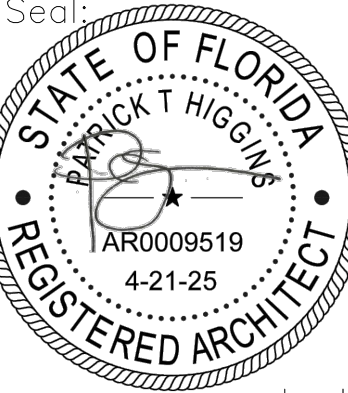


Revisions	1	REVIS ELEVATIONS
6-20-25		
Sea		



Drawing Title:
ELEVATIONS

Date: 22APR25

Released for Construction

Project Title:
LAUREL SELF-STORAGE
3480 E LAUREL ROAD
NOKOMIS, FL 34275

PHA
Patrick Higgins
ARCHITECT

131 Swan Ct
Monticello, Georgia 31064
(770)655-8905

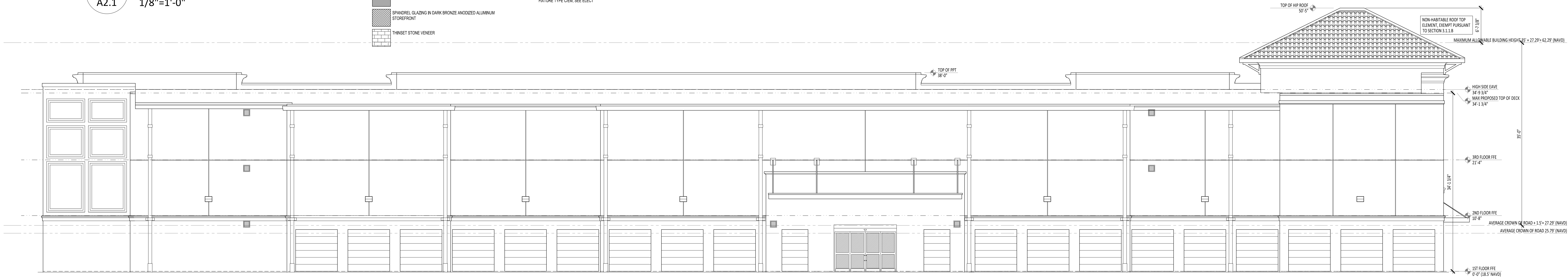
Project No:

A2.1
Sheet ___ of ___



1 NORTH ELEVATION
A2.1 1/8"=1'-0"

LEGEND			
	FRESH AIR INTAKE OR EXHAUST FAN LOUVER, COORDINATE SIZE WITH HVAC		FULL CUTOFF WALL PACK, LUMARK WALPAK CUTOFF 4LED 4000K FIXTURE TYPE C, SEE ELECT
	DOUBLE INSULATED TINTED LOW-E VISION GLAZING IN ANODIZED ALUMINUM STOREFRONT		FULL CUTOFF WALL PACK, LUMARK WALPAK CUTOFF 4LED 4000K FIXTURE TYPE CEM, SEE ELECT
	SPANDREL GLAZING IN DARK BRONZE ANODIZED ALUMINUM STOREFRONT		
	THINSET STONE VENEER		



2 SOUTH ELEVATION
A2.1 1/8"=1'-0"

BUILDING HEIGHT DETERMINATION TAKEN FROM:

VENICE FLORIDA CODE OF ORDINANCES
SUBPART B LAND DEVELOPMENT REGULATIONS
CHAPTER 87 LAND DEVELOPMENT CODE
SECTION 3 DEVELOPMENT STANDARDS

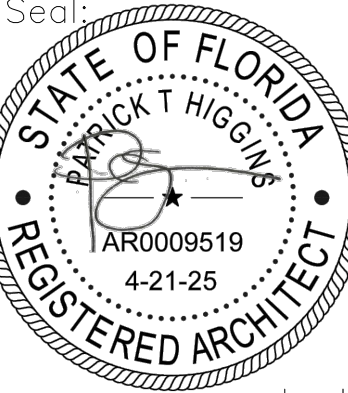
3.1 GENERAL DEVELOPMENT STANDARDS
3.1.1 BUILDING HEIGHT

