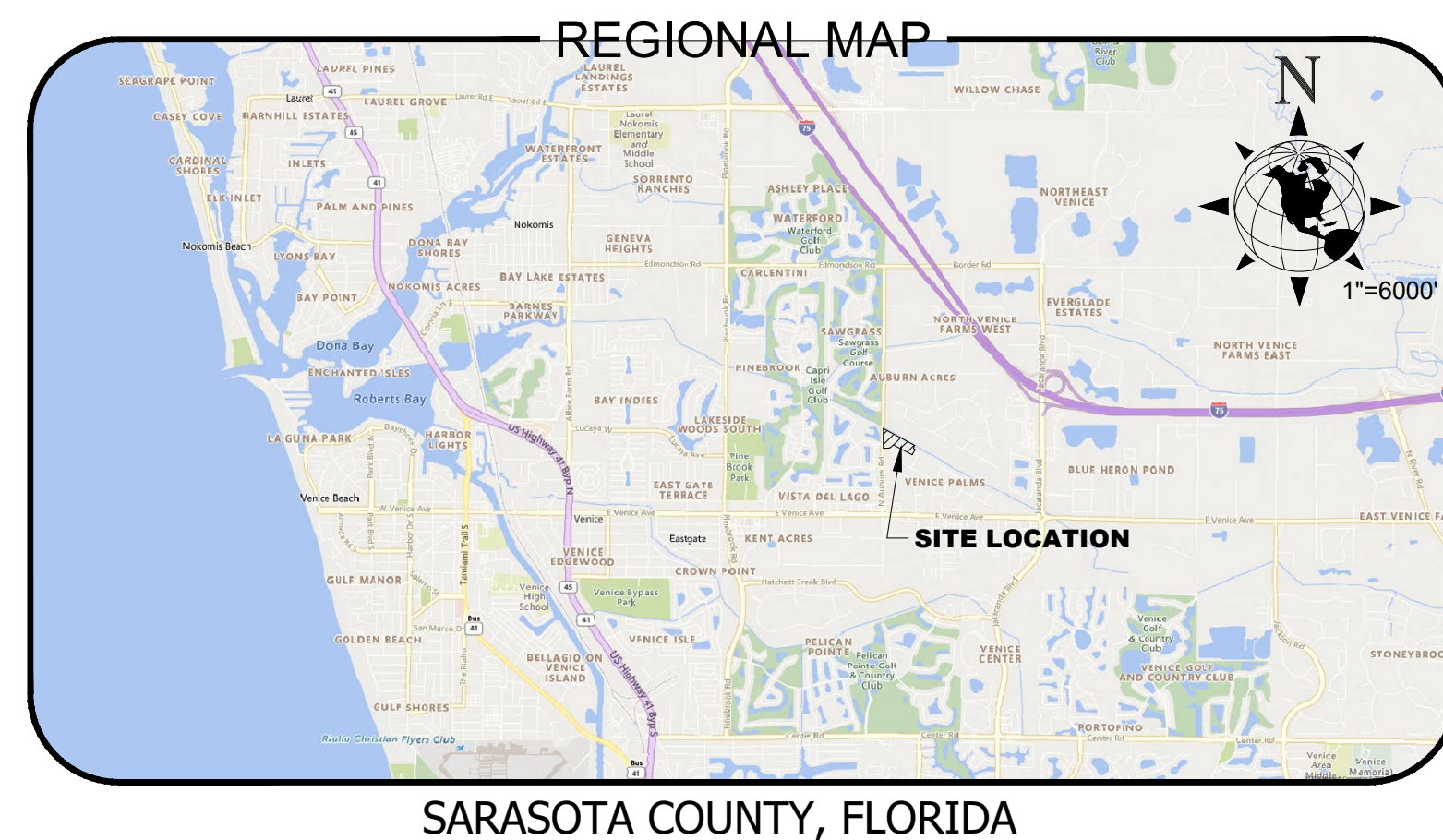


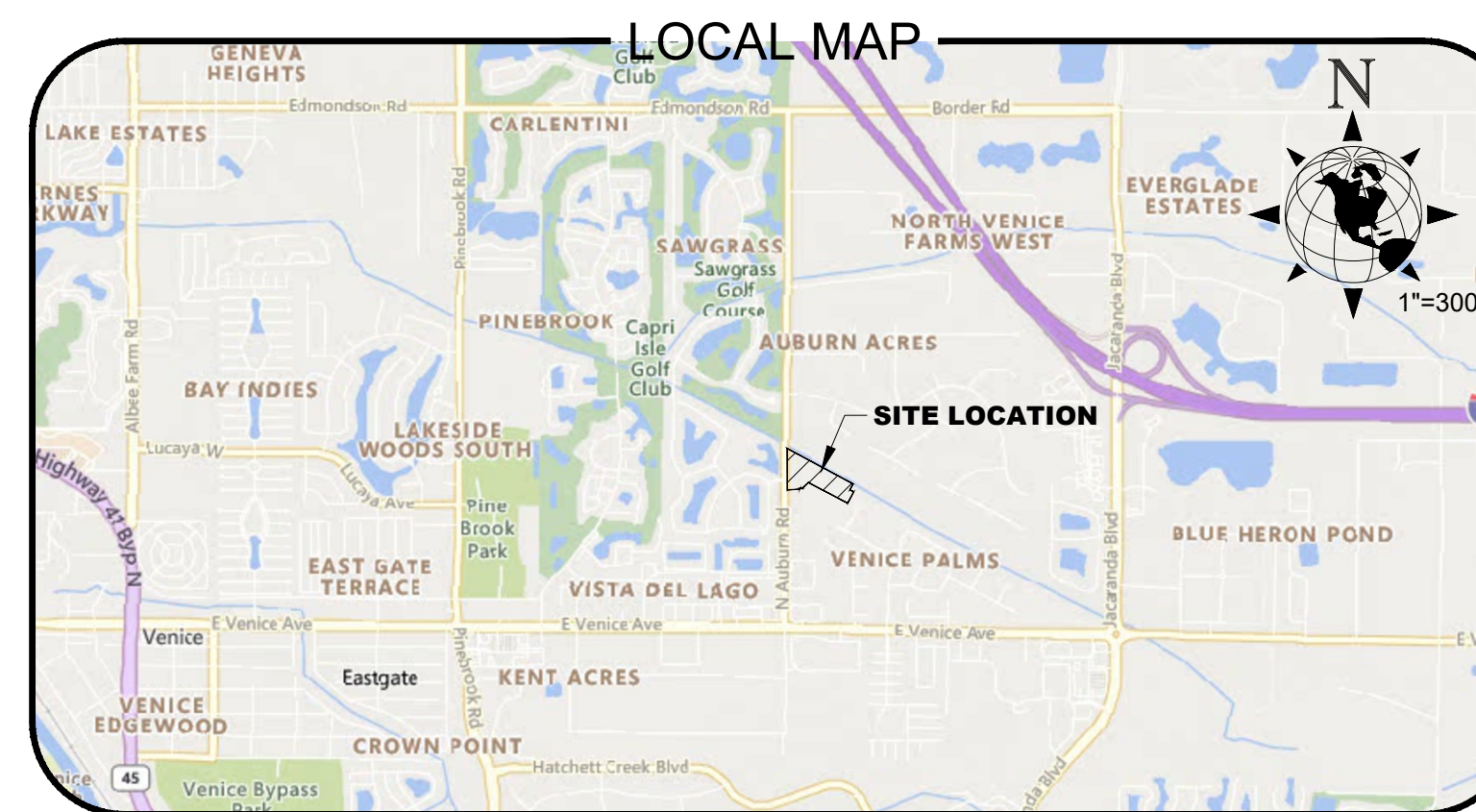
PRELIMINARY PLAT SET for  
**CHALETS AT VENICE**  
 (FKA AUBURN ROAD DEVELOPMENT)  
 A RESIDENTIAL SUBDIVISION

PROPERTY ADDRESS: 282 N. AUBURN ROAD, VENICE, FLORIDA 34292  
 SECTION 10, TOWNSHIP 39 SOUTH, RANGE 19 EAST  
 SARASOTA COUNTY PROPERTY APPRAISER PARCEL IDENTIFICATION  
 NUMBER: 0413050001

A DEVELOPMENT BY  
**P3 LAF CHALETS AT VENICE LP**  
 3500 SOUTH DUPONT HIGHWAY  
 DOVER, DE 19901



SARASOTA COUNTY, FLORIDA



SECTION 10, TOWNSHIP 39 SOUTH, RANGE 19 EAST  
 CITY OF VENICE, FLORIDA

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PROJECT CONTACTS

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PREPARED BY



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REVISIONS

NO.	DATE	DESCRIPTION	BY
03	02/27/26	REVISIONS PER COUNTY COMMENTS	EDG
02	02/23/26	REVISIONS PER CITY OF VENICE & COUNTY COMMENTS	EDG
01	12/05/25	REVISIONS PER CITY OF VENICE COMMENTS	EDG

GENERAL CONSTRUCTION NOTES

- 1. ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD), BASED ON NGD BENCH MARK # M 726 PUBLISHED ELEVATION +7.65 FEET (NAVD 88).
- 2. LOCATIONS, ELEVATIONS, & DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, & OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES & OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION, & NOTIFY ENGINEER OF DISCREPANCIES.
- 3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, & SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- 5. ALL UNDERGROUND UTILITIES MUST BE IN PLACE & TESTED OR INSPECTED PRIOR TO PAVEMENT & STRUCTURE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT & INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION & SCHEDULE INSPECTIONS ACCORDING TO AGENCY REQUIREMENTS & CODES.
- 6. ALL SPECIFICATIONS & DOCUMENTS REFERENCED BY THE PLANS & PERMITS SHALL BE OF LATEST REVISIONS &/OR LATEST EDITION.
- 7. ALL WORK BY CONTRACTORS OR CONTRACTOR SHALL COMPLY WITH THE REGULATIONS & ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- 8. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PROPOSED PRECAST & MANUFACTURED STRUCTURES. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL & REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED & APPROVED BY CONTRACTOR SIGNATURE PRIOR TO SUBMITTAL TO THE OWNER'S ENGINEER.
- 9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER & APPROPRIATE AGENCIES, & PROVIDE THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, & OTHER INFORMATION AS REQUIRED, AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, OR WITHOUT AN AGENT INSPECTOR PRESENT, MAY BE DEEMED NON-COMPLIANT & WILL BE SUBJECT TO REMOVAL & REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 10. BACKFILL MATERIAL SHALL BE COMPACTED AROUND PIPES IN 8" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP & BELOW BOTTOM OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- 11. SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.
- 12. CONCRETE REINFORCING SHALL CONFORM TO ASTM A615 GRADE OR BETTER, UNLESS OTHERWISE INDICATED ON STRUCTURE PLANS.
- 13. ALL PRIVATE & PUBLIC UTILITIES SHALL BE RESTORED TO ORIGINAL OR EQUAL TO OR BETTER THAN EXISTING CONDITIONS. ADDITIONAL COSTS SHALL BE COORDINATED BETWEEN CONTRACTOR & VENDOR.
- 14. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING. THESE PLANS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS. AN ON-SITE INSPECTION BY THE RESPECTIVE GAS COMPANY SHALL BE CALLED FOR BY THE CONTRACTOR TWO (2) WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
- 15. THE SOILS ENGINEER IS TO SUPPLY THE ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS & ASPHALT RESULTS. THE SOILS ENGINEER IS TO CERTIFY TO THE ENGINEER OF RECORD IN WRITING, THAT ALL TESTING REQUIREMENTS REQUIRED BY THE OWNER, LOCAL REGULATORY AGENCY & THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS & PERMITS HAVE BEEN SATISFIED.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING REQUIREMENTS AS SHOWN ON THE CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER IS TO SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- 17. THE CONTRACTOR IS TO REVIEW THE DESIGN SOIL REPORTS & BORINGS PRIOR TO BIDDING THE PROJECT & PRIOR TO COMMENCING CONSTRUCTION.
- 18. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS & PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES.
- 19. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR INSTRUCTION OF THE CONTRACTOR REGARDING CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS & METHODS FOR CONSTRUCTION SITE SAFETY.
- 20. CONSTRUCTION & MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL STANDARDS & SPECIFICATIONS. PLANS ARE IN ACCORDANCE WITH LOCAL MINIMUM DRAWING & SUBMITTAL REQUIREMENTS FOR POTABLE WATER, WASTEWATER, & RECLAIMED WATER PROJECTS'. STATE PLANE COORDINATES (FEET) WILL BE SUPPLIED FOR THE RECORD DRAWINGS.
- 21. WATER & WASTEWATER SYSTEMS WILL BE OWNED & MAINTAINED BY CITY OF VENICE. CITY OF VENICE UTILITY STANDARDS ARE THE MINIMUM ALLOWABLE WATER & WASTEWATER CONSTRUCTION STANDARDS. WHERE ANY NOTE OR DETAIL ON THESE PLANS CONFLICT WITH THE CITY OF VENICE UTILITY STANDARDS THE MORE STRINGENT INTERPRETATION, AS DETERMINED BY THE COUNTY INFRASTRUCTURE INSPECTOR, SHALL BE APPLIED.
- 22. ALL LAND CONTAINED WITHIN STORM WATER TREATMENT LAKE TRACTS, FLOODPLAIN IMPACT COMPENSATION TRACTS, DRAINAGE EASEMENTS, & WETLAND PRESERVATION TRACTS SHALL ALSO BE A PUBLIC FLOWAGE EASEMENT.
- 23. ALL NUISANCE, EXOTIC PLANT SPECIES SHALL BE REMOVED FROM UPLAND PORTIONS OF LAND DEVELOPMENT SITES DURING CONSTRUCTION DEVELOPER SHALL PROVIDE FOR THE CONTINUED, PHASED, REMOVAL OF NUISANCE, EXOTIC PLANT SPECIES THAT BECOME REESTABLISHED WITHIN COMMON AREAS OF A RESIDENTIAL DEVELOPMENT FOR THE LIFE OF THE PROJECT.
- 24. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF VENICE 2-WEEKS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 25. LONGITUDINAL LINES SHALL BE "ALKYD THERMOPLASTIC 100 MILS IN THICKNESS" AND A MAXIMUM THICKNESS OF 0.15 INCH OR 150 MILS WHEN MEASURED ABOVE THE PAVEMENT SURFACE. IN ADDITION, ALL CHEVRONS, DIAGONAL AND TRANSVERSE LINES, MESSAGE SIGNS, SYMBOLS, AND ARROWS, WHEREVER LOCATED, WILL HAVE A THICKNESS OF 0.09 INCH OR 90 MILS TO 0.12 INCH OR 120 MILS WHEN MEASURED ABOVE THE PAVEMENT SURFACE IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 711 AND SARASOTA COUNTY SUPPLEMENTAL SPECIFICATION SS 711.
- 26. SOD SHALL BE INSTALLED AT THE BACK OF ALL CURBS, PAVEMENT EDGES, SWALES AND DETENTION AREAS.
- 27. 3000 PSI CONCRETE SHALL BE USED FOR ROADWAY AND DRAINAGE STRUCTURES. (FDOT STANDARD SPECIFICATIONS SECTION 346)
- 28. ALL DRAINAGE CULVERT JOINTS SHALL BE WRAPPED PER FDOT INDEX 280. (FDOT INDEX)
- 29. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITHIN THE STRUCTURE.
- 30. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- 31. ALL TRAFFIC CONTROL SIGNS WITHIN THE RIGHT-OF-WAY SHALL BE PER SECTION 700 OF THE FDOT SPECIFICATIONS IN ADDITION TO SARASOTA COUNTY SUPPLEMENTAL SPECIFICATION SS 700. ALL SIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUTCD CRITERIA FOR SIGN SIZE AND SHAPE AND LETTERING DIMENSIONS.
- 32. ALL TRAFFIC SIGN POSTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE PER SECTION 700 OF THE FDOT SPECIFICATIONS IN ADDITION TO SARASOTA COUNTY SUPPLEMENTAL SPECIFICATION SS 700. ALL SIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUTCD CRITERIA FOR SIGN SIZE AND SHAPE AND LETTERING DIMENSIONS.
- 33. ALL TRAFFIC SIGN POSTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE 2" X 2" SQUARE BREAK-AWAY 14 GAUGE GALVANIZED STEEL WITH PUNCHED HOLES IN ACCORDANCE WITH APPENDIX C3 OF THE UDC. THE TAPCO V-LOC V51P-350 SYSTEM SHALL BE EMPLOYED WHERE SIGN POSTS ARE INSTALLED IN PAVED AREAS.
- 34. CLOSURE PLAN: ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE IN THE EVENT OF THE CONSTRUCTION IS ABANDONED PRIOR TO PROJECT COMPLETION.
- 35. A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATIVE REMOVAL WITHIN THE DRIP LINE OF A TREE, AND/OR TREE REMOVAL IN ACCORDANCE WITH CHAPTER 54, ARTICLE 18, SECTION 54-584.

GENERAL SAFETY NOTES

- 1. DURING THE CONSTRUCTION &/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL & SAFETY OF THE TRAVELING PUBLIC & THE SAFETY OF HIS PERSONNEL.
- 2. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL & SAFE PRACTICES FOR STREET & HIGHWAY CONSTRUCTION, MAINTENANCE & UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, & REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, & BARRIERS NECESSARY TO PROTECT THE PUBLIC & WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- 3. ALL TRAFFIC CONTROL MARKINGS & DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- 4. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER & THE FLORIDA DEPARTMENT OF TRANSPORTATION REGULATIONS.
- 5. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY & ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY & DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT &/OR ENFORCE SAFETY REGULATIONS.

CLEARING & EROSION CONTROL NOTES

- 1. ALL CONSTRUCTION DEBRIS & OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.
- 2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE & ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES & TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES & THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT & NO EXTRA COMPENSATION WILL BE ALLOWED.
- 3. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE & WILL BE RESPONSIBLE FOR THE DEMOLITION & REMOVAL OF ALL UNDERGROUND & ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER & REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
- 4. DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS FILTERS, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED & MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- 5. ALL EROSION & SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION & MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- 6. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, & EXISTING WETLANDS. IN ADDITION, THE CONTRACTOR SHALL PLACE A SOIL TRACKING PREVENTION DEVICE WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER & EXIT THE SITE. IF IN THE OPINION OF THE ENGINEER &/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER &/OR AUTHORITIES.
- 7. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
- 8. THERE IS TO BE NO DISCHARGE (i.e. PUMPING, SHEET FLOW, SWALE, DITCH ETC.) INTO EXISTING LAKE SYSTEM, WETLAND, OR RIVER, WITHOUT THE USE OF SETTLING PONDS. A SETTLING POND PLAN MUST BE SUBMITTED & APPROVED BY THE ENGINEER OF RECORD & LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.
- 9. ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED ARE TO BE SEEDED & MULCHED TO FDOT STANDARDS & MAINTAINED UNTIL ACCEPTABLE TO THE REGULATORY AGENCY & ENGINEER OF RECORD. ANY WASHOUTS, REGRADING, RESEEDING, SODDING, & OTHER EROSION WORK REQUIRED WILL BE PERFORMED BY THE CONTRACTOR UNTIL THE SYSTEM IS ACCEPTED BY THE OWNER, REGULATORY AGENCY, & ENGINEER OF RECORD.
- 10. ALL SODDING, SEEDING & MULCHING SHALL INCLUDE WATERING & FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED & ACCEPTED BY THE OWNER.

GENERAL COMMENTS & RECOMMENDATIONS

- 1. CONTRACTOR NOTES: PLEASE ENSURE THAT CONSTRUCTION AND LANDSCAPE CONTRACTORS ARE INFORMED THAT THE APPROVED LANDSCAPE PLANS AND SPECIFICATIONS MUST BE FOLLOWED CLOSELY. THE CITY WILL STRICTLY ENFORCE COMPLIANCE WITH ALL ASPECTS OF THE PLANS, INCLUDING PLANT MATERIAL QUALITY AND SIZE, MULCH AND SOIL SPECIFICATIONS, AND THE SPECIFICATIONS OVERALL. IF PLANT MATERIAL SUBSTITUTIONS OR OTHER SUBSTANTIAL CHANGES TO THE APPROVED PLANS ARISE DURING THE CONSTRUCTION PHASE, THESE CHANGES MUST BE REVIEWED BY THE CITY PRIOR TO INSTALLATION. PROACTIVELY COMMUNICATING CHANGES TO THE CITY DURING THE CONSTRUCTION PHASE COULD AVOID DELAYS WITH FINAL PROJECT APPROVALS. MINOR ALTERATIONS TO ACCOMMODATE SITE CONDITIONS OR MATERIAL AVAILABILITY ARE UNDERSTOOD BUT MUST BE REVIEWED BEFORE ANY SUCH ALTERATIONS ARE MADE.
- 2. TREE PERMIT: A SEPARATE TREE PERMIT APPLICATION MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR PROCESSING PRIOR TO ANY CONSTRUCTION ACTIVITY ON THE SITE. THE TREE PERMIT FEE WILL BE CALCULATED BASED ON THE ACREAGE OF THE PROJECT AREA. SEC. 89-3.31

PAVING, GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE & WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE & APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED.
- 2. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR APPROVAL.
- 3. THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER, AT ABUTMENT OF CONCRETE & ANY JOINTS.
- 4. THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION & THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES. SEE "EXTRA BASE FOR CROSS CULVERTS UNDER FLEXIBLE PAVEMENT DETAIL
- 5. ALL STORM DRAINAGE PIPE (DESIGNATED AS "SD" ON PLANS) SHALL BE REINFORCED CONCRETE CLASS IV (ASTM C-76), CORRUGATED HDPE (ADS TYPE N-12), OR APPROVED EQUAL.
- 6. PVC STORM PIPE, 12" & SMALLER SHALL CONFORM TO AWWA C-900, CLASS 150 STANDARDS, UNLESS OTHERWISE NOTED.
- 7. PIPE LENGTHS SHOWN ARE APPROXIMATE & ARE MEASURED TO END OF PIPE.
- 8. ALL DRAINAGE STRUCTURE GRATES & COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR & CAPABLE OF WITHSTANDING H-20 LOADINGS.
- 9. MATERIALS & CONSTRUCTION METHODS FOR STREETS & STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY & THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- 10. THE CONTRACTOR SHALL PROVIDE FIELD NOTES MARKED ON AN APPROVED SET OF CONSTRUCTION PLANS TO OWNER'S ENGINEER WITH SUFFICIENT LEGIBLE NOTES TO PREPARE RECORD DRAWINGS ACCORDING TO LOCAL MINIMUM RECORD DRAWING STANDARDS.
- 11. ROOF DRAIN PIPES SHALL BE PVC(SCH 40), OR CORRUGATED HDPE (ADS N-12, OR APPROVED EQUAL) AS INDICATED ON THE PLAN.
- 12. EXCAVATION OF RETENTION PONDS SHALL CEASE AT THE DEPTH WHERE CLAY (CL/CH) LAYER OF MATERIAL IS ENCOUNTERED.

PAVING GRADING & DRAINAGE TESTING & INSPECTION REQUIREMENTS

- 1. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR IS TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.
- 2. THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TESTING REQUIRED BY THE CONSTRUCTION PLANS WITH THE SOILS ENGINEER. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER SHALL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- 4. VIDEO INSPECTION IS REQUIRED FOR ALL RCP STORMWATER PIPES WHICH CONVEY RUNOFF STREETS (PUBLIC OR PRIVATE).
- 5. LASER PROFILE IS REQUIRED FOR ALL ADS/HDPE STORMWATER PIPES WHICH CONVEY RUNOFF STREETS (PUBLIC OR PRIVATE), FOR PIPE 48 INCHES OR LESS IN DIAMETER. PROVIDE THE ENGINEER A VIDEO DVD AND REPORT USING LOW BARREL DISTORTION VIDEO EQUIPMENT WITH LASER PROFILE TECHNOLOGY, NON-CONTACT MICROMETER AND ASSOCIATED SOFTWARE (OR APPROVED EQUAL) THAT PROVIDES:
  - a. ACTUAL RECORDED LENGTH AND WIDTH MEASUREMENTS OF ALL CRACKS WITHIN THE PIPE.
  - b. ACTUAL RECORDED SEPARATION MEASUREMENT OF ALL PIPE JOINTS.
  - c. PIPE QUALITY REPORT.
  - d. DEFLECTION MEASUREMENTS AND GRAPHICAL DIAMETER ANALYSIS REPORT IN TERMS OF X AND Y AXIS.
  - e. FLAT ANALYSIS REPORT.
  - f. REPRESENTATIVE DIAMETER OF THE PIPE.
  - g. PIPE DEFORMATION MEASUREMENTS, LEAKS, DEBRIS, OR OTHER DAMAGE OR DEFECTS.
  - h. DEVIATION IN PIPE LINE AND GRADE, JOINT GAPS, AND JOINT MISALIGNMENT.

