

PRELIMINARY PLAT MODIFICATION FOR MIRASOL TOWN CENTER (PORTOFINO CMU)

COMMERCIAL MIXED-USE DEVELOPMENT LYING IN SECTION 27, TOWNSHIP 38 SOUTH, RANGE 19 EAST CITY OF VENICE, SARASOTA COUNTY, FLORIDA.

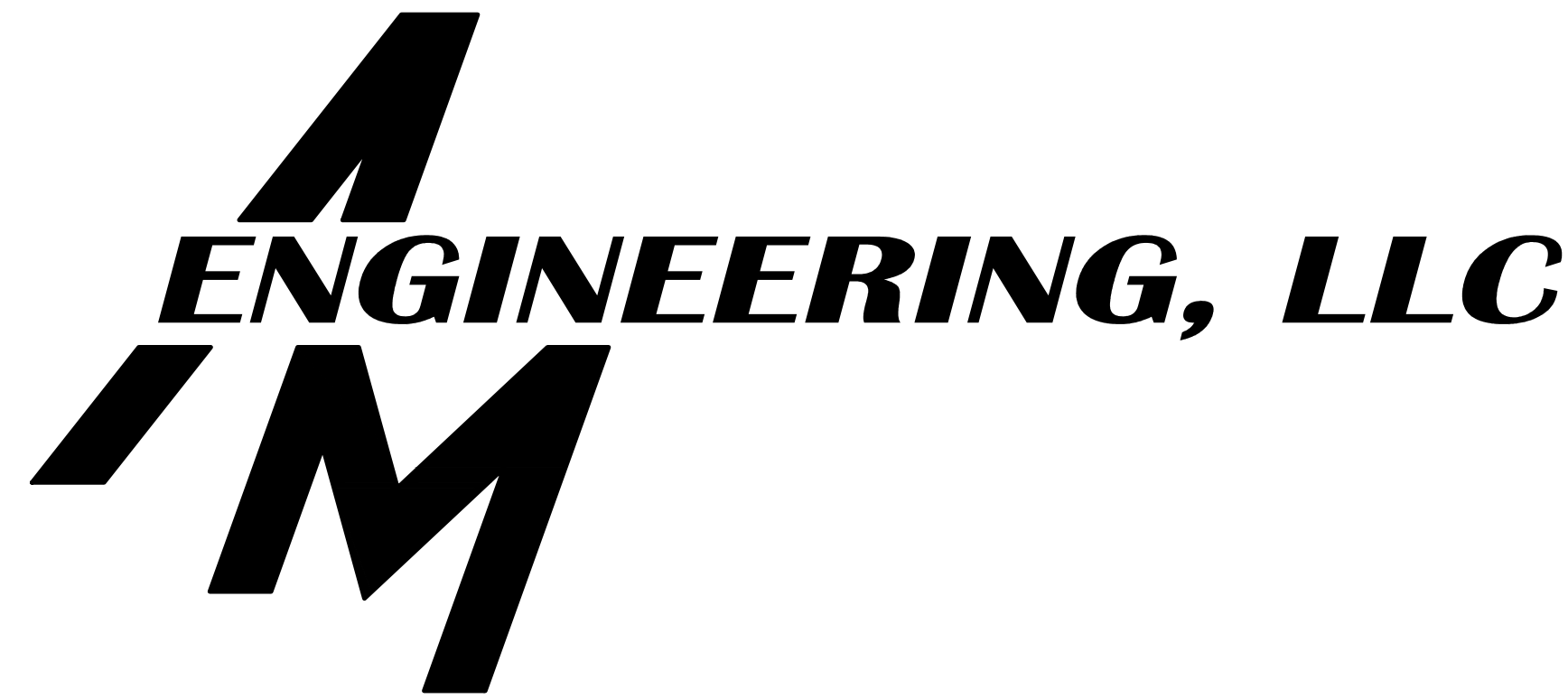
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08	WATER AND SEWER DETAILS

OWNERS:
LAUREL ROAD DEVELOPMENT, LLC
7350 POINT OF ROCKS RD,
SARASOTA, FL 34242

ENGINEER / SURVEYOR:
AM ENGINEERING, LLC
8340 CONSUMER COURT
SARASOTA, FLORIDA 34240
(941) 377-9178
CERTIFICATE OF AUTHORIZATION No. 33105, LB No. 4334

GH&G LAUREL ROAD, LLC
101 S BAY BLVD
SUITE B-3
ANNA MARIA, FL 34216

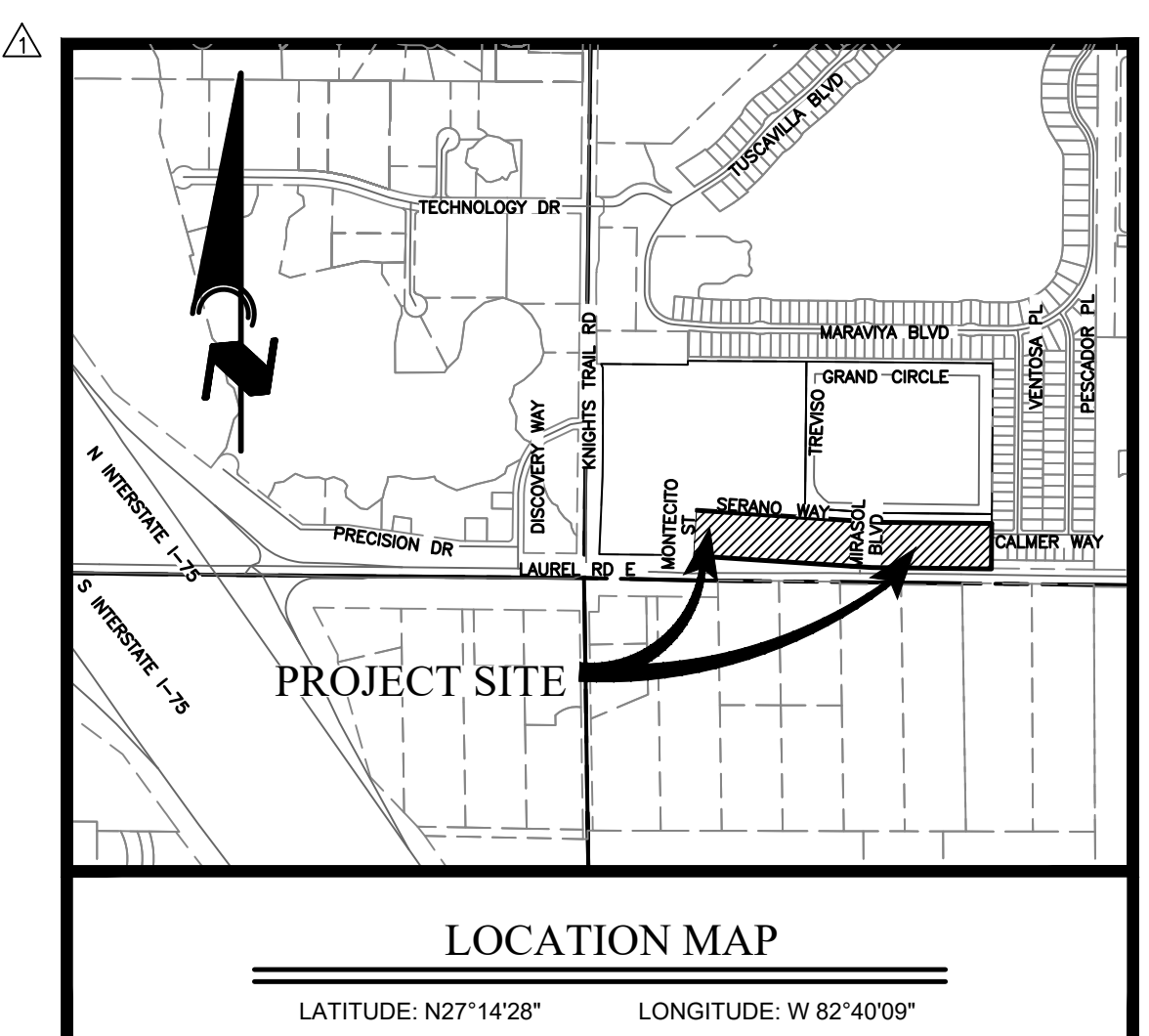


GENERAL NOTES:

1. **OWNERSHIP AND UNIFIED CONTROL STATEMENT:**
THE PROPOSED PROJECT IS OWNED BY LAUREL ROAD DEVELOPMENT, LLC.
2. **CHARACTER AND INTENDED USE STATEMENT**
COMMERCIAL MIXED USE
3. **EXISTING LAND USE:**
VACANT
4. **ZONING/PROPERTY ID:**
COMMERCIAL MIXED USE (CMU); FUTURE LAND USE MIXED USE CORRIDOR PID#: 0376-13-0060, 0376-13-0100, 0376-13-0090, and 0376-13-0200.
5. **PROPOSED LOT/TRACT AREAS:**
A. TOTAL SITE AREA = 9.22 AC.
B. ZONING ADMINISTRATOR MAY ADMINISTRATIVELY APPROVE THE RELOCATION OF LOT LINES, SUBJECT TO NO ADDITIONAL LOTS BEING CREATED.
C. STORMWATER TREATMENT AND ATTENUATION FOR THIS SITE ARE PERMITTED AND ACCOUNTED FOR IN THE TOSCANA ISLES DEVELOPMENT. THE MAXIMUM ALLOWABLE IMPERVIOUS AREA FOR THE MIRASOL DEVELOPMENT IS 80%.
6. **FLOOD ZONE:**
THE SITE LIES WITHIN THE BOUNDARY OF FLOOD ZONE X PER FIRM MAP 1211500244F REVISED NOVEMBER 4, 2016.
7. **UTILITY PROVIDERS:**

