCAPED AREAS, DRAINAGE AREAS, LAKES, ROADWAYS, SANCTUARIES,
AND CONTROL OF WCI COMMUNITIES, INC. OR VENETIAN GOLF & RIVER CLUB OWNER'S
ASSOCIATION, OR COMMUNITY DEVELOPMENT DISTRICT

ADA

ALL SIDEWALK STREET CROSSINGS AT CURBS, CUTTERS, AND INTERSECTIONS SHALL COMPLY
WITH BOTH THE FLORIDA ACCESSIBILITY CODE, CHAPTER 11 OF THE FLORIDA BUILDING
CODE AND THE CITY OF VENICE STANDARD DETAIL REQUIREMENTS.

ENVIRONMENTAL AND SURFACE WATER MANAGEMENT SYSTEM

THE ENVIRONMENTAL AND SURFACE WATER MANAGEMENT SYSTEM SHALL BE MAINTAINED PRIVATELY.

REQUIRED NOTES

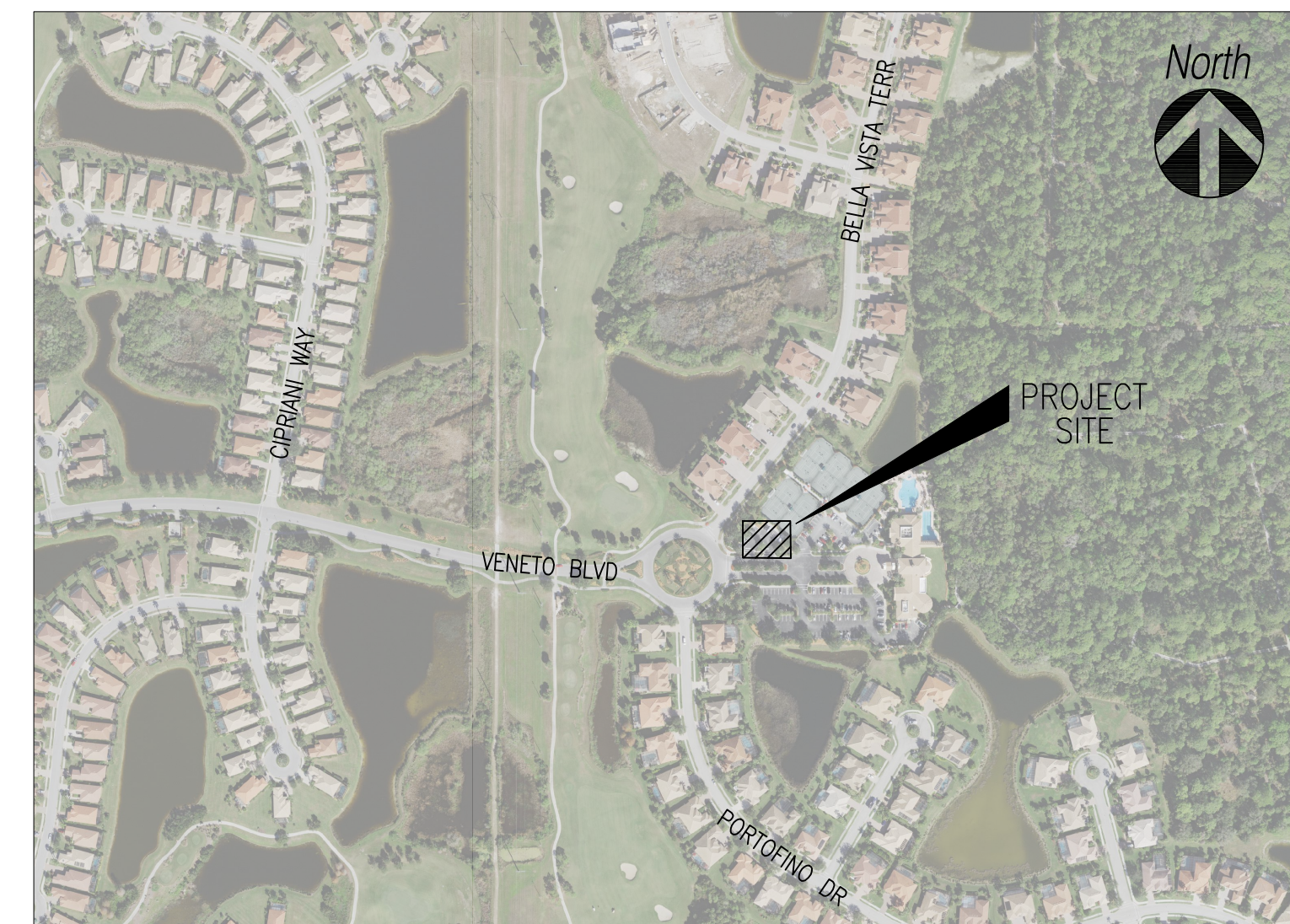
- ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW PERMIT.
- ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
- TREE REMOVAL PERMIT MUST BE OBTAINED FROM CITY OF VENICE NATURAL RESOURCES DEPARTMENT.
- POST-DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
- ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A VERIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATION OF COMPETENCY ISSUED BY THE STATE FIRE MARSHAL AS PER F.S. 633.521.
- CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
- ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
- CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

ACREAGE & PERCENTAGE OF IMPERVIOUS/PERVIOUS AREA

AREAS	PERCENTAGE
TOTAL SITE = 0.22 AC	TOTAL SITE = 100%
PERVIOUS = 0.04 AC	PERVIOUS = 18%
IMPERVIOUS = 0.18 AC	IMPERVIOUS = 82%

LOCATION MAP

N.T.S



INDEX

SHEET NUMBER	DESCRIPTION
C-00	COVER SHEET
C-01	EXISTING CONDITIONS PLAN
C-02	CIVIL SITE CONSTRUCTION PLAN
C-03	CONSTRUCTION NOTES
C-04	EROSION CONTROL PLAN
C-05	CONSTRUCTION DETAILS

CONTACTS

CIVIL ENGINEER

SCHAPPACHER ENGINEERING
3604 53RD AVENUE EAST
BRADENTON, FLORIDA 34203
PHONE: (941) 251-7613

OWNER

VENETIAN CDD
105 PESARO DR.
NOKOMIS, FL 34275
PHONE: (941) 483-4811

CATV

COMCAST CABLE
5205 FRUITVILLE ROAD
SARASOTA, FL 34232
(941) 342-3577

SEWER

SARASOTA COUNTY
1001 SARASOTA CENTER BLVD.
SARASOTA, FL 34240
(941) 861-6790

SURVEYOR

A DUHART LAND SURVEYING, INC.
2403 VERMONT AVE. E
BRADENTON, FL 34208
PHONE: (941) 896-6811

TELEPHONE

VERIZON
1701 RINGLING BLVD.
SARASOTA, FL 34236
(941) 952-5624

ELECTRIC

FLORIDA POWER & LIGHT
420 ALBEE FARM
VENICE, FL 34285
(941) 483-2013

WATER

CITY OF VENICE UTILITIES DEPT.
401 WEST VENICE AVE.
VENICE, FL 34285
(941) 480-3333

I HEREBY CERTIFY THAT THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO 3344.004(10)(a), FLORIDA STATUTE.