WATER NOTES

- GENERAL:
  - \* ALL NEW AND RELOCATED WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ALL SANITARY SEWERS, STORM SEWERS, FORCE MAINS, AND RECLAIMED WATER LINES. ALL DISTANCES ARE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
  - \* THERE SHALL BE 3' MINIMUM CLEARANCE FROM LANDSCAPE PLANTS TO THE EDGE OF THE METERS LESS THAN 3" AND 10' CLR FOR METERS 3" AND LARGER.
  - \* THERE SHALL BE 7' 6" MINIMUM CLEARANCE FROM THE FRONT AND BOTH SIDES AND 4' FROM THE BACK FOR ALL FIRE HYDRANTS.
  - \* NO TREES SHALL BE PLANTED WITHIN 10' OF ANY COUNTY-MAINTAINED WATER OR SEWER MAIN.
  - \* NEW OR RELOCATED WATER MAINS THAT CROSS ANY SANITARY SEWER, STORM SEWERS, FORCE MAINS, OR RECLAIMED WATER LINES SHALL CROSS ABOVE SUCH LINE SO THAT A MINIMUM SEPARATION OF 18 INCHES IS MAINTAINED BETWEEN THE OUTSIDE EDGE OF PIPE TO THE OUTSIDE EDGE OF PIPE. CROSSINGS WHERE SUCH DISTANCES CANNOT BE MAINTAINED SHALL BE IN ACCORDANCE WITH DETAILS PROVIDED IN THE CONSTRUCTION PLANS. CROSSINGS WILL BE MADE TO CENTER ONE FULL PIPE LENGTH OF THE WATER LINE OVER THE PROPOSED CROSSING.
  - \* THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH AND SAFETY ACT.
  - \* ALL MATERIALS USED TO CONSTRUCT THE WATER SYSTEM SHALL BE NEW AND MANUFACTURED IN THE U.S.A. BY APPROVED, RELIABLE, AND DEPENDABLE COMPANY.
  - \* ALL FITTINGS, TIE-BACKS, AND FIRE HYDRANTS SHALL BE LEFT EXPOSED FOR INSPECTION BY THE ENGINEER, AND/OR COUNTY INSPECTOR.
  - \* THE CONTRACTOR SHALL COMPLY WITH THE COUNTY WATER, WASTEWATER, AND REUSE SYSTEM CODE.
  - \* THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A LIST OF ALL MATERIALS, SPECIFICATIONS, AND MANUFACTURERS.
  - \* ALL CONCRETE USED FOR CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE MACHINE MIXED AND POURED IN PLACE.
  - \* ALL JOINT RESTRAINT MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH SARASOTA COUNTY PUBLIC WORKS UTILITY STANDARDS.
  - \* ALL FITTINGS SHALL BE RODDED TO THE MAIN. ALL RODS SHALL HAVE BITUMASTIC COATING.
  - \* ALL VALVES SHALL BE RESTRAINED.
  - \* ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS, OR BETTER, TO THE SATISFACTION OF THE OWNER.
  - \* ANY CONCRETE DISTURBED SHALL BE SAWCUT TO PROVIDE A CLEAN EDGE.
  - \* THE CONTRACTOR SHALL VERIFY ALL AFFECTED EXISTING UTILITIES AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
  - \* ALL UTILITY CROSSINGS WITHIN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH COUNTY RIGHT-OF-WAY USE PERMIT SPECIFICATIONS.
  - \* THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE RESULTING FROM DAMAGE TO SAME. ANY CONFLICTS WITH EXISTING UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE.
  - \* NO CONNECTIONS SHALL BE MADE TO EXISTING WATER LINES UNTIL ALL NEW WATER LINES HAVE SUCCESSFULLY COMPLETED ALL PRESSURE AND BACTERIOLOGICAL TESTING.

MATERIALS:

- \* ALL PVC WATER PIPE AND FITTINGS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- \* ALL DIP WATER PIPE AND FITTINGS SHALL BE MANUFACTURED BY THE SAME COMPANY.
- \* ALL FITTINGS, COUPLINGS, AND SLEEVES SHALL BE MECHANICAL JOINT, WITH THE EXCEPTION OF WET TAPS.
- \* ALL VALVES, FIRE HYDRANTS, AND CHECK VALVES SHALL SHOW AWWA ON THE CASTING.
- \* ALL MATERIALS SHALL BE PER COUNTY CODE AND MEET COUNTY SPECIFICATIONS.
- \* WATER SERVICE PIPING 2" DIAMETER OR LESS SHALL BE EITHER PRESSURE CLASS 200, SDR 9, HDPE OR SCH. 40, SS 316 OR TYPE 'K' COPPER.
- \* PVC WATER PIPE FOUR (4") INCHES TO TWELVE (12") INCHES IN DIAMETER SHALL BE AWWA C900, DR-18 CLASS 235, BLUE (FOR POTABLE WATER SERVICE) UNLESS NOTED OTHERWISE ON THE PLANS.
- \* ALL D.I.P. PIPING SHALL BE PRESSURE CLASS 350 CONFORMING TO AWWA C150 AND AWWA C151 AS IN ACCORDANCE WITH MANATEE COUNTY PUBLIC WORKS STANDARDS, UTILITY STANDARDS MANUAL (USM) SPECIFICATION 1.4.2.A.
- \* ALL ABOVE-GROUND D.I.P. PIPING SHALL BE SPECIAL THICKNESS CLASS 53, IN ACCORDANCE WITH SARASOTA COUNTY PUBLIC WORKS STANDARDS.

FIRE PROTECTION NOTES:

- 1. NFPA 1: 16.5.3.1 & NFPA 241: 8.7.2 - WHERE UNDERGROUND WATER MAINS AND FIRE HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE, AND BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES.
- 2. NFPA 241: 7.5.3.1 - EVERY BUILDING SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY MEANS OF ROADWAYS HAVING AN ALL-WEATHER DRIVING SURFACE OF NOT LESS THAN 20 FEET (20') OF UNOBSTRUCTED WIDTH, HAVING THE ABILITY TO WITHSTAND THE LIVE LOADS OF FIRE APPARATUS (38 TONS) AND HAVING A MINIMUM VERTICAL CLEARANCE OF 13 FEET 6 INCHES (13'6"). THE ALL-WEATHER DRIVING SURFACE SHALL BE MARKED AND MAINTAINED TO EXTEND TO WITHIN 50 FEET (50') OF AT LEAST ONE EXTERIOR DOOR TO PROVIDE INTERIOR ACCESS PER NFPA 1: 18.2.3.2.1, AND TO WITHIN 150 FEET (150') OF ALL PORTIONS OF EXTERIOR WALLS OF THE FIRST STORY PER NFPA 241: 7.5.3.7.
- 3. NFPA 241: 7.5.3.2 - ACCESS FOR USE OF FIRE DEPARTMENT APPARATUS SHALL BE PROVIDED TO THE IMMEDIATE JOB SITE AT THE START OF THE PROJECT AND MAINTAINED UNTIL COMPLETION.
- 4. NFPA 241: 7.5.3.5 - THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING OBSTRUCTION BY PARKED VEHICLES (CONSTRUCTION TRUCKS, DUMPSTERS, ETC.).
- 5. NFPA 1: 11.10.2 - IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE A.H.J. A RADIO COMMUNICATION ENHANCEMENT SYSTEM (RCES) DRAWING AND NARRATIVE IDENTIFYING ALL CRITICAL AND NON-CRITICAL AREAS SHALL BE SUBMITTED TO THE CITY OF VENICE BUILDING DEPARTMENT PRIOR TO FINAL FIRE INSPECTIONS.
- 6. ALL PROJECTS/WORK SHALL COMPLY WITH THE CURRENTLY ADOPTED EDITION OF THE FLORIDA FIRE PREVENTION CODE (FFPC) AND APPLICABLE CODES AND STANDARDS. NFPA 1 CHAPTER 16, 18 AND NFPA 241 COMPLIANCE REQUIRED. PER FFPC, NFPA 1: 1.1.4.4 - REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. IF ALTERATIONS OR MODIFICATIONS ARE MADE TO THE APPROVED PLANS, RESUBMITTAL AND RE-REVIEW MAY BE REQUIRED.

EPD NOTES:

- a. IMPACTS TO STATE AND FEDERALLY PROTECTED SPECIES AS LISTED IN THE MOST CURRENT VERSION OF "FLORIDA'S ENDANGERED SPECIES, THREATENED SPECIES, AND SPECIES OF SPECIAL CONCERN" OFFICIAL LISTS" PREPARED BY THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWC) ARE NOT AUTHORIZED BY THIS PERMIT. THESE SPECIES MAY INCLUDE, BUT ARE NOT LIMITED TO, FLORIDA SCRUB JAY, AMERICAN BALD EAGLE, SHERMAN'S FOX SQUIRREL, BURROWING OWL, GOPHER TORTOISE, GOPHER FROG, AND EASTERN INDIGO SNAKE. PROTECTION EXTENDS TO THE NESTS, BURROWS, AND HABITAT UTILIZED BY THESE SPECIES. IF A LISTED SPECIES (OR ITS EVIDENCE, SUCH AS BURROWS, NESTS, SCAT, TRACKS) THAT WAS NOT ADDRESSED IN THIS PERMIT IS OBSERVED PRIOR TO OR DURING CONSTRUCTION, ALL CLEARING AND EARTHMOVING ON-SITE SHALL CEASE. THE PERMITTEE SHALL CONSULT WITH THE FWC REGIONAL OFFICE AND/OR THE U.S. FISH AND WILDLIFE SERVICE REGIONAL OFFICE REGARDING NECESSARY PROTECTION MEASURES AND PROVIDE EVIDENCE OF SUCH CONSULTATION TO ENVIRONMENTAL PROTECTION DIVISION (EPD) STAFF PRIOR TO RESUMING WORK.
- b. IF ANY TYPE A FILL (CLEAN EARTHEN MATERIAL) IS TO BE HAULED OFF-SITE, AN EARTHMOVING PERMIT OR LETTER OF EXEMPTION IS REQUIRED FROM THE ENVIRONMENTAL PROTECTION DIVISION. IF ANY TYPE A FILL HAULED OFF-SITE IS TO BE STOCKPILED OR FILLED UPON PRIVATE PROPERTIES WITHIN THE UNINCORPORATED AREAS OF SARASOTA COUNTY, THE RECEIVING PROPERTY(S) SHALL POSSESS AUTHORIZATION IN THE FORM OF AN EARTHMOVING PERMIT, A WRITTEN EARTHMOVING EXEMPTION, A BUILDING PERMIT, OR CONSTRUCTION PLAN APPROVAL PRIOR TO RECEIVING SAID FILL. NO TYPE B (CONCRETE, BROKEN ASPHALT, ROCKS), TYPE C (VEGETATIVE LAND CLEARING DEBRIS), OR TYPE D (GARBAGE, REFUSE, WOOD, METAL, PLASTIC, ETC.) FILL MAY BE BURIED WITHIN OR OUTSIDE APPROVED CONSTRUCTION LIMITS. TYPE D FILL MUST BE DISPOSED OF AT AN APPROVED LANDFILL OR RECYCLING FACILITY. TYPE B, C, AND D FILLS GENERATED ON-SITE SHALL NOT BE STOCKPILED ON-SITE FOR GREATER THAN SIX MONTHS. TYPE B, C, AND D FILLS SHALL NOT BE HAULED TO THE SITE FROM OFF-SITE SOURCES. FOR INFORMATION ABOUT EARTHMOVING PERMITS OR EXEMPTIONS, CONTACT ENVIRONMENTAL PERMITTING DIVISION AT 941-861-5000. IF FILL MATERIAL IS TO BE STOCKPILED WITHIN THE APPROVED CONSTRUCTION LIMITS, THE PROJECT ENGINEER MUST PROVIDE DETAILED DRAWINGS TO LAND DEVELOPMENT SERVICES FOR REVIEW AND APPROVAL.

EPD TREE REVIEW NOTES:

- 1. A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATIVE REMOVAL WITHIN THE DRIPLINE OF A TREE, AND/OR TREE REMOVAL." CH. 54, ART. XVII, SECTION 54-586
- 2. NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED. PER CH. 54, ART. XVII, SECTION 54-588(1) OF SARASOTA COUNTY CODE, THE PROTECTED ROOT ZONE IS DEFINED AS THE DRIPLINE OF THE TREE, ONLY HAND, HEARING OR MOVING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF CANOPY TREES TO BE SAVED IF AUTHORIZED BY THE ADMINISTRATOR. WHERE UNAUTHORIZED REMOVAL OF NATIVE VEGETATION WITHIN THE PROTECTED ROOT ZONE OCCURS, THE ADMINISTRATOR MAY REQUIRE THE REPLANTING OF UNDERSTORY VEGETATION.

TRAFFIC ENGINEERING NOTE:

- THE CONTRACTOR SHALL SUBMIT A ROAD AND LANE CLOSURE REQUEST PERMIT AND A SIGNED AND SEALED TTCP TO TRAFFIC ENGINEERING FOR REVIEW AND APPROVAL AT LEAST 21 DAYS PRIOR TO THE REQUESTED DATE. LANE CLOSURE AT NIGHT WILL BE ALLOWED BETWEEN 9:00 PM TO 5:00 AM. NO LANE CLOSURES WILL BE CONSIDERED DURING DAYTIME UNLESS SUPPORTED BY BOTH A DOCUMENTED HARSHIMP AND A LANE CLOSURE ANALYSIS. IF THE PROJECT DOES NOT PASS INSPECTION AND THE CONTRACTOR MUST CONTINUE TO WORK WITHIN THE COUNTY RIGHT-OF-WAY, A NEW ROAD AND LANE CLOSURE REQUEST PERMIT MUST BE SUBMITTED TO TRAFFIC ENGINEERING FOR REVIEW AND APPROVAL. FIND THE ROAD AND LANE CLOSURE REQUEST FORM HERE: TRAFFIC REPORTS LIBRARY | SARASOTA COUNTY, FL | (SCGOW.NET)

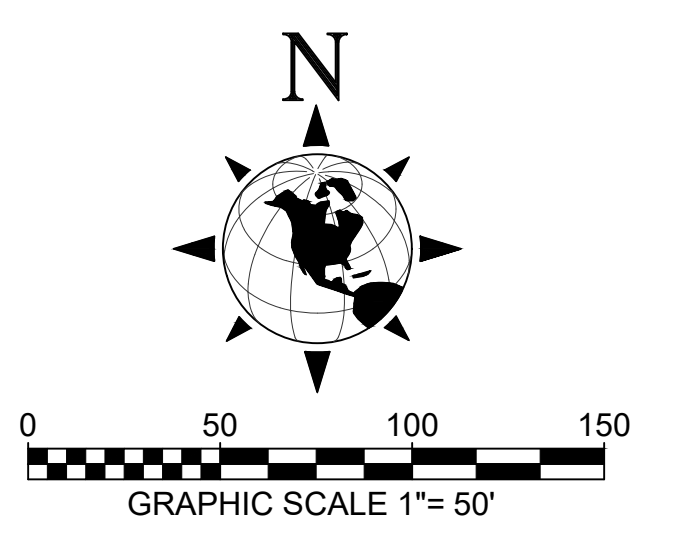
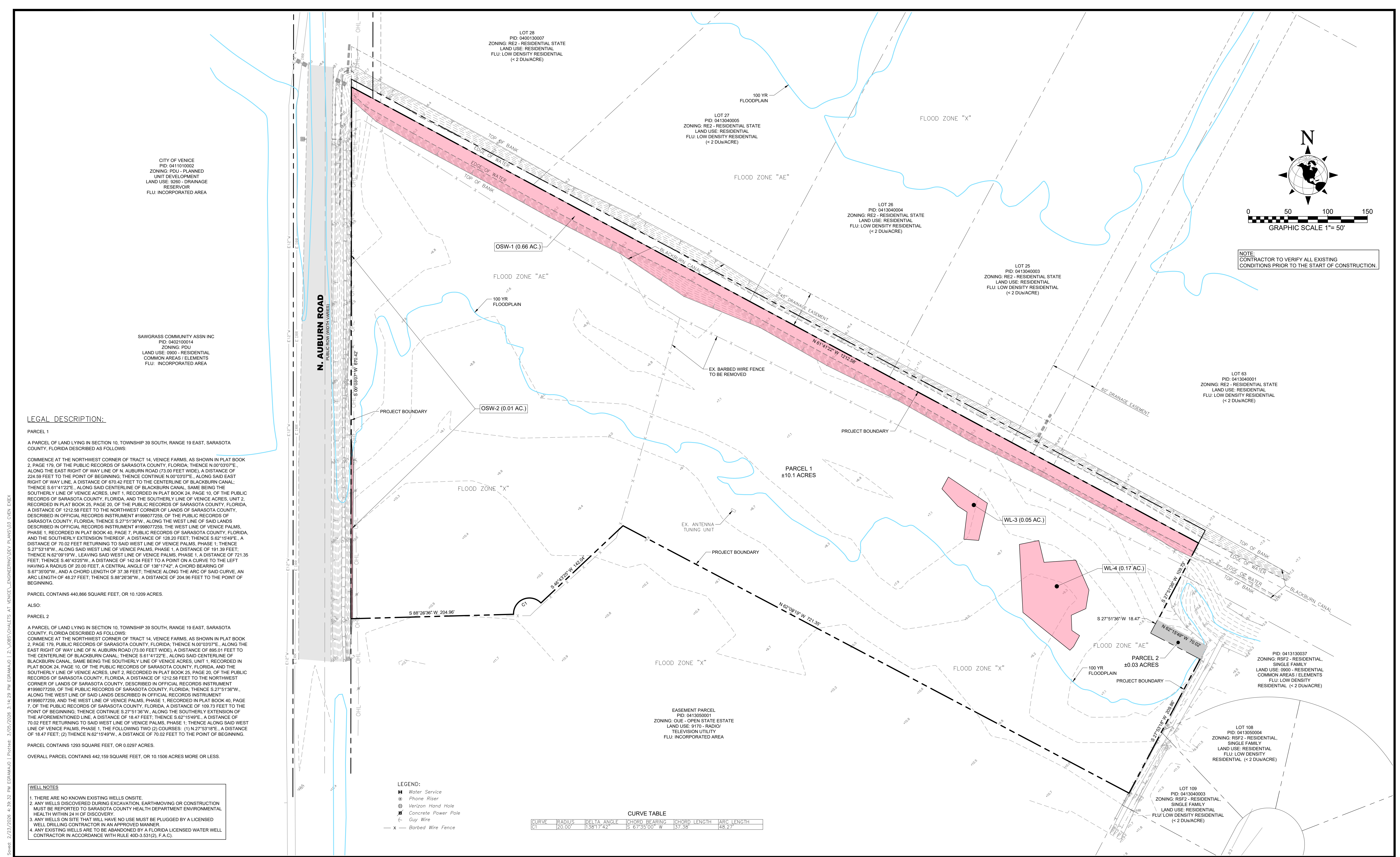
Source: 2/23/2025 4:38:40 PM, C:\GAMA\10 | Planets: 3/26/2025 3:14:47 PM, C:\GAMA\10 | 13 | NOTES QUALIFIED AT: MORRIS\_ENGINEERING\CDR PLANS\02\_25\_25\_CHALET

Project information block containing MORRIS ENGINEERING AND CONSULTING, LLC logo and name, project name CHALET AT VENICE, drawing title NOTES, date 02/10/25, and scale N/A. Includes a revision table with columns for NO., DATE, REVISION DESCRIPTION, and BY.

Revision table with 4 columns: NO., DATE, REVISION DESCRIPTION, BY. Contains three entries for EPD/Tree Review and General Water Notes.

Scale and sheet information: SCALE N/A, VERTICAL DATUM NAVD88, SHEET 2 OF 24.

ERIN LEAH TUMOLO FL LICENSE NO. 69073



NOTE:  
CONTRACTOR TO VERIFY ALL EXISTING  
CONDITIONS PRIOR TO THE START OF CONSTRUCTION.

CITY OF VENICE  
PID: 0411010002  
ZONING: PDU - PLANNED  
UNIT DEVELOPMENT  
LAND USE: 0260 - DRAINAGE  
RESERVOIR  
FLU: INCORPORATED AREA

SAWGRASS COMMUNITY ASSN INC  
PID: 0402100014  
ZONING: PDU  
LAND USE: 0900 - RESIDENTIAL  
COMMON AREAS / ELEMENTS  
FLU: INCORPORATED AREA

LOT 28  
PID: 0400130007  
ZONING: RE2 - RESIDENTIAL STATE  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY RESIDENTIAL  
( < 2 DU/ACRE)

LOT 27  
PID: 0413040005  
ZONING: RE2 - RESIDENTIAL STATE  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY RESIDENTIAL  
( < 2 DU/ACRE)

LOT 26  
PID: 0413040004  
ZONING: RE2 - RESIDENTIAL STATE  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY RESIDENTIAL  
( < 2 DU/ACRE)

LOT 25  
PID: 0413040003  
ZONING: RE2 - RESIDENTIAL STATE  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY RESIDENTIAL  
( < 2 DU/ACRE)

LOT 63  
PID: 0413040001  
ZONING: RE2 - RESIDENTIAL STATE  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY RESIDENTIAL  
( < 2 DU/ACRE)

PID: 0413130087  
ZONING: RSF2 - RESIDENTIAL,  
SINGLE FAMILY  
LAND USE: 0900 - RESIDENTIAL  
COMMON AREAS / ELEMENTS  
FLU: LOW DENSITY  
RESIDENTIAL ( < 2 DU/ACRE)

LOT 108  
PID: 0413050004  
ZONING: RSF2 - RESIDENTIAL,  
SINGLE FAMILY  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY  
RESIDENTIAL ( < 2 DU/ACRE)

LOT 109  
PID: 0413040003  
ZONING: RSF2 - RESIDENTIAL,  
SINGLE FAMILY  
LAND USE: RESIDENTIAL  
FLU: LOW DENSITY RESIDENTIAL  
( < 2 DU/ACRE)

**LEGAL DESCRIPTION:**

PARCEL 1  
A PARCEL OF LAND LYING IN SECTION 10, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF TRACT 14, VENICE FARMS, AS SHOWN IN PLAT BOOK 2, PAGE 179, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE N.00°03'07"E., ALONG THE EAST RIGHT OF WAY LINE OF N. AUBURN ROAD (73.00 FEET WIDE), A DISTANCE OF 224.59 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.00°03'07"E., ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 670.42 FEET TO THE CENTERLINE OF BLACKBURN CANAL; THENCE S.61°41'22"E., ALONG SAID CENTERLINE OF BLACKBURN CANAL, SAME BEING THE SOUTHERLY LINE OF VENICE ACRES, UNIT 1, RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, AND THE SOUTHERLY LINE OF VENICE ACRES, UNIT 2, RECORDED IN PLAT BOOK 25, PAGE 20, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, A DISTANCE OF 1212.58 FEET TO THE NORTHWEST CORNER OF LANDS OF SARASOTA COUNTY, DESCRIBED IN OFFICIAL RECORDS INSTRUMENT #1998077259, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE S.27°51'36"W., ALONG THE WEST LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS INSTRUMENT #1998077259, THE WEST LINE OF VENICE PALMS, PHASE 1, RECORDED IN PLAT BOOK 40, PAGE 7, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, AND THE SOUTHERLY EXTENSION THEREOF, A DISTANCE OF 128.20 FEET; THENCE S.62°15'49"E., A DISTANCE OF 70.02 FEET RETURNING TO SAID WEST LINE OF VENICE PALMS, PHASE 1; THENCE S.27°53'19"W., ALONG SAID WEST LINE OF VENICE PALMS, PHASE 1, A DISTANCE OF 191.39 FEET; THENCE N.62°09'18"W., LEAVING SAID WEST LINE OF VENICE PALMS, PHASE 1, A DISTANCE OF 721.35 FEET; THENCE S.46°43'25"W., A DISTANCE OF 142.04 FEET TO A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 138°17'42"; A CHORD BEARING OF S.67°35'00"W., AND A CHORD LENGTH OF 37.38 FEET; THENCE ALONG THE ARC OF SAID CURVE, AN ARC LENGTH OF 48.27 FEET; THENCE S.88°26'36"W., A DISTANCE OF 204.96 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 440,866 SQUARE FEET, OR 10.1209 ACRES.