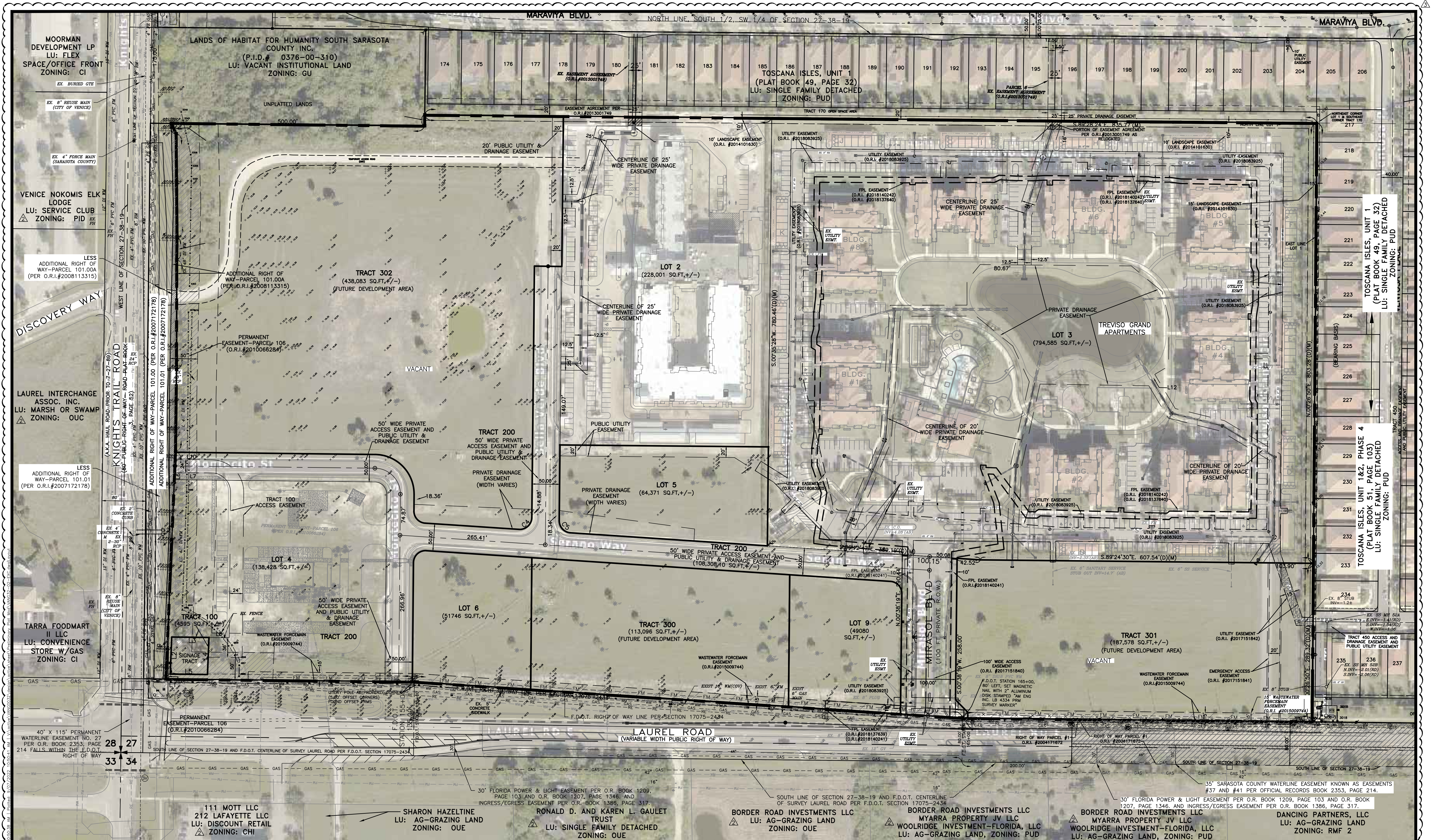
WATER / SANITARY SEWER: CITY OF VENICE 200 WARFIELD AVE VENICE, FL 34285 (941)480-3333 (941)486-2084 fax	ELECTRICITY FLORIDA POWER & LIGHT FRONTIER 5676 S. MCINTOSH RD. SARASOTA, FL 34233 (941)927-4218	TELEPHONE / CATV FRONTIER 1659 U.S. 41 BYPASS SOUTH VENICE, FL 34293 (941)906-8719 (941)922-5753 fax	TELEPHONE / CATV COMCAST 5005 FRUITVILLE ROAD SARASOTA, FLORIDA 34240 (941) 371-6700
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8. **CITY OF VENICE REQUIRED NOTES:**
A. ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE ISSUANCE OF A ROW PERMIT.
B. ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FOOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
C. TREE REMOVAL PERMIT MUST BE OBTAINED FROM CITY OF VENICE.
D. POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
E. ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS 1, 11 OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 833.521.
F. CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
G. ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
H. CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.
9. **VERTICAL DATUM:**
ELEVATIONS ARE RELATIVE TO NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929. ELEVATIONS ARE BASED ON SARASOTA COUNTY BENCHMARK #378A WITH A PUBLISHED ELEVATION = 40.737'.
10. **SIGNAGE TRACT:**
TRACT 100 (SIGNAGE TRACT) IS A NON-HABITABLE STRUCTURE SIGNAGE TRACT.
11. **SIDEWALK:**
A. A SIDEWALK AND PATHWAY SYSTEM SHALL BE INCLUDED WITHIN THE DEVELOPMENT TO IMPLEMENT THE PROVISIONS OF THE PORTOFINO CITY SIDEWALKS AND PATHWAYS SHALL BE A MINIMUM OF FIVE (5) FT IN WIDTH ALONG ALL ROADWAYS ADJOINING RESIDENTIAL AND COMMERCIAL USES. WHERE NO USE IS PROPOSED, THE SIDEWALK AND PATHWAY MAY CONTINUE ALONG ONLY THE SIDE WITH ACTIVE USES.
B. UPON THE COMPLETION OF CONSTRUCTION OF EACH LOT, SAID LOT WILL HAVE ACCESS TO SIDEWALKS.
12. **UTILITY NOTES:**
A. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE STANDARDS.
B. WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE UTILITY CODE.
C. THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE" ONE CALL, FPL AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ON SITE OR OFF SITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
D. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO WELLS LOCATED ON THIS SITE.
E. ANY WELLS DISCOVERED DURING EARTH MOVING, EXCAVATION OR CONSTRUCTION MUST BE REPORTED TO THE CITY OF VENICE WITHIN 24 HOURS OF DISCOVERY. IF SAID WELL HAS NO USE IT SHALL BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
F. TO THE BEST OF OUR KNOWLEDGE NO SEPTIC TANKS ARE LOCATED ON THIS SITE.
G. ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
H. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VENICE STANDARDS DETAILS.
I. UPON DEVELOPMENT OF LOT 1, ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED TO MEET NFP REQUIREMENTS (LATEST EDITION AT TIME OF DEVELOPMENT).
13. **LANDSCAPE BUFFERING:**
LANDSCAPE BUFFERING ALONG LAUREL ROAD AND KNIGHTS TRAIL ROAD SHALL BE DESIGNED AT THE TIME OF SITE AND DEVELOPMENT APPROVAL FOR THE INDIVIDUAL LOTS. LANDSCAPE BUFFERING SHALL BE REQUIRED TO MEET THE MINIMUM STANDARDS OF THE PORTOFINO CMU ZONING REQUIREMENTS.
14. **RESERVATION OF EASEMENTS:**
LAUREL ROAD DEVELOPMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY (THE "COMPANY") DOES HEREBY RESERVE EASEMENTS OF TEN (10) FEET IN WIDTH ALONG EACH TRACT AND LOT LINE THAT IS ADJACENT TO TRACTS 200 OR 201 AND FIVE (5) FEET IN WIDTH ALONG EACH TRACT AND LOT LINE THAT IS NOT ADJACENT TO TRACTS 200 OR 201 FOR THE EXPRESS PURPOSE OF ACCOMMODATING SURFACE AND UNDERGROUND DRAINAGE AND UNDERGROUND UTILITIES. WHERE AN AREA GREATER OR LESS THAN ONE LOT OR TRACT IS USED AS A BULLDOG SITE TO THE OUTSIDE BOUNDARY OF SAID SITE, SHALL BE SUBJECT TO SAID EASEMENTS. NOTWITHSTANDING THE FOREGOING, NO EASEMENTS WILL BE RESERVED BY THE COMPANY ALONG THE LOT LINES OF LOT 3.
15. **UTILITY EASEMENTS:**
THE COMPANY DOES HEREBY GRANT NONEXCLUSIVE UTILITY EASEMENTS ACROSS EACH AREA DEPICTED ON THIS PLAT AS "UTILITY EASEMENT" OR "PUBLIC UTILITY EASEMENT" TO THE CITY OF VENICE, SARASOTA COUNTY, AND AUTHORIZED UTILITY COMPANIES FOR THE INSTALLATION AND MAINTENANCE OF UNDERGROUND POWER, TELEPHONE, WATER, SEWER, ELECTRIC, CABLE TELEVISION AND OTHER UTILITIES, LINES AND FACILITIES. ALL UTILITY EASEMENTS SHOWN HEREON SHALL ALSO BE FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, OR OTHER PUBLIC UTILITY, OR WITH THE FACILITIES OR OTHER IMPROVEMENTS CONSTRUCTED BY THE COMPANY OR MIRASOL TOWN CENTER ASSOCIATION, INC., A FLORIDA CORPORATION OR FOR PROFIT (THE "ASSOCIATION").
16. **DRAINAGE EASEMENTS:**
THE COMPANY DOES HEREBY GRANT NONEXCLUSIVE DRAINAGE EASEMENTS TO THE ASSOCIATION FOR STORMWATER DRAINAGE PURPOSES OVER, UNDER AND ACROSS EACH AREA DEPICTED ON THIS PLAT AS A "DRAINAGE EASEMENT" OR "PRIVATE DRAINAGE EASEMENT".
17. **PRIVATE ACCESS EASEMENTS:**
THE COMPANY DOES HEREBY GRANT NONEXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS TO THE ASSOCIATION; ALL OWNERS OF THE PROPERTY WITHIN MIRASOL TOWN CENTER AND THEIR GUESTS, LICENSEES, INVITEES, SUCCESSORS AND ASSIGNS; ALL UTILITIES SERVICE THE SUBDIVISION; ALL EMERGENCY AND LAW ENFORCEMENT PERSONNEL SERVING THE SUBDIVISION; AND ALL OTHER PERSONS PROVIDING ESSENTIAL SERVICES TO THE SUBDIVISION OVER AND ACROSS THE AREA DEPICTED ON THIS PLAT AS "PRIVATE ACCESS EASEMENT".
18. **TRACT 100 ACCESS EASEMENT:**
THE COMPANY DOES HEREBY GRANT NONEXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS TO THE OWNER OF TRACT 100 AND ITS GUESTS, LICENSEES, INVITEES, SUCCESSORS AND ASSIGNS OVER AND ACROSS THE AREA DEPICTED ON THIS PLAT AS "TRACT 100 ACCESS EASEMENT" FOR THE PURPOSES OF ACCESS TO TRACT 100.

REVISION INDEX			
BY:	DATE:	REV. #	DESCRIPTION:
BRC	08/04/22	1	CHANGES PER ATTORNEY & OWNER COMMENTS
CEH	08/11/22	2	CHANGES PER CITY COMMENTS
CD	09/02/22	3	CHANGES PER CITY COMMENTS



LEGAL DESCRIPTION
LOT 6, TRACT 300, LOT 9 AND TRACT 301 OF MIRASOL TOWN CENTER, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 54, PAGES 162-164, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

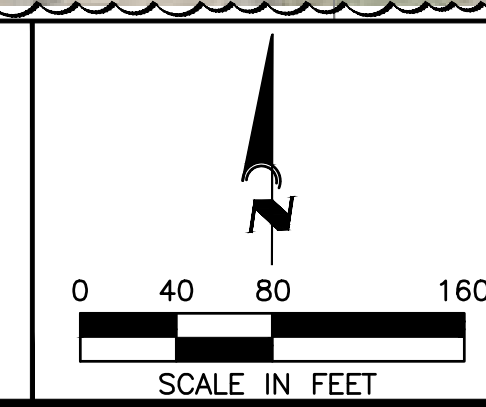
BOBBI R. CLAYBROOKE, P.E.
DATE: 09/12/22
FLORIDA P.E. No. 90804



REV. NO.	REV. DATE	REVISION DESCRIPTION	BY	DATE	REVISION DESCRIPTION
08/11/22		CHANGES PER CITY COMMENTS	CEH		
09/02/22		CHANGES PER CITY COMMENTS	CD		

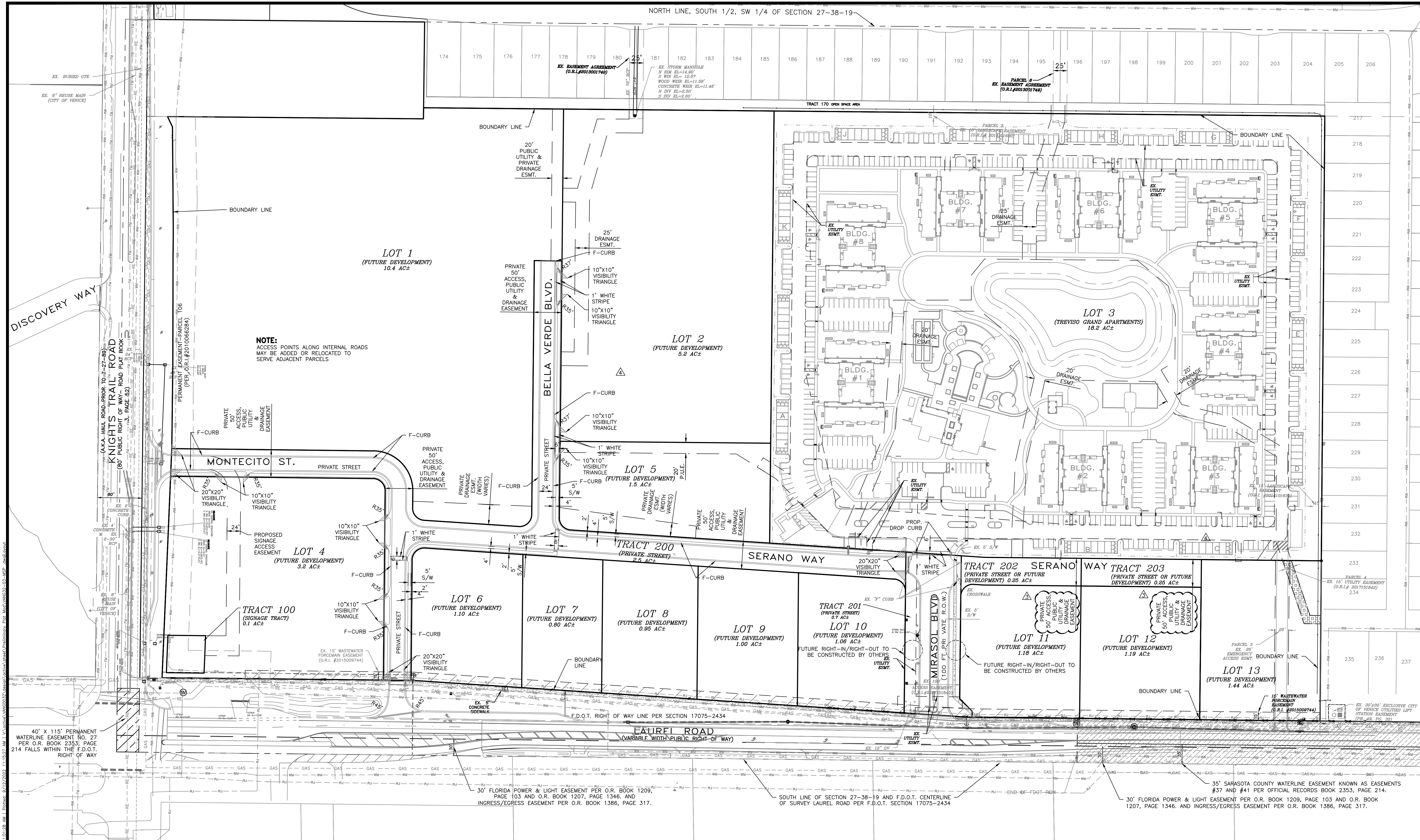
CALL BEFORE YOU DIG!
 "SUNSHINE STATE ONE-CALL CENTER"
 1-800-432-4770
 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.
 DATE: 6/13/22
 CD
PRELIMINARY PLAT MOD

Civil Engineering | Land Surveying
AM ENGINEERING, LLC.
 8340 Consumer Court Sarasota, FL 34240
 Phone: (941) 377-9178 | www.amengllc.com
 CA #33105 | LB #4334



PROJECT:	LAUREL ROAD DEVELOPMENT, LLC	GRAPHIC SCALE:	1" = 80'
CLIENT:	MIRASOL TOWN CENTER	DATE:	N/A
PROJECT NUMBER:	AERIAL & EXISTING CONDITIONS PLAN	PROJECT NUMBER:	NGVD29
DATE:		PROJECT NUMBER:	VANG0032
		PROJECT NUMBER:	02

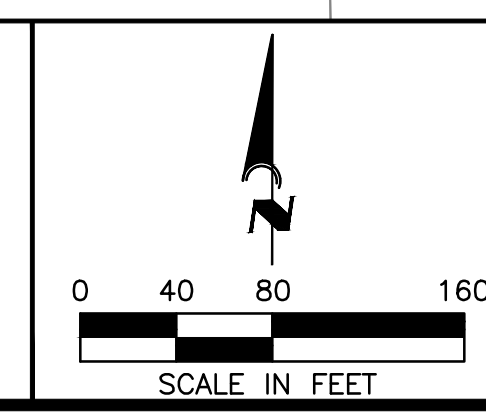
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REV. NO.	REV. DATE	REVISION DESCRIPTION	BY	DATE
09/02/22		CHANGES PER CITY COMMENTS	CD	

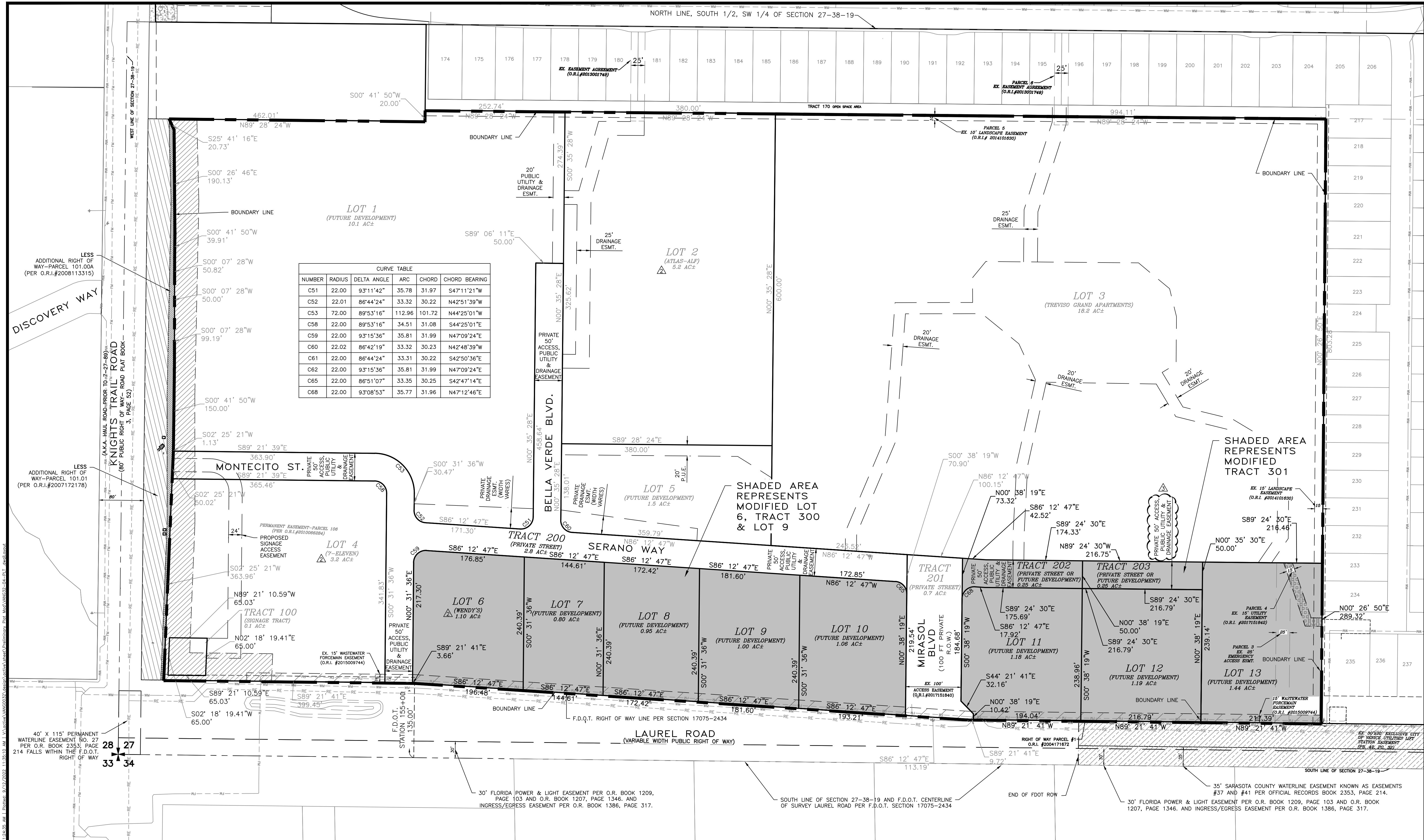
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LAUREL ROAD DEVELOPMENT, LLC
MIRASOL TOWN CENTER
MASTER SITE PLAN
 HORIZONTAL SCALE: 1" = 80'
 VERTICAL SCALE: N/A
 PROJECT NUMBER: NGVD29
 PROJECT NUMBER: VANG0032
 SHEET NUMBER: 03