RICHARD SCHAPPACHER, P.E.
FLA. REGISTERED ENGINEER
51501
CA 28601

DATE

Signature
RICHARD SCHAPPACHER, P.E.
Professional Engineer # 51501

REV	DATE	DESCRIPTION
1.	12.17.21	UPDATED TITLE

DESIGNED	DRAWN	CHECKED	DATE	JOB NO.	SCALE
RS	KH	RS	JULY 2021		AS SHOWN

Schappacher Engineering, LLC.

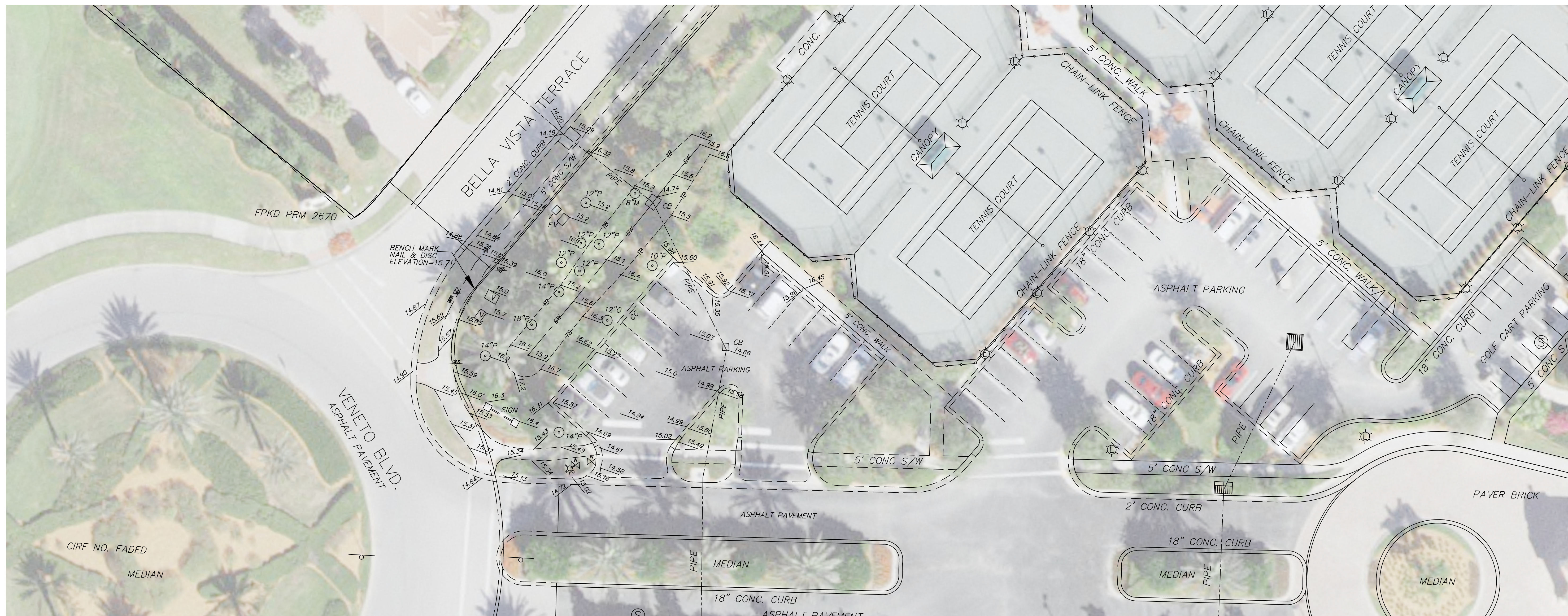
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VENETIAN COMMUNITY DEVELOPMENT DISTRICT
PICKLEBALL COURTS
COVER SHEET

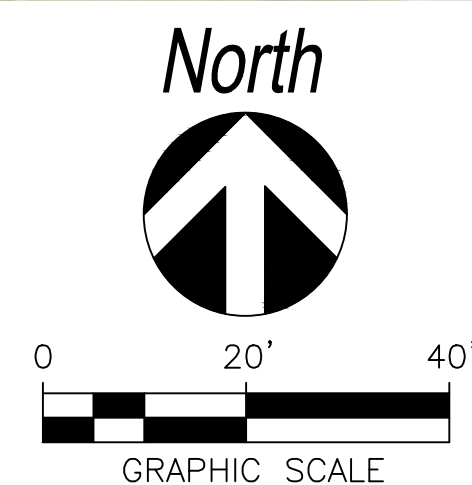
SHEET NUMBER
C-00





LEGEND

- PROJECT PROPERTY BOUNDARY
- EXISTING FEATURES
- - - - - EXISTING RIGHT-OF-WAY



NOTES

1. REFER TO SURVEY PREPARED BY A.DUCHART LAND SURVEYING, INC.; JOB NO. 03-32-18, DATED 04/03/2018 FOR DETAILED EXISTING CONDITIONS (SURVEY IS INCLUDED WITH SUBMITTAL DOCUMENTS).
2. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) 1988.
3. THE AERIAL IMAGE IS PROVIDED FOR INFORMATION AND ORIENTATION PURPOSES ONLY. IMAGE GENERALLY REPRESENTS EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