ALSO:

PARCEL 2  
A PARCEL OF LAND LYING IN SECTION 10, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF TRACT 14, VENICE FARMS, AS SHOWN IN PLAT BOOK 2, PAGE 179, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE N.00°03'07"E., ALONG THE EAST RIGHT OF WAY LINE OF N. AUBURN ROAD (73.00 FEET WIDE), A DISTANCE OF 895.01 FEET TO THE CENTERLINE OF BLACKBURN CANAL; THENCE S.61°41'22"E., ALONG SAID CENTERLINE OF BLACKBURN CANAL, SAME BEING THE SOUTHERLY LINE OF VENICE ACRES, UNIT 1, RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, AND THE SOUTHERLY LINE OF VENICE ACRES, UNIT 2, RECORDED IN PLAT BOOK 25, PAGE 20, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, A DISTANCE OF 1212.58 FEET TO THE NORTHWEST CORNER OF LANDS OF SARASOTA COUNTY, DESCRIBED IN OFFICIAL RECORDS INSTRUMENT #1998077259, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE S.27°51'36"W., ALONG THE WEST LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS INSTRUMENT #1998077259, AND THE WEST LINE OF VENICE PALMS, PHASE 1, RECORDED IN PLAT BOOK 40, PAGE 7, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, A DISTANCE OF 109.73 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.27°51'36"W., ALONG THE SOUTHERLY EXTENSION OF THE AFOREMENTIONED LINE, A DISTANCE OF 18.47 FEET; THENCE S.62°15'49"E., A DISTANCE OF 70.02 FEET RETURNING TO SAID WEST LINE OF VENICE PALMS, PHASE 1; THENCE ALONG SAID WEST LINE OF VENICE PALMS, PHASE 1, THE FOLLOWING TWO (2) COURSES: (1) N.27°53'18"E., A DISTANCE OF 18.47 FEET; (2) THENCE N.62°15'49"W., A DISTANCE OF 70.02 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1293 SQUARE FEET, OR 0.0297 ACRES.

OVERALL PARCEL CONTAINS 442,159 SQUARE FEET, OR 10.1506 ACRES MORE OR LESS.

- WELL NOTES**
1. THERE ARE NO KNOWN EXISTING WELLS ONSITE.
  2. ANY WELLS DISCOVERED DURING EXCAVATION, EARTHMOVING OR CONSTRUCTION MUST BE REPORTED TO SARASOTA COUNTY HEALTH DEPARTMENT ENVIRONMENTAL HEALTH WITHIN 24 H OF DISCOVERY.
  3. ANY WELLS ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
  4. ANY EXISTING WELLS ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531(2), F.A.C.

- LEGEND:**
- Water Service
  - Phone Riser
  - Verizon Hand Hole
  - Concrete Power Pole
  - Guy Wire
  - Barbed Wire Fence

**CURVE TABLE**

CURVE	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	20.00'	138°17'42"	S.67°35'00" W	37.38'	48.27'

NO.	DATE	REVISION DESCRIPTION	BY
02	02/23/26	REV ADJACENT PARCEL INFO, ADD FUTURE LAND USE	EDG
01	10/28/25	ADD WELL NOTE #1	EDG

**M** MORRIS ENGINEERING AND CONSULTING, LLC  
Civil Engineering and Land Development Consulting  
6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A. 28780 941-444-6644 www.morrisengineering.net

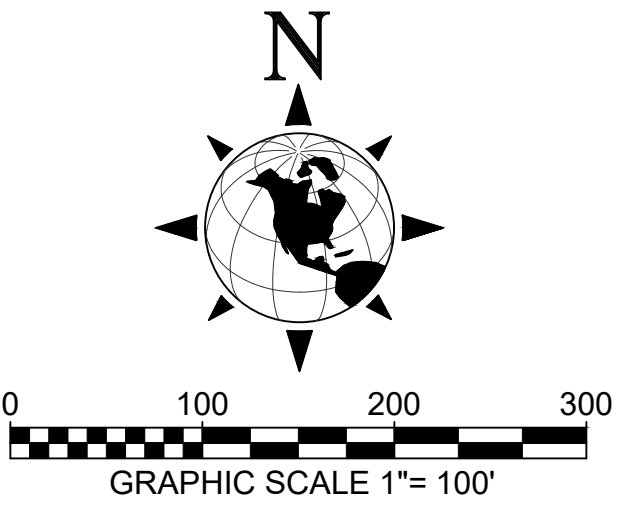
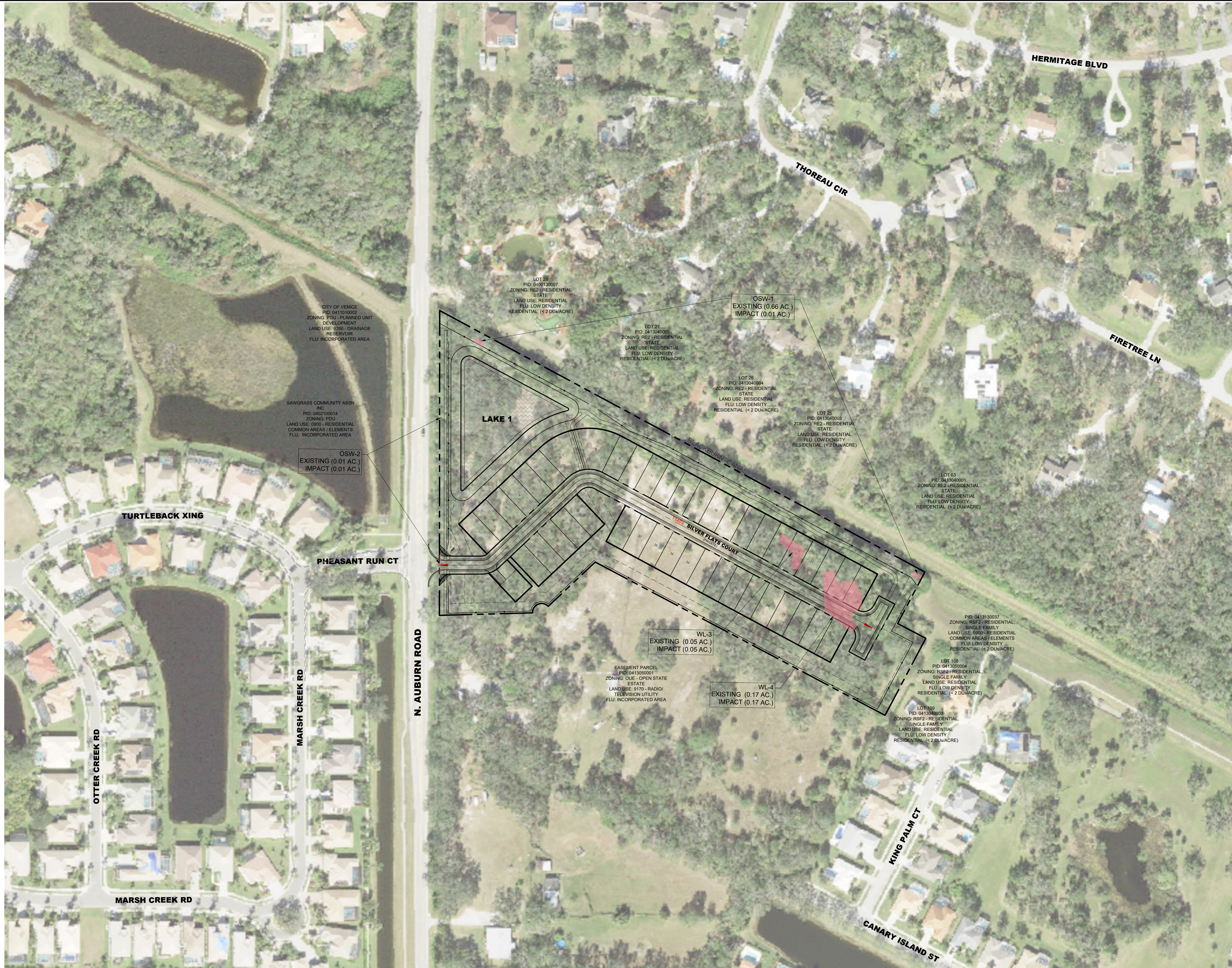
DATE 10/13/2025	
PROJECT CVEN	
DRAWING 03 CVEN EX	
DRAWN EDG	CHECKED ELT

EXISTING CONDITIONS  
**CHALETS AT VENICE**  
CITY OF VENICE, FLORIDA

SCALE 1"=50'	VERTICAL DATUM NAVD88
SHEET <b>3</b>	OF <b>24</b>

ERIN LEAH TUMOLO  
FL LICENSE NO. 69073

Source: 2/23/2025 4:45:10 PM: E:\GRAPHICS\1\Projects\_3/05/2025\_3:14:15 PM: E:\GRAPHICS\1\2\WORKS\CHALET5 AT VENICE\ENGINEERING\DWG PLANS\04\_CVEN\_AER.AER



NO.	DATE	REVISION DESCRIPTION	EDG BY
01	10/28/25	ADD OSW-1 IMPACT AREAS	EDG



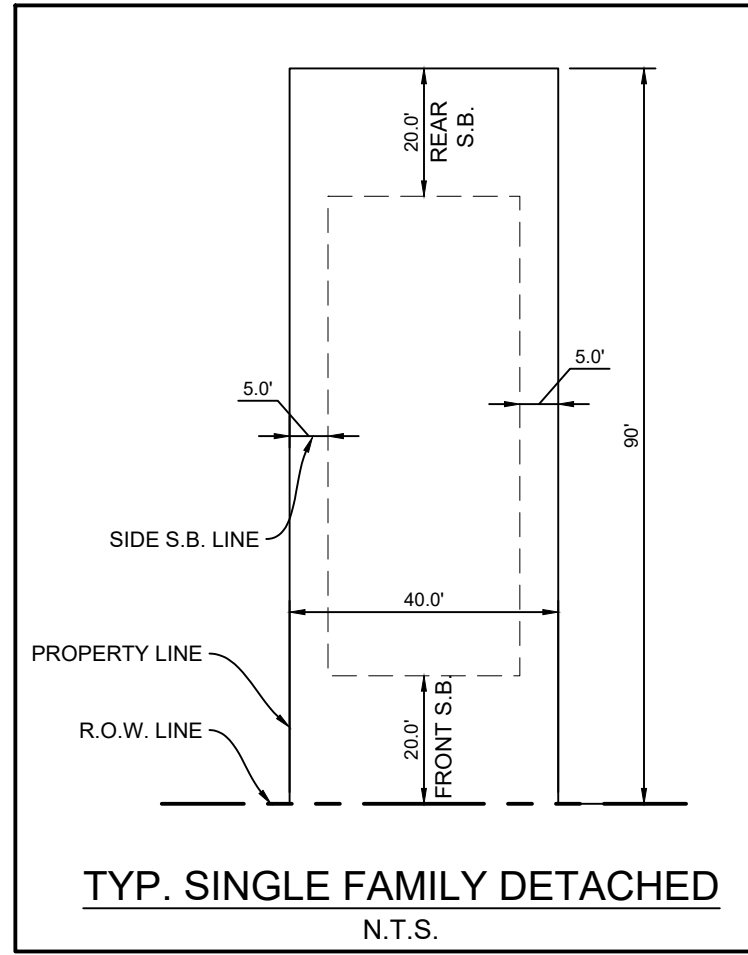
**MORRIS ENGINEERING AND CONSULTING, LLC**  
 Civil Engineering and Land Development Consulting  
 6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A.28780 941-444-6644 www.morrisengineering.net

DATE	10/13/2025
PROJECT	CVEN
DRAWING	04 CVEN AER
DRAWN	EDG
CHECKED	ELT

AERIAL SITE MAP  
**CHALET5 AT VENICE**  
 CITY OF VENICE, FLORIDA

SCALE	1"=100'
VERTICAL DATUM	NAVD88
SHEET	OF
<b>4</b>	<b>24</b>

ERIN LEAH TUMOLO  
 FL LICENSE NO. 69073



**SITE DATA**

- SARASOTA COUNTY PROPERTY APPRAISER'S PARCEL IDENTIFICATION NUMBER: 041305001.
- PROPERTY ADDRESS: 282 N. AUBURN ROAD, VENICE, FL 34292.
- SECTION 10, TOWNSHIP 39 SOUTH, RANGE 19 EAST.
- EXISTING LAND USE: VACANT
- THE SUBJECT LAND LIES IN THE FLOOD ZONE 'AE' & 'X' OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER 1215C033G (DATED 03/27/2024), SUBJECT TO VERIFICATION.
- DEVELOPMENT AREA: 440,806± SF (10.12± AC)
- EXISTING COUNTY ZONING: OUE-1
- PROPOSED ZONING: PUD
- EXISTING COUNTY FUTURE LAND USE: MODERATE DENSITY RESIDENTIAL (MODR) (>2 TO 5-) UNITS/AC.
- PROPOSED FUTURE LAND USE: MIXED USE RESIDENTIAL
- VENICE JOINT PLANNING AREA #7, DENSITY MAX 5.0 DU/AC.
- NO MINIMUM LOT PERIMETERS FOR PUD ZONINGS ARE REQUIRED.
- MAXIMUM BUILDING HEIGHT: 35' OR 2 STORIES
- CONSTRUCTION SCHEDULE: DECEMBER 2025 TO DECEMBER 2026
- ALL INTERNAL ROADWAYS & STORM SEWER ARE TO BE PRIVATELY OWNED & MAINTAINED BY HOA. POTABLE WATER AND SANITARY SEWER SYSTEMS WITHIN THE RIGHT OF WAY ARE PUBLIC AND MAINTAINED BY THE CITY OF VENICE UTILITY DEPARTMENT.
- DESIGNATED RESPONSIBLE ENTITY: CHALET'S AT VENICE HOME OWNERS ASSOCIATION.
- ALL IRRIGATION SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY & SAFELY MEETS THE NEEDS OF THE SYSTEM.
- ALL UTILITIES SHALL BE CONSTRUCTED TO THE CITY OF VENICE WATER DISTRICT UTILITY STANDARDS.
- EXISTING WELLS ARE NOT KNOWN TO BE ON SITE. HOWEVER, IF ANY EXISTING WELLS ARE FOUND THEY ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531(2), F.A.C.
- LOT SETBACKS REQUIRED: 20' FRONT, 20' REAR, 5' SIDE.
- CHARACTER AND INTENDED USE: PROPOSED SINGLE-FAMILY (DETACHED) RESIDENTIAL SUBDIVISION.

**SINGLE FAMILY DETACHED UNIT COUNTS:**

40' x 90' MIN. LOTS = 43  
TOTAL = 43 LOTS

**% PERVIOUS AND IMPERVIOUS:**  
PERVIOUS = 59.8%  
IMPERVIOUS = 40.2%

**DENSITY:**

RESIDENTIAL UNITS	43
GROSS AREA (AC.)	10.12
GROSS DEN. (UNIT/AC.)*	4.25

\* ALLOWABLE DENSITY = 5.0 DU/AC

**LAND USE AREAS:**

LAND USE	AREA (AC.)	% OF TOTAL
SFD LOTS	3.68	36%
ROW	1.14	11%
LIFT STATION PARCEL	0.09	0.92%
LAKES	1.24	12%
LANDSCAPE BUFFERS	1.85	18%
OTHER OPEN SPACE	2.11	21%
<b>TOTAL</b>	<b>10.12</b>	<b>100%</b>

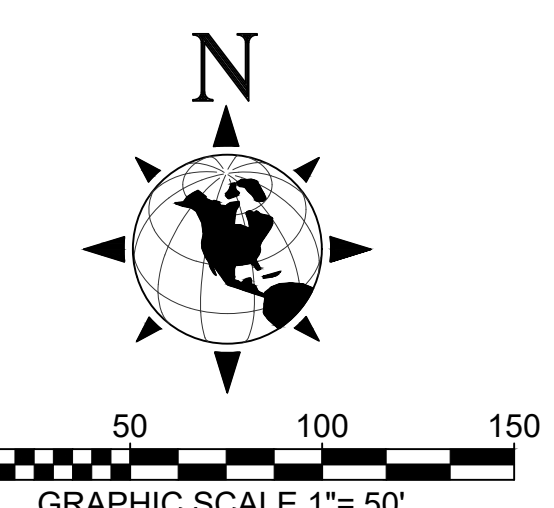
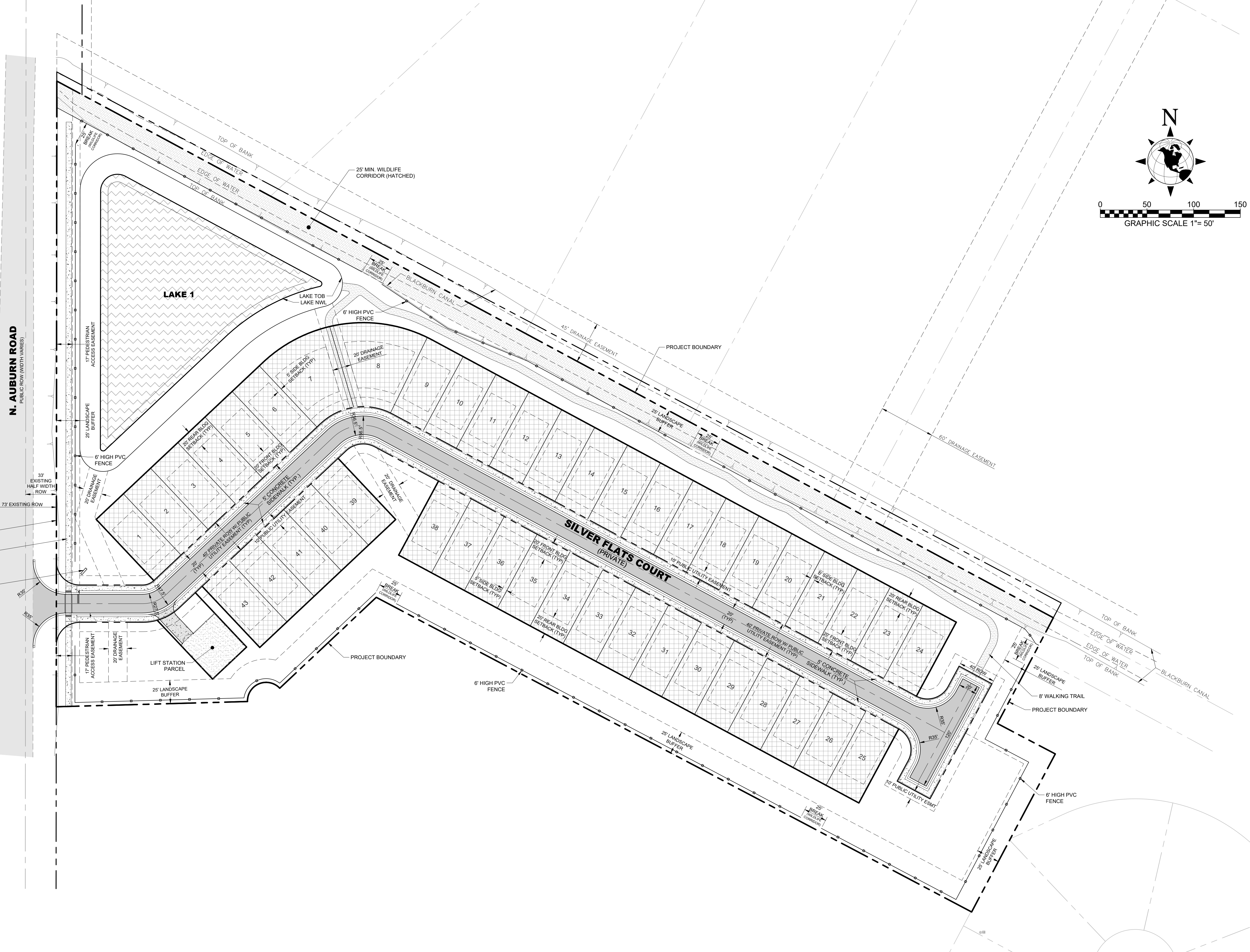
**OPEN SPACE:**

LAND USE	AREA (AC.)	% OF TOTAL SFD	% OF OPEN SPACE
CONSERVATION OPEN SPACE	3.24	32%	64%
FUNCTIONAL OPEN SPACE	0.63	6%	12%
OTHER OPEN SPACE	1.23	12%	24%
<b>TOTAL</b>	<b>5.10</b>	<b>50.4%</b>	<b>100%</b>

REQUIRED = 5.06 AC

**PHEASANT RUN CT**

**N. AUBURN ROAD**  
PUBLIC ROW (WIDTH Varies)



Source: 2/5/2026 2:52:44 PM E:\DAMAD\1 - Chalets\CHALET'S AT VENICE\ENGINEERING\DWG\PLANS\05\_CVEN\_SPPR

M

**MORRIS ENGINEERING AND CONSULTING, LLC**  
Civil Engineering and Land Development Consulting  
6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A.28780 941-444-6644 www.morrisengineering.net

DATE	10/13/2025
PROJECT	CVEN
DRAWING	05 CVEN SP
DRAWN	EDG
CHECKED	ELT

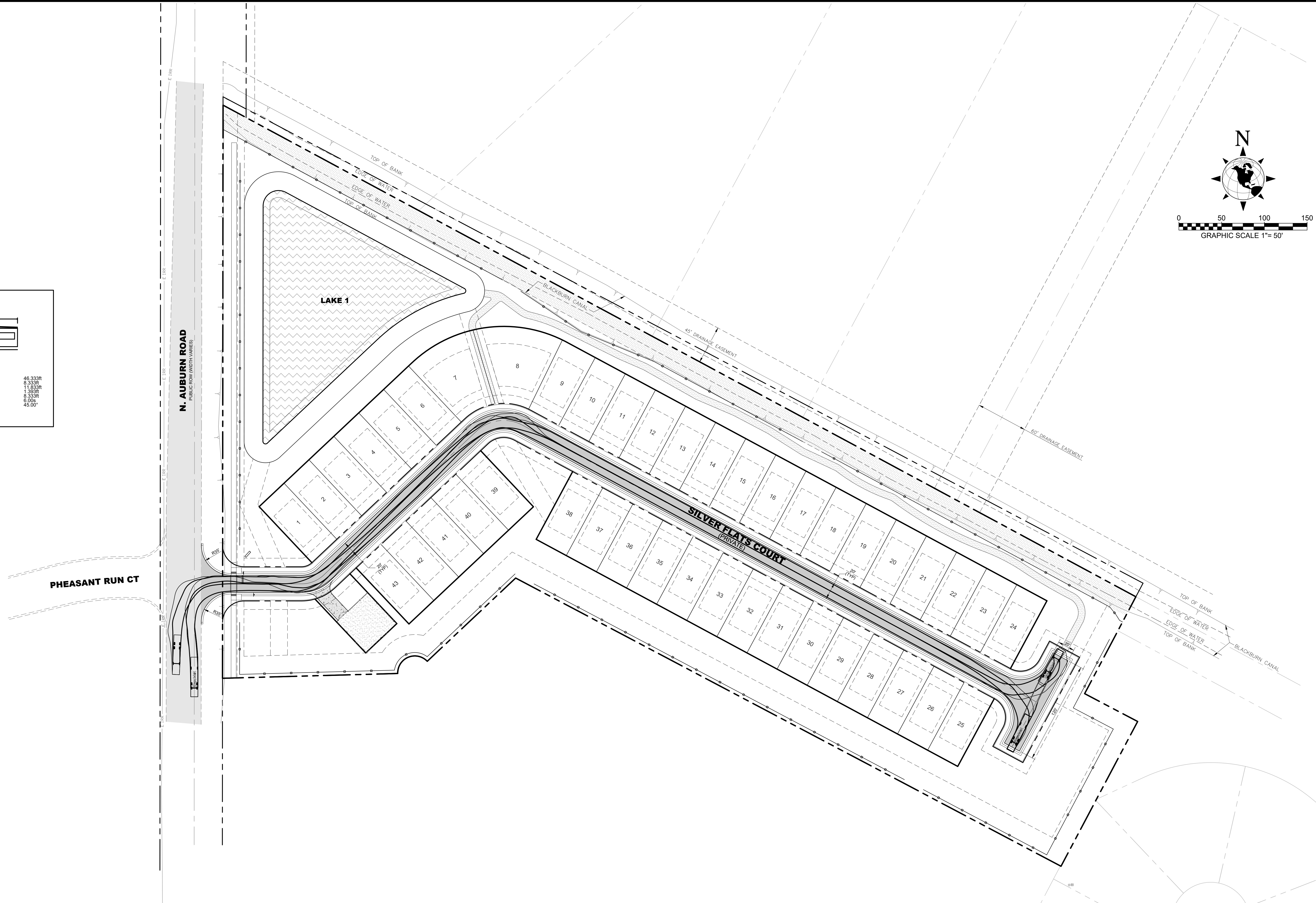
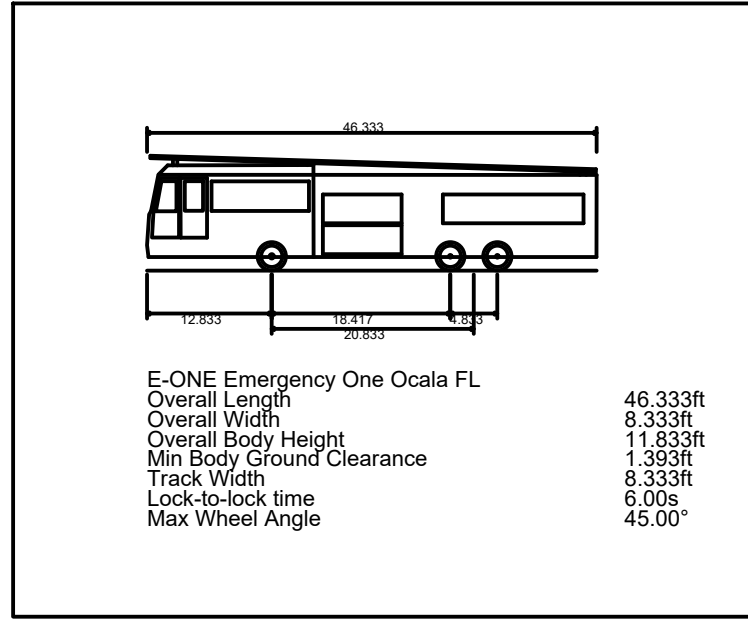
SITE PLAN  
**CHALET'S AT VENICE**  
CITY OF VENICE, FLORIDA