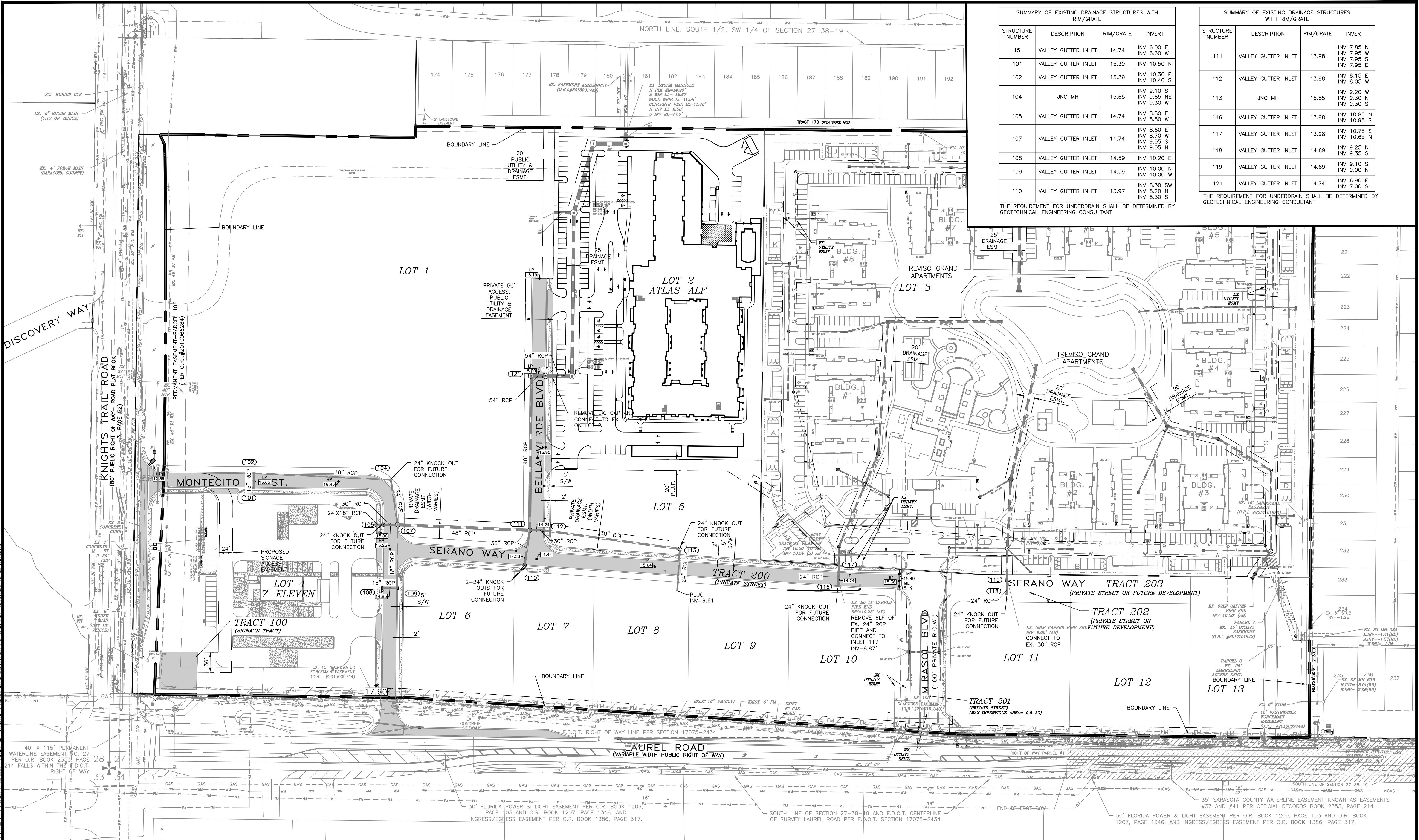
BOBBI R. CLAYBROOKE, PE
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NUMBER	RADIUS	DELTA ANGLE	ARC	CHORD	CHORD BEARING
C51	22.00	93°11'42"	35.78	31.97	S47°11'21"W
C52	22.01	86°44'24"	33.32	30.22	N42°51'39"W
C53	72.00	89°53'16"	112.96	101.72	N44°25'01"W
C58	22.00	89°53'16"	34.51	31.08	S44°25'01"E
C59	22.00	93°15'36"	35.81	31.99	N47°09'24"E
C60	22.02	86°42'19"	33.32	30.23	N42°48'39"W
C61	22.00	86°44'24"	33.31	30.22	S42°50'36"E
C62	22.00	93°15'36"	35.81	31.99	N47°09'24"E
C65	22.00	86°51'07"	33.35	30.25	S42°47'14"E
C68	22.00	93°08'53"	35.77	31.96	N47°12'46"E

<p>09/02/22 CHANGES PER CITY COMMENTS</p>	<p>CD</p>	<p>CALL BEFORE YOU DIG! "SUNSHINE STATE ONE-CALL CENTER" 1-800-432-4770 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.</p>	<p>Civil Engineering Land Surveying</p> <p>AM ENGINEERING, LLC.</p> <p>8340 Consumer Court Sarasota, FL 34240 Phone: (941) 377-9178 www.amengllc.com CA #33105 LB #4334</p>	<p>LAUREL ROAD DEVELOPMENT, LLC</p> <p>MIRASOL TOWN CENTER</p> <p>PRELIMINARY PLAT</p>	<p>1" = 80'</p> <p>N/A</p> <p>NGVD29</p> <p>VANG0032</p> <p>04</p>	<p>BOBBI R. CLAYBROOKE, PE</p> <p>DATE</p> <p>FLORIDA P.E. No. 90804</p>
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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY BOBBI R. CLAYBROOKE, PE ON 09/12/2022 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SUMMARY OF EXISTING DRAINAGE STRUCTURES WITH RIM/GRATE

STRUCTURE NUMBER	DESCRIPTION	RIM/GRATE	INVERT
15	VALLEY GUTTER INLET	14.74	INV 6.00 E INV 6.60 W
101	VALLEY GUTTER INLET	15.39	INV 10.50 N
102	VALLEY GUTTER INLET	15.39	INV 10.30 E INV 10.40 S
104	JNC MH	15.65	INV 9.10 S INV 9.65 NE INV 9.30 W
105	VALLEY GUTTER INLET	14.74	INV 8.80 E INV 8.80 W
107	VALLEY GUTTER INLET	14.74	INV 8.60 E INV 8.70 W INV 9.05 S INV 9.05 N
108	VALLEY GUTTER INLET	14.59	INV 10.20 E
109	VALLEY GUTTER INLET	14.59	INV 10.00 N INV 10.00 W
110	VALLEY GUTTER INLET	13.97	INV 8.30 SW INV 8.20 N INV 8.30 S

THE REQUIREMENT FOR UNDERDRAIN SHALL BE DETERMINED BY GEOTECHNICAL ENGINEERING CONSULTANT

SUMMARY OF EXISTING DRAINAGE STRUCTURES WITH RIM/GRATE

STRUCTURE NUMBER	DESCRIPTION	RIM/GRATE	INVERT
111	VALLEY GUTTER INLET	13.98	INV 7.85 N INV 7.95 W INV 7.95 S INV 7.95 E
112	VALLEY GUTTER INLET	13.98	INV 8.15 E INV 8.05 W
113	JNC MH	15.55	INV 9.20 W INV 9.30 N INV 9.30 S
116	VALLEY GUTTER INLET	13.98	INV 10.85 N INV 10.95 S
117	VALLEY GUTTER INLET	13.98	INV 10.75 S INV 10.65 N
118	VALLEY GUTTER INLET	14.69	INV 9.25 N INV 9.35 S
119	VALLEY GUTTER INLET	14.69	INV 9.10 S INV 9.00 N
121	VALLEY GUTTER INLET	14.74	INV 6.90 E INV 7.00 S

THE REQUIREMENT FOR UNDERDRAIN SHALL BE DETERMINED BY GEOTECHNICAL ENGINEERING CONSULTANT

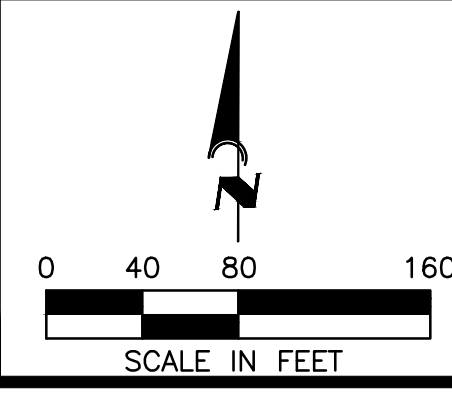
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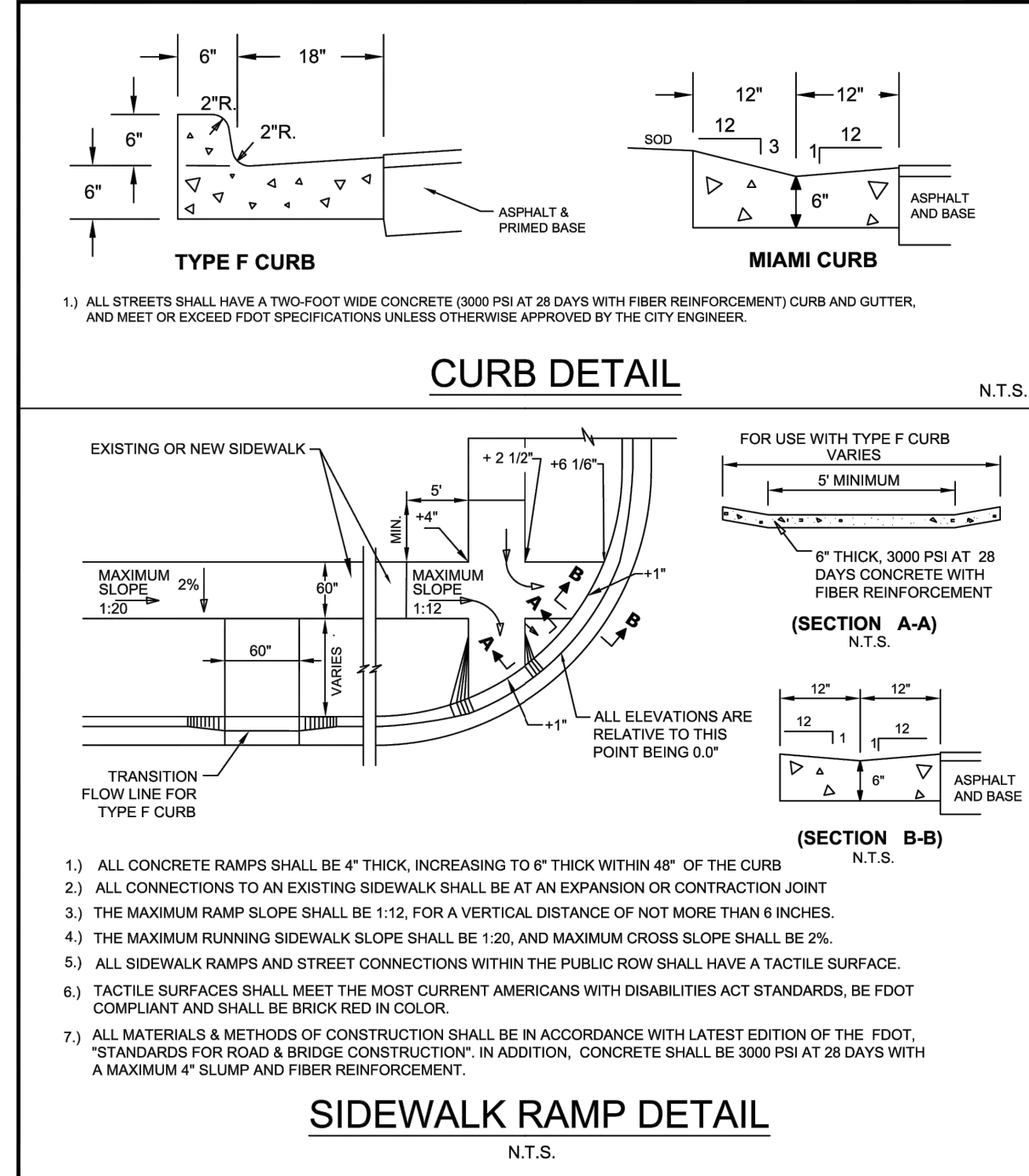
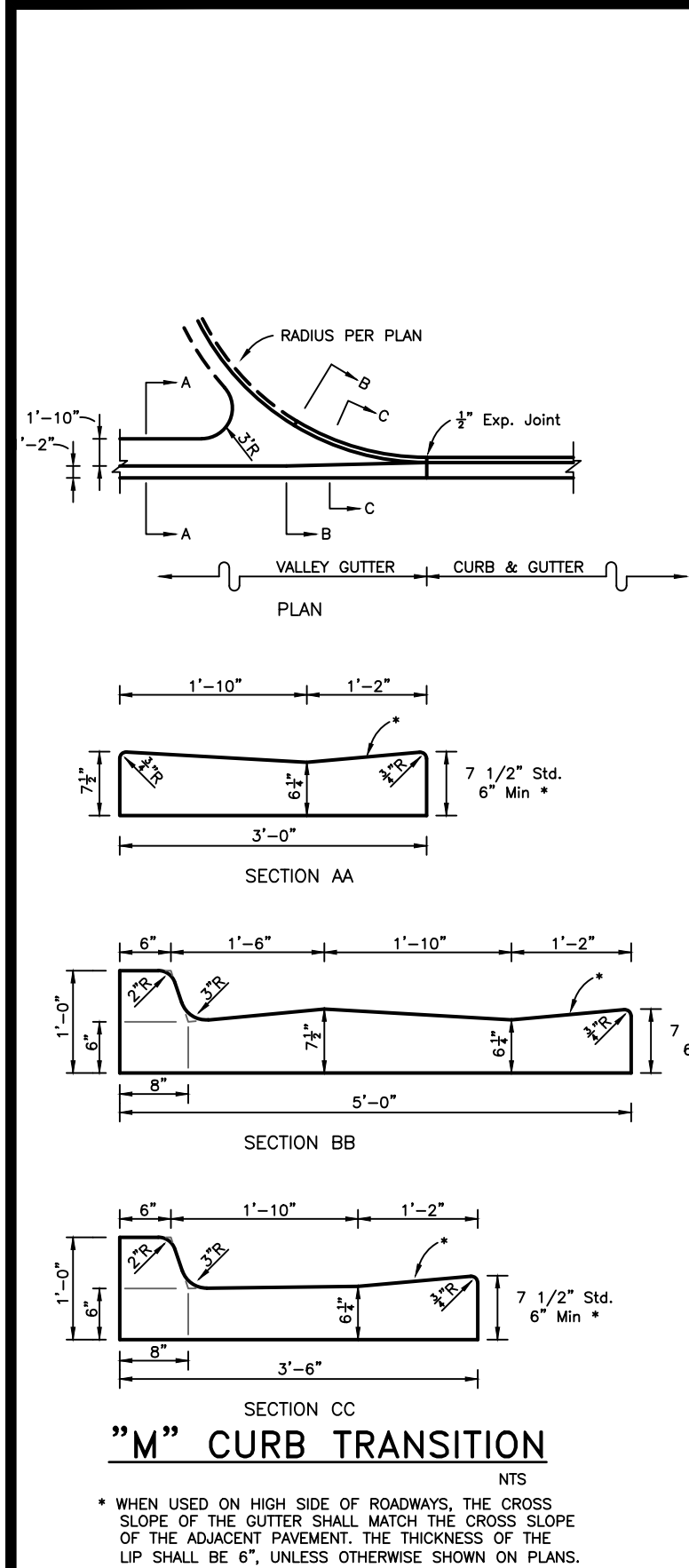
LAUREL ROAD DEVELOPMENT, LLC