Signature
RICHARD SCHAPPACHER, P.E.
 Professional Engineer # 51501

REV	DATE	DESCRIPTION	DWN BY	CHK BY

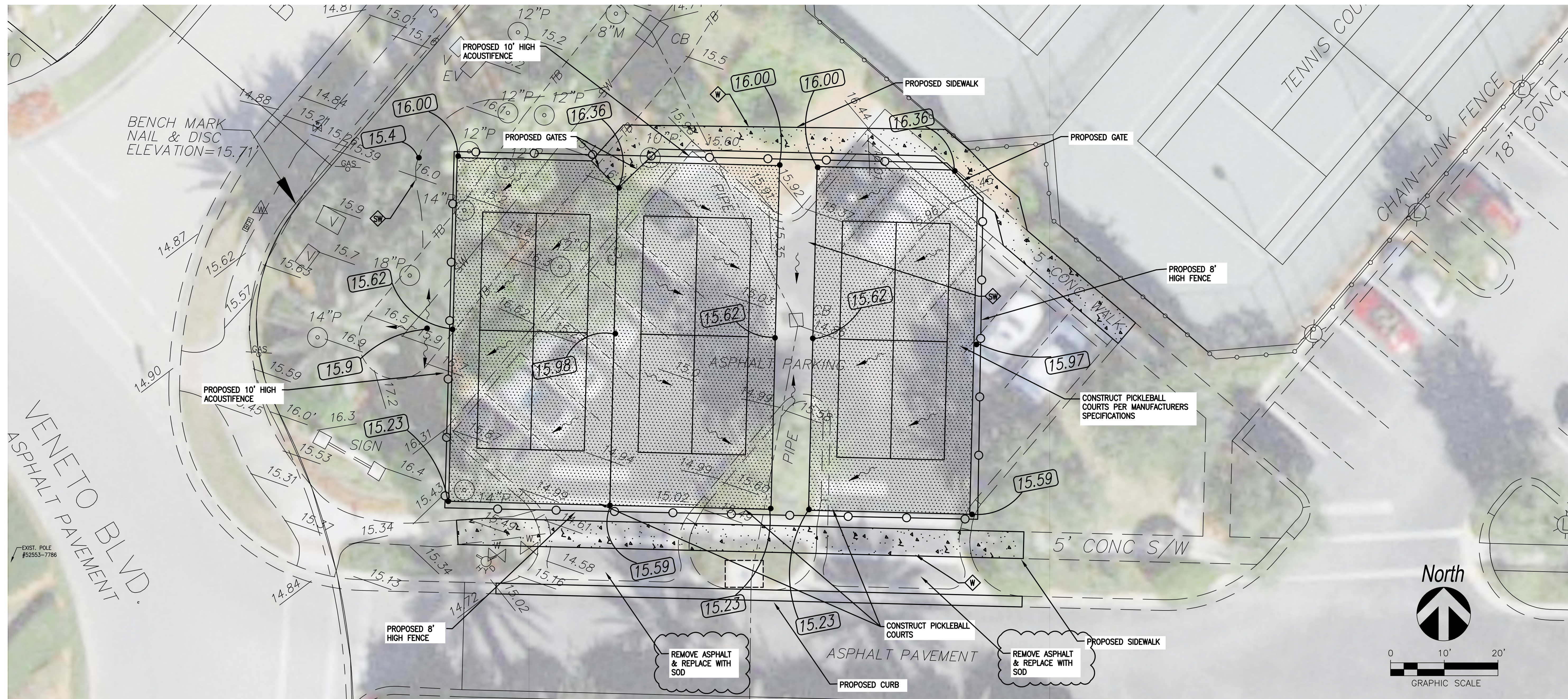
DESIGNED	DRAWN	CHECKED
RS	RH	RS
DATE:	JULY 2021	
JOB NO.	SCALE: AS SHOWN	

Schappacher Engineering, LLC.

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VENETIAN COMMUNITY DEVELOPMENT DISTRICT
**PICKLEBALL COURTS
 EXISTING CONDITIONS PLAN**

SHEET NUMBER
C-01



HORIZONTAL CONTROL NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY A. DUCHART LAND SURVEYING, INC., JOB NO. 03-32-18, DATED 04/03/2018.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS FOR BUILDING DIMENSIONS AND SPECIFIC ARCHITECTURAL ELEMENTS.
- HORIZONTAL CONTROL DIMENSIONS (INCLUDING CORNER RADI) REFER TO FACE-OF-BUILDING AND/OR EDGE-OF-PAVEMENT UNLESS OTHERWISE NOTED.

HORIZONTAL CONTROL LEGEND

- EXISTING FEATURES
- EXISTING PROPERTY BOUNDARY

GRADING/DRAINAGE NOTES

- PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE STANDARDS AND SPECIFICATIONS FOR LAND DEVELOPMENT.
- REFER TO SHEET C-03 FOR SUPPLEMENTAL DEVELOPMENT NOTES.
- ADD 1.112 FT TO SHOWN ELEVATIONS (NGVD 88) TO CONVERT TO NAVD 29 (NAVD-NGVD) = -1.112 FT

GRADING/DRAINAGE LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PICKLEBALL COURT SURFACE
- EXISTING SPOT EL. (PAVED/UNPAVED)
- EXISTING FACILITIES
- EXISTING PROPERTY LINE
- PROPOSED DRAINAGE FLOW DIRECTION INTENT
- PRELIMINARY FINISHED GRADE (PAVED)
- PRELIMINARY FINISHED GRADE (UNPAVED)

GRADING/DRAINAGE CONSTRUCTION KEYNOTES

- CONSTRUCT 4" THICK CONCRETE SIDEWALK (3000 PSI W/ FIBERMESH)
- CONSTRUCT SODDED SWALE AND GRADE UNIFORMLY TO DRAIN

Signature: RICHARD SCHAPPACHER, P.E.
Professional Engineer # 51501
Date: _____

REV	DATE	DESCRIPTION	DWN BY	CHK BY
1.	ASPHLT. DIMENSIONS, LOADING ZONE NOTES/12/17/21	RS	RS	RS

DESIGNED	DRAWN	CHECKED
RS	RS	RS
DATE: JULY 2021	JOB NO.	SCALE: AS SHOWN

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VENETIAN COMMUNITY DEVELOPMENT DISTRICT
PICKLEBALL COURTS
CIVIL SITE CONSTRUCTION PLAN