SCALE	1"=50'
VERTICAL DATUM	NAVD88
SHEET	5
OF	24
<small>ERIN LEAH TUMOLO FL LICENSE NO. 69073</small>	

NO.	DATE	REVISION DESCRIPTION	EDG BY
01	02/23/26	REV PVC FENCE AROUND PERIMETER, ADD 25' WILDLIFE CORRIDORS	EDG



0 50 100 150  
GRAPHIC SCALE 1"=50'



Source: 2/5/2026 2:51:54 PM, ECRMANAUG | Printed: 3/05/2026 3:14:32 PM, ECRMANAUG | 23, AVENUE CHALET AT VENICE, ENGINEERING BY PLAN OF CIVIL ENGINEERING

NO.	DATE	REVISION DESCRIPTION	BY

**M** MORRIS ENGINEERING AND CONSULTING, LLC  
Civil Engineering and Land Development Consulting  
6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A.28780 941-444-6644 www.morrisengineering.net

DATE 10/13/2025
PROJECT CVEN
DRAWING OSA CVEN TT
DRAWN EDG
CHECKED ELT

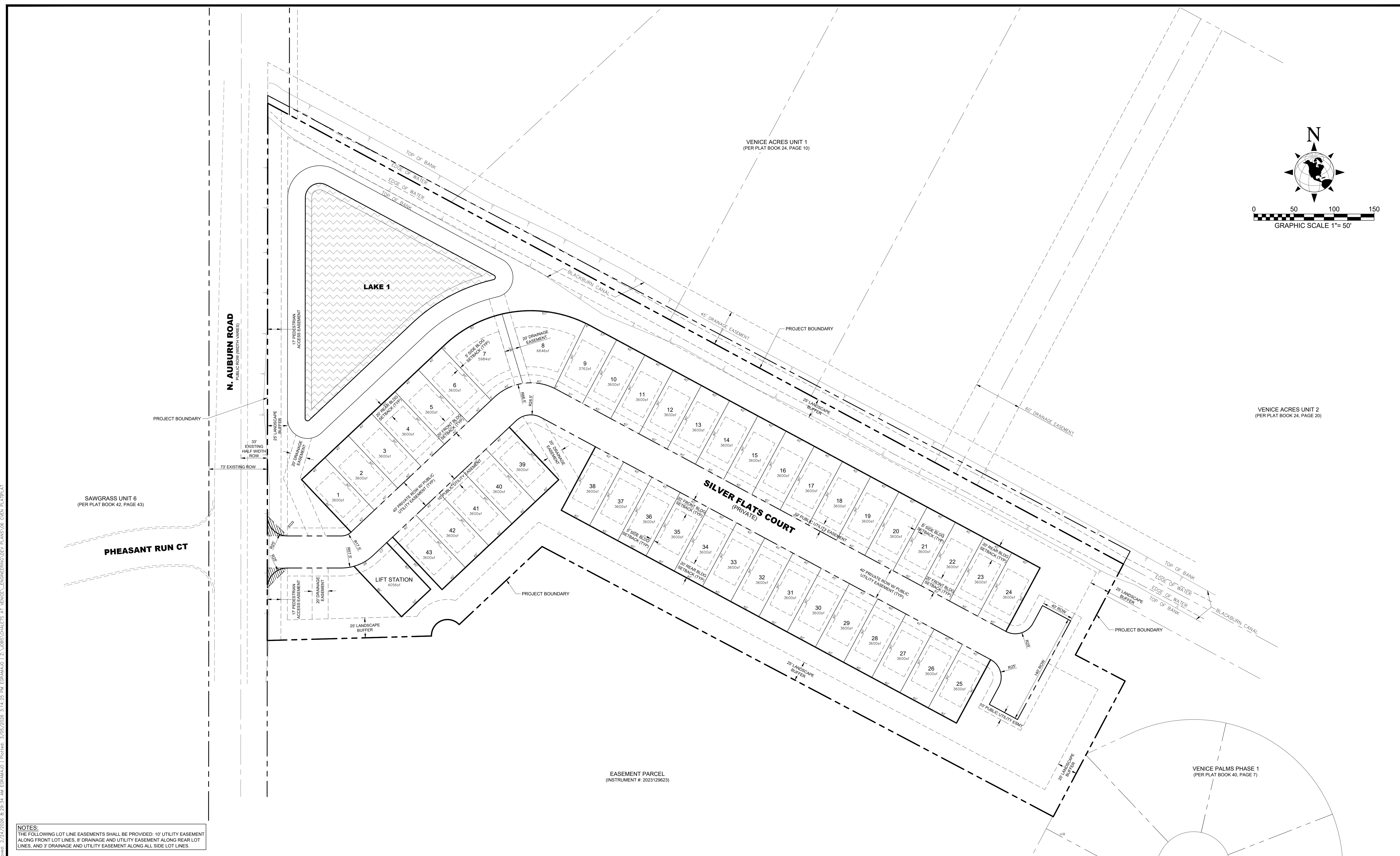
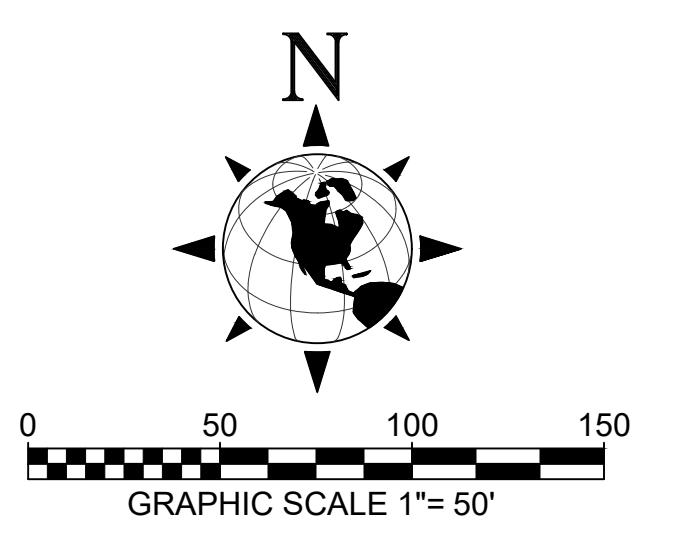
TURN PATH ANALYSIS  
**CHALETs AT VENICE**  
CITY OF VENICE, FLORIDA



SCALE  
1"=50'  
VERTICAL DATUM  
NAVD88  
SHEET 5A OF 24

ERIN LEAH TUMOLO  
FL LICENSE NO. 69073

Source: 2/24/2025, 8:29:34 AM, E:\GEMAS\03 - PHASE 1 - CHALET AT VENICE\ENGINEERING\DWG PLANS\06 - CVEN PLAT1.PLT  
 13 - VIEWS\CHALET AT VENICE\ENGINEERING\DWG PLANS\06 - CVEN PLAT1.PLT



**NOTES:**  
 THE FOLLOWING LOT LINE EASEMENTS SHALL BE PROVIDED: 10' UTILITY EASEMENT ALONG FRONT LOT LINES, 8' DRAINAGE AND UTILITY EASEMENT ALONG REAR LOT LINES, AND 3' DRAINAGE AND UTILITY EASEMENT ALONG ALL SIDE LOT LINES.

NO.	DATE	REVISION DESCRIPTION	BY


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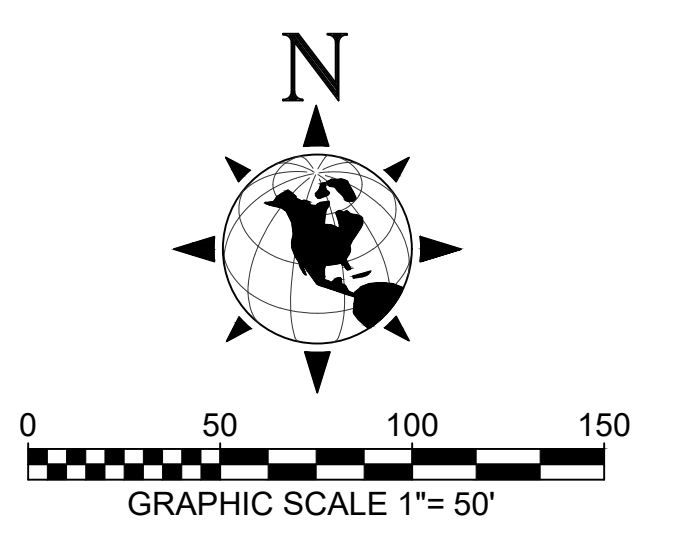
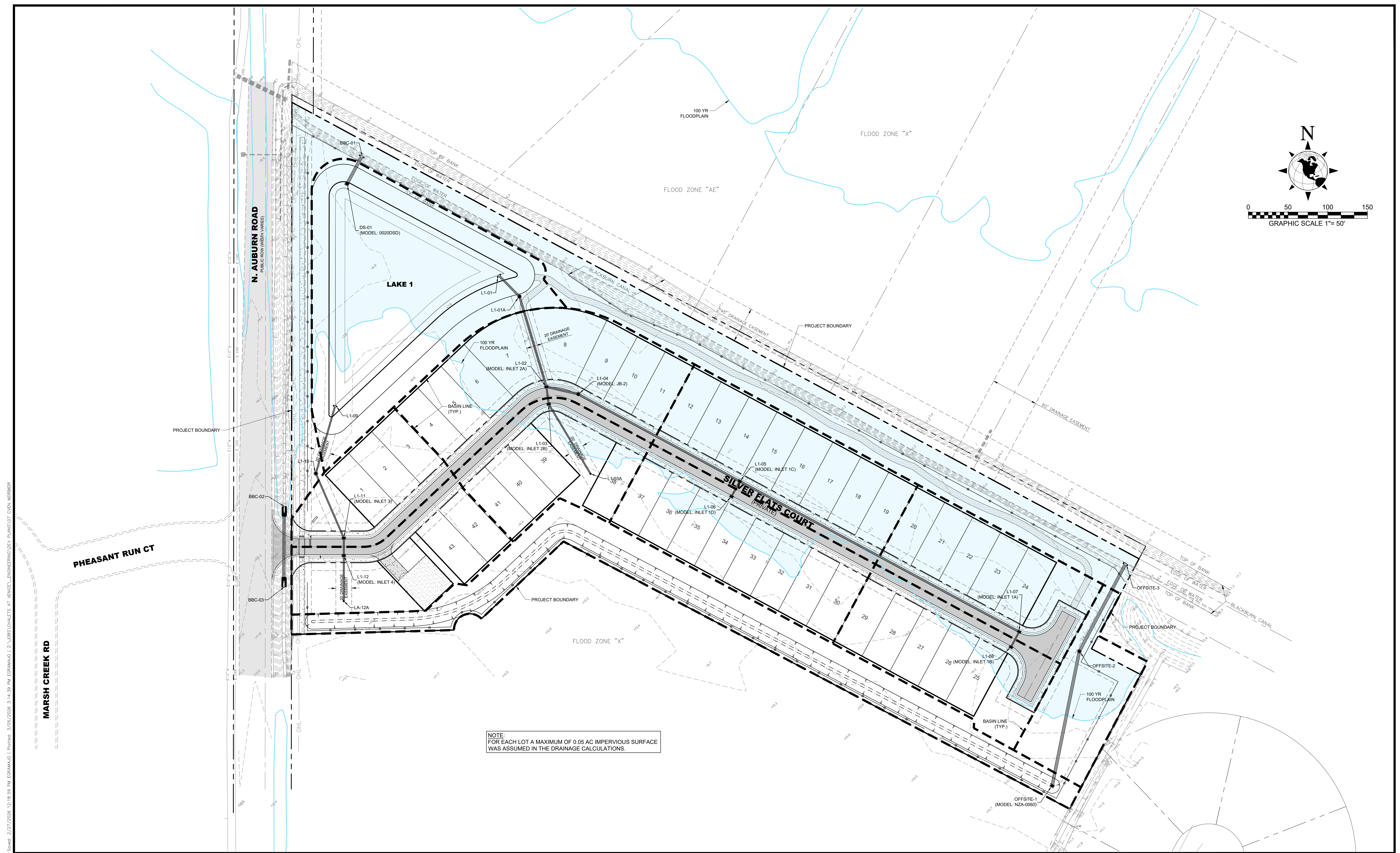
DATE	10/13/2025
PROJECT	CVEN
DRAWING	06 CVEN PLAT
DRAWN	EDG
CHECKED	ELT

PRELIMINARY PLAT  
**CHALET AT VENICE**  
 CITY OF VENICE, FLORIDA

SCALE	1"=50'
VERTICAL DATUM	NAVD88
SHEET	6
OF	24

ERIN LEAH TUMOLO  
 FL LICENSE NO. 69073

Source: 2/27/2025 12:55:59 PM E:\P\14010101\14010101\_PlanSet\14010101\_PlanSet\CONCEPTS\AT\_VENICE\_ENGINEERING\CONCEPTS\PLANSET\_CVEN\_MDR.MXD  
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NOTE:  
 FOR EACH LOT A MAXIMUM OF 0.05 AC IMPERVIOUS SURFACE  
 WAS ASSUMED IN THE DRAINAGE CALCULATIONS.

NO.	DATE	REVISION DESCRIPTION	BY
03	02/27/26	ADD DRAINAGE REPORT MODEL NAMES	EDG
02	12/05/25	ADD 100-YR FLOODPLAIN	EDG
01	10/28/25	ADD IMPERVIOUS NOTE	EDG

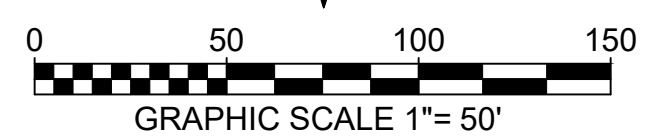
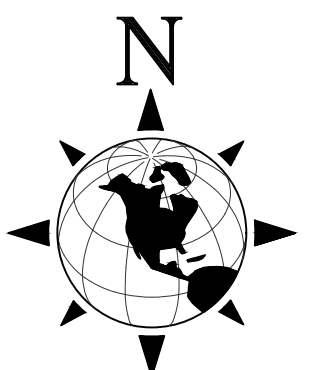

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 6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A.28780 941-444-6644 www.morrisengineering.net

DATE	10/13/2025
PROJECT	CVEN
DRAWING	07 CVEN MDR
DRAWN	EDG
CHECKED	ELT

MASTER DRAINAGE PLAN  
**CHALETS AT VENICE**  
 CITY OF VENICE, FLORIDA

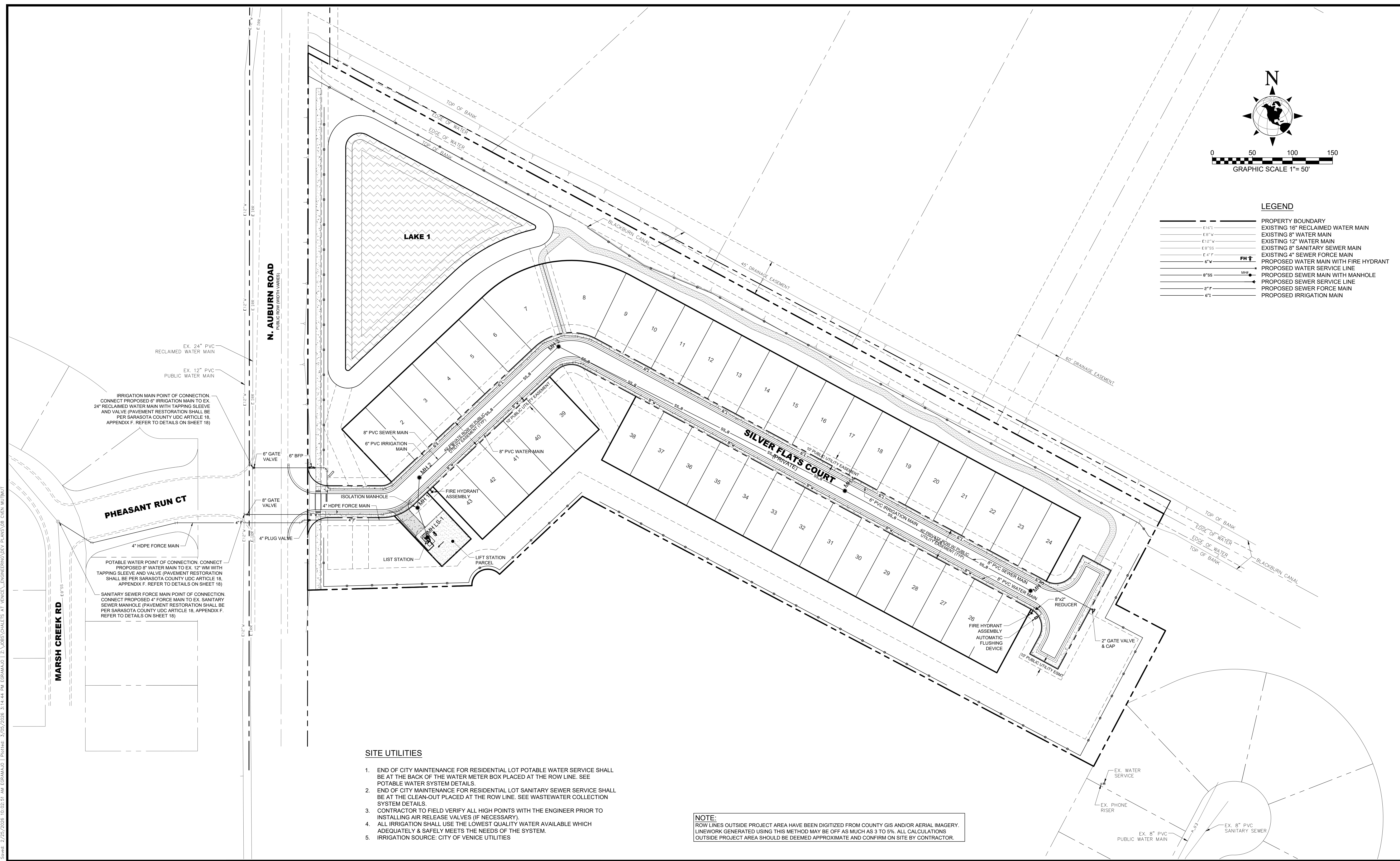
SCALE	1"=50'
VERTICAL DATUM	NAVD88
SHEET	7
OF	24

ERIN LEAH TUMOLO  
 FL LICENSE NO. 69073



**LEGEND**

---	PROPERTY BOUNDARY
---	EXISTING 16" RECLAIMED WATER MAIN
---	EXISTING 8" WATER MAIN
---	EXISTING 12" WATER MAIN
---	EXISTING 8" SANITARY SEWER MAIN
---	EXISTING 4" SEWER FORCE MAIN
---	PROPOSED WATER MAIN WITH FIRE HYDRANT
---	PROPOSED WATER SERVICE LINE
---	PROPOSED SEWER MAIN WITH MANHOLE
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED SEWER FORCE MAIN
---	PROPOSED IRRIGATION MAIN



**SITE UTILITIES**

1. END OF CITY MAINTENANCE FOR RESIDENTIAL LOT POTABLE WATER SERVICE SHALL BE AT THE BACK OF THE WATER METER BOX PLACED AT THE ROW LINE. SEE POTABLE WATER SYSTEM DETAILS.
2. END OF CITY MAINTENANCE FOR RESIDENTIAL LOT SANITARY SEWER SERVICE SHALL BE AT THE CLEAN-OUT PLACED AT THE ROW LINE. SEE WASTEWATER COLLECTION SYSTEM DETAILS.
3. CONTRACTOR TO FIELD VERIFY ALL HIGH POINTS WITH THE ENGINEER PRIOR TO INSTALLING AIR RELEASE VALVES (IF NECESSARY).
4. ALL IRRIGATION SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY & SAFELY MEETS THE NEEDS OF THE SYSTEM.
5. IRRIGATION SOURCE: CITY OF VENICE UTILITIES

**NOTE:**  
ROW LINES OUTSIDE PROJECT AREA HAVE BEEN DIGITIZED FROM COUNTY GIS AND/OR AERIAL IMAGERY. LINEWORK GENERATED USING THIS METHOD MAY BE OFF AS MUCH AS 3 TO 5%. ALL CALCULATIONS OUTSIDE PROJECT AREA SHOULD BE DEEMED APPROXIMATE AND CONFIRM ON SITE BY CONTRACTOR.