MIRASOL TOWN CENTER

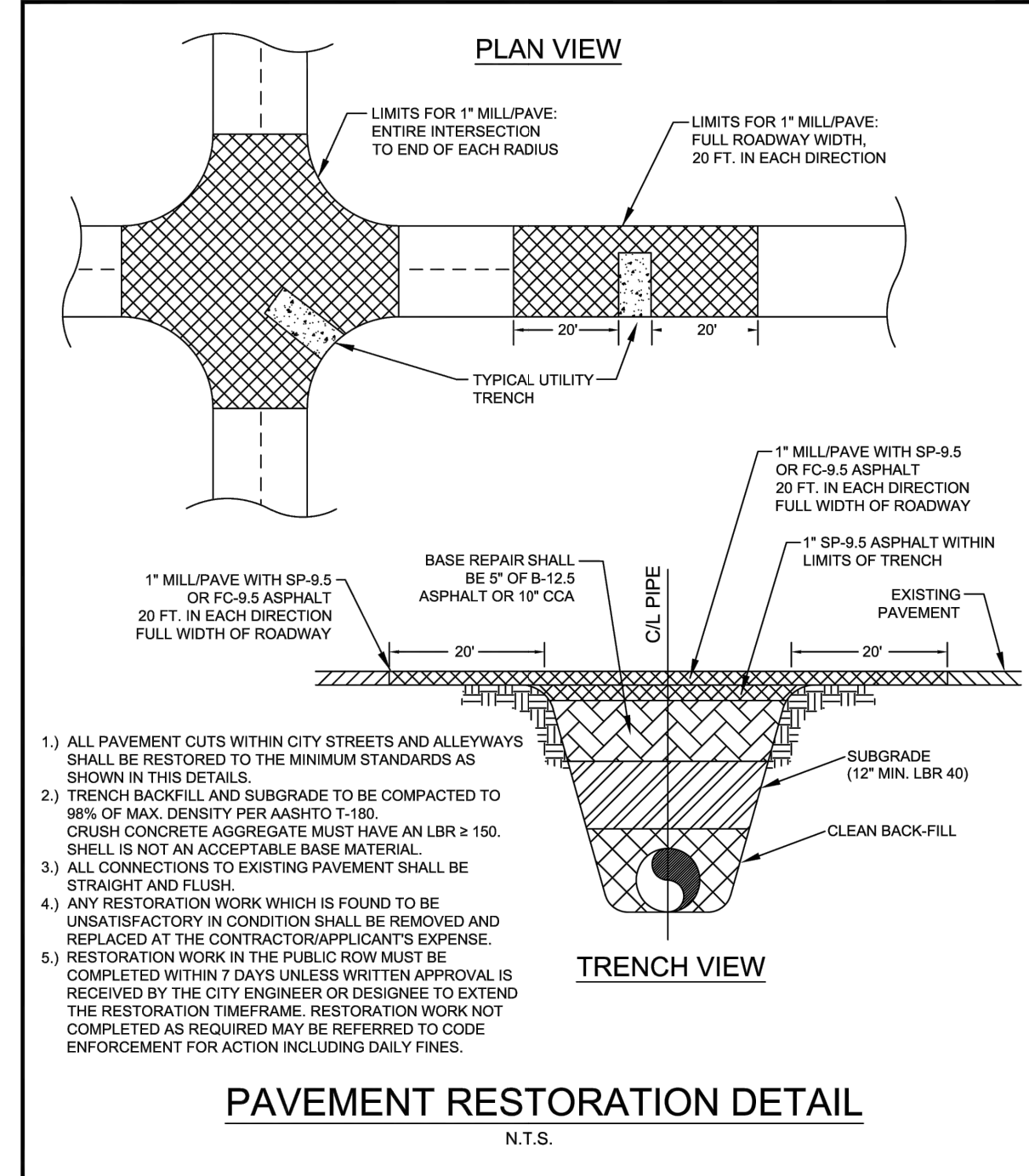
STORMWATER MANAGEMENT PLAN

PROJECT NUMBER: VANG0032
 SHEET NUMBER: 05

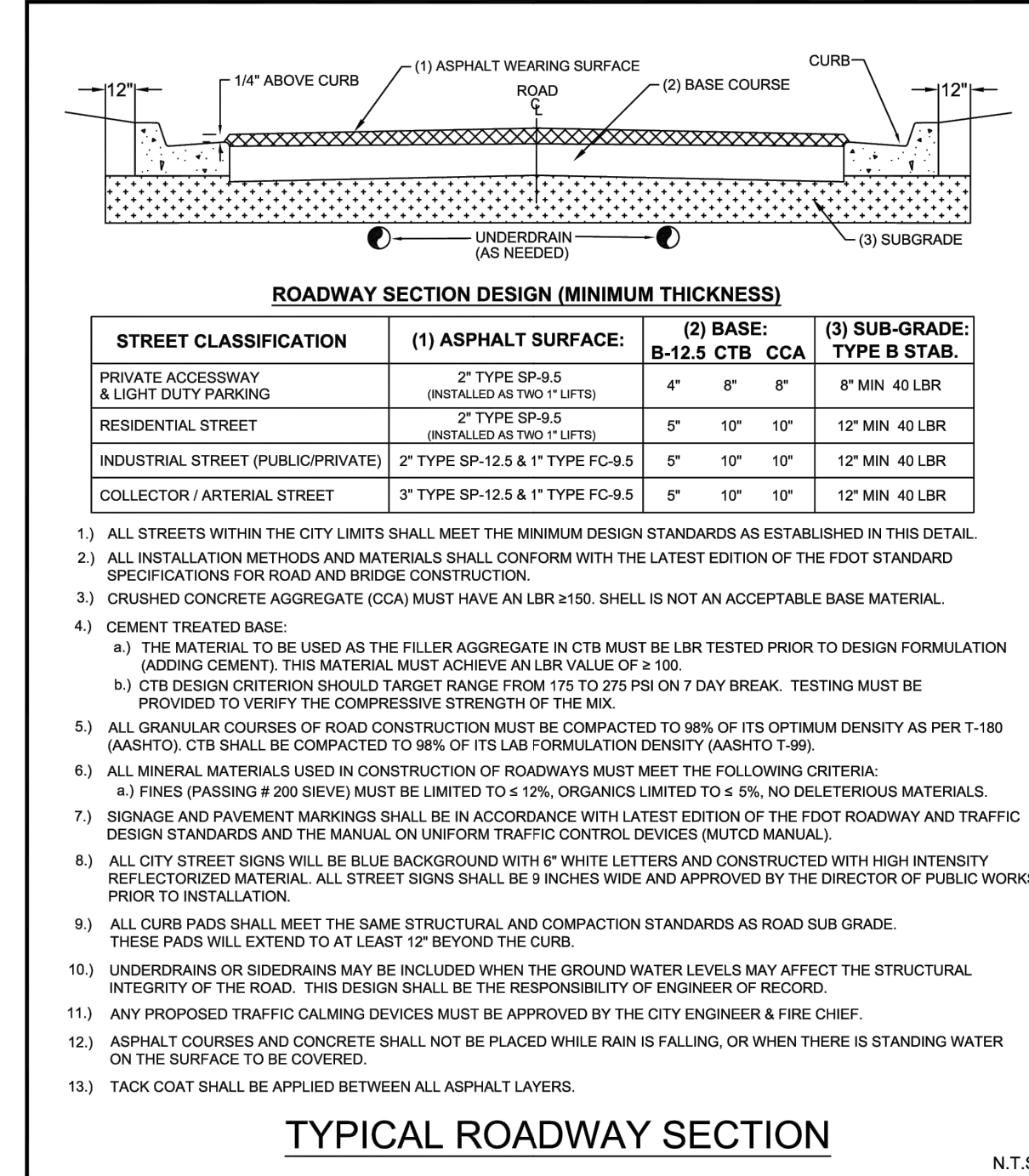
VERTICAL SCALE: 1" = 80'
 HORIZONTAL SCALE: N/A
 PROJECT ENGINEER: BOBBI R. CLAYBROOKE, PE
 DATE: 09/12/2022
 FLORIDA P.E. No. 90804



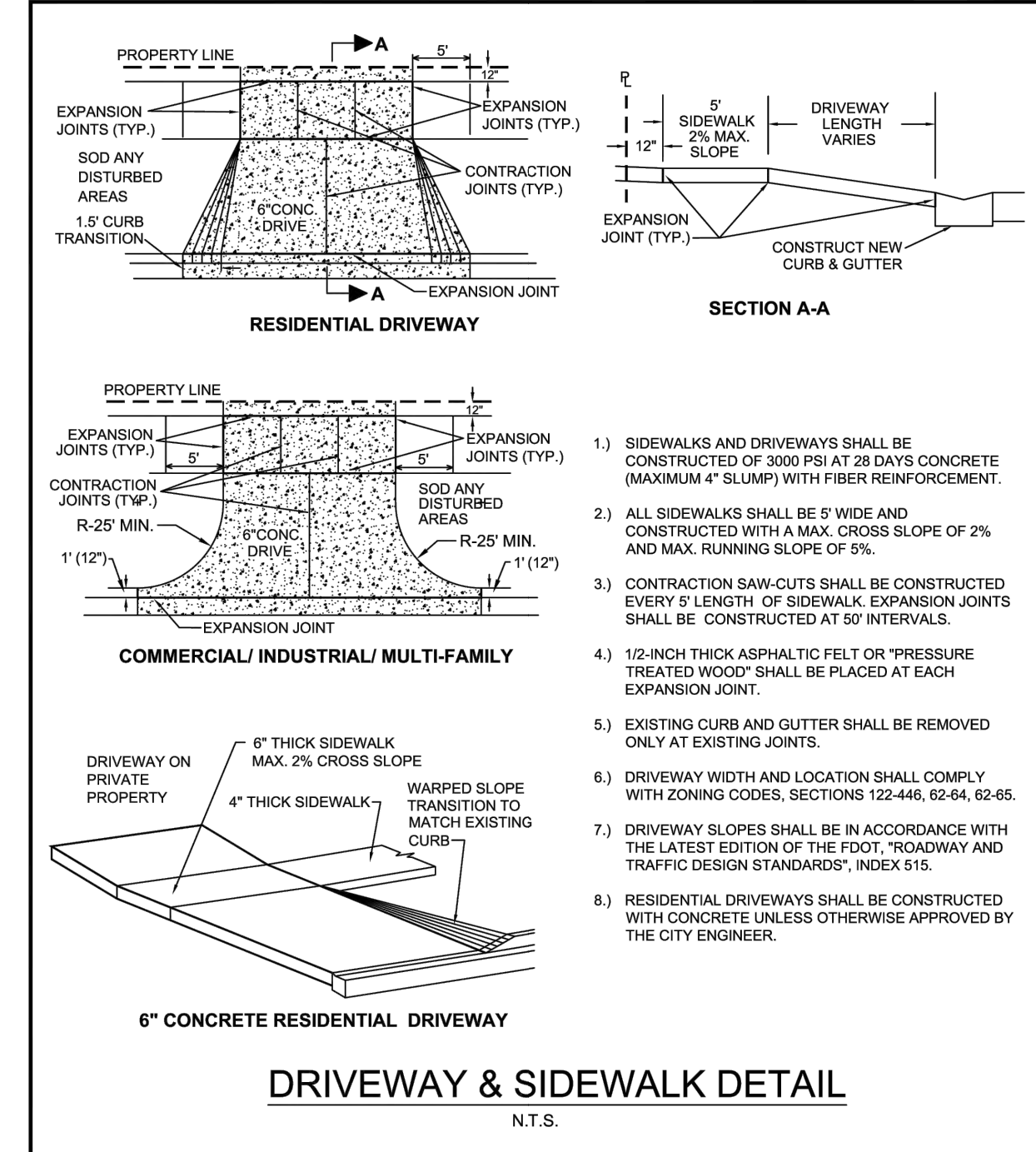
	CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE, FL 34285 (941) 486-2626 FAX (941) 480-3031	ENGINEERING	DATE JAN 2022
	SIDEWALK RAMPS & CURBING	SHEET NO. ENG-1	