A. APPLICABILITY. BUILDING HEIGHT SHALL BE DEFINED AS THE VERTICAL DISTANCE MEASURED FROM THE GREATER OF THE FOLLOWING:

1. FEMA FIRST HABITABLE FLOOR REQUIREMENT
2. 18 INCHES ABOVE THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENT FOR THE FIRST HABITABLE FLOOR STRUCTURAL SUPPORT
3. 18 INCHES ABOVE THE ELEVATION OF THE AVERAGE CROWN OF THE ADJACENT ROADS
4. THE AVERAGE NATURAL GRADE UNALTERED BY HUMAN INTERVENTION, AND SHALL BE MEASURED TO THE HIGHEST POINT OF THE ROOF.

NOTE THAT VERTICAL DIMENSIONS SHOWN ON ELEVATIONS ARE TAKEN UTILIZING ITEM 3

Revisions	
1	REVISE REFERENCE ELEVATIONS
6-20-25	



Drawing Title:
ELEVATIONS

Project Title:
LAUREL SELF-STORAGE
3480 E LAUREL ROAD
NOKOMIS, FL 34275

Date: 21APR25

Released for Construction

Project No:

Sheet ___ of ___

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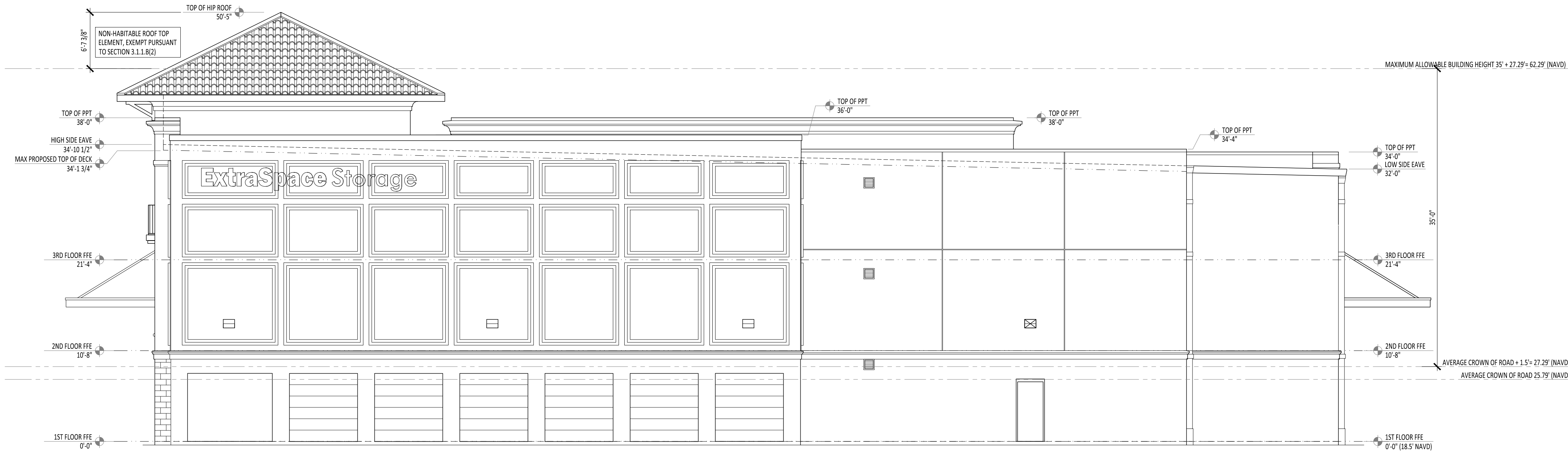
Project Title:
LAUREL SELF-STORAGE
3480 E LAUREL ROAD
NOKOMIS, FL 34275

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Project No:

A2.2
Sheet ___ of ___



1
A2.2 WEST ELEVATION
1/8"=1'-0"

- LEGEND
- FRESH AIR INTAKE OR EXHAUST FAN LOUVER, COORDINATE SIZE WITH HVAC
 - DOUBLE INSULATED TINTED LOW-E VISION GLAZING IN ANODIZED ALUMINUM STOREFRONT
 - SPANDREL GLAZING IN DARK BRONZE ANODIZED ALUMINUM STOREFRONT
 - THINSET STONE VENEER
 - FULL CUTOFF WALL PACK, LUMARK WALPAK CUTOFF ALED 400K, FIXTURE TYPE C, SEE ELECT
 - FULL CUTOFF WALL PACK, LUMARK WALPAK CUTOFF ALED 400K, FIXTURE TYPE CDM, SEE ELECT



2
A2.2 EAST ELEVATION
1/8"=1'-0"

BUILDING HEIGHT DETERMINATION TAKEN FROM:

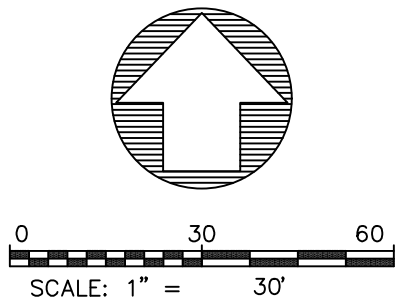
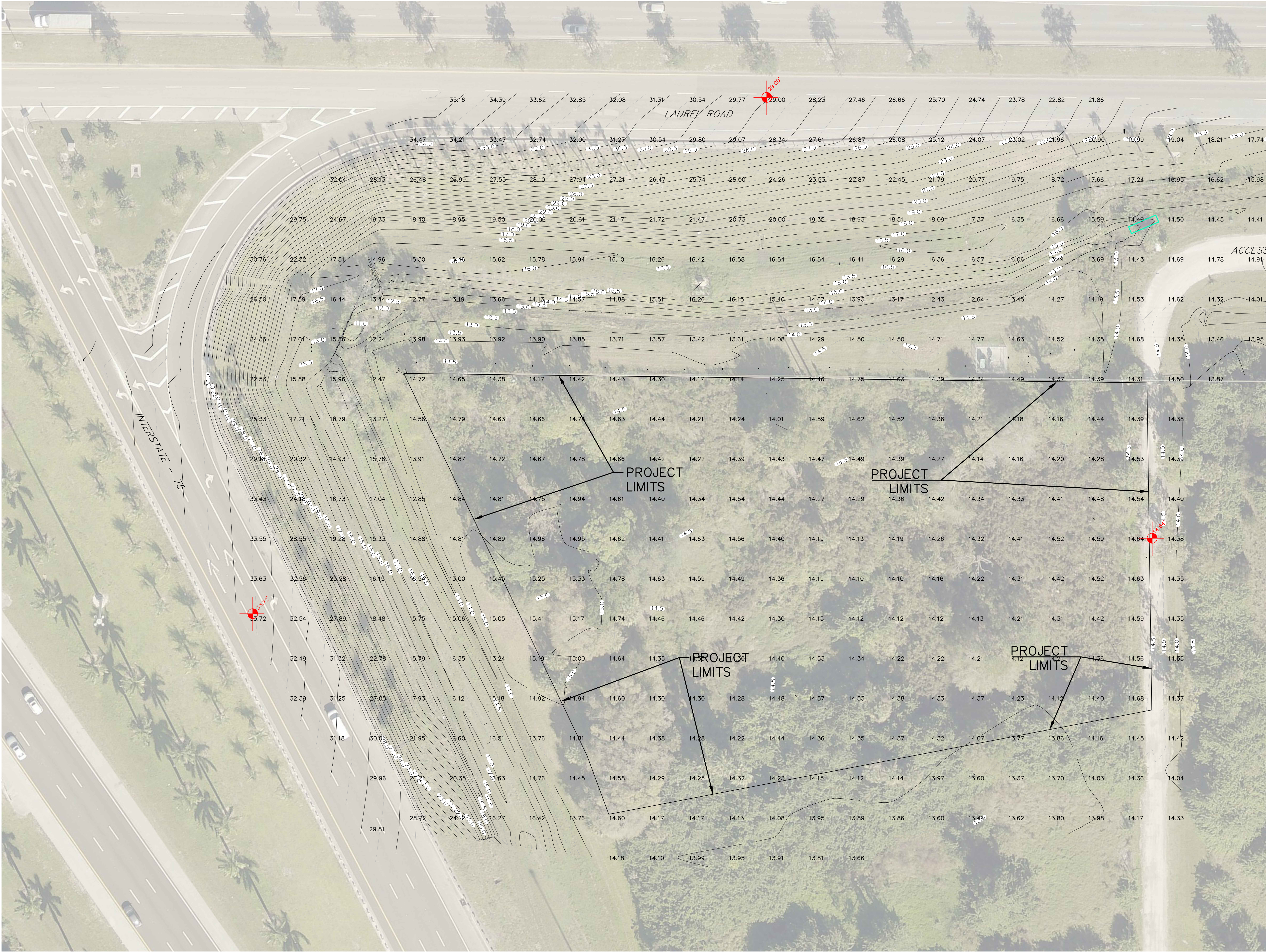
VENICE FLORIDA CODE OF ORDINANCES
SUBPART 8 LAND DEVELOPMENT REGULATIONS
CHAPTER 87 LAND DEVELOPMENT CODE
SECTION 3 DEVELOPMENT STANDARDS