Source: 2/25/2025, 10:05:51 AM, E:\P\1403\1403.dwg | Printed: 3/05/2025, 3:14:44 PM, E:\P\1403\1403.dwg | Project: 3/05/2025, 3:14:44 PM, E:\P\1403\1403.dwg | User: JLD | Title: CHALET'S AT VENICE - ENGINEERING LAYOUT PLANS - CIVIL - MUT PLAN

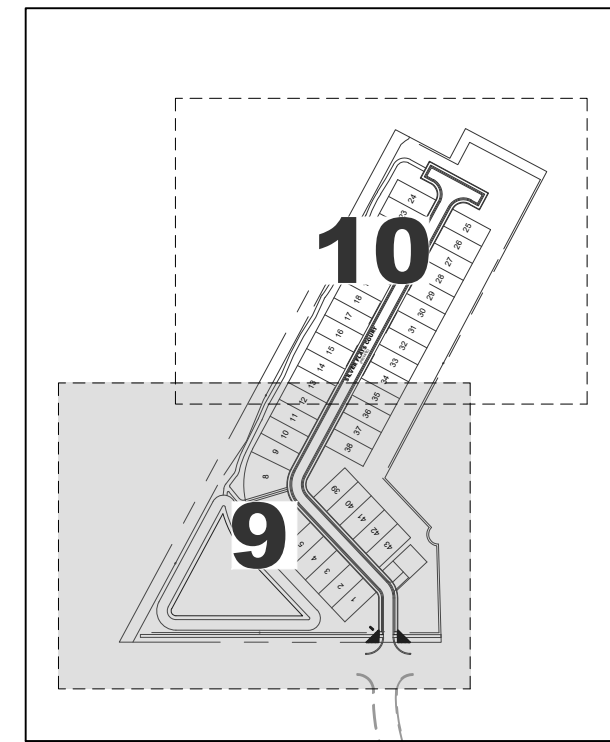
NO.	DATE	REVISION DESCRIPTION	BY
02	02/23/26	REV CALLOUTS FOR UTILITIES MAIN POC, ADD NOTE	EDG
01	12/05/25	REMOVED BLOW-OFF ASS'LY, ADD AUTOFLUSHER TO WM	EDG


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DATE	10/13/2025
PROJECT	CVEN
DRAWING	08 CVEN MUT
DRAWN	EDG
CHECKED	ELT

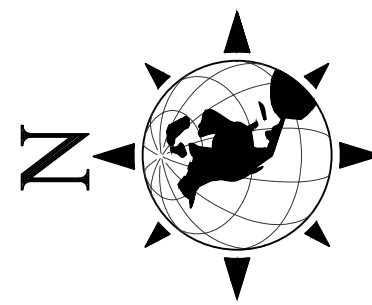
MASTER UTILITY PLAN  
**CHALET'S AT VENICE**  
 CITY OF VENICE, FLORIDA

SCALE	1"=50'
VERTICAL DATUM	NAVD88
SHEET	8
OF	24
ERIN LEAH TUMOLO FL LICENSE NO. 69073	



**SHEET KEY**

1" = 400'

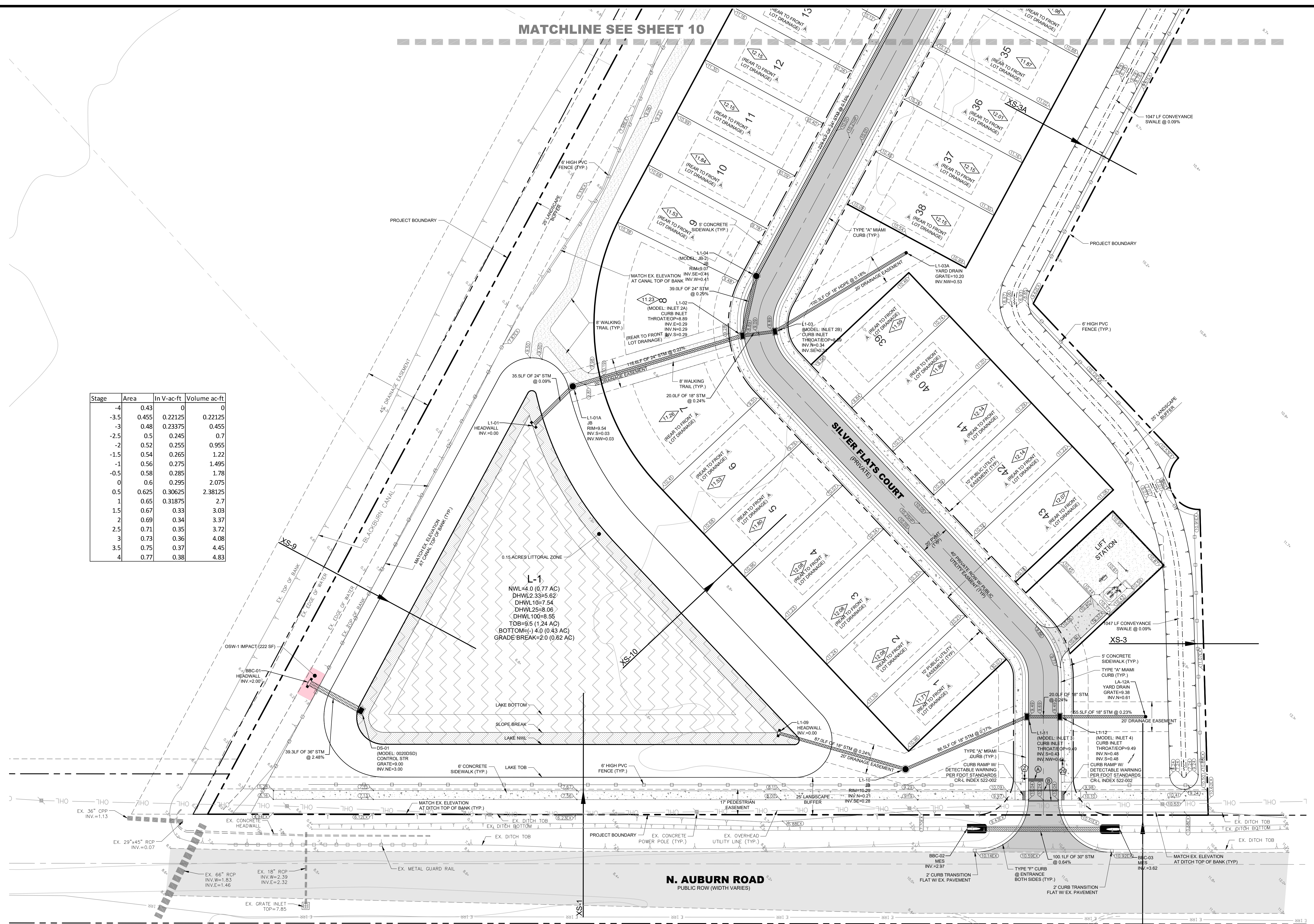


Stage	Area	In V-ac-ft	Volume ac-ft
-4	0.43	0	0
-3.5	0.455	0.22125	0.22125
-3	0.48	0.23375	0.455
-2.5	0.5	0.245	0.7
-2	0.52	0.255	0.955
-1.5	0.54	0.265	1.22
-1	0.56	0.275	1.495
-0.5	0.58	0.285	1.78
0	0.6	0.295	2.075
0.5	0.625	0.30625	2.38125
1	0.65	0.31875	2.7
1.5	0.67	0.33	3.03
2	0.69	0.34	3.37
2.5	0.71	0.35	3.72
3	0.73	0.36	4.08
3.5	0.75	0.37	4.45
4	0.77	0.38	4.83

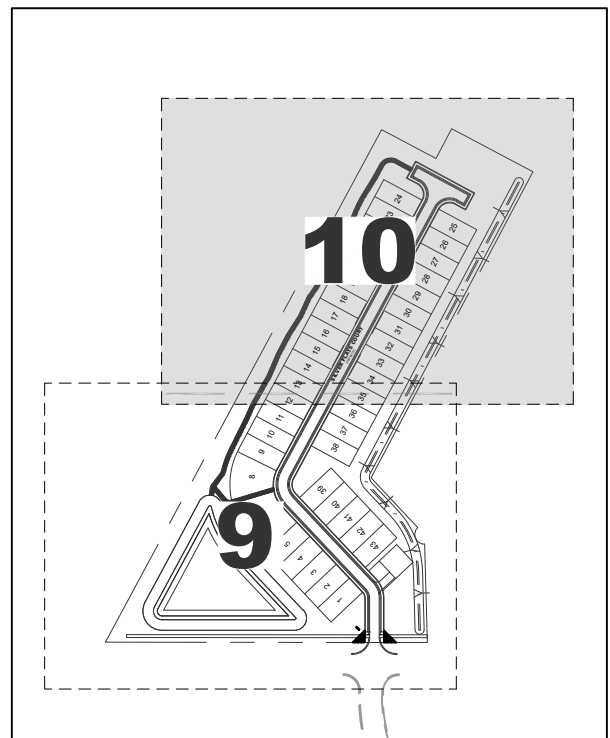
**SIGN & STRIPING LEGEND**

- 20 M.P.H. SPEED LIMIT SIGN (R2-1), 24"x30"
- KEEP RIGHT (R4-7), 24"x30"
- PED. CROSSING (W11-2), 36"x36"
- STOP (R1-1), 30"x30"
- HANDICAP PARKING
- 24" WHITE STOP LINE
- 12" WHITE CROSSWALK LINE
- PAVEMENT ARROW MARKING
- REFLECTIVE YELLOW NOSE PAINT AT ENDS
- 6" YELLOW LINE
- 6" WHITE LINE
- RAISED PAVEMENT MARKERS (RPMs) AT 20' O/C
- 6" WHITE 2'-4" DOTTED GUIDE
- BICYCLE LANE MARKING
- LOT GRADING TYPE A (SEE DETAIL SHEET)
- LOT GRADING TYPE B (SEE DETAIL SHEET)

MATCHLINE SEE SHEET 10

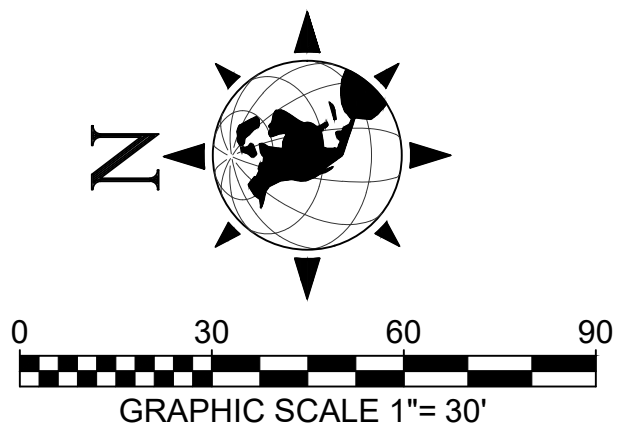


	<p><b>MORRIS ENGINEERING AND CONSULTING, LLC</b> Civil Engineering and Land Development Consulting 6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A. 28780 941-444-6644 www.morrisengineering.net</p>	<p>DATE 10/13/2025</p> <p>PROJECT CVEN</p> <p>DRAWING 09 CVEN PGD</p> <p>DRAWN EDG</p> <p>CHECKED ELT</p>	<p>PAVING, GRADING, &amp; DRAINAGE PLAN <b>CHALETS AT VENICE</b> CITY OF VENICE, FLORIDA</p>	<p>SCALE 1" = 30'</p> <p>VERTICAL DATUM NAVD88</p> <p>SHEET <b>9</b> OF <b>24</b></p>																								
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>04</td> <td>02/23/26</td> <td>REV CURB RAMP LANDINGS PER FDOT STANDARDS</td> <td>EDG</td> </tr> <tr> <td>03</td> <td>12/28/25</td> <td>ADD PPV STAGE/STORAGE INFORMATION</td> <td>EDG</td> </tr> <tr> <td>02</td> <td>12/05/25</td> <td>ADD LITTORAL ZONE TO LAKE</td> <td>EDG</td> </tr> <tr> <td>01</td> <td>10/28/25</td> <td>ADD LOT SPECIFIC DRAINAGE PATTERN, REV L-1 DHWL #5</td> <td>EDG</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DATE	REVISION DESCRIPTION	BY	04	02/23/26	REV CURB RAMP LANDINGS PER FDOT STANDARDS	EDG	03	12/28/25	ADD PPV STAGE/STORAGE INFORMATION	EDG	02	12/05/25	ADD LITTORAL ZONE TO LAKE	EDG	01	10/28/25	ADD LOT SPECIFIC DRAINAGE PATTERN, REV L-1 DHWL #5	EDG							<p>ERIN LEAH TUMOLO FL LICENSE NO. 69073</p>
	NO.	DATE	REVISION DESCRIPTION	BY																								
	04	02/23/26	REV CURB RAMP LANDINGS PER FDOT STANDARDS	EDG																								
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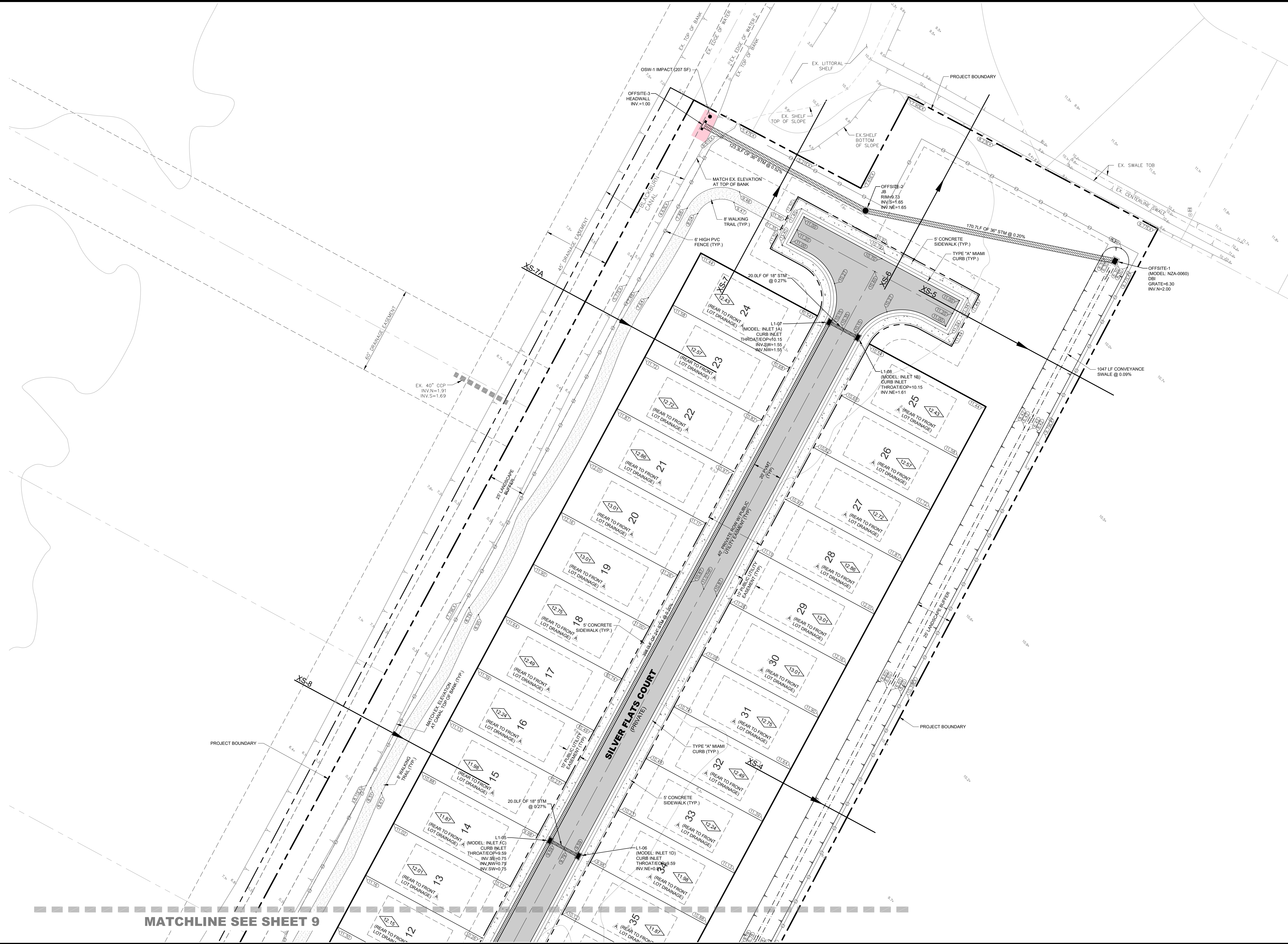
**SHEET KEY**

1" = 400'



**SIGN & STRIPING LEGEND**

- 20 M.P.H. SPEED LIMIT SIGN, (R2-1), 24"x30"
- KEEP RIGHT (R4-7), 24"x30"
- PED. CROSSING (W11-2), 35"x35"
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- HANDICAP PARKING
- 24" WHITE STOP LINE
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- PAVEMENT ARROW MARKING
- REFLECTIVE YELLOW NOSE PAINT AT ENDS
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- BICYCLE LANE MARKING
- LOT GRADING TYPE A (SEE DETAIL SHEET)
- LOT GRADING TYPE B (SEE DETAIL SHEET)



NO.	DATE	REVISION DESCRIPTION	EDG BY
01	10/28/25	ADD LOT SPECIFIC DRAINAGE PATTERN	EDG

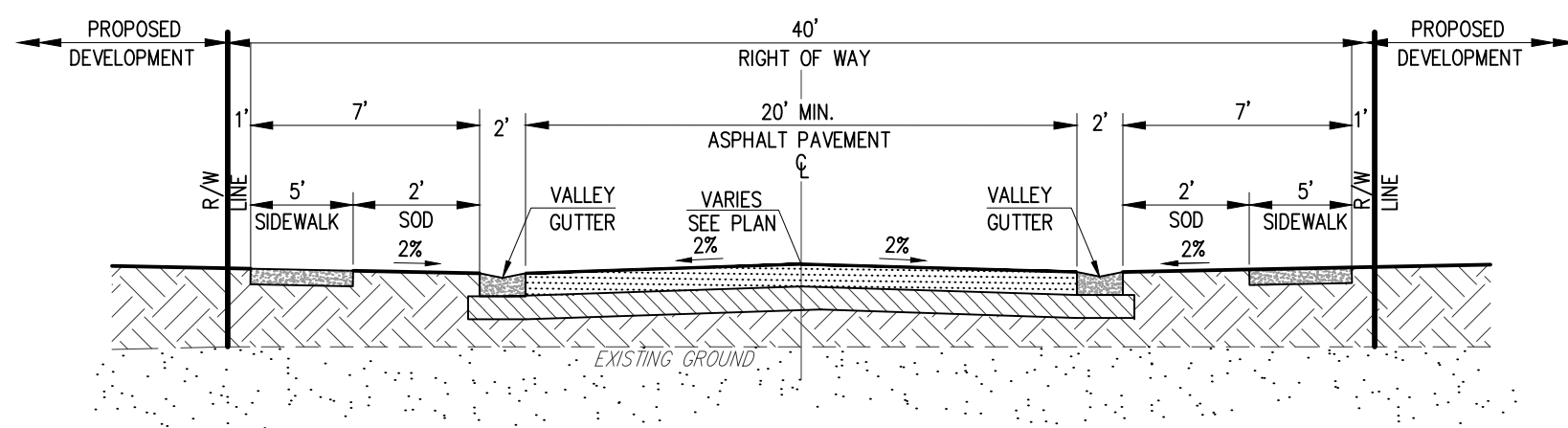
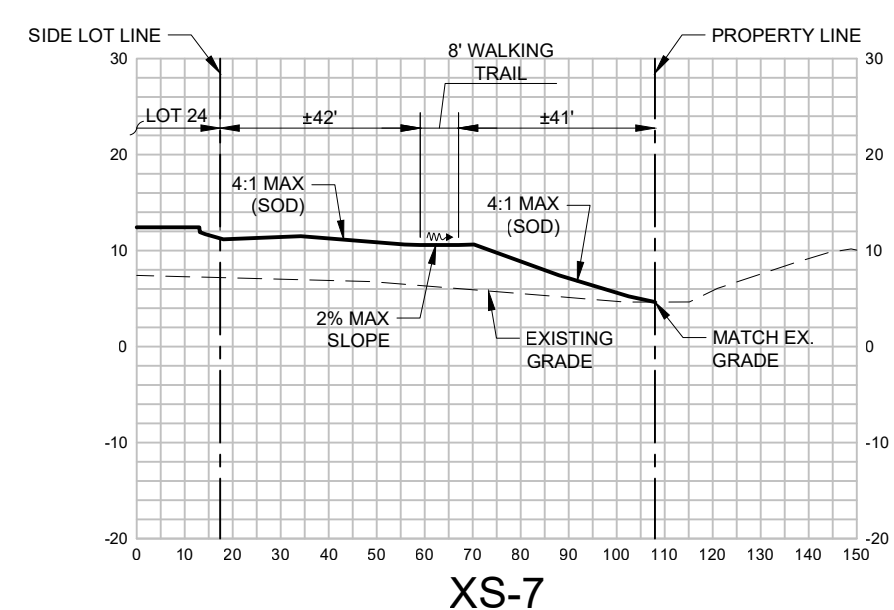
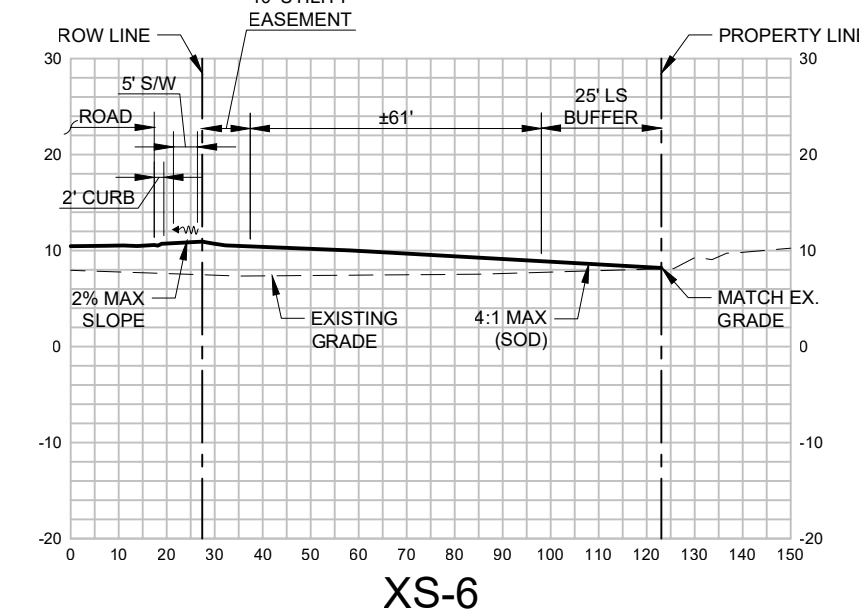
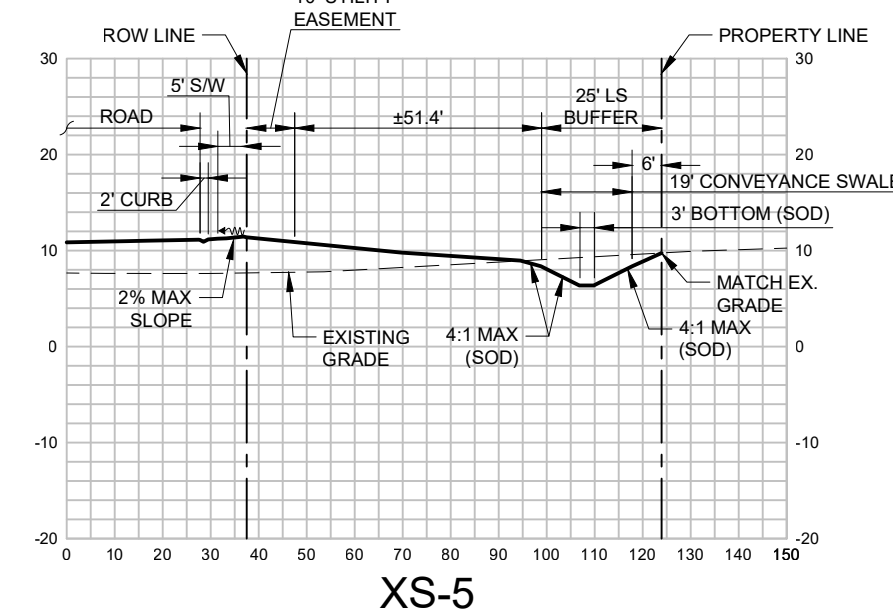
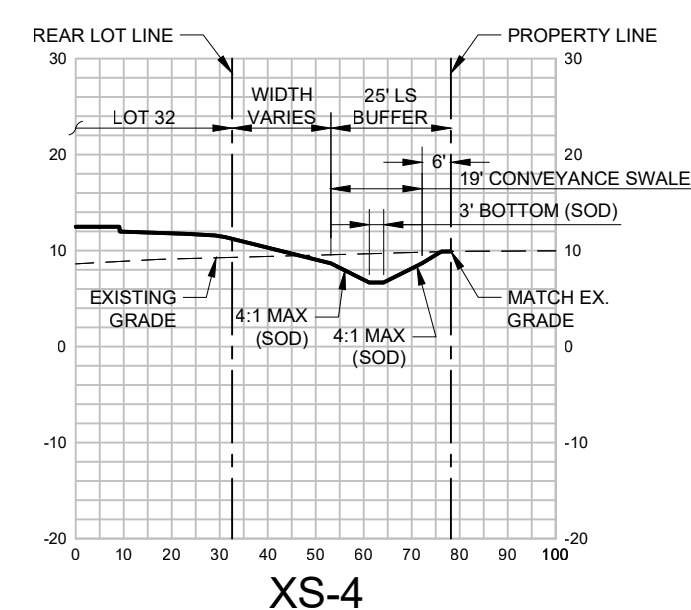
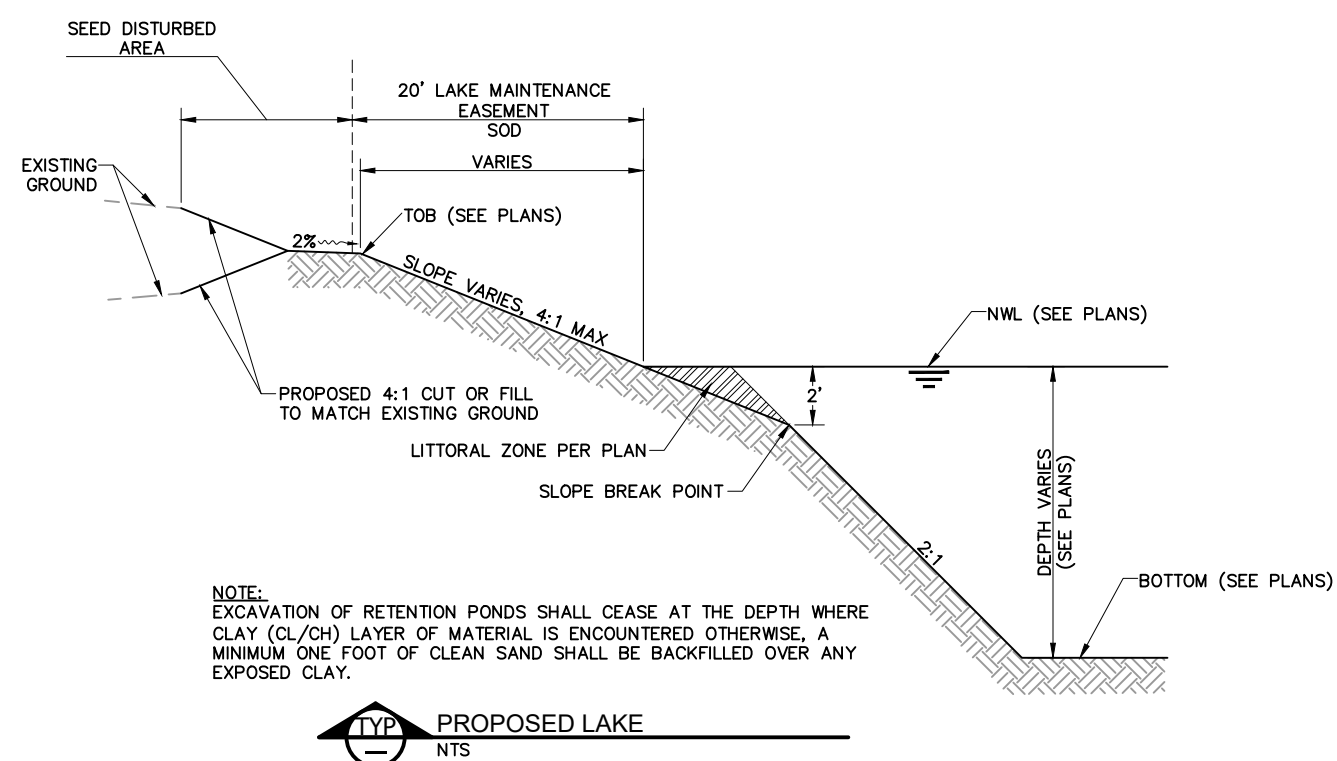
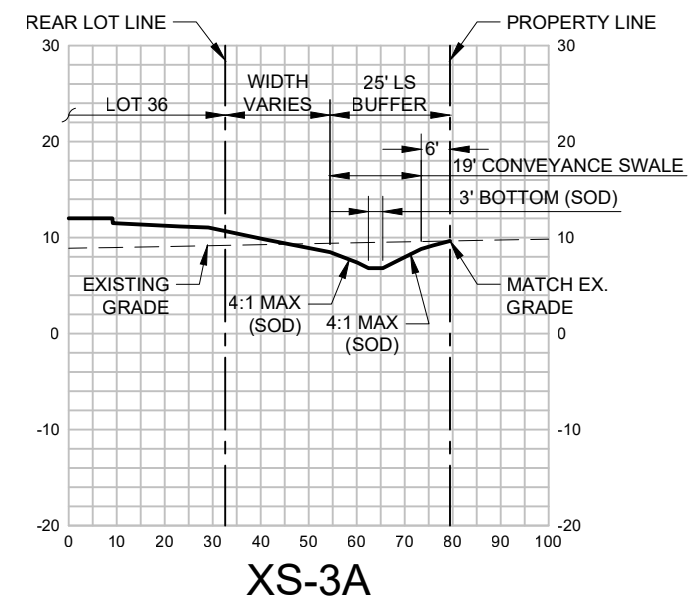
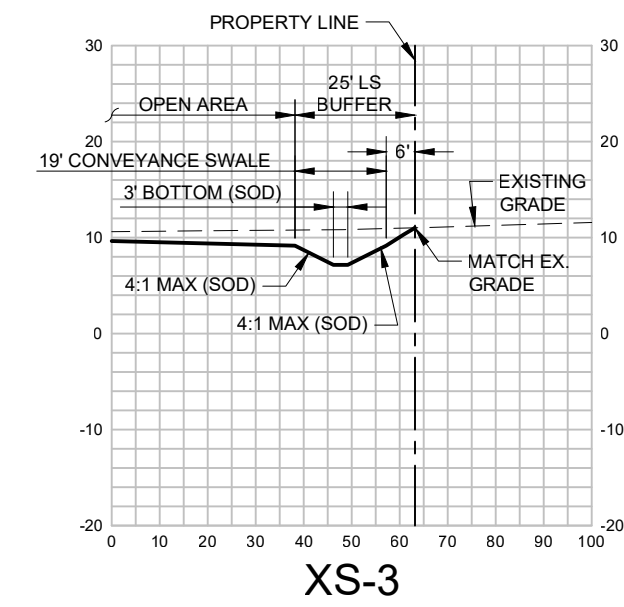
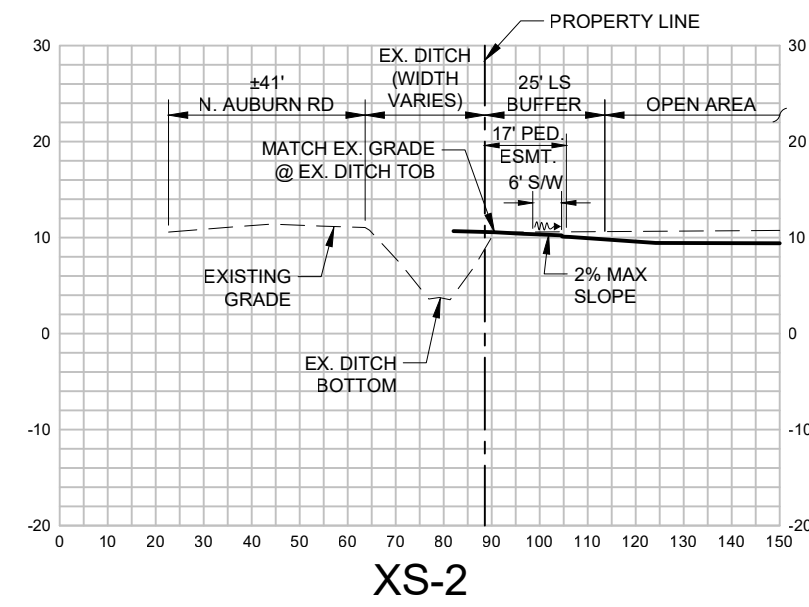
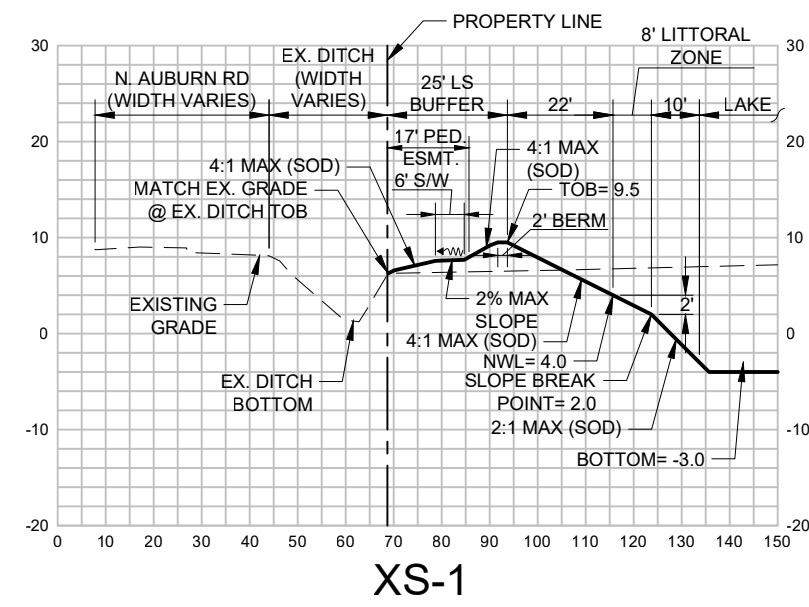
**M** MORRIS ENGINEERING AND CONSULTING, LLC  
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 6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A. 28780 941-444-6644 www.morrisengineering.net