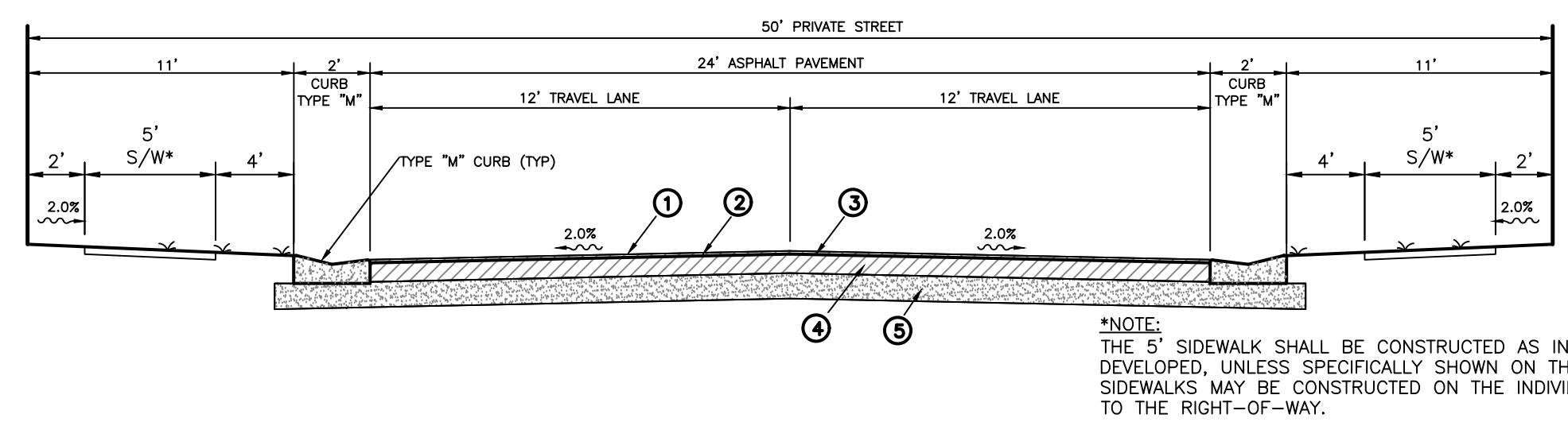
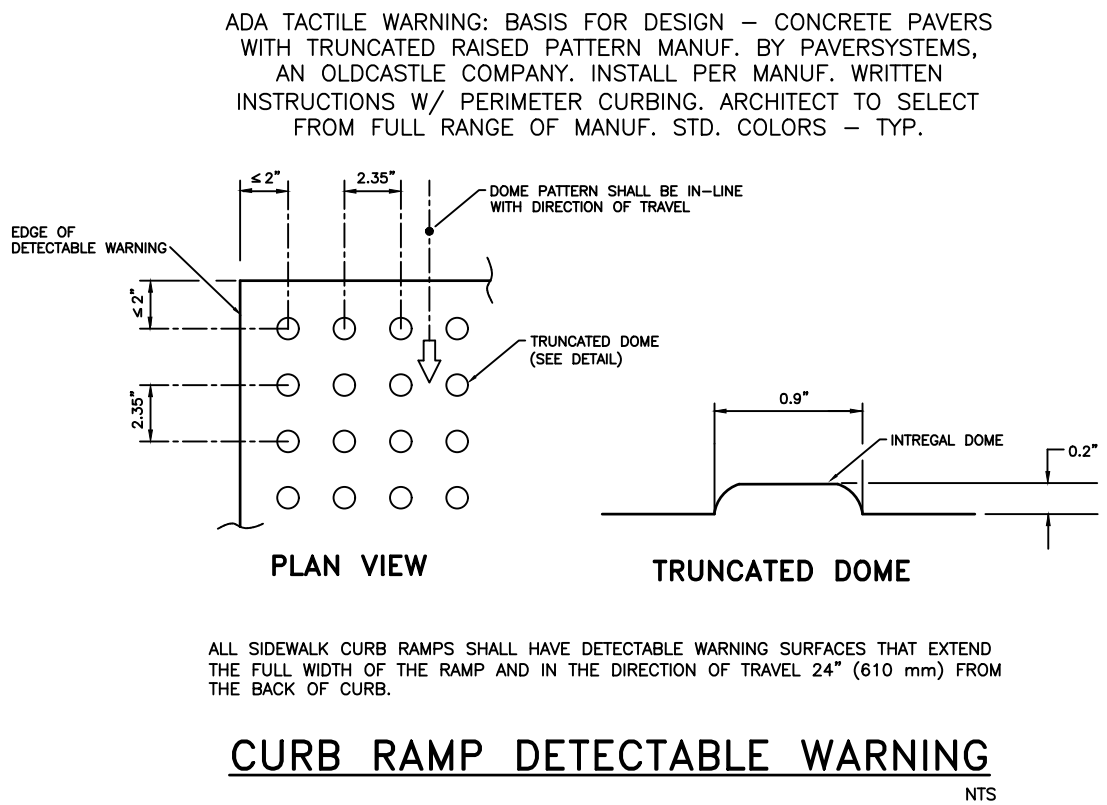
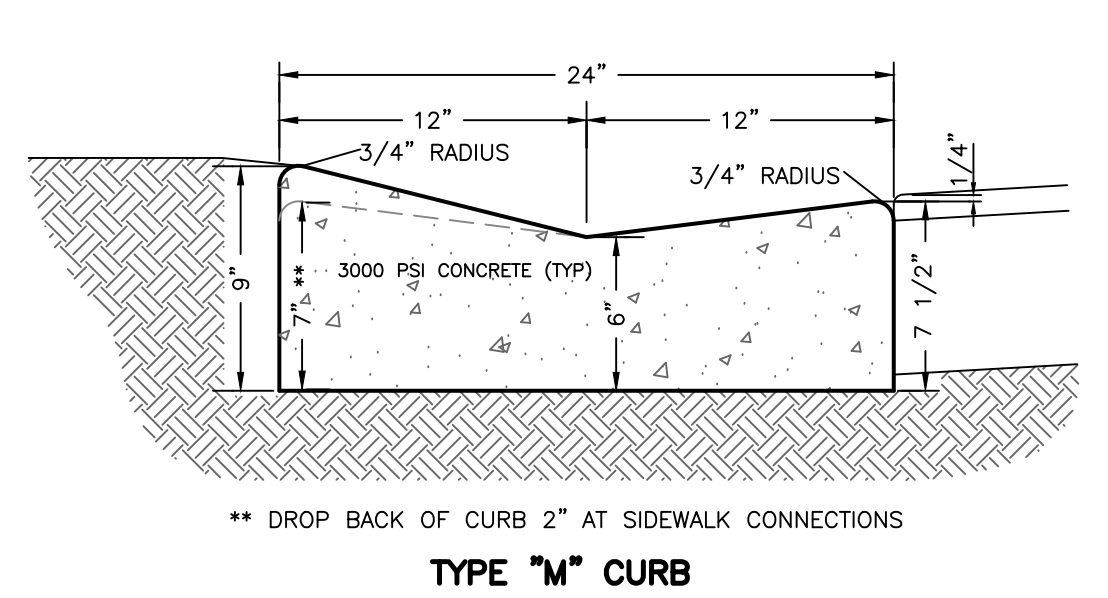
	CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE, FL 34285 (941) 486-2626 FAX (941) 480-3031	ENGINEERING	DATE JAN 2022
	PAVEMENT RESTORATION	SHEET NO. ENG-2	



	CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE, FL 34285 (941) 486-2626 FAX (941) 480-3031	ENGINEERING	DATE JAN 2022
	TYPICAL ROADWAY SECTION	SHEET NO. ENG-3	

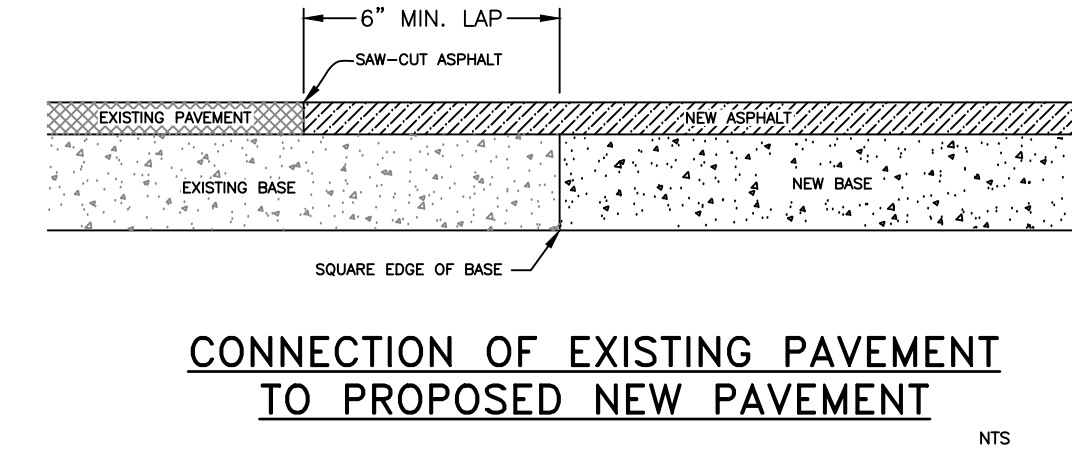


	CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE, FL 34285 (941) 486-2626 FAX (941) 480-3031	ENGINEERING	DATE JAN 2022
	TYPICAL DRIVEWAY & SIDEWALK	SHEET NO. ENG-4	



- PAVEMENT NOTES**
1. THE ENGINEER OF RECORD HAS DETERMINED THAT THE SUB-BASE, BASE AND SURFACE COURSE COURSE SPECIFIED FOR ON-SITE PAVING IS SATISFACTORY FOR THE USE INTENDED.
 2. ALL PAVEMENT MARKINGS SHALL BE "ALLOY THERMOPLASTIC" 90 MILS IN THICKNESS, EXCEPT FOR STRIPING OF PARKING SPACES WHICH SHALL BE PAINTED.
 3. A TWO FOOT WIDE STRIP OF SOD IS TO BE PROVIDED BEHIND ALL CURBS AND PAVEMENT EDGES. SOD OR GRASSING/MULCHING SHALL BE PROVIDED FOR ALL OTHER OPEN AREAS UNLESS NOTED OTHERWISE ON LANDSCAPE PLANS.

- 1 ASPHALTIC CONCRETE STRUCTURAL SURFACE, 1" THICK, TYPE SP-9.5 - LIFT 2
- 2 ASPHALTIC CONCRETE STRUCTURAL SURFACE, 1" THICK, TYPE SP-9.5 - LIFT 1
- 3 BITUMINOUS PRIME COAT
- 4 BASE ALTERNATES - 10" THICK CRUSHED CONCRETE (MINIMUM LBR 100) OR 10" CEMENT TREATED BASE
- 5 STABILIZED SUBGRADE - 12" THICK (MINIMUM LBR 40) COMPACTED TO 98% DENSITY, AASHTO T-180, MODIFIED PROCTOR, SUBGRADE SHALL BE FIRM AND UNYIELDING AND CONTAIN NO ORGANIC MATERIAL IN THE TOP 6"



GENERAL NOTES:

ALL SIDEWALKS, CURB, GUTTERS AND INTERSECTIONS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE.

SIDEWALKS SHALL HAVE A HANDICAP RAMP WITH TACTILE SURFACE AND CURB TRANSITION PER FDOT INDEX #304 AND CITY OF VENICE REQUIREMENTS

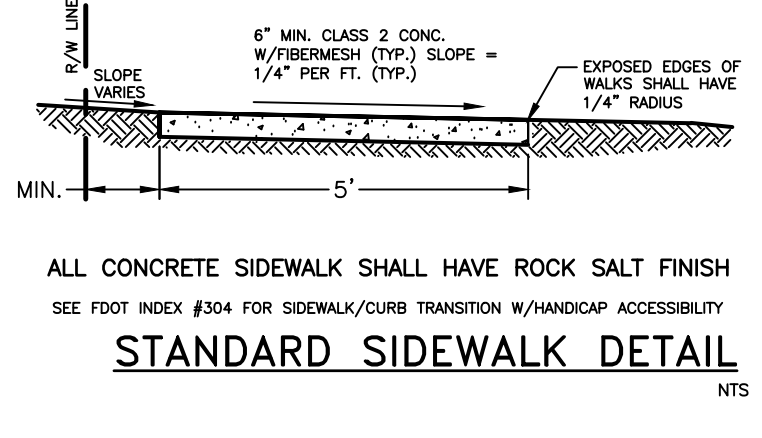
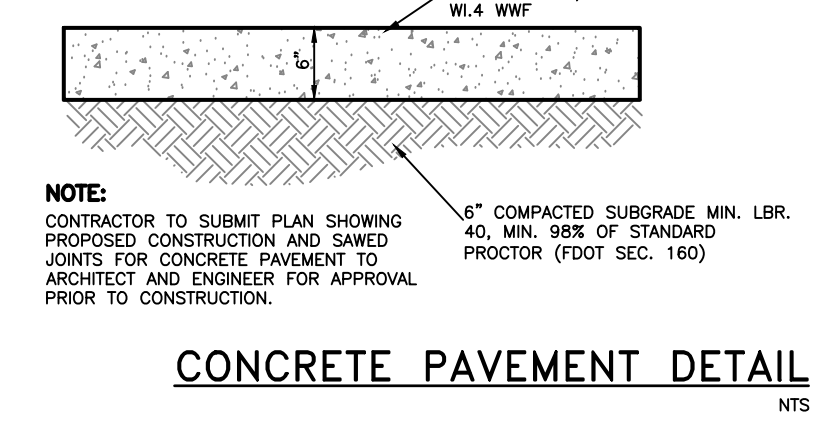
SEE CITY OF VENICE DETAIL SHEET #PS-1 FOR SIDEWALK DETAILS

ALL PRIVATELY MAINTAINED ROAD SIGNAGE AND STRIPING SHALL BE CONSISTENT WITH ALL PROVISIONS OF THE MOST RECENT EDITION OF THE MUTCD, INCLUDING SIGN RETROREFLECTIVITY, DESIGN, PLACEMENT AND USE.

