RECORD DRAWINGS
June 29, 2026
APPROVED

RECORD DRAWINGS FOR: BAY INDIES CLUBHOUSE

950 RIDGEWOOD AVE VENICE, FL 34285

PARCEL ID NUMBER: 0403130002

SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST

DESIGN AND DEVELOPMENT CONTACTS:

OWNER: MHC BAY INDIES, L.L.C
TWO NORTH RIVERSIDE PLAZA, STE 800
CHICAGO IL 60606
CONTACT: MICHAEL LEEDS
TEL: (813) 282-6754

DEVELOPER: GREEN EARTH COMMERCIAL CONTRACTING CO.
500 MAIN STREET, SUITE J
SAFETY HARBOR, FL 34695
CONTACT: RICKEY J. WILSON
TEL: (321) 303-5583
EMAIL: RWILSON@GEC-3.COM

CIVIL ENGINEER: BOWMAN CONSULTING GROUP, LTD.
5404 CYPRESS CENTER DR, SUITE 140
TAMPA,FL 33609
CONTACT: TIM JOHNSON, P.E.
TEL: (813) 474-7424

LANDSCAPE ARCHITECT: ALOHA PACIFICA, L.L.C
401-A E. FAIRBANKS AVE
WINTER PARK, FL 32789
CONTACT: GREG A. REYNOLDS, PLA PRESIDENT
TEL: (407) 538-0622

SURVEYOR: SURVTECH SOLUTIONS, INC.
10220 U.S HIGHWAY 92 EAST
TAMPA, FL 33610
TEL: (813) 621-7194
EMAIL: KBOWMAN@SURVTECHSOLUTIONS.COM

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: CITY OF VENICE PLANNING AND ZONING DEPARTMENT
401 W VENICE AVE
VENICE, FL 34285
TEL: (941) 486-2626

BUILDING DEPARTMENT: VENICE BUILDING DEPARTMENT
401 W VENICE AVE
VENICE, FL 34285
TEL: (941) 486-2626
EMAIL: PERMITSONLINE@VENICEFL.GOV

FIRE DEPARTMENT: CITY OF VENICE FIRE DEPARTMENT
200 WARFIELD AVE N
VENICE,FL 34285
TEL: (941) 861-5000

TRANSPORTATION DEPARTMENT: CITY OF VENICE PUBLIC WORKS
1350 RIDGEWOOD AVE
VENICE, FL 34292
TEL: (941) 486-2422

WATER/WASTEWATER: CITY OF VENICE UTILITIES DEPARTMENT
200 WARFIELD AVE N
VENICE,FL 34285
TEL: (941) 480-3333

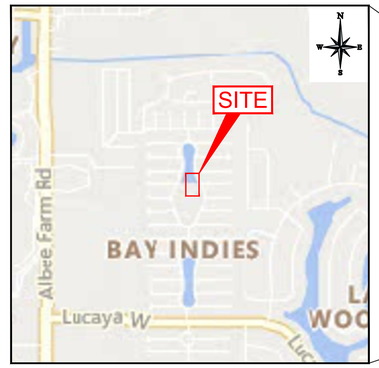
STORMWATER CITY OF VENICE UTILITIES DEPARTMENT
200 WARFIELD AVE N
VENICE,FL 34285
TEL: (941) 480-3333

UTILITY CONTACTS:

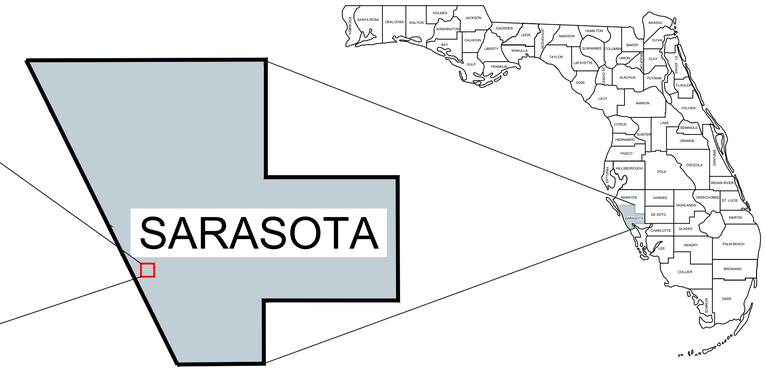
ELECTRIC COMPANY: FLORIDA POWER & LIGHT
420 ALBEE FARM RD
VENICE, FL 34285
TEL: (800) 468-8243