DATE	10/13/2025
PROJECT	CVEN
DRAWING	10 CVEN PGD
DRAWN	EDG
CHECKED	ELT

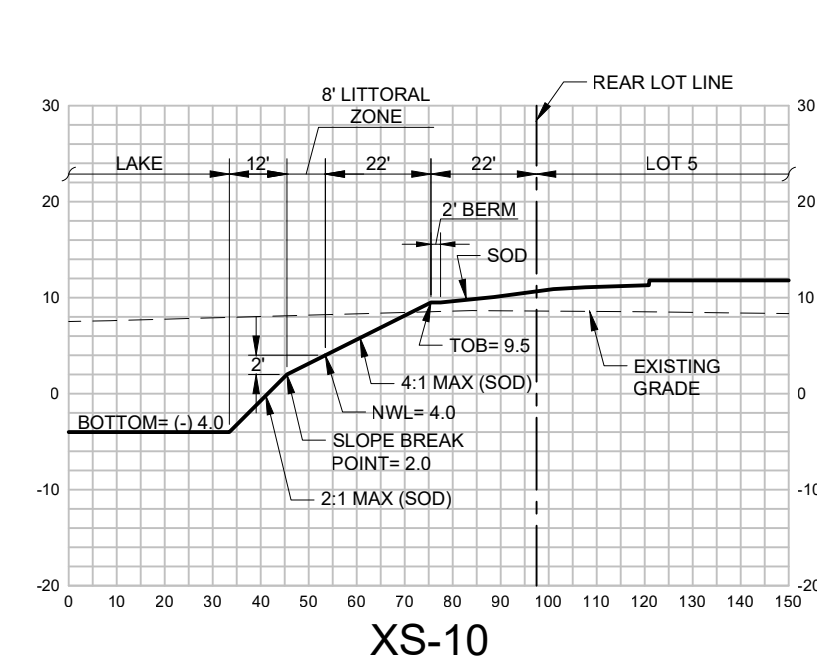
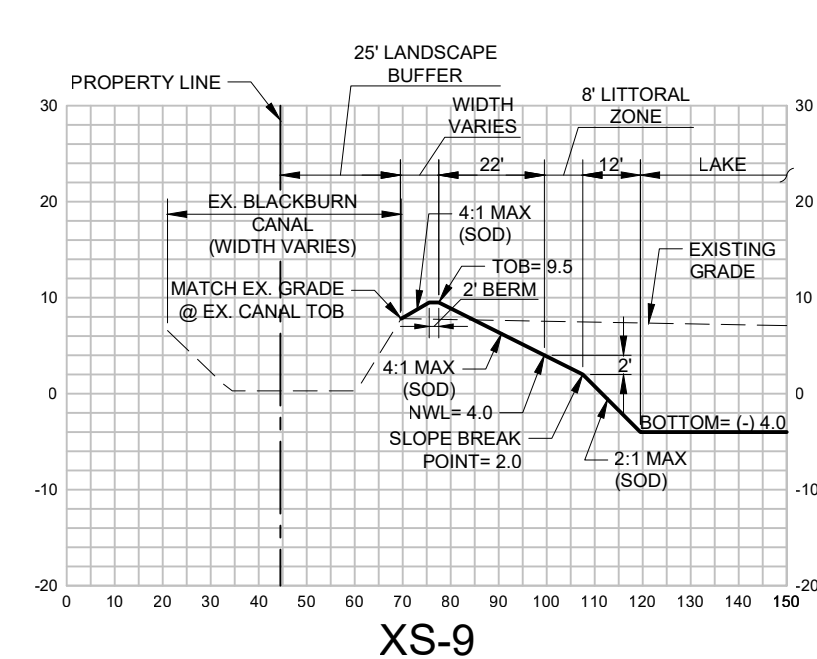
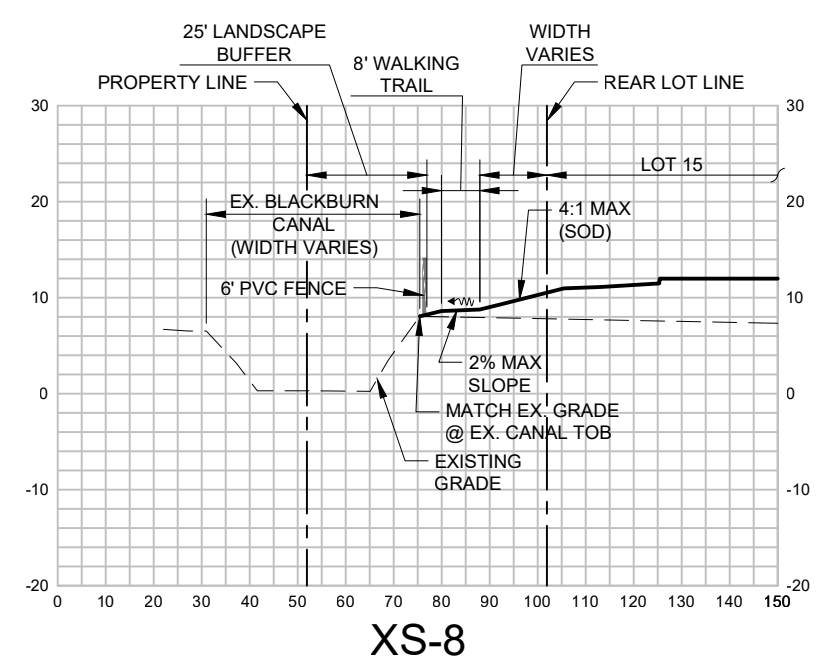
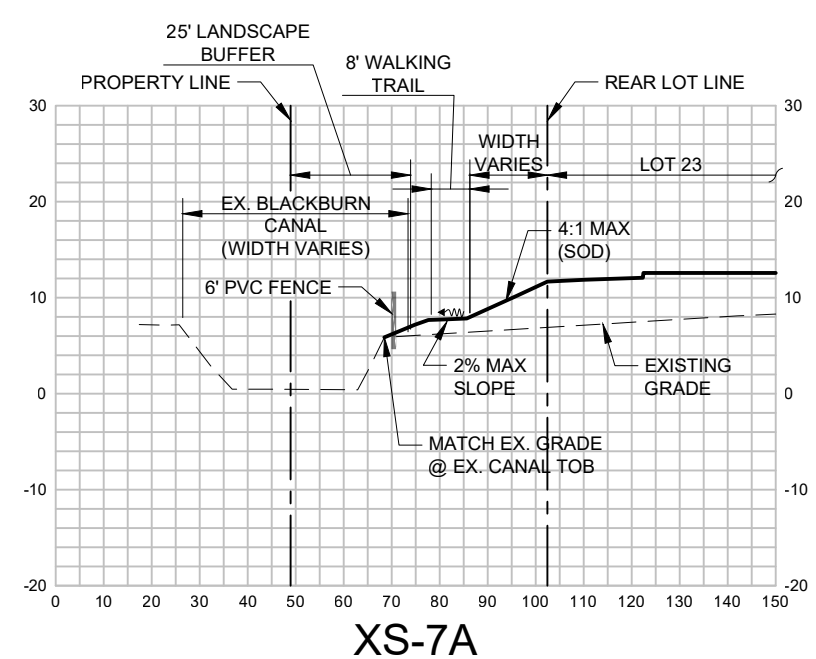
PAVING, GRADING, & DRAINAGE PLAN  
**CHALETs AT VENICE**  
 CITY OF VENICE, FLORIDA

SCALE	1" = 30'
VERTICAL DATUM	NAVD88
SHEET	10
OF	24

ERIN LEAH TUMOLO  
 FL LICENSE NO. 69073



TYPICAL 40' ROW ROAD CROSS SECTION  
N.T.S.



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DATE	09/19/2025
PROJECT	CVEN
DRAWING	11 CVEN SEC
DRAWN	EDG
CHECKED	ELT

CROSS SECTIONS  
**CHALETS AT VENICE**  
CITY OF VENICE, FLORIDA

SCALE	H1"=40' V1"=2'
VERTICAL DATUM	NAVD88
SHEET	11
OF	24

ERIN LEAH TUMOLO  
FL LICENSE NO. 69073

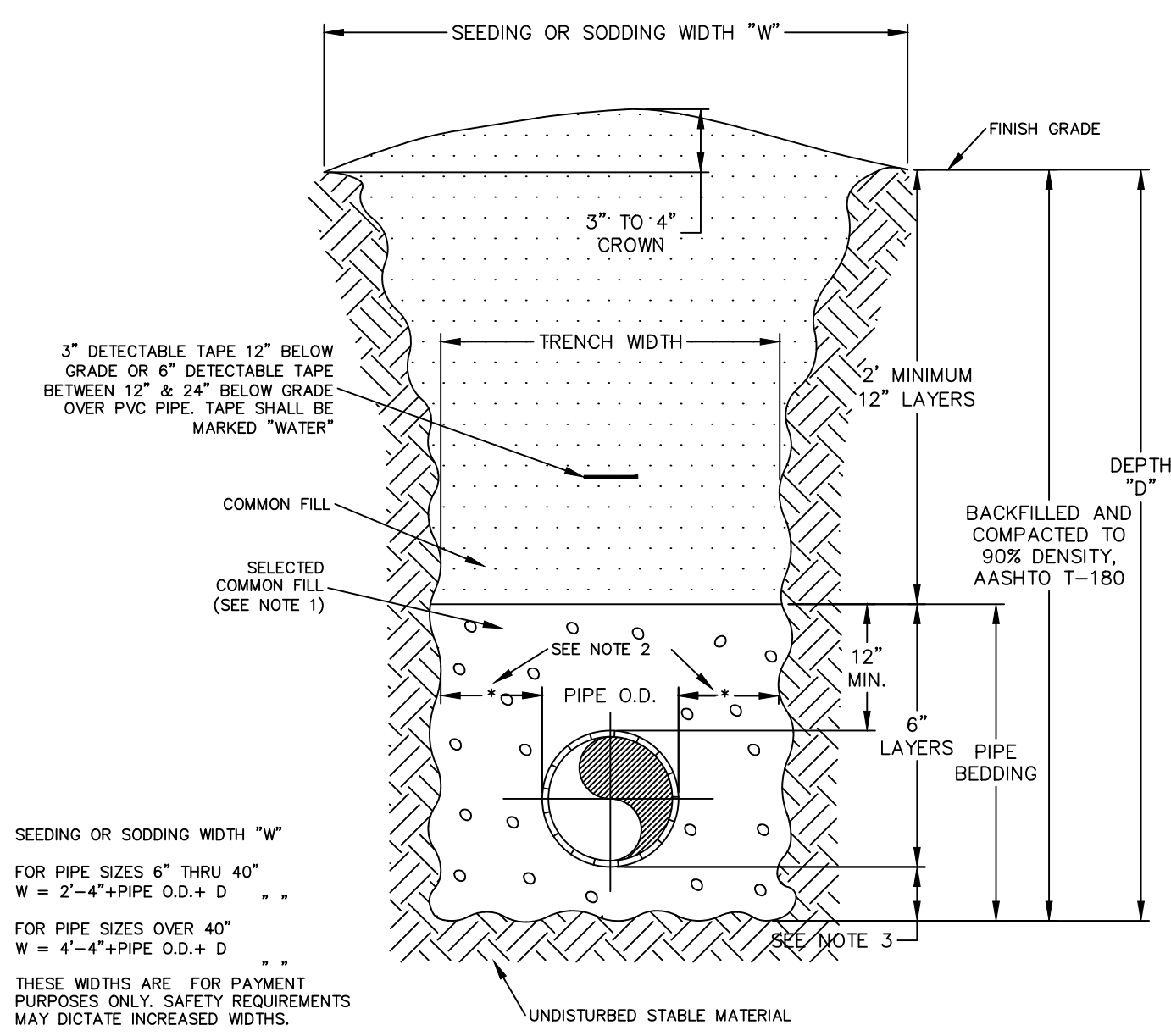
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NOTES:

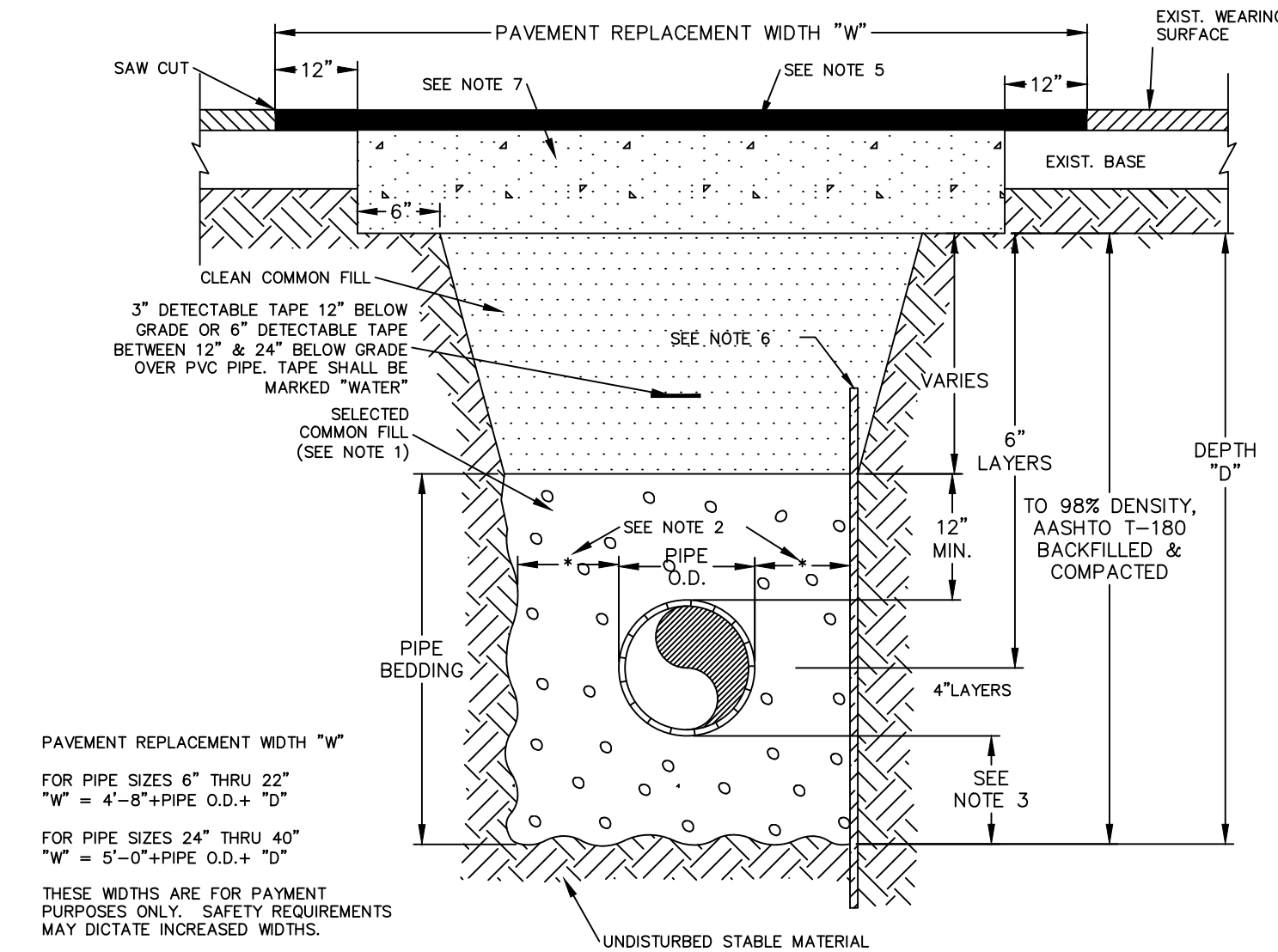
- 1.) USE OF TYPE A-2 AND A-3 PIPE BEDDING TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
- 2.) 10" MAX. FOR PIPE DIAMETER LESS THAN 24"; 12" MAX. FOR PIPE DIAMETER 24" AND LESS THAN 42"; 24" MAX. FOR PIPE DIAMETER 42" AND OVER.
- 3.) 4" MAX. FOR PIPE 18" DIAMETER & LESS; 6" MAX. FOR PIPE 18" TO 36" DIAMETER; AND 9" MAX. FOR PIPE 42" DIAMETER AND LARGER.
- 4.) INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.