SHEET NUMBER
C-02

GENERAL SITE CONSTRUCTION NOTES

- CITY OF VENICE UTILITY STANDARDS ARE THE MINIMUM ALLOWABLE WATER AND/OR WASTEWATER CONSTRUCTION STANDARDS. WHERE ANY NOTE OR DETAIL IN THESE PLANS CONFLICT WITH THE CITY OF VENICE UTILITY STANDARDS THE MOST STRINGENT INTERPRETATION SHALL BE APPLIED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY, PRIOR TO BIDDING, TO INSPECT THE JOB SITE AND BECOME TOTALLY FAMILIAR WITH THE PLANS AND THEIR INTENT. SHOULD THERE BE ANY QUESTIONS, THE CONTRACTOR SHALL INQUIRE FOR CLARIFICATION.
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND REVIEW ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. SHOULD APPARENT DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEER'S CLARIFICATION BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE ENGINEER RESERVES THE RIGHT TO ADJUST THE LOCATION OF PROPOSED IMPROVEMENTS TO MEET FIELD CONDITIONS, AS NECESSARY. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AS REQUIRED TO PROPERLY ACCOMMODATE ANY MODIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CONSTRUCT SILT SCREENS, HAY BALES OR OTHER APPROVED DEVICES PRIOR TO CONSTRUCTION TO PREVENT ADVERSE OFFSITE IMPACT OF STORM WATER QUALITY AND QUANTITY. REFER TO B.M.P. PLAN AND DETAILS.
- THE CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONTACT WITH OVERHEAD AND UNDERGROUND POWER LINES.
- THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL (811) AND EXISTING UTILITY FACILITY COMPANIES A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE VERIFICATION OF, AND PROTECTION OF, EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL HAVE ANY DAMAGES (CAUSED BY CONSTRUCTION ACTIVITIES) TO EXISTING WATER, GAS, POWER AND TELEPHONE MAINS AND SERVICES, IMMEDIATELY REPAIRED.
- ALL RESTORATION WORK PERFORMED THROUGHOUT THE PROJECT SHALL CONFORM TO EXISTING LINES AND GRADES UNLESS OTHERWISE NOTED.
- AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING STORM DRAINS AND STRUCTURES WITHIN, OR DIRECTLY IMPACTED BY, THE PROJECT LIMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED CONSTRUCTION PERMITS AND/OR RIGHT-OF-WAY USE PERMITS FROM THE AGENCY HAVING JURISDICTION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY WITHIN THE MUNICIPAL RIGHT-OF-WAY.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY PROGRAMS/PROCEDURES AND THE IMPLEMENTATION AND COMPLIANCE THEREOF.
- THE CONTRACTOR SHALL PROVIDE THE CONSTRUCTION MEANS, METHODS, AND MATERIALS NECESSARY TO PROVIDE COMPLETE AND OPERATIONAL SYSTEMS AS PROPOSED IN THESE PLANS.
- THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER, DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE PROJECT'S BMP GUIDELINES, FDOT INDEX NO. 102, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION CRITERIA. SAID CONTROL MEASURES SHALL BE INSPECTED, LOGGED, AND MAINTAINED DAILY.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL REPLACE ALL EXISTING PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, LANDSCAPING, FENCES, MAILBOXES, IRRIGATION SYSTEMS, SIGNS AND OTHER IMPROVEMENTS DISTURBED BY CONSTRUCTION TO EQUAL OR BETTER THAN PRE-CONSTRUCTION CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.
- THE LOCATION OF EXISTING UTILITIES SHOWN WITHIN THESE PLANS IS PRELIMINARY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FILL, CLEAN AND FREE OF ORGANIC MATERIAL AND OTHER OBJECTIONABLE DEBRIS. FILL NOT MEETING THESE REQUIREMENTS WILL BE DIRECTED TO BE REMOVED AND REPLACED WITH PROPER FILL, AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING UNSUITABLE OR ORGANIC SOIL MATERIAL SHALL BE REMOVED FROM UNDER PAVEMENT AND FIVE FEET BEHIND CURB AND FROM UNDER BUILDING PADS AND FIVE FEET OUTSIDE OF BUILDING PADS. A GEOTECHNICAL ENGINEER SHALL INDICATE THE REMOVAL DEPTH AND SHALL VERIFY THAT ORGANIC AND OTHER UNSUITABLE MATERIAL HAVE BEEN REMOVED.
- FILL UNDER ROADWAYS, DRIVEWAYS, AND BUILDING PADS SHALL BE PLACED IN APPROPRIATE LIFTS. COMPACTION OF SOIL MATERIAL UNDER PROPOSED BUILDINGS AND PAVEMENT SHALL BE 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO METHOD T-180. FILL IN UNPAVED AREAS SHALL BE 95% T-180.
- ALL COMPACTION DENSITY SHALL BE VERIFIED IN A REPORT BY A PROFESSIONAL ENGINEERING FIRM LICENSED IN THE STATE OF FLORIDA AND SIGNED AND SEALED BY A PROFESSIONAL ENGINEER. ANY UNSATISFACTORY OR FAILING TEST AREAS SHALL BE RE-COMPACTED BY THE CONTRACTOR UNTIL DENSITY TESTS PASS, AT NO ADDITIONAL EXPENSE TO THE OWNER. THE COST FOR FAILING TESTS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE FABRICATION OF PROPOSED CIVIL SITE IMPROVEMENTS. SHOP DRAWINGS SHALL BE CLEARLY MARKED DENOTING THE SPECIFIC ITEM FOR REVIEW. WHERE A DEVIATION FROM THE DESIGN IS PROPOSED, THE SHOP DRAWING SHALL HAVE A SPECIFIC NOTE DETAILING THE DEVIATION AND REASON FOR SUCH.
- TESTING IS REQUIRED FOR ALL PROPOSED IMPROVEMENTS IN ACCORDANCE WITH APPLICABLE AGENCY STANDARDS. CONTRACTOR SHALL PROVIDE ENGINEER A MINIMUM OF 48 HOUR NOTICE FOR WITNESSING REQUIRED TESTING.
- CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING ANY REQUIRED BUILDING PERMITS.