FOR ON SITE STRIPING DETAILS PLEASE SEE FDOT INDEX 17346. (CROSSWALK, WHITE STOP BAR, AND ENTRANCE LANE STRIPING)

TYPE	LOCATION	TABLE OF SIDEWALK JOINTS	TABLE OF SIDEWALK THICKNESS
A	AT END OF DRIVEWAY AND SIDEWALK	1/2" MIN. RAD.	4"
B	AT DRIVEWAY AND OTHER AREAS	1/2" MIN. RAD.	6"
C	AT DRIVEWAY AND OTHER AREAS	1/2" MIN. RAD.	6"

- SIDEWALK NOTES:**
1. INQUIRE OFFSET FROM PROPERTY LINES MEET WITH THE APPROVED PLAN.
 2. THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS.
 3. CONTRACTION JOINTS TO BE PLACED AT ALL DRIVEWAYS AND SIDEWALK INTERSECTIONS AND WHEN OPERATIONS CEASE FOR ANY CONSIDERABLE TIME. SIDEWALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM OF 100 FEET.
 4. THE PITCH OF THE SIDEWALK SHALL BE NO MORE THAN ONE QUARTER INCH PER FOOT TOWARDS THE ROAD OR AS THE APPROVED PLAN SHOWS. THE INCLINE WILL NOT BE GREATER THAN 1:21.
 5. SOD SHALL BE PLACED WITHIN THE COUNTY RIGHT-OF-WAY FROM BACK OF CURB TO THE FACE OF THE SIDEWALK SHALL NOT EXCEED 4:1.
 6. ALL ORGANIC MATERIAL AND DEBRIS SHALL BE REMOVED, AREA GRADED AND COMPACTED PRIOR TO CONCRETE PAVEMENT.



REV. NO.	REV. DATE	REVISION DESCRIPTION	BY	REV. NO.	REV. DATE	REVISION DESCRIPTION	BY

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DATE: 6/13/22 CD

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Phone: (941) 377-9178 | www.amengllc.com
CA #33105 | LB #4334

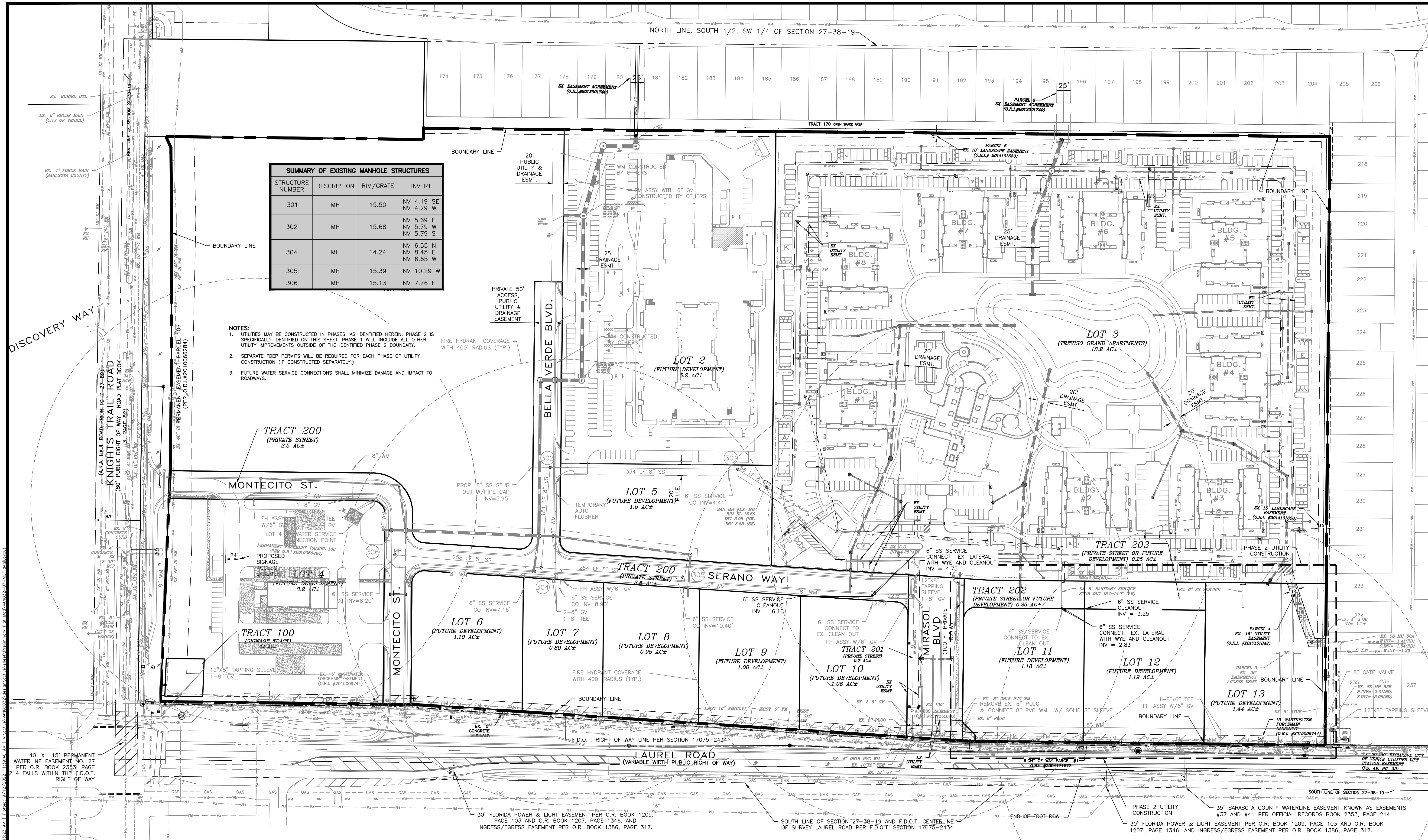
OWNER	LAUREL ROAD DEVELOPMENT, LLC	SCALE	AS NOTED
PROJECT	MIRASOL TOWN CENTER	SCALE	N/A
DATE		SCALE	NGVD29
PROJECT NUMBER		PROJECT NUMBER	VANG0032
SHEET NUMBER		SHEET NUMBER	06