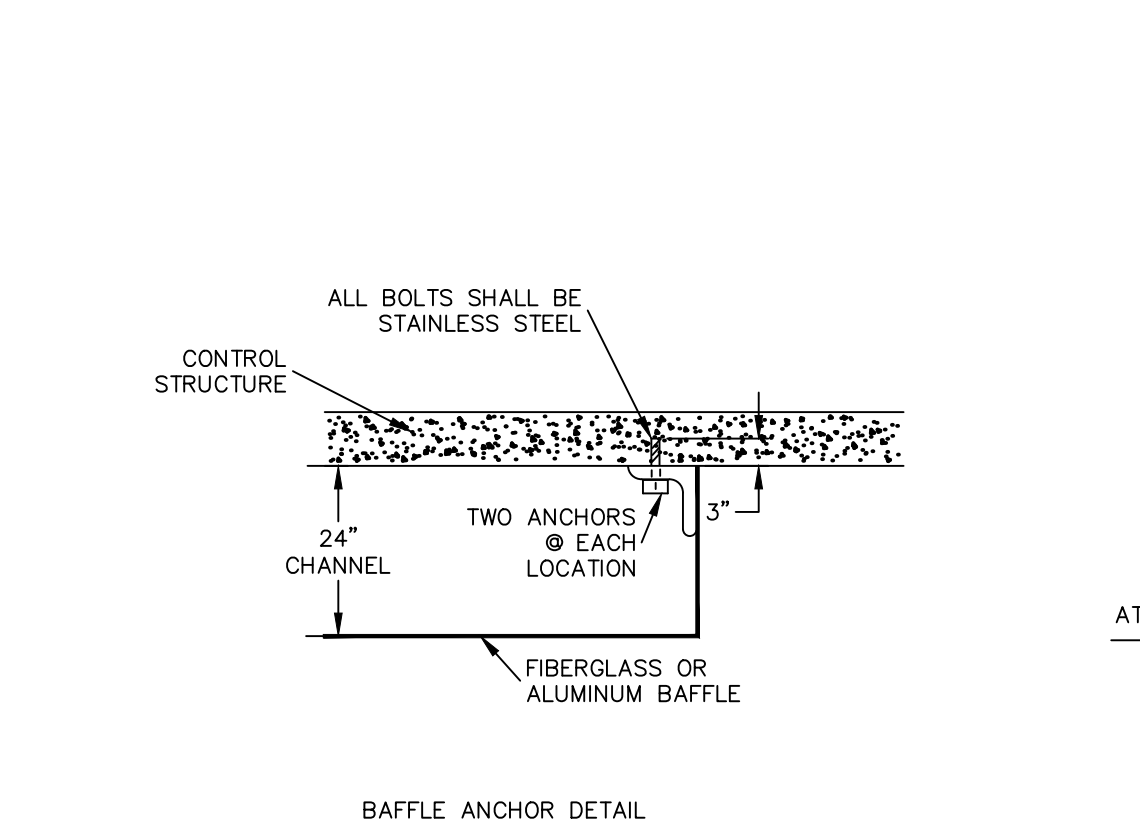
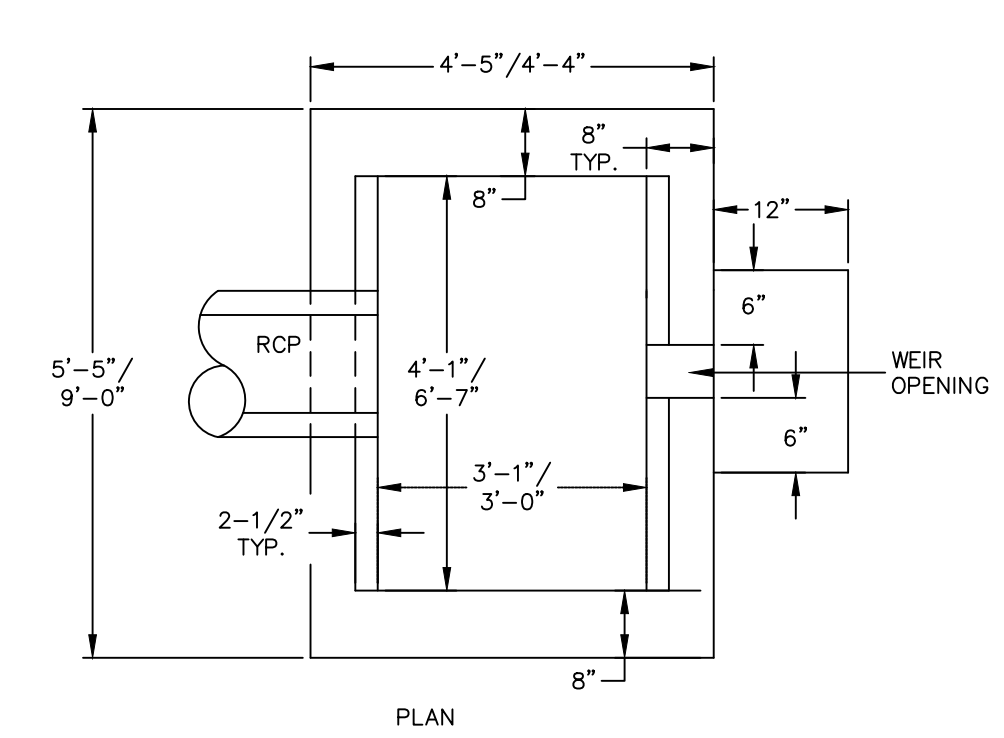
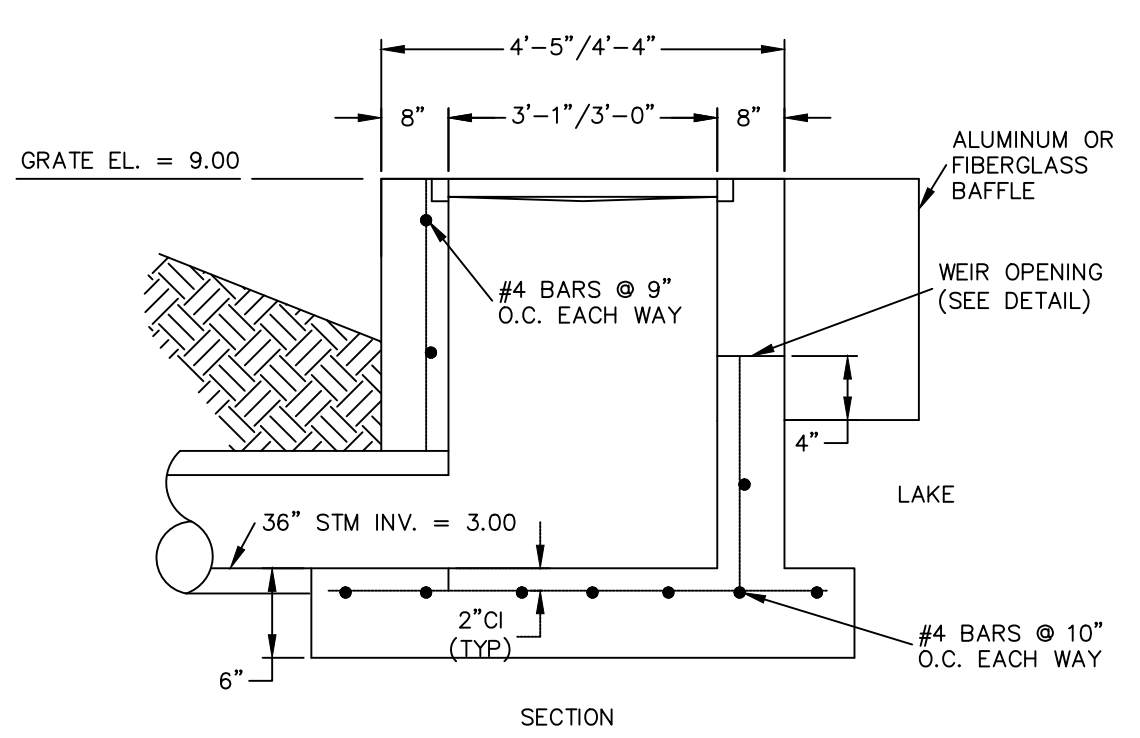
TRENCH DETAIL - UNIMPROVED SURFACE  
TYPE A-1 PIPE BEDDING  
N.T.S.

NOTES:

- 1.) USE OF TYPE A-2 AND A-3 PIPE BEDDING TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
- 2.) 10" MAX. FOR PIPE DIAMETERS LESS THAN 24"; 12" MAX. FOR PIPE DIAMETER 24" AND LESS THAN 42"; 24" MAX. FOR PIPE DIAMETER 42" AND OVER.
- 3.) 4" MAX. FOR PIPE 18" DIAMETER & LESS; 6" MAX. FOR PIPE 18" TO 36" DIAMETER; AND 9" MAX. FOR PIPE 42" DIAMETER AND LARGER.
- 4.) INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- 5.) WEARING SURFACE TO BE SAME TYPE & THICKNESS (1/2" MIN.) AS EXISTING PAVEMENT.
- 6.) SHEETING ORDERED LEFT IN PLACE TO BE CUT OFF 24" BELOW FINISHED GRADE OR 12" BELOW SUBGRADE.
- 7.) BASE SHALL BE 6" MINIMUM THICKNESS SAND ASPHALT, 10" MIN. THICKNESS CRUSHED CONCRETE, OR APPROVED EQUAL.
- 8.) BACKFILL AASHTO M-145 SHALL BE PLACED IN LAYERS NOT TO EXCEED 6 INCHES. EACH LAYER SHALL BE THOROUGHLY TAMPED AND/OR ROLLED TO 98% AASHTO T-180 DENSITY.
- 9.) TEMPORARY PATCHES WILL BE INSTALLED TO PROVIDE A SMOOTH ALL WEATHER SURFACE AT ALL TIMES. PERMANENT REPLACEMENT TO BE MADE AS SOON AS POSSIBLE.
- 10.) NOTES 5.) THRU 9.) ARE MINIMUM REQUIREMENTS. REFER TO MANATEE COUNTY TRANSPORTATION DEPARTMENT FOR ADDITIONAL REQUIREMENTS.

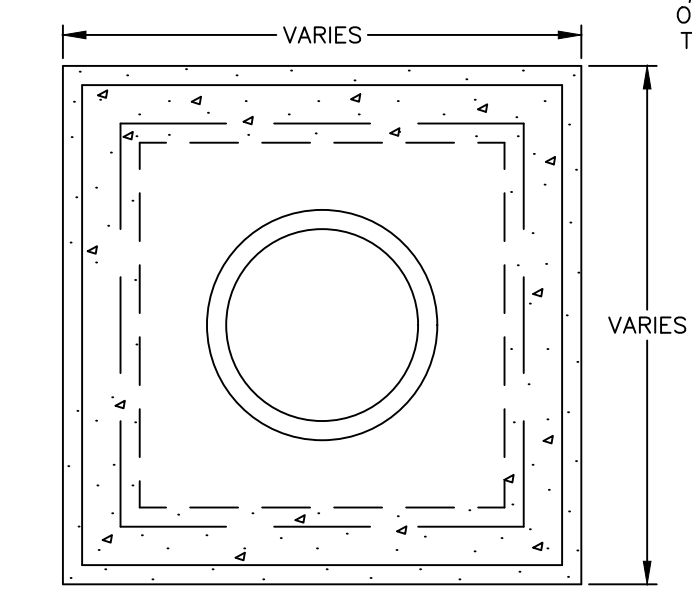
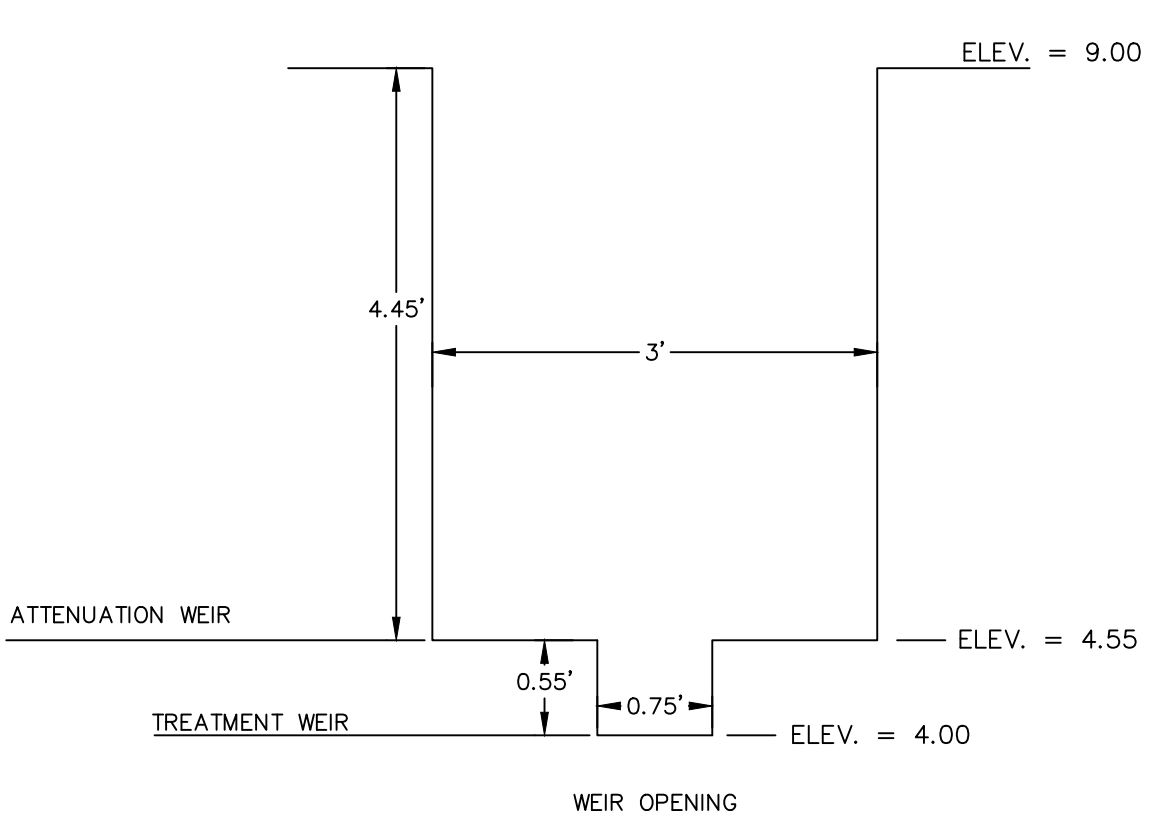


TRENCH DETAIL - ASPH. PAVEMENT SURFACE  
TYPE A-1 PIPE BEDDING  
N.T.S.



NOTE: ALL BAFFLES TO BE MOUNTED 6" PAST EITHER SIDE OF THE WEIR OPENING

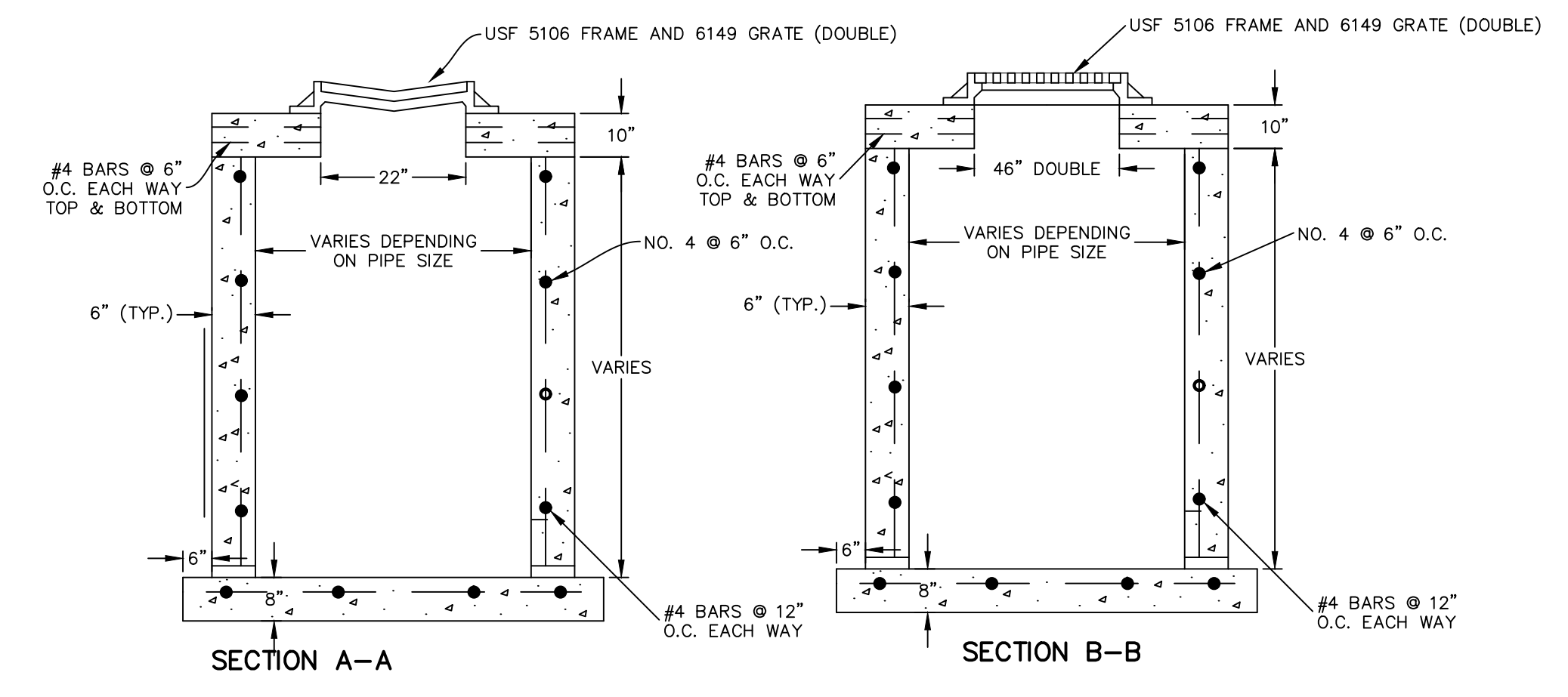
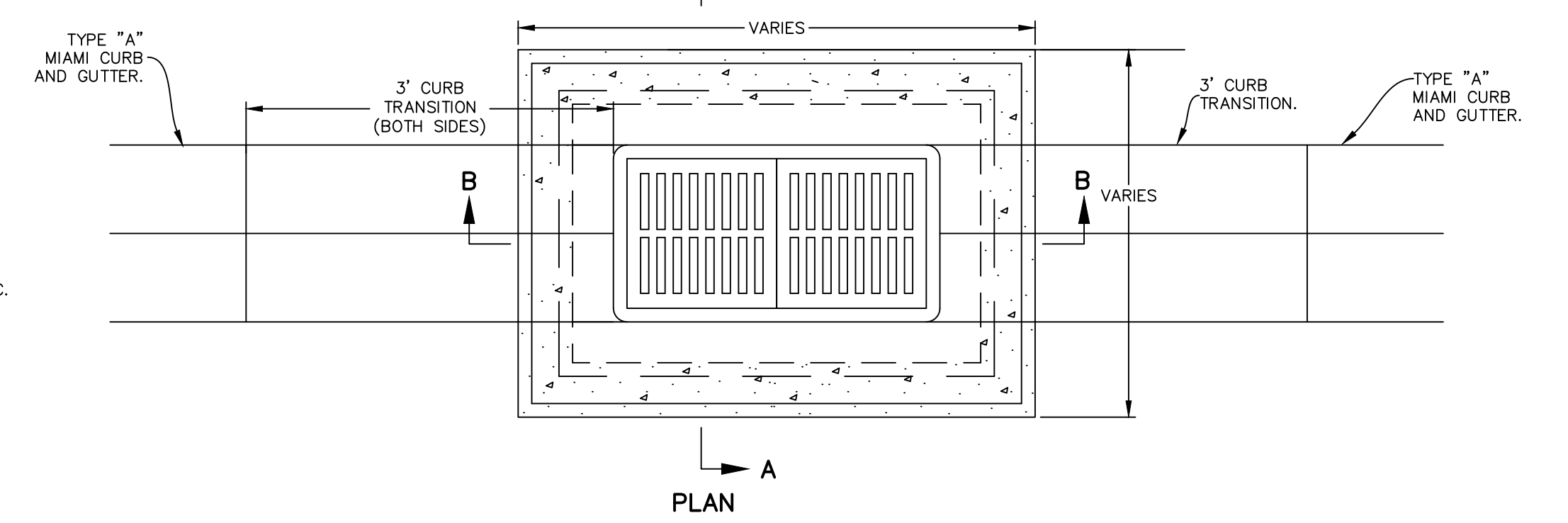
CONTROL STRUCTURE DETAIL (DS-01)  
N.T.S.



JUNCTION BOX DETAIL  
N.T.S.

GENERAL NOTES:

- TV VIDEO INSPECTION IS REQUIRED FOR ALL RCP STORMWATER PIPES WHICH CONVEY RUNOFF FROM STREETS (PUBLIC OR PRIVATE).
- LASER PROFILE IS REQUIRED FOR ALL ADS/HDPE STORMWATER PIPES WHICH CONVEY RUNOFF STREETS (PUBLIC OR PRIVATE). FOR PIPE 48 INCHES OR LESS IN DIAMETER, PROVIDE THE ENGINEER A VIDEO DVD AND REPORT USING LOW BARREL DISTORTION VIDEO EQUIPMENT WITH LASER PROFILE TECHNOLOGY, NON-CONTACT MICROMETER AND ASSOCIATED SOFTWARE (OR APPROVED EQUAL) THAT PROVIDES:
  1. ACTUAL RECORDED LENGTH AND WIDTH MEASUREMENTS OF ALL CRACKS WITHIN THE PIPE.
  2. ACTUAL RECORDED SEPARATION MEASUREMENT OF ALL PIPE JOINTS.
  3. PIPE QUALITY REPORT.
  4. DEFLECTION MEASUREMENTS AND GRAPHICAL DIAMETER ANALYSIS REPORT IN TERMS OF X AND Y AXIS.
  5. FLAT ANALYSIS REPORT.
  6. REPRESENTATIVE DIAMETER OF THE PIPE.
  7. PIPE DEFORMATION MEASUREMENTS, LEAKS, DEBRIS, OR OTHER DAMAGE OR DEFECTS.
  8. DEVIATION IN PIPE LINE AND GRADE, JOINT GAPS, AND JOINT MISALIGNMENT.



VALLEY GUTTER INLET DETAIL  
N.T.S.