PAVING, GRADING, AND DRAINAGE NOTES

- REFER TO THE GENERAL SITE CONSTRUCTION NOTES AND PLAN SPECIFIC NOTES FOR SUPPLEMENTAL PAVING, GRADING, AND DRAINAGE CONSTRUCTION REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING WITH CONSTRUCTION. ANY OBSERVED SILTATION, DEBRIS, AND/OR EROSION SHALL BE CORRECTED AS SOON AS PRACTICAL IN ORDER TO AVOID ADVERSE STORMWATER DISCHARGE (QUANTITY OR QUALITY). REFER TO SHEETS C-04 AND C-05 FOR BEST MANAGEMENT PRACTICES PLAN AND GUIDELINES.
- THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT (IF PREPARED) PRIOR TO CONSTRUCTION. SHOULD THERE BE ANY CONCERNS, OR SHOULD AN EXCEPTION BE TAKEN TO THE INFORMATION PROVIDED, THE CONTRACTOR SHALL ADVISE THE OWNER AND ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL PROPOSED DRAINAGE PIPE SHALL BE CONCRETE, HDPE, OR PVC, AS SPECIFIED, UNLESS OTHERWISE NOTED. CONCRETE PIPE SHALL BE RCP CLASS III AND BE FURNISHED AND INSTALLED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 430-7 AND 941. CORRUGATED POLYETHYLENE (HDPE) PIPE SHALL MEET AASHTO M-294 AND BE FURNISHED AND INSTALLED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 410-11 AND 948-2. ALL RCP/ERCP JOINTS SHALL BE WRAPPED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, INDEX 280 (LATEST EDITION). PVC USED FOR DRAINAGE SYSTEMS SHALL BE SCH. 40 PVC, COLOR CODED WHITE; UNLESS OTHERWISE SPECIFIED.
- UNLESS PROPOSED OTHERWISE, ALL AREAS (PAVED AND UNPAVED) SHALL BE GRADED TO ASSURE POSITIVE DRAINAGE.
- PROPOSED FINISHED GRADE IN UNPAVED AREAS REPRESENTS TOP OF SOD, CONTRACTOR SHALL ALLOW 2" IN FINAL GRADING FOR SOD PLACEMENT.
- THE CONTRACTOR SHALL USE DUE CARE WHILE FINISHING ALL PAVED SURFACES TO ASSURE POSITIVE DRAINAGE AND PRECLUDE PONDED WATER OR "BIRD-BATHS".
- PAVED INVERTS WITHIN THE DRAINAGE STRUCTURES SHALL BE PROVIDED IN ORDER TO PRECLUDE PONDED WATER.
- THE CONTRACTOR SHALL LAY SOD AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, SLOPES, ADJACENT TO EDGE OF PAVEMENT AND ADJACENT TO BACK OF CURB AS SHOWN IN DETAILS OR AS DIRECTED BY THE ENGINEER.
- ALL RESTORATION WORK PERFORMED THROUGHOUT THE PROJECT SHALL CONFORM TO EXISTING LINES AND GRADES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE SIGNED AND SEALED AS-BUILT SURVEY RECORD DRAWINGS PREPARED BY A PROFESSIONAL SURVEYOR AND MAPPER REGISTERED IN THE STATE OF FLORIDA. THE RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND CONCURRENCE AND SHALL INDICATE HORIZONTAL AND VERTICAL DIMENSIONAL/TOPOGRAPHIC DATA SO THAT CONSTRUCTED IMPROVEMENTS MAY BE LOCATED AND DELINEATED SO THE ENGINEER OF RECORD CAN DETERMINE IF THE IMPROVEMENTS WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS. AS-BUILT DRAWING PRESENTATION AND DATA SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE RULING AGENCIES; IT SHALL BE NOTED THAT THE RECORD DRAWING PLANS MAY BE REQUIRED TO BE PREPARED ON THE ENGINEERING BASE PLANS AS REQUIRED BY THE AGENCY HAVING JURISDICTION.
- ALL SURFACE WATER DISCHARGES FROM THE PROPERTY SHALL COMPLY WITH THE STATE WATER QUALITY STANDARDS CONTAINED IN DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES, CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE (F.A.C.)
- THE CONTRACTOR SHALL AVOID ADVERSELY IMPACTING THE EXISTING DRAINAGE SYSTEMS. THEY SHALL BE MAINTAINED FOR FUNCTION AND CAPACITY THROUGHOUT THE DURATION OF THE CONSTRUCTION.
- HANDICAP SIDEWALK RAMPS: TO BE CONSTRUCTED AND EMBOSSED PER FDOT INDEX 304. CURB RAMPS AND SIDE FLARES SHALL COMPLY TO THE "FLORIDA ACCESSIBILITY CODE" 4.3.3, 4.6.3, 4.7, 4.7.1 AND FIGURES 11-13. DETECTABLE WARNING MATS ON WALKING SURFACES SHALL BE PROVIDED IN ACCORDANCE WITH FLORIDA ACCESSIBILITY CODE AND FDOT STANDARDS.
- ALL ROADWAY, CURB, AND DRAINAGE STRUCTURES ARE REQUIRED TO BE 3000 PSI CONCRETE MINIMUM.
- SIDEWALKS ARE TO HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 50 FEET; AND CONTRACTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE SLAB, BUT NOT MORE THAN TEN FEET. NO JOINTS SHALL BE CLOSER THAN FOUR FEET.
- ALL STEEL GRATES (GRATES AND FRAMES) PROPOSED IN PAVED AREAS SHALL BE RATED FOR H-20 LOADING. GRATES PROPOSED IN UNPAVED AREAS NOT ANTICIPATING VEHICULAR LOADING (I.E. CONTROL STRUCTURES) MAY BE STANDARD LOADING. ALL CASTINGS (RINGS, COVERS, CLEAN-OUTS, ETC.) PROPOSED IN PAVED OR UNPAVED AREAS SHALL BE RATED FOR H-20 LOADING.
- ANY DRAINAGE EASEMENTS SHALL BE PROVIDED AS INDICATED FOR THE PROPOSED DRAINAGE IMPROVEMENTS. ANY PROPOSED EASEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER AND THE AGENCY HAVING JURISDICTION.
- ANY WELLS DISCOVERED DURING EXCAVATION, EARTHMOVING, OR CONSTRUCTION MUST BE REPORTED TO THE CITY OF VENICE AND THE SARASOTA COUNTY HEALTH DEPARTMENT WITHIN 24 HOURS OF DISCOVERY. ANY WELLS ON-SITE THAT WILL HAVE NO USE MUST BE PLUGGED AND ABANDONED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER. ANY WELLS ON-SITE THAT REMAIN MUST BE PROTECTED DURING ALL STAGES OF EARTHMOVING AND CONSTRUCTION.

Signature
RICHARD SCHAPPACHER, P.E.
Professional Engineer # 51501

REV	DATE	DESCRIPTION	DWN BY	CHK BY

DESIGNED DRAWN CHECKED
RS RS RS
DATE: JULY 2021
JOB NO.
SCALE: AS SHOWN

Schappacher Engineering, LLC.

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VENETIAN COMMUNITY DEVELOPMENT DISTRICT
PICKLEBALL COURTS
CONSTRUCTION NOTES