PROJECT ENGINEER

BOBBI R. CLAYBROOKE, PE

DATE

FLORIDA P.E. No. 90804

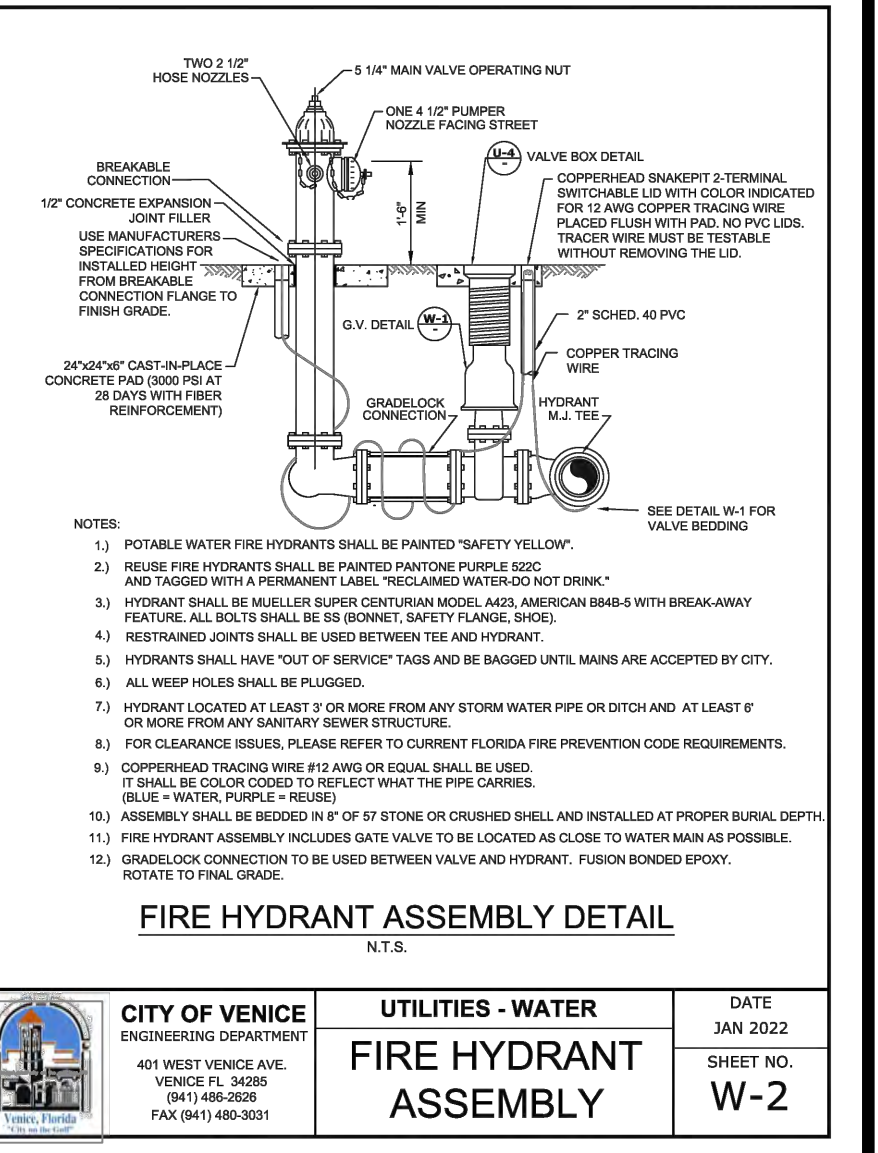
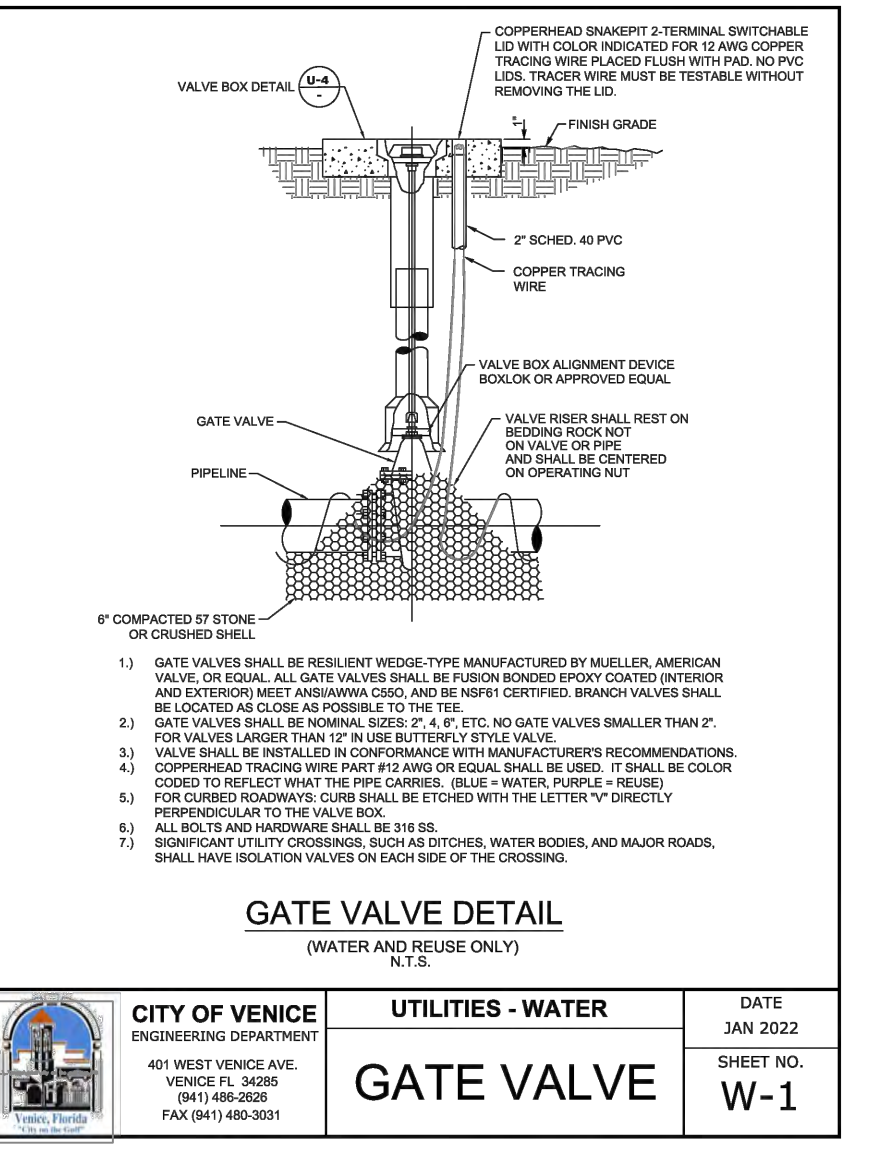
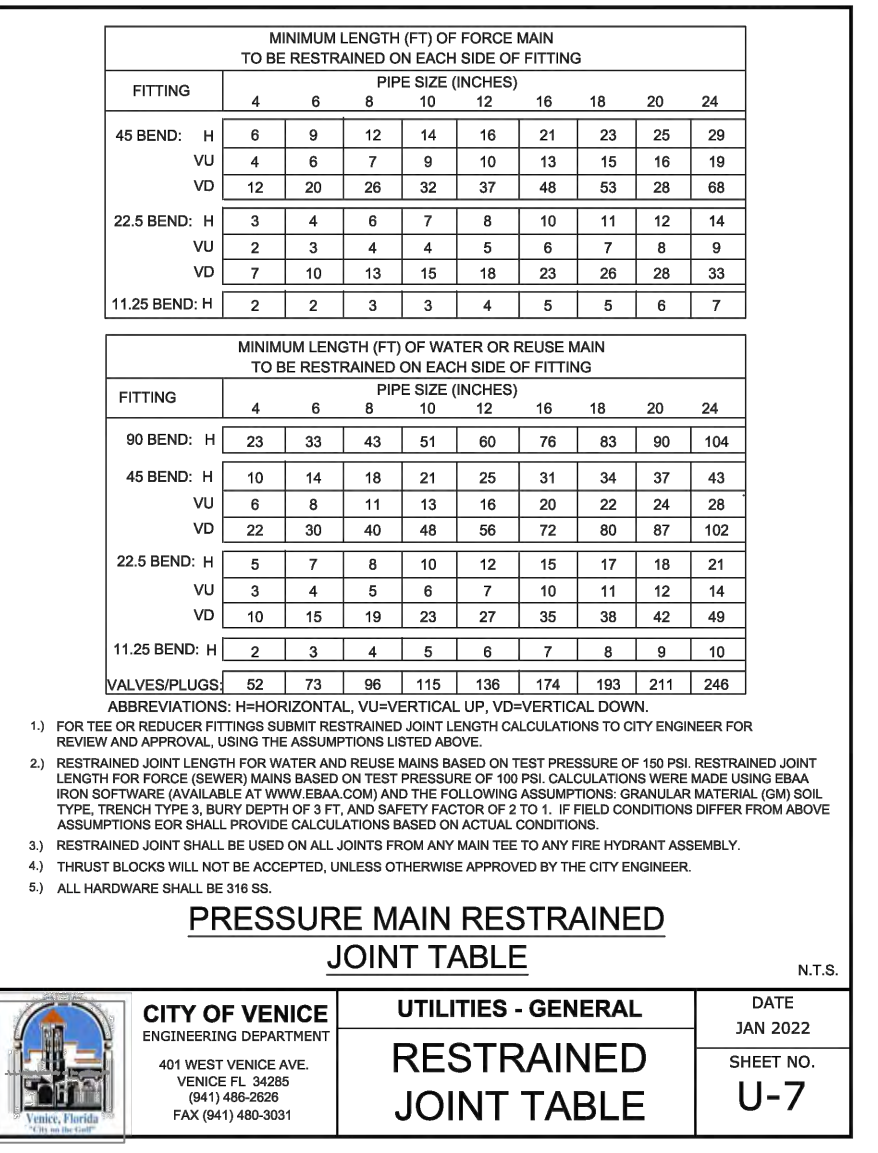
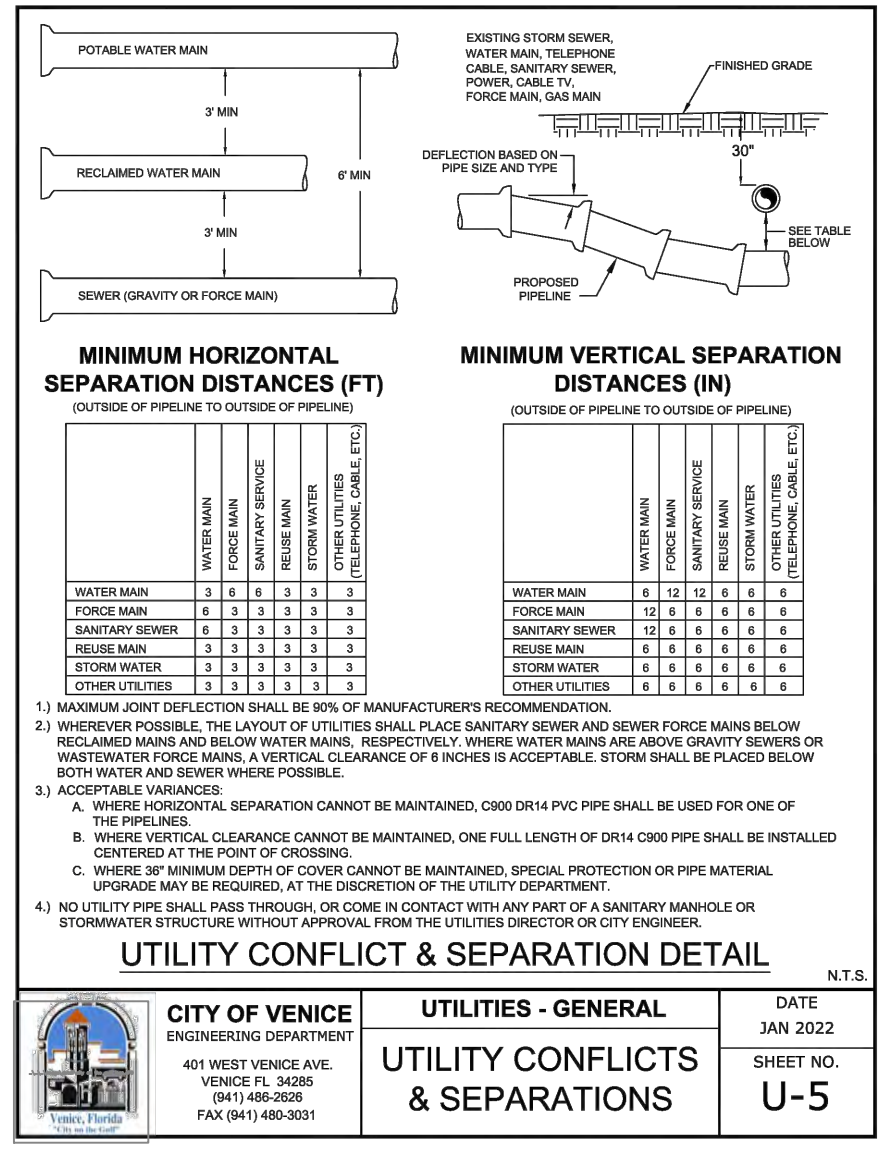
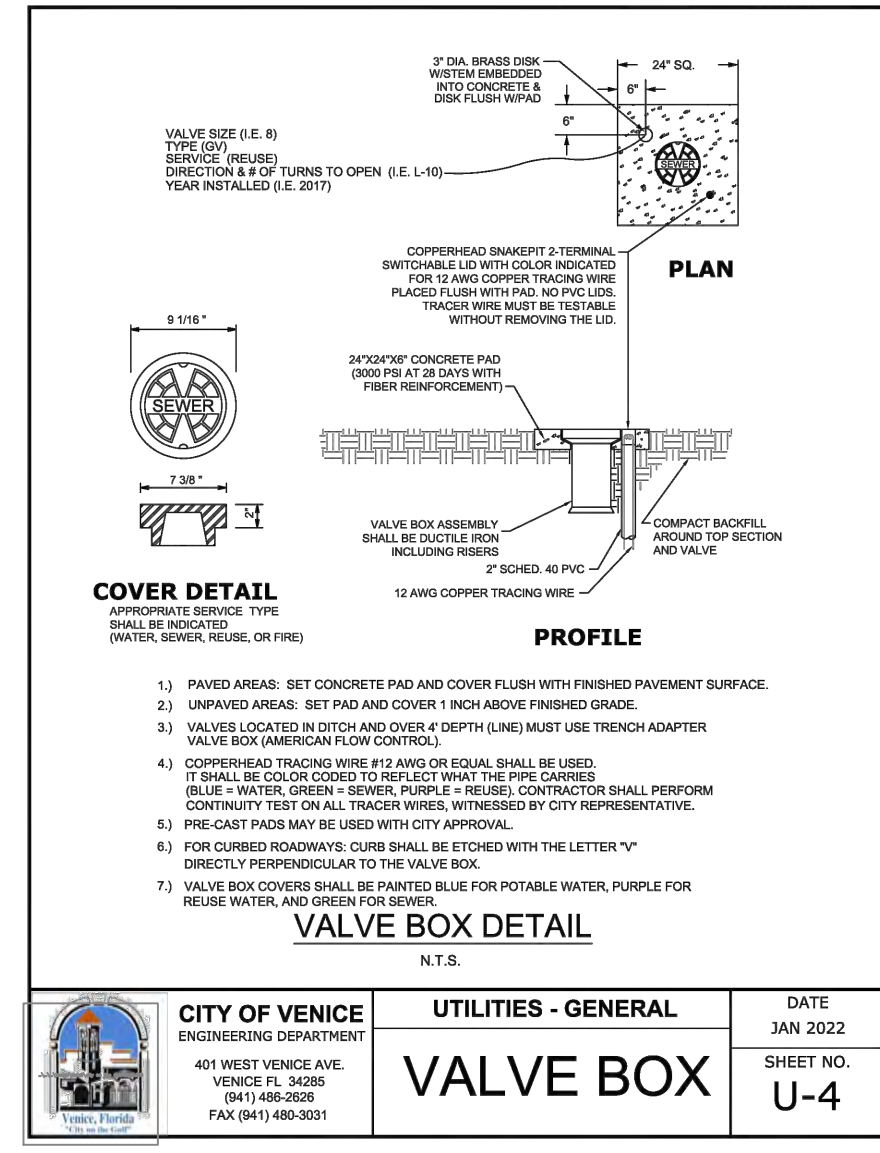
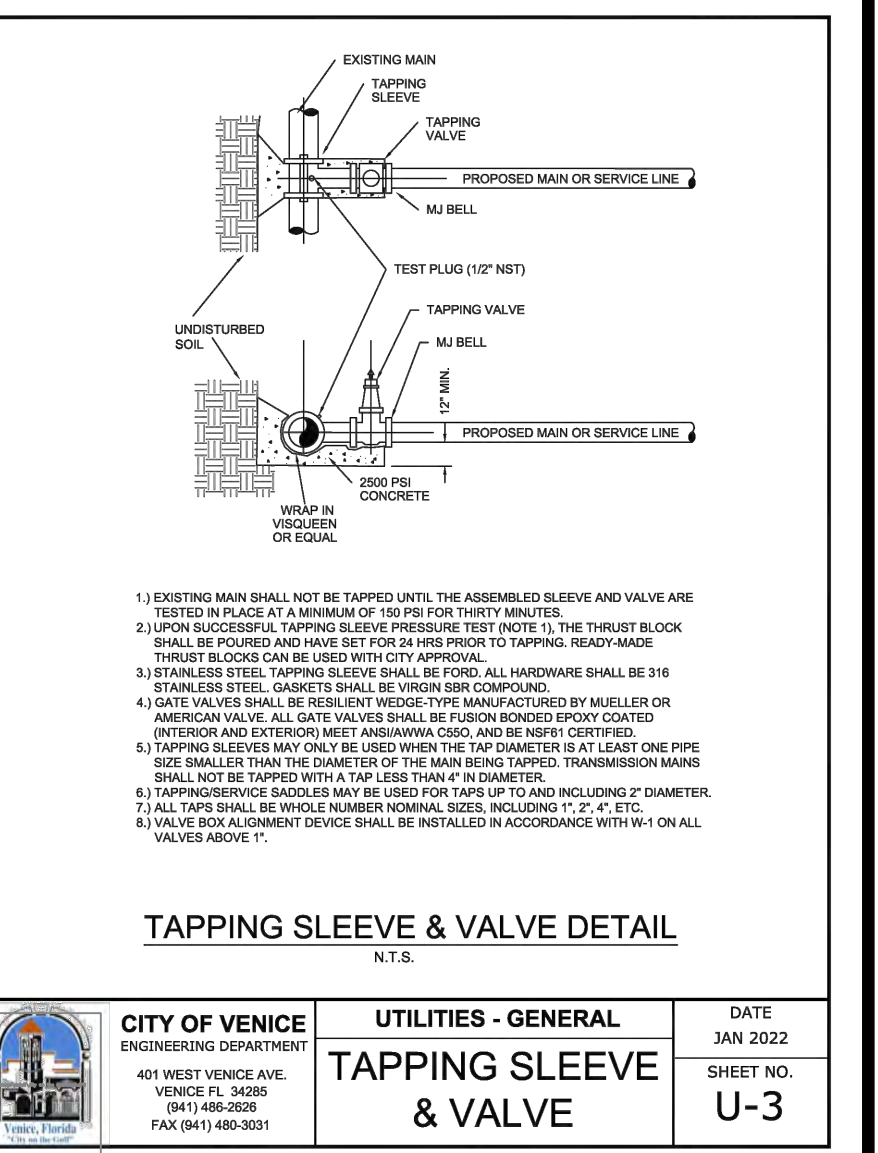
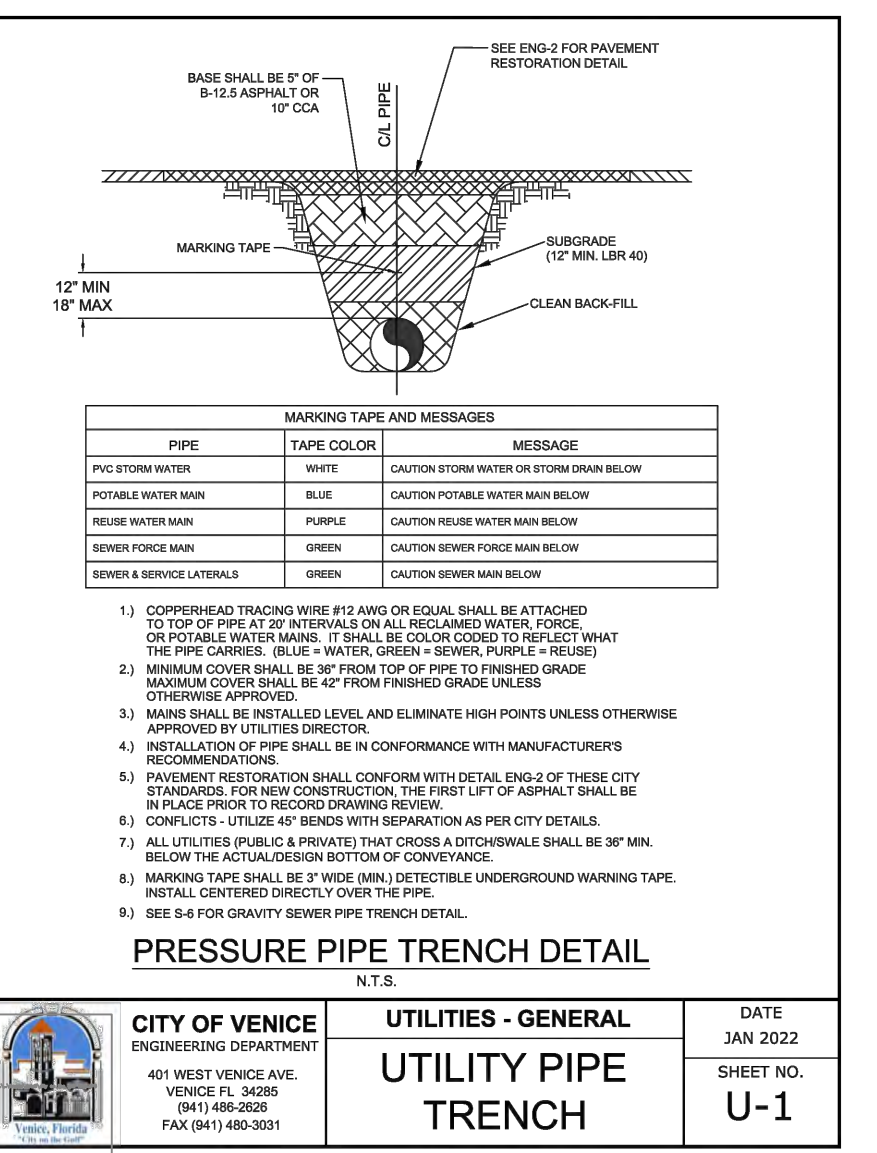
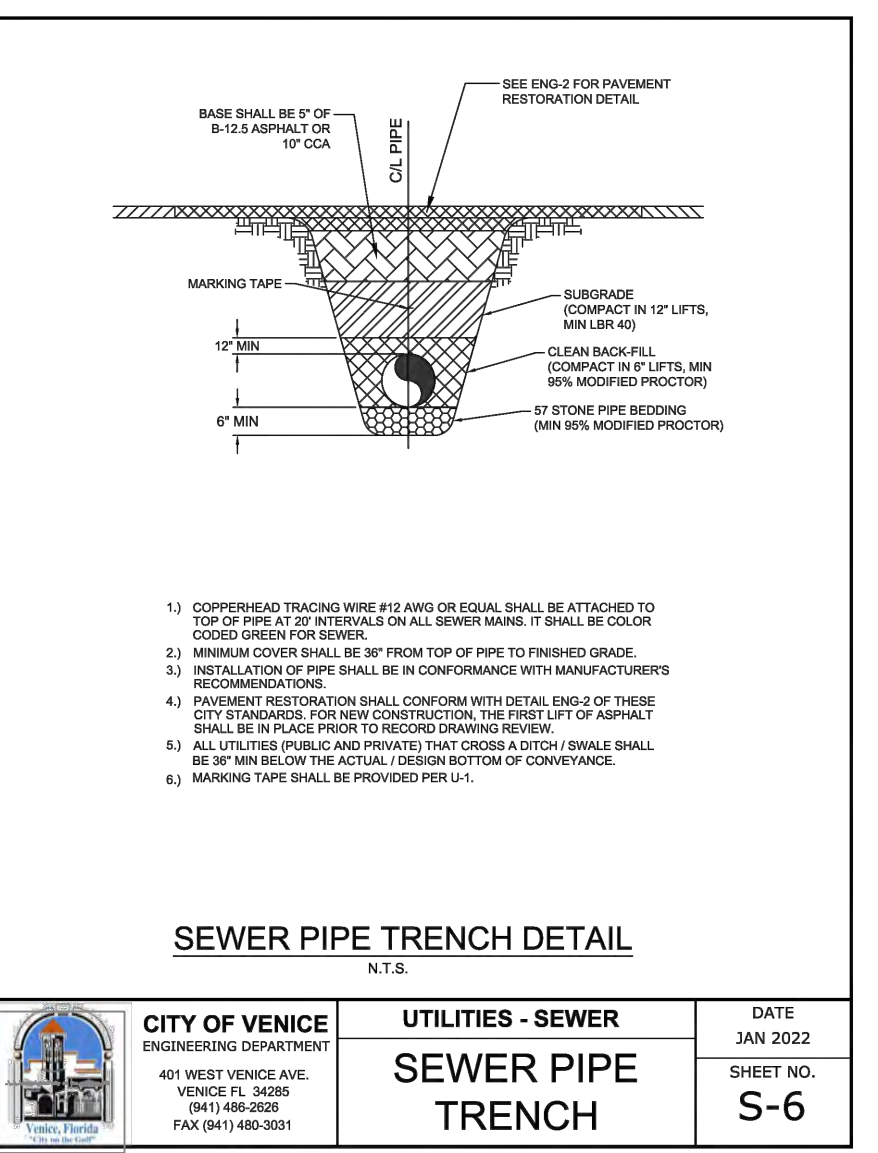
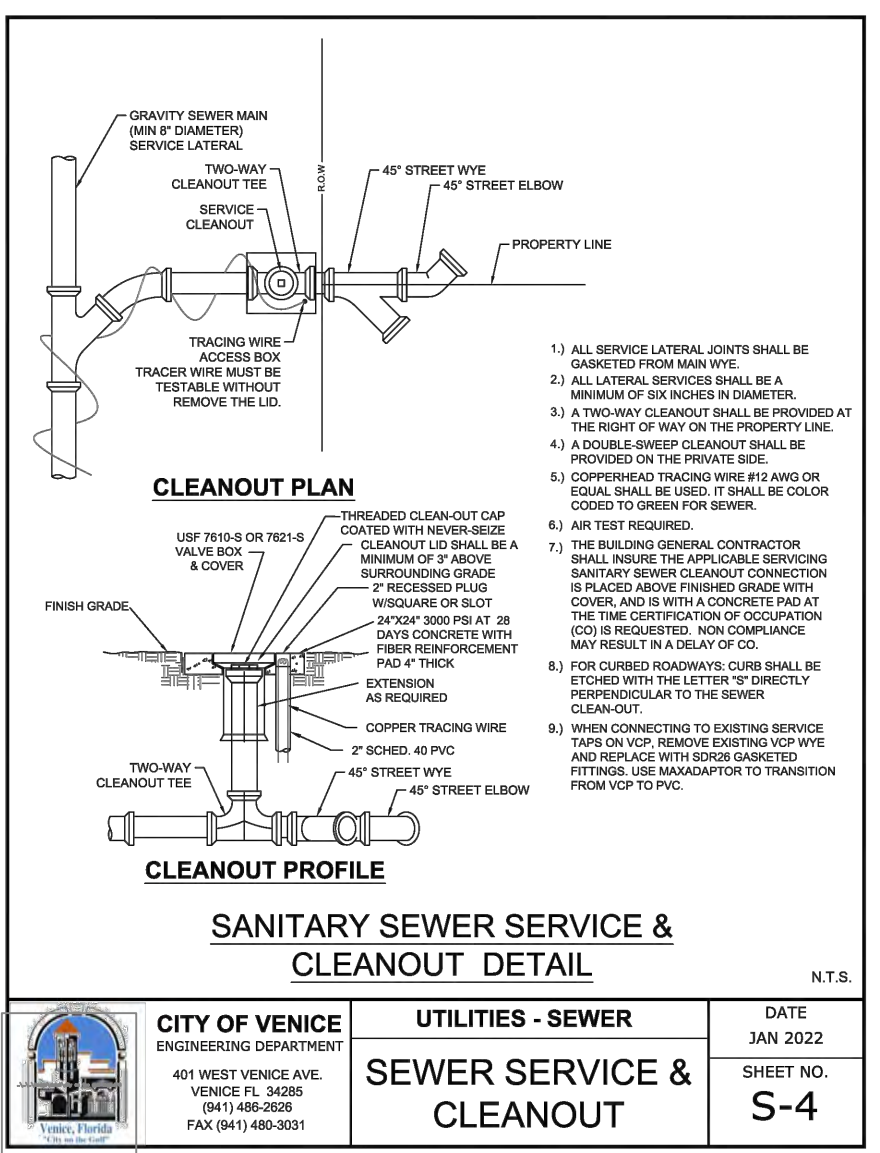
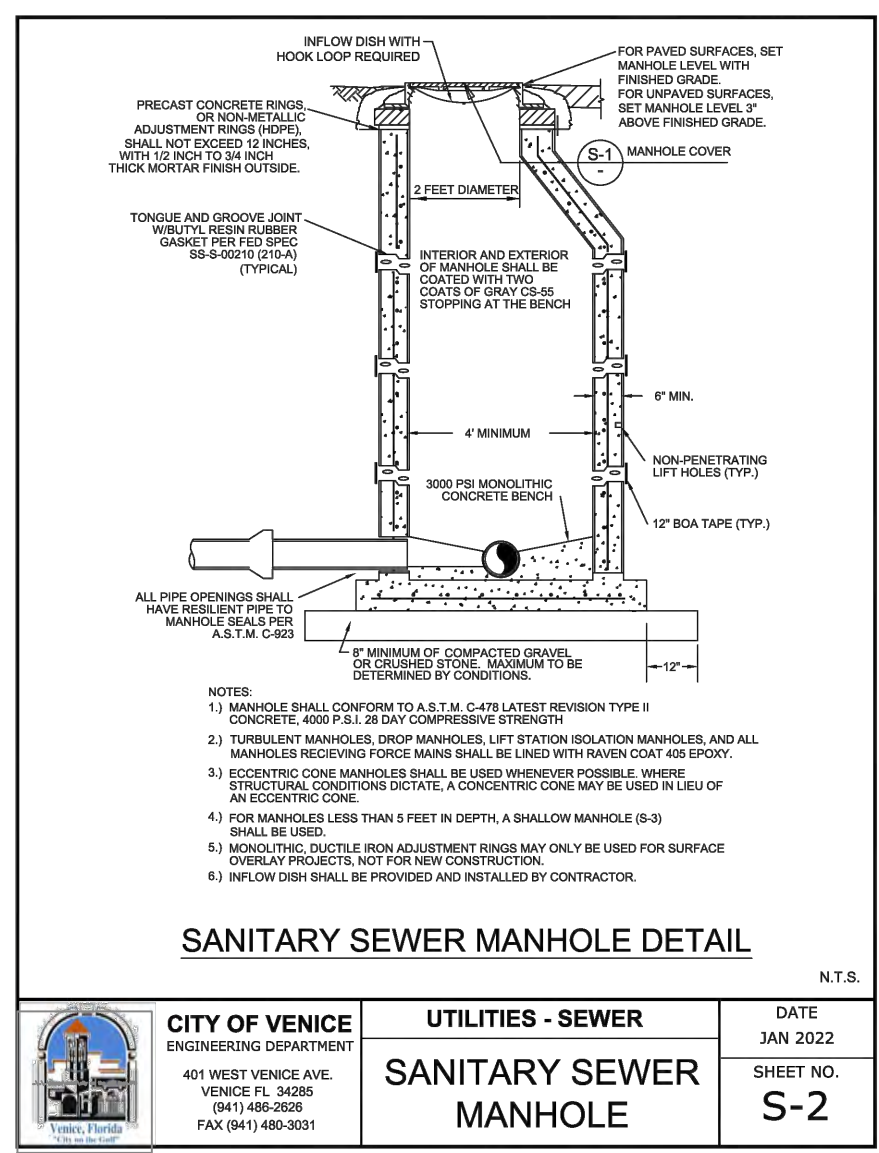
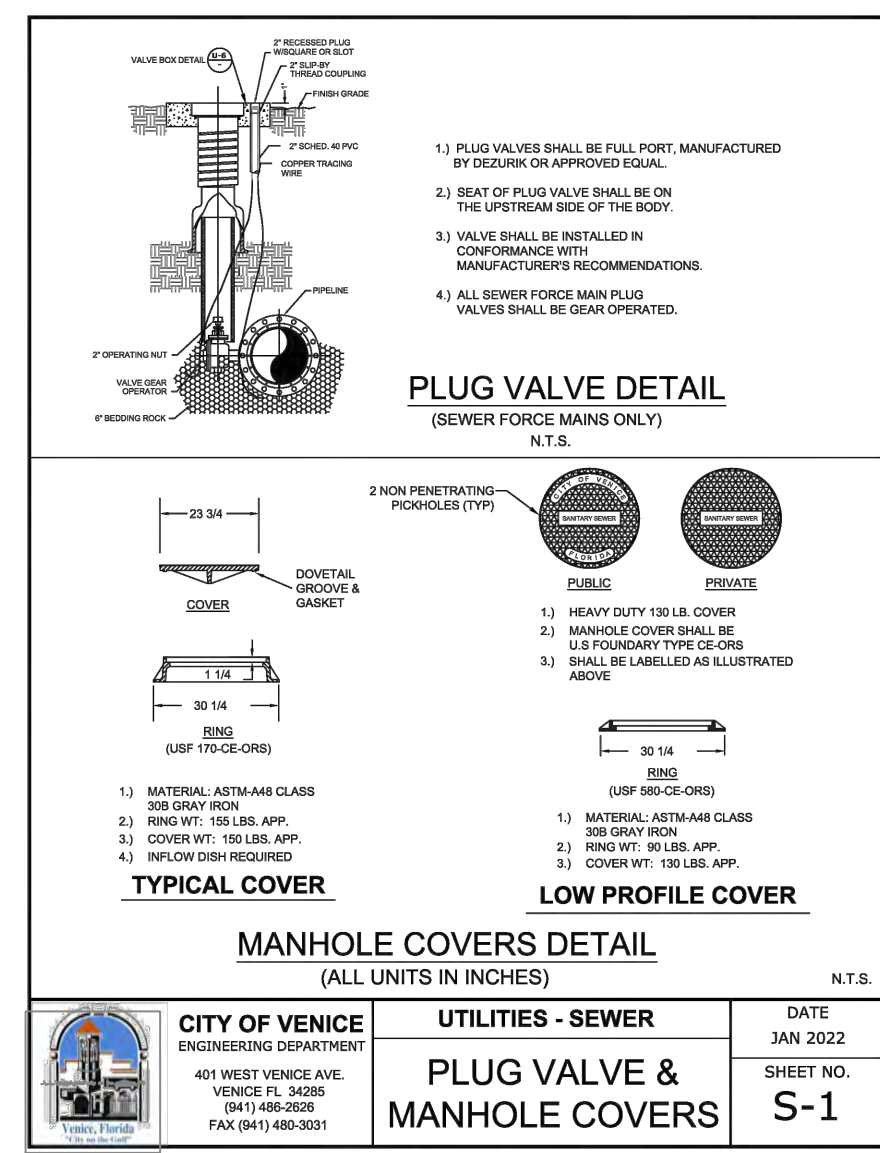