3.1 GENERAL DEVELOPMENT STANDARDS
3.1.1 BUILDING HEIGHT

A. APPLICABILITY. BUILDING HEIGHT SHALL BE DEFINED AS THE VERTICAL DISTANCE MEASURED FROM THE GREATER OF THE FOLLOWING:

1. FEMA FIRST HABITABLE FLOOR REQUIREMENT
2. 18 INCHES ABOVE THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENT FOR THE FIRST HABITABLE FLOOR STRUCTURAL SUPPORT
3. 18 INCHES ABOVE THE ELEVATION OF THE AVERAGE CROWN OF THE ADJACENT ROADS
4. THE AVERAGE NATURAL GRADE UNALTERED BY HUMAN INTERVENTION, AND SHALL BE MEASURED TO THE HIGHEST POINT OF THE ROOF.

NOTE THAT VERTICAL DIMENSIONS SHOWN ON ELEVATIONS ARE TAKEN UTILIZING ITEM 3



CROWN OF ROAD ELEVATIONS:

- I-75 - 33.72 FT
- LAUREL ROAD - 29.00 FT
- ACCESS ROAD - 14.64 FT

CALCULATIONS:

- AVERAGE (FT) = (33.72+29.00+14.64)/3=25.79 FT
- 18"ABOVE THE AVERAGE CROWN: 25.79 FT + 1.5 FT =27.29 FT
- MAXIMUM ALLOWABLE BUILDING HEIGHT ELEVATION (FT) = 35+27.29 =62.29 FT

LEGEND:

⬮ = SPOT ELEVATION @ CROWN OF ROAD

NOTE:
EXISTING CONDITIONS BASED ON SURVEY PROVIDED
BY BRITT SURVEYING, DATED 9/23/24
ELEVATIONS REFERENCE NAVD88 DATUM

PREPARED FOR:

LAUREL STORAGE, LLC
5784 LAKE FORREST DRIVE, SUITE 275
ATLANTA, GA. 30328

ALL ELEVATIONS ON CIVIL ENGINEERING PLANS REFERENCE: NAVD88

NO.	DATE	REVISION DESCRIPTION	BY

BANKS
ENGINEERING
Professional Engineers, Planners, & Land Surveyors
Serving The State Of Florida

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ENGINEERING LICENSE # EB 6469
SURVEY LICENSE # LB 6690
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STEVEN R. SONBERG, P.E., P.S.M.
FL LIC #92103

CROWN OF ROAD EXHIBIT
LAUREL STORAGE
CITY OF VENICE, FLORIDA

DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE	SHEET
01/19/24	4393C	EX-COND-AER	TRR	GAE	SRS	1"=30'	2