SHEET NUMBER
C-03

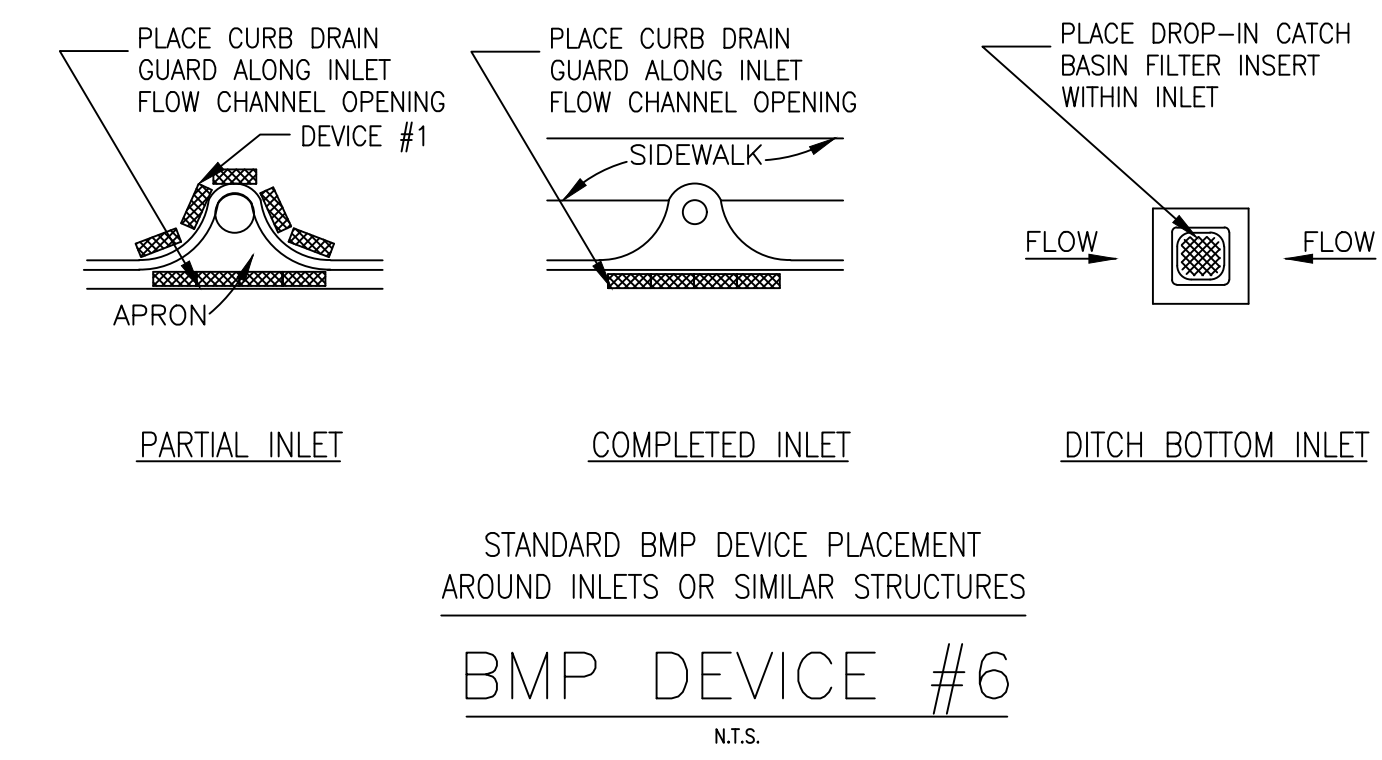
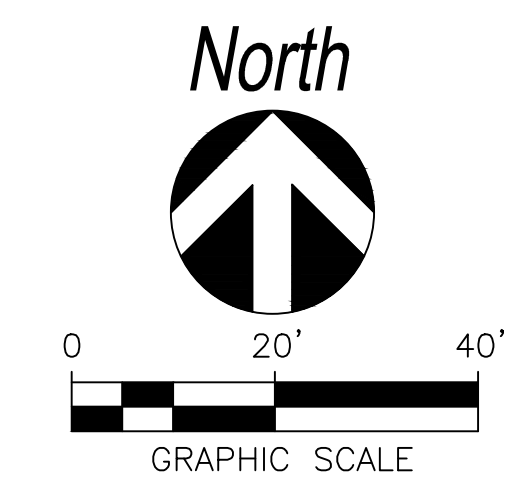