SUMMARY OF EXISTING MANHOLE STRUCTURES			
STRUCTURE NUMBER	DESCRIPTION	RIM/GRATE	INVERT
301	MH	15.50	INV 4.19 SE INV 4.29 W
302	MH	15.68	INV 5.69 E INV 5.79 S INV 5.79 S
304	MH	14.24	INV 6.55 N INV 8.45 E INV 6.65 W
305	MH	15.39	INV 10.29 W
306	MH	15.13	INV 7.76 E

- NOTES:**
- UTILITIES MAY BE CONSTRUCTED IN PHASES, AS IDENTIFIED HEREIN. PHASE 2 IS SPECIFICALLY IDENTIFIED ON THIS SHEET. PHASE 1 WILL INCLUDE ALL OTHER UTILITY IMPROVEMENTS OUTSIDE OF THE IDENTIFIED PHASE 2 BOUNDARY.
 - SEPARATE FDEP PERMITS WILL BE REQUIRED FOR EACH PHASE OF UTILITY CONSTRUCTION (IF CONSTRUCTED SEPARATELY.)
 - FUTURE WATER SERVICE CONNECTIONS SHALL MINIMIZE DAMAGE AND IMPACT TO ROADWAYS.

<p>09/02/22 CHANGES PER CITY COMMENTS</p>	<p>CD</p>	<p>CALL BEFORE YOU DIG! "SUNSHINE STATE ONE-CALL CENTER" 1-800-432-4770</p> <p>THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.</p> <p>DATE: 6/13/22</p> <p>CD</p> <p>PRELIMINARY PLAT MOD</p>	<p>Civil Engineering Land Surveying</p> <p>AM ENGINEERING, LLC.</p> <p>8340 Consumer Court Sarasota, FL 34240 Phone: (941) 377-9178 www.amengllc.com CA #33105 LB #4334</p>	<p>LAUREL ROAD DEVELOPMENT, LLC</p> <p>MIRASOL TOWN CENTER</p> <p>MASTER UTILITY PLAN</p>	<p>HORIZONTAL SCALE: 1" = 80'</p> <p>VERTICAL SCALE: N/A</p> <p>PROJECT DRAWING: NGVD29</p> <p>PROJECT NUMBER: VANG0032</p> <p>DATE: 07</p>	<p>BOBBI R. CLAYBROOKE, PE</p> <p>DATE: 09/12/2022</p> <p>FLORIDA P.E. No. 90804</p>
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© All Exhibitions 2022 Sheet: 3/2/2022 11:43:31 PM | Exhibitor: 9/29/2022 11:43:32 PM | Location: \\NAS003\34086\Projects\Water\Water\Drawings - Mod - W20\mod\mod.dwg

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DATE: 6/13/22
BY: CD

PRELIMINARY PLAT MOD

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CA #33105 | LB #4334

LAUREL ROAD DEVELOPMENT, LLC

MIRASOL TOWN CENTER

WATER AND SEWER DETAILS

ORIGNAL SCALE: N/A
SERIAL SCALE: N/A
SERIAL DRAWING: NGVD29
PROJECT NUMBER: VANG0032
SHEET NUMBER: 08

BOBBI R. CLAYBROOKE, PE
DATE: 08/04
FLORIDA P.E. No. 90804

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