Scale: 10/20/2025 8:58:23 AM E:\PDM\101\12\1\VENICE\CHALET5 AT VENICE\ENGINEERING\REV PLANS\20 CVEN PGD-DT03.DWG

NO.	DATE	REV	CONTROL STRUCTURE DETAIL	EDG
01	10/28/25	REV	CONTROL STRUCTURE DETAIL	EDG
			REVISION DESCRIPTION	BY

**M** MORRIS ENGINEERING AND CONSULTING, LLC  
Civil Engineering and Land Development Consulting  
6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A.28780 941-444-6644 www.morrisengineering.net

DATE	09/19/2025
PROJECT	CVEN
DRAWING	20 CVEN PGD-DT03
DRAWN	EDG
CHECKED	ELT

PAVING, GRADING, & DRAINAGE DETAILS  
**CHALET5 AT VENICE**  
CITY OF VENICE, FLORIDA

SCALE AS SHOWN  
VERTICAL DATUM NAVD88  
SHEET 20 OF 24  
ERIN LEAH TUMOLO  
FL LICENSE NO. 69073

SEDIMENT & EROSION CONTROL PLAN (PER SECTION 355)

SECTION 355:  
 EROSION AND SEDIMENT CONTROL PLAN (ESCP). PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AUTHORIZED WITH FINAL SITE PLAN AND CONSTRUCTION PLAN APPROVALS PURSUANT TO THIS CODE, THE DEVELOPER SHALL BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) TO THE ERS FOR REVIEW AND APPROVAL. THE PLAN SHALL IDENTIFY CONSTRUCTION SEQUENCING, BEST MANAGEMENT PRACTICES (BMPs) TO MINIMIZE EROSION AND SEDIMENTATION AND TO MANAGE THE QUALITY AND QUANTITY OF STORMWATER RUNOFF DURING AND AFTER CONSTRUCTION, AND OTHER PRACTICES EMPLOYED TO MINIMIZE FUGITIVE PARTICULATE EMISSIONS DURING AND AFTER CONSTRUCTION. GENERALLY, PROJECTS THAT ARE GREATER THAN FIVE (5) ACRES AND SMALLER PROJECTS WITH MAJOR LAND DISTURBANCES (I.E. STOCKPILING, EXCAVATION OF OVERSIZED LAKES, FILING OF LOTS, ETC.) ARE SUBJECT TO THIS REQUIREMENT. REDEVELOPMENT PROJECTS OR PROJECTS WITH MINOR IMPROVEMENTS MAY NOT BE SUBJECT TO THIS REQUIREMENT. THE EMD DIRECTOR OR DESIGNEE MAY, AT HIS/HER DISCRETION, WAIVE THIS REQUIREMENT ON A CASE BY CASE BASIS. THE ESCP SHALL AT A MINIMUM INCLUDE THE FOLLOWING INFORMATION:

- DETAILS OF CONSTRUCTION SEQUENCING, DEWATERING ACTIVITIES AND SUMP LOCATIONS, STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS.  
 THE SEQUENCING PLAN SHALL PROCEED AS FOLLOWS: THE PERIMETER SILT FENCE SURROUNDING THE SITE SHALL BE INSTALLED PRIOR TO ANY EARTHMOVING ACTIVITIES. THE INLET PROTECTION ELEMENTS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF THE STORM WATER INLETS WITH THEIR ASSOCIATED PIPING. UPON THE COMPLETION OF FINAL GRADING, STABILIZATION MEASURES WILL BE INITIATED. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED AFTER STABILIZATION HAS TAKEN PLACE.
  - DESCRIPTION OF LAND CLEARING/DISTURBING ACTIVITIES, EXISTING SITE CONDITIONS AND ADJACENT LAND USES/AREAS THAT MIGHT BE AFFECTED BY LAND CLEARING/DISTURBANCES.  
 CLEARING AND GRUBBING WILL TAKE PLACE WITHIN THE SITE. EXISTING SITE CONDITIONS INCLUDE A VERY LEVEL SITE WITH TREES. TREE BARRICADES SHALL BE INSTALLED AS PER THE LANDSCAPE PLANS AROUND THE TREES TO BE SAVED.
  - IDENTIFICATION OF STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS.  
 ANY EXCAVATED MATERIAL FROM THE LAKE AREAS SHALL BE USED AS FILL ON THE SITE.
  - DESCRIPTION OF POTENTIAL ON-SITE PROBLEM AREAS SUCH AS STEEP GRADE CHANGES, HIGHLY ERODIBLE SOILS, AREAS ADJACENT TO WETLANDS, SURFACE WATERS, OR UPLAND PRESERVATION AREAS.  
 THE PROJECT AREA WILL CONTAIN AREAS ADJACENT TO WETLANDS, SURFACE WATERS, AND/OR UPLAND PRESERVATION AREAS.
  - CONSTRUCTION SCHEDULING, INCLUDING THE EXPECTED STARTING AND STABILIZATION DATES.  
 THE ANTICIPATED START DATE OF CONSTRUCTION IS DECEMBER 2025 AND THE ANTICIPATED COMPLETION OF ALL STABILIZATION IS DECEMBER 2026 OR WITHIN THREE YEARS OF APPROVAL OF THE PROPOSED SITE PLAN.
  - IDENTIFICATION OF DISTURBED AREAS WHERE CONSTRUCTION WILL NOT BE ONGOING, AND FINAL GRADE WILL NOT BE ACHIEVED WITHIN FOURTEEN (14) DAYS, AND AN INDICATION OF TEMPORARY STABILIZATION MEASURES.  
 ANY AREAS OR STOCKPILES THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN FOURTEEN (14) DAYS SHALL BE TEMPORARILY SEEDED.
- DETAILS OF BEST MANAGEMENT PRACTICES AND FUGITIVE PARTICULATE ABATEMENT METHODS.
  - DETAILS, DRAWINGS AND CROSS-SECTIONS OF EROSION AND SEDIMENT CONTROL DEVICES, IF DIFFERENT FROM THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS, AND WHEN THEY WILL BE INSTALLED.  
 SEE SEDIMENT/EROSION CONTROL PLAN IN THE FINAL SITE PLAN/CONSTRUCTION PLANS.
  - MAINTENANCE PROGRAM FOR EROSION AND SEDIMENT CONTROL DEVICES INCLUDING INSPECTION FREQUENCY AND MAINTENANCE ACTIVITIES.  
 EROSION AND SEDIMENTATION DEVICES SHALL BE INSPECTED DAILY TO ENSURE PROPER OPERATION AND AFTER EVERY STORM EVENT.
  - HAUL ROUTES AND DETAILS OF APRON STABILIZATION AT INGRESS/EGRESS POINTS TO RIGHTS-OF-WAY.  
 HAUL ROUTES WILL BE DETERMINED BY THE CONTRACTOR. APRON STABILIZATION AT INGRESS/EGRESS POINTS SHALL BE PER THE EROSION AND SEDIMENT CONTROL DEVICE AND PER THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS.
  - DETAILS/LOCATION OF EQUIPMENT WASHING AREA.  
 THE EQUIPMENT WASHING AREA SHALL BE LOCATED AT THE EDGE OF THE PROPERTY LINE CLOSEST TO THE ENTRANCE/EXIT AREA. IT WILL CONSIST OF A SOIL TRACKING PREVENTION DEVICE PER FOOT INDEX 106.
  - DETAILS OF FUGITIVE PARTICULATE ABATEMENT METHODS.  
 FUGITIVE PARTICULATE SHALL BE CONTAINED BY THE MEASURES, MAINLY SILT FENCE, SHOWN ON THE PLANS. FURTHERMORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE A CLEAN SITE BY MONITORING THE EFFECTIVENESS OF THE SILT FENCE AND WIND BLOWN PARTICLES.
  - CONTRACTOR INFORMATION, INCLUDING A TWENTY-FOUR-HOUR, SEVEN-DAY CONTACT AND PHONE NUMBERS.  
 TBD. WILL BE PROVIDED ONCE A CONTRACTOR HAS BEEN CHOSEN.

THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING AN ON-SITE MEETING WITH STAFF FROM THE CITY OF VENICE ENVIRONMENTAL MANAGEMENT AND PROJECT MANAGEMENT DEPARTMENTS, THE ENGINEER OF RECORD AND THE CONTRACTOR. FINAL APPROVAL OF THE ESCP AND AUTHORIZATION OF CONSTRUCTION WILL BE GRANTED ONLY AFTER AN ON-SITE MEETING HAS BEEN CONDUCTED. NECESSARY REVISIONS, AS DETERMINED BY EMD STAFF, SHALL BE MADE PRIOR TO FINAL APPROVAL OF THE ESCP.

ANY CHANGES TO THE APPROVED ESCP MUST BE SUBMITTED TO THE EMD BY THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION. CHANGES THAT QUALIFY AS AN AMENDMENT TO THE FINAL SITE PLAN AND/OR CONSTRUCTION PLANS MUST BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO IMPLEMENTATION.

SILT FENCE OR OTHER DEVICES SHALL NOT BE TRENCHED WITHIN THE ROOT SYSTEMS OF ANY TREE TO BE PRESERVED. SILT FENCE WITHIN DRIP LINES IS TO BE INSTALLED AT GRADE OR HAY BALES ARE TO BE UTILIZED.

- PRIOR TO SCHEDULING THE ON-SITE MEETING THE DEVELOPER SHALL:
- OBTAIN ALL APPLICABLE APPROVALS (FINAL SITE PLAN, CONSTRUCTION PLANS, ENVIRONMENTAL RESOURCE PERMIT AND NPDES PERMIT).
  - STAKE THE BOUNDARIES OF THE WETLAND BUFFERS, UPLAND PRESERVATION AREAS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS AS INDICATED ON THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS.
  - STAKE ALL SILT SCREEN LOCATIONS EVERY ONE HUNDRED (100) FEET, AS INDICATED ON THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS.
  - SUCH ADDITIONAL MATERIAL AND INFORMATION AS THE DIRECTOR MAY REASONABLY REQUIRE.

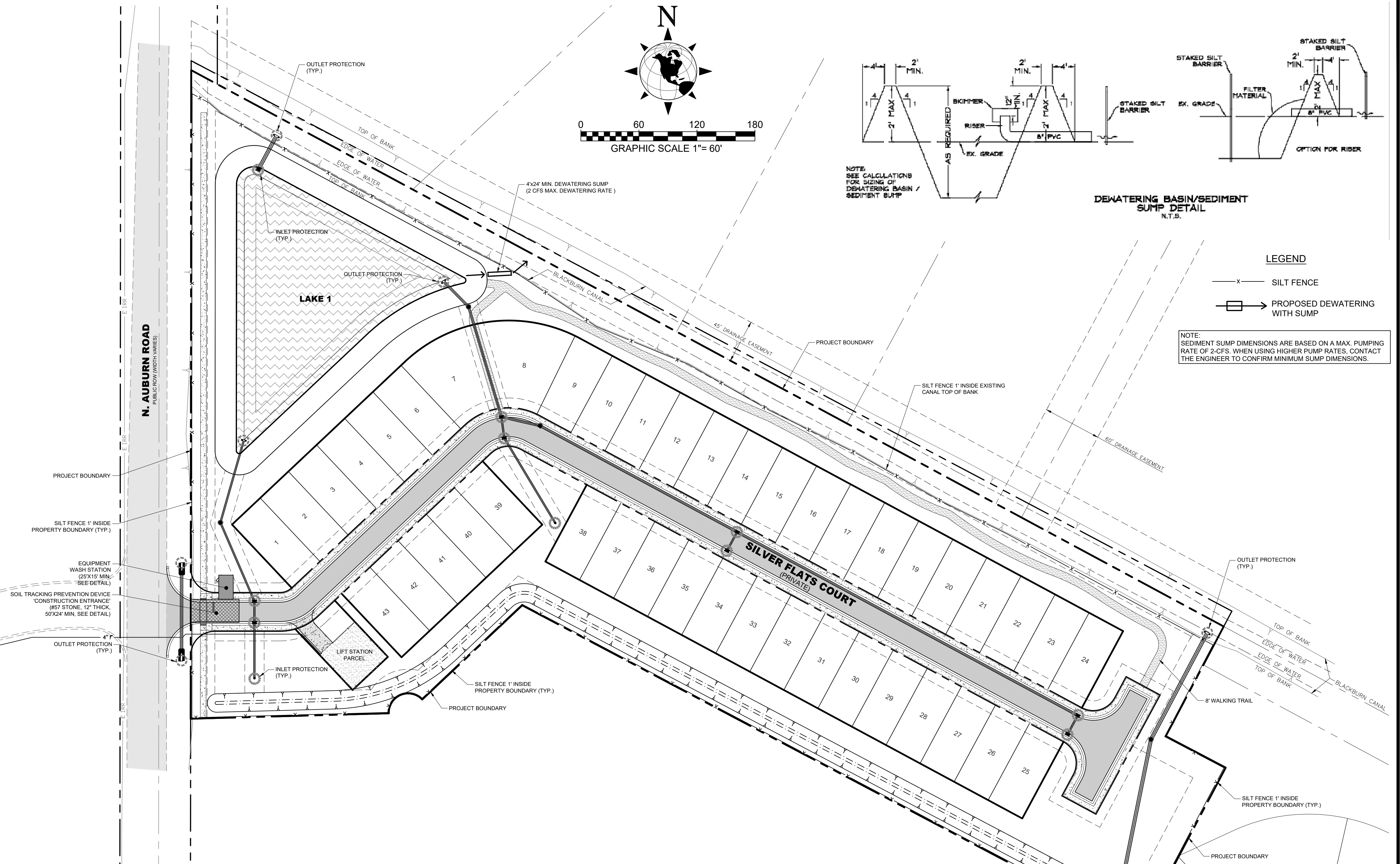
**EROSION CONTROL NOTES**

**GENERAL:**  
 #EROSION AND SEDIMENT CONTROL. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED DURING CONSTRUCTION BY THE CONTRACTOR. SITE SPECIFIC BEST MANAGEMENT PRACTICES SHALL PREVENT SEDIMENT AND OTHER HARMFUL CONTAMINATES FROM ENTERING THE STORM WATER MANAGEMENT SYSTEM AND ADJACENT PROPERTIES.  
 #THE EFFECTIVENESS OF THE SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE CHECKED DAILY BY THE CONTRACTOR.  
 #THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM WATER MANAGEMENT SYSTEM BOTH ON-SITE AND OFF-SITE.  
 #ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE VERIFIED AND INSPECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
 #ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE EXISTING CONDITION, OR BETTER, TO THE SATISFACTION OF THE OWNER.  
 #SILT FENCE MAY BE USED INSTEAD OF TREE PROTECTION BARRICADES, STAFF MUST APPROVE SILT FENCE. FIELD ADJUST SILT FENCE TO AVOID TRENCHING WITHIN DRIP LINES OF TREES, USE OF HAY BALES PERMITTED.

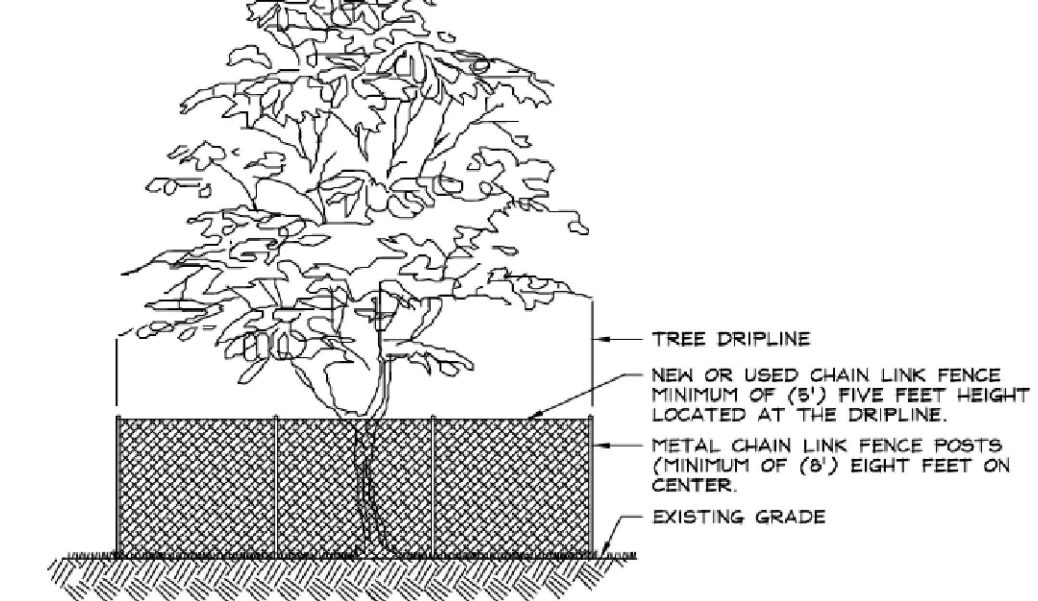
**SITE GRADING PRACTICES:**  
 #SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EARTH MOVING ACTIVITIES.  
 #THE CONTRACTOR SHALL MINIMIZE IMPACT TO AREAS WHICH ARE TO REMAIN UNDISTURBED. ALL AREAS TO REMAIN SHALL BE PROTECTED ACCORDINGLY (TREE BARRICADES, ETC.).  
 #STOCKPILED AREAS SUCH AS TOPSOIL SHALL BE PLACED AND PROTECTED SO AS TO LIMIT SEDIMENT RUNOFF. ANY STOCKPILED MATERIAL NOT USED WITHIN 90 DAYS SHALL BE STABILIZED.  
 #ORGANIC MATERIAL AND DEBRIS SHALL BE DISPOSED OF ACCORDINGLY.  
 #ALL SLOPES SHALL BE IN ACCORDANCE WITH THE PLANS AND STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

**MAINTENANCE OF SEDIMENT AND EROSION CONTROL PRACTICES:**  
 #ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY AND/OR AFTER ANY STORM EVENT FOR INTEGRITY AND REPAIRED AND/OR REPLACED ACCORDINGLY IF SIGNS OF FAILURE ARE OBSERVED.  
 #SEDIMENT SHALL BE REMOVED FROM ALL SUMP AREAS AS NECESSARY TO MAINTAIN REQUIRED VOLUMES.  
 #ALL SEDIMENT AND EROSION CONTROL MEASURES WILL REMAIN IN PLACE UNTIL ALL STABILIZATION HAS BEEN COMPLETED.  
 #ANY EROSION EXPERIENCED UPON REMOVAL OF SEDIMENT AND EROSION CONTROL MEASURES WILL BE STABILIZED IMMEDIATELY.

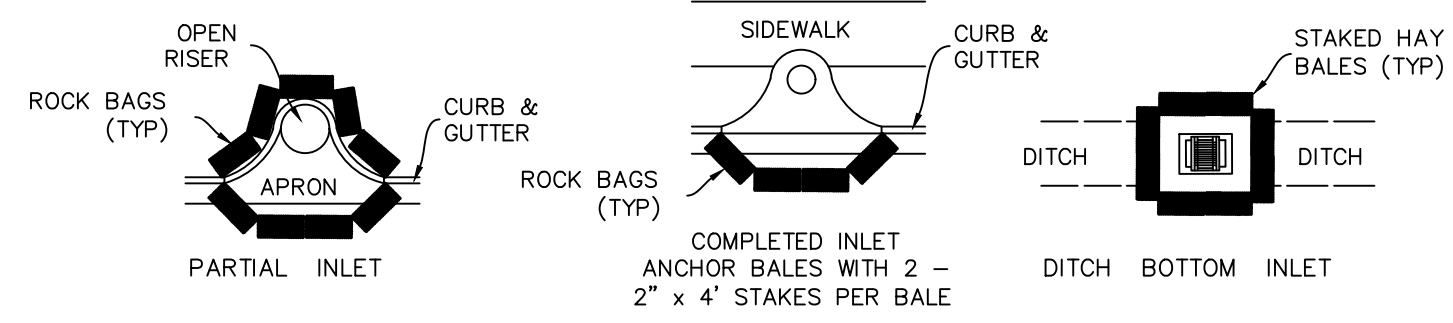
**SEQUENCING PLAN:**  
 #SITE PERIMETER SILT FENCE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.  
 #SILT FENCE IN ROADSIDE SHALES TO BE INSTALLED PRIOR TO DEWATERING OR INITIATION OF ANY RIGHT-OF-WAY IMPROVEMENTS.  
 #AS INLETS WITH PIPING ARE CONSTRUCTED, INLET PROTECTION WILL BE INSTALLED.  
 #SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY FOR PROPER OPERATION.  
 #STABILIZATION MEASURES WILL BE INITIATED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.  
 #SEDIMENT AND EROSION CONTROL MEASURES WILL BE REMOVED ONLY UPON COMPLETION OF ALL STABILIZATION MEASURES.



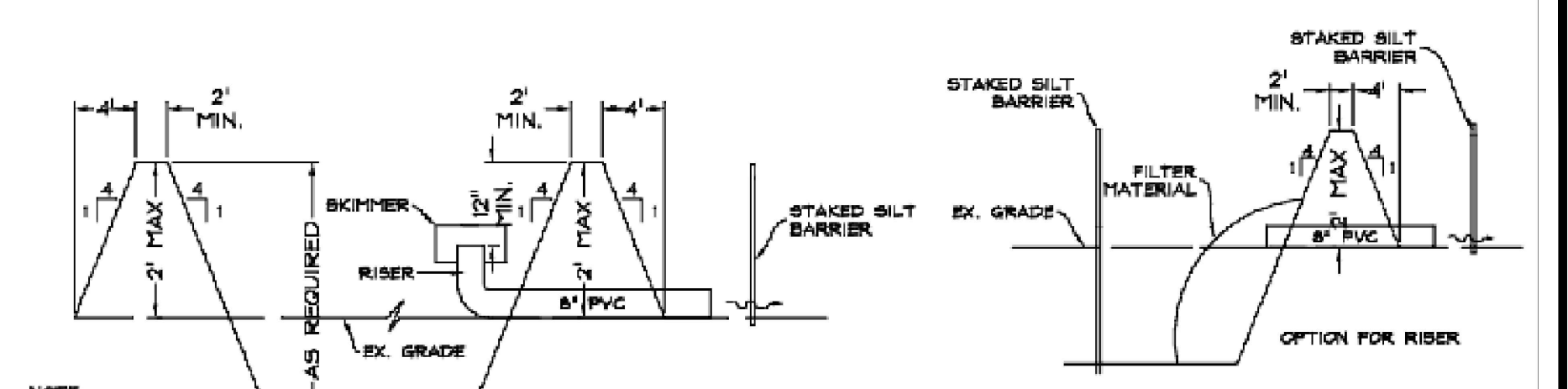
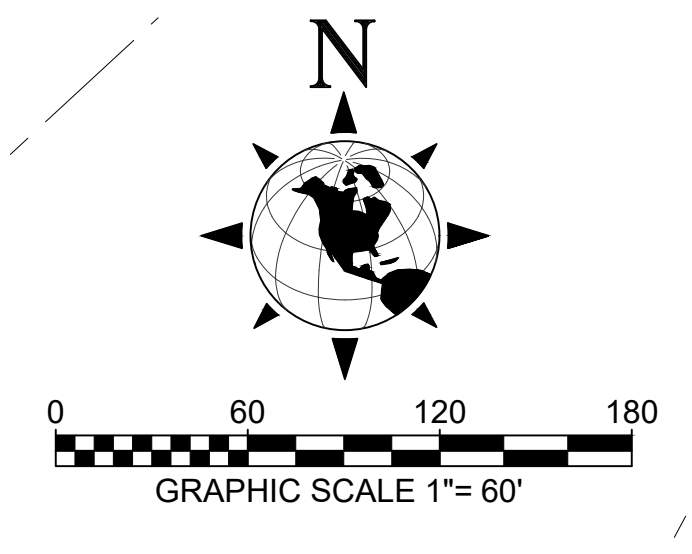
BARRIER SHALL BE PLACED AT THE DRIFLINE AROUND THE TREE(S) TO BE PROTECTED. NO IMPROVEMENTS, FILL, GRADE CHANGES OR COMPACTION OF SOIL DUE TO HEAVY MACHINERY IS TO BE PERMITTED WITHIN THE DRIFLINE OF THE TREE(S) PROPOSED TO BE PRESERVED. THE AREA WITHIN THE DRIFLINE IS TO REMAIN UNDISTURBED. BARRICADES ARE TO BE CONSTRUCTED IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.



NOTE: CHAINLINK FENCE TO ONLY BE UTILIZED FOR PROTECTION OF SIGNIFICANT TREES (OVER 30" CALIPER). ORANGE OR SILT FENCE CAN BE UTILIZED OTHERWISE INSTALLED AT THE DRIFLINE UNLESS OTHERWISE NOTED.



NOTE TO SILT FENCE INSTALLER:  
 TO FACILITATE "EFFECTIVE" PRESERVATION OF TREES (THOSE WITH DRIP LINES DEPICTED ON PLANS) SILT FENCE SHALL NOT BE TRENCHED IN WITHIN DRIP LINES OF TREES WHERE AVAILDABLE. IF UNAVOIDABLE THEN INSTALL SILT FENCE AT GRADE (NO TRENCHING).

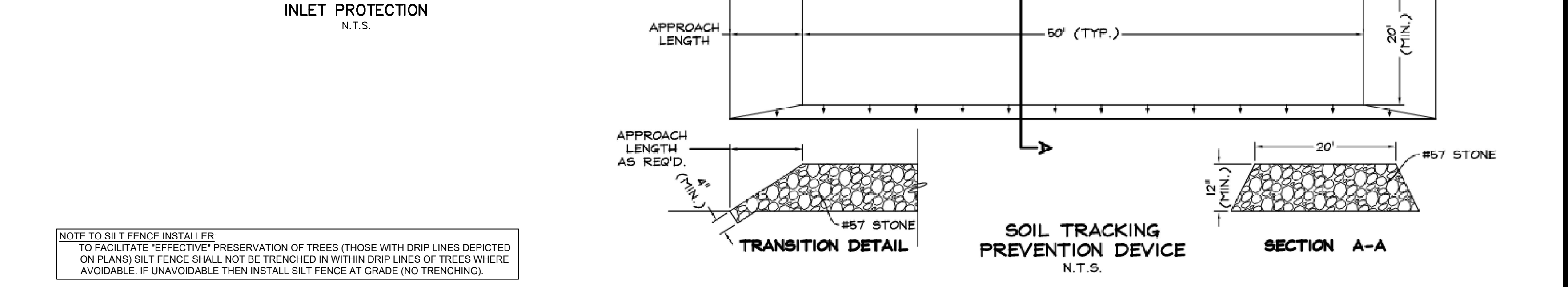


NOTE: SEE CALCULATIONS FOR SIZING OF DEWATERING BASIN / SEDIMENT SUMP.

**LEGEND**

- x- SILT FENCE
- [Symbol] PROPOSED DEWATERING WITH SUMP

NOTE: SEDIMENT SUMP DIMENSIONS ARE BASED ON A MAX. PUMPING RATE OF 2-CFS. WHEN USING HIGHER PUMP RATES, CONTACT THE ENGINEER TO CONFIRM MINIMUM SUMP DIMENSIONS.



NO.	DATE	REVISION DESCRIPTION	BY
02	12/26/25	RESTORE DEWATERING SUMP DETAIL, ADD ADDITIONAL INFO.	EDG
01	10/28/25	REMOVE DEWATERING SUMP DETAIL, NOTE, AND LEGEND	EDG

**MORRIS ENGINEERING AND CONSULTING, LLC**  
 Civil Engineering and Land Development Consulting  
 6901 Professional Parkway East, Suite 103, Sarasota, Florida 34240 C.A.28780 941-444-6644 www.morrisengineering.net

DATE	10/13/2025
PROJECT	CVEN
DRAWING	24 CVEN BMP
DRAWN	EDG
CHECKED	ELT

**BEST MANAGEMENT PRACTICES PLAN & DETAILS**  
**CHALETs AT VENICE**  
 CITY OF VENICE, FLORIDA

SCALE 1"=60'  
 VERTICAL DATUM NAVD88  
 SHEET 24 OF 24  
 ERIN LEAH TUNOLO  
 FL LICENSE NO. 69073