BEST MANAGEMENT PRACTICES GUIDELINES

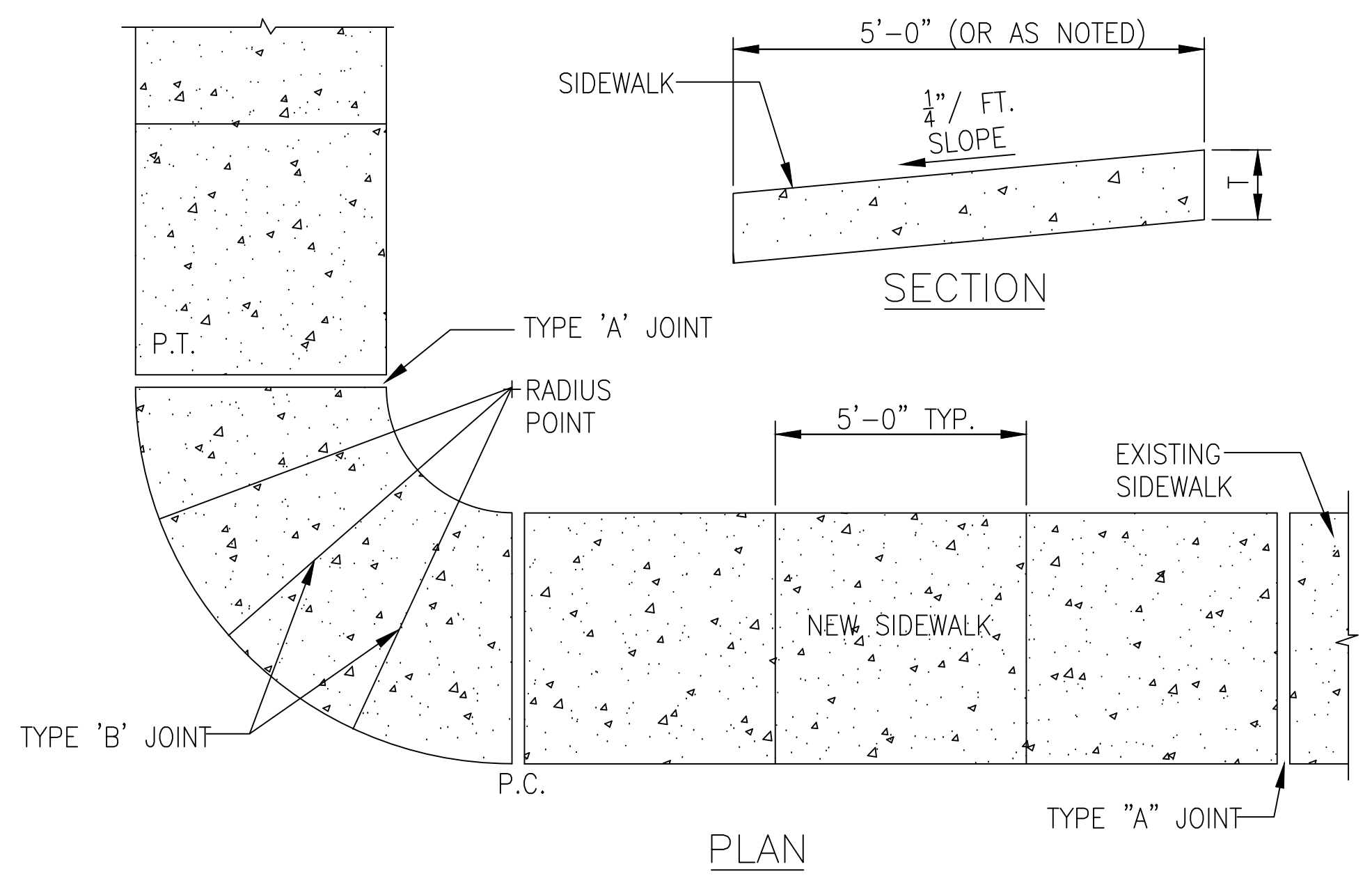
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING CONSTRUCTION TO CONTROL EROSION AND PREVENT THE TRANSPORT OF SEDIMENT TO SURFACE, STORM DRAINS AND/OR ADJACENT PROPERTIES. SILT SCREENS, HAY BALES AND/OR FILTER FABRIC, OR OTHER APPROVED MEANS, SHALL BE EMPLOYED. SODDING AND/OR SEEDING SHALL BE ACCOMPLISHED AS SOON AS PRACTICAL AFTER EXCAVATION AND GRADING IS COMPLETE.
- BEST MANAGEMENT PRACTICES DEVICES SHALL BE USED TO ADDRESS EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH CITY OF VENICE REQUIREMENTS.
- THE PLAN INDICATES TYPICAL BEST MANAGEMENT PRACTICES DEVICE LOCATIONS. REFER TO EROSION CONTROL DETAILS FOR CORRECT PLACEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION OR AS INSTRUCTED BY THE ENGINEER.
- ALL GRASSING (SOD) SHALL BE INSTALLED AS SOON AS PRACTICAL UPON THE COMPLETION OF FINAL GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL FINAL ACCEPTANCE AND CERTIFICATION.
- THE CONTRACTOR, SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORM WATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.
- THE CONTRACTOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(c)1., FLORIDA ADMINISTRATIVE CODE, FROM THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS. (THE CONTRACTOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.)
- ALL REQUIRED TREE PROTECTION BARRICADES SHALL MEET THE STANDARDS OF THE GOVERNING MUNICIPALITY AND ANY APPLICABLE TREE PROTECTION ORDINANCES.
- PRIOR TO DEVELOPMENT-RELATED LAND CLEARING ACTIVITIES, ALL APPLICABLE APPROVALS MUST BE OBTAINED THROUGH THE GOVERNING MUNICIPALITY.
- EROSION/SEDIMENT CONTROL BMPs IN ADDITION TO THOSE PRESENTED ON THE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES, OFFSITE STORMWATER CONVEYANCES, OR OFFSITE RECEIVING WATERS. BMPs SHALL BE DESIGNED, INSTALLED, AND MAINTAINED AS REQUIRED BY THE ENGINEER AND/OR SITE OPERATOR TO ENSURE THAT OFFSITE SURFACE WATER QUALITY IS IN COMPLIANCE WITH STATE WATER QUALITY STANDARDS AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL IMMEDIATELY CORRECT ALL OFFSITE SURFACE WATER DISCHARGES WITH TURBIDITY IN EXCESS OF 29 NTUS (NEPHELOMETRIC TURBIDITY UNITS) ABOVE BACKGROUND LEVEL. SUCH INCIDENTS SHALL BE REPORTED TO THE LOCAL GOVERNING AGENCY AND OWNER/ENGINEER WITHIN 24 HOURS OF THE OCCURRENCE. NOTIFICATION SHALL INCLUDE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- FUEL OR OTHER PETROLEUM PRODUCT SPILLS IN EXCESS OF 25 GALLONS AND GENERATED FROM CONSTRUCTION OPERATIONS, OR THOSE THAT ENTER STORM WATER DRAINAGE WAYS OR WATER BODIES, SHALL BE CONTAINED, CLEANED UP AND REPORTED TO THE LOCAL GOVERNING AGENCY AND OWNER/ENGINEER. SMALLER SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL, IN ACCORDANCE WITH INDUSTRY STANDARDS.
- IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND CONTRACTOR SHALL CONTACT THE OWNER/ENGINEER FOR DIRECTION.
- THE CONTRACTOR SHALL PROVIDE ANY NECESSARY DEWATERING FOR THE DURATION OF THE PROJECT'S CONSTRUCTION.
- THE CONTRACTOR SHALL CONTROL OFF-SITE SOIL TRACKING INCLUDING MATERIAL SPILLAGE OR SOIL TRACKING ONTO PUBLIC ROADS. THIS IS TO BE ACCOMPLISHED BY MANUAL REMOVAL AS NECESSARY AND BY SOIL TRACKING PREVENTION TECHNIQUES IN ACCORDANCE WITH FDOT STANDARDS INDEX 106 (LATEST EDITION).

BMP LEGEND

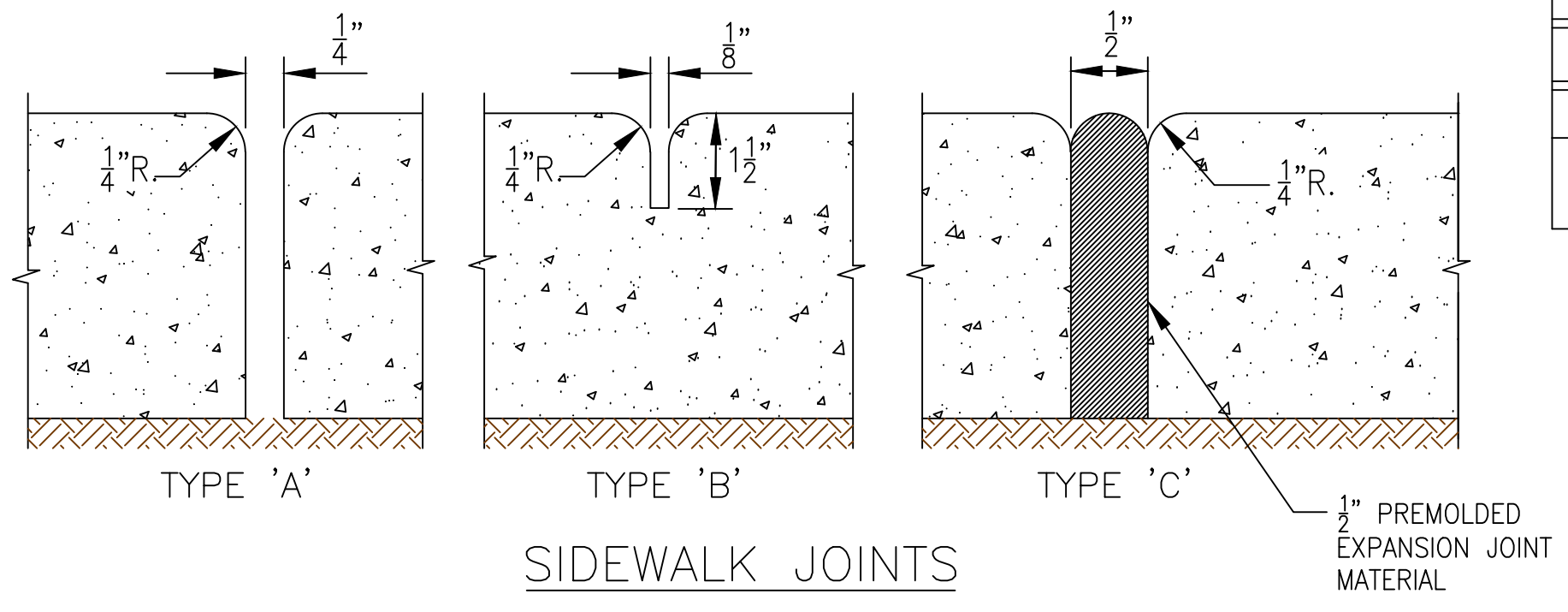
- PROPOSED BMP DEVICE LOCATION
- PROPOSED BMP DEVICE IDENTIFICATION



Signature RICHARD SCHAPPACHER, P.E. Professional Engineer # 51501	Date _____
DESIGNED RS DATE: JULY 2021	CHECKED RS
JOB NO. _____	SCALE: AS SHOWN
VENETIAN COMMUNITY DEVELOPMENT DISTRICT PICKLEBALL COURTS EROSION CONTROL PLAN	SHEET NUMBER C-04
	Schappacher Engineering, LLC. 3604 53rd AVENUE EAST, BRADENTON, FL 34203 PHONE (941) 251-7613 WWW.SCHAPPACHERENG.COM
REV. _____ DATE _____ DESCRIPTION _____ DWN BY (C)C BY _____	



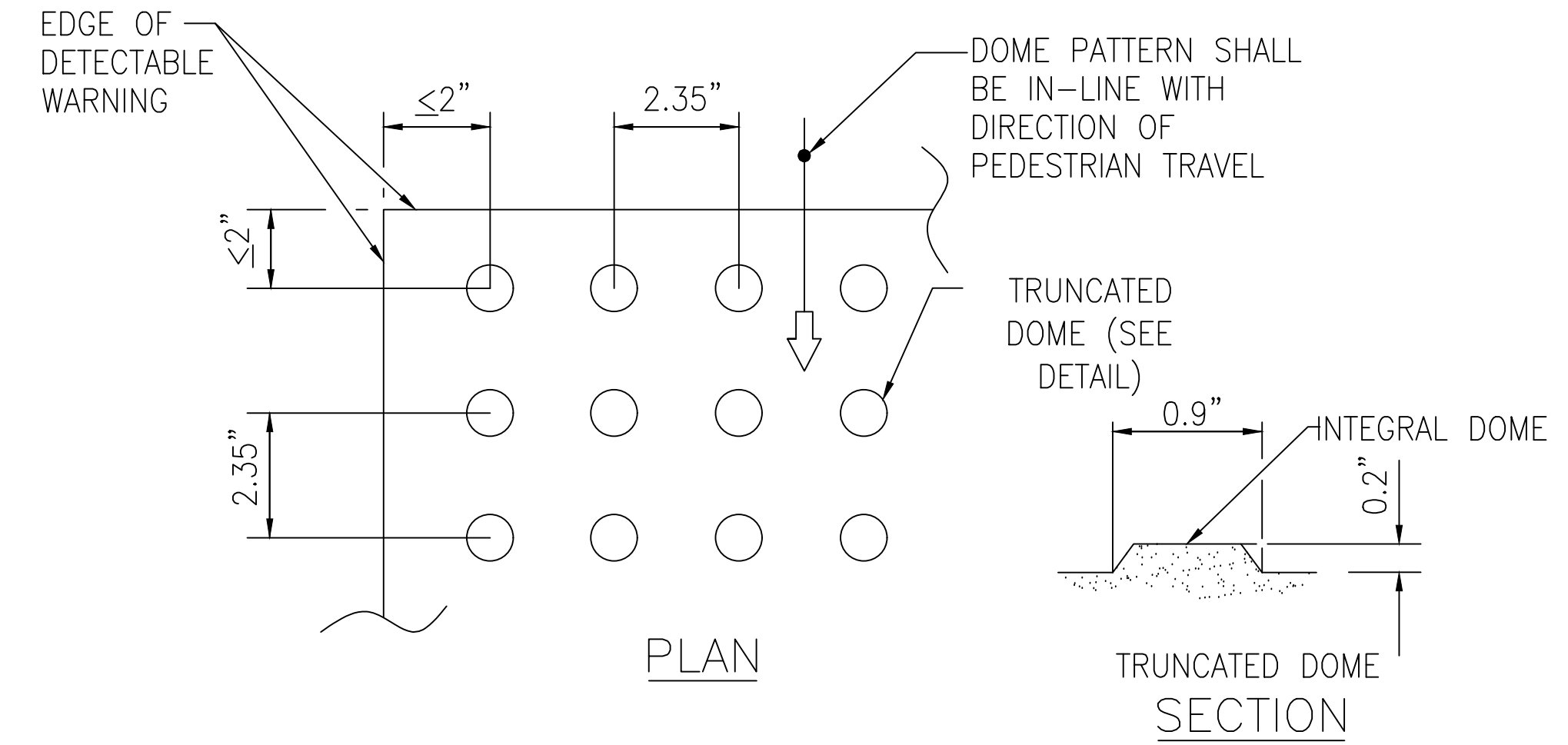
TYPE	LOCATION
'A'	P.C. AND P.T. OF CURVES.
'B'	5'-0" CENTER TO CENTER ON SIDEWALKS.
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. JUNCTION OF EXISTING AND NEW SIDEWALKS. AT 50' INTERVALS (MIN.)



LOCATION	'T'
PEDESTRIAN AREAS	4"
AT DRIVEWAY CROSSING AND OTHER VEHICULAR USE AREAS	6"

NOTE: CONCRETE TO BE 3,000 P.S.I. AT 28 DAYS WITH FIBERMESH REINFORCEMENT.

SIDEWALK CONSTRUCTION
N.T.S.



- NOTES:
1. ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN DIRECTION OF TRAVEL 24 INCHES FROM BACK OF CURB.
 2. MAT COLOR SHALL BE IN ACCORDANCE WITH CITY OF PALMETTO STANDARDS.

DETECTABLE WARNING MAT
N.T.S.

Signature
RICHARD SCHAPPACHER, P.E.
 Professional Engineer # 51501

REV	DESCRIPTION	DATE	DWN BY	CHK BY

DESIGNED	DRAWN	CHECKED
RS	RS	RS
DATE: JULY 2021	JOB NO.	SCALE: AS SHOWN

Schappacher Engineering, LLC.
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 WWW.SCHAPPACHERENG.COM

VENETIAN COMMUNITY DEVELOPMENT DISTRICT
PICKLEBALL COURTS
CONSTRUCTION DETAILS

SHEET NUMBER
C-05