TELEPHONE / INTERNET FRONTIER COMMUNICATIONS
4150 S TAMIAMI TRAIL UNIT F
VENICE, FL 34293
TEL: (941) 451-2838

SOLID WASTE: CITY OF VENICE UTILITIES DEPARTMENT
200 WARFIELD AVE N
VENICE,FL 34285
TEL: (941) 480-3333



SITE LOCATION MAP
SCALE: 1" = 1,000'



LEGAL DESCRIPTION:

THE EAST ½ OF THE NORTHWEST ¼ OF SECTION 8, TOWNSHIP 39 SOUTH, RANGE 19 EAST, THE EAST ½ OF THE SOUTHWEST ¼ AND THE NORTHEAST ¼ OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼, SECTION 5, TOWNSHIP 39 SOUTH , RANGE 19 EAST, AND THE SOUTH 53 FEET OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST, TOGETHER WITH THE SOUTHEAST ¼ OF SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST, LESS THE SOUTH 53 FEET AND ALSO LESS THE NORTH 21 FEET THEREOF, SARASOTA COUNTY, FLORIDA.

ALSO:

SOUTH 30 FEET OF THE NORTHEAST ¼ OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST, AND NORTH 7 YARDS OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA.

AND

A TRACT OF LAND LYING IN THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA.

BEGIN AT THE CENTER OF SAID SECTION 5; THENCE NORTH 89 DEGREES 33'23" WEST ALONG THE SOUTHERLY LINE OF THE NORTHWEST ¼ OF SAID SECTION, A DISTANCE OF 1330.47 FEET TO THE WESTERLY LINE OF THE SOUTHEAST ¼ OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE NORTH 00 DEGREES 35'20" EAST ALONG SAID WESTERLY LINE A DISTANCE OF 665.32 FEET; THENCE NORTH 89 DEGREES 47'58" EAST, A DISTANCE OF 1567.33 FEET TO THE PC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 14'02" AND A RADIUS OF 382.50 FEET; THENCE SOUTHEASTERLY ALONG THE ARC A DISTANCE OF 502.25 FEET; THENCE SOUTH 14 DEGREES 58'00" EAST, A DISTANCE OF 417.10 FEET TO THE SOUTHERLY LINE OF THE NORTHEAST ¼ OF SAID SECTION; THENCE NORTH 89 DEGREES 33'23" WEST ALONG SAID SOUTHERLY LINE A DISTANCE OF 722.33 FEET TO THE POINT OF BEGINNING.

AND

THE NORTH 115.5 FEET OF THE WEST 197.15 FEET OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SOUTHWEST ¼ OF SECTION 5, TOWNSHIP 39 SOUTH, RANGE 19 EAST, LYING AND BEING IN SARASOTA COUNTY, FLORIDA

LESS

THAT PARCEL DEEDED TO THE CITY OF VENICE BY FEE SIMPLE DEED RECORDED IN OFFICIAL RECORDS BOOK1003, PAGE 1391, OF THE PUBLIC RECORDS OF SARASOTA COUNTY FLORIDA, ROAD RIGHT OF WAY PURPOSES.

E 1/2 OF NW 1/4 OF SEC 8-39-19 LESS 60 FT WIDE R/W FOR LUCAYA AVE IN OR 1003/1391 ALSO FOLLOWING DESC LANDS SITUATED IN SEC 5-39-19 E 1/2 OF SW 1/4 & NE 1/4 OF NW 1/4 OF SW 1/4 & SE 1/4 OF SW ¼ OF NW 1/4 & S 30 FT OF NE 1/4 OF SW 1/4 OF NW 1/4 & BEG AT CENTER OF SAID SEC 5 TH N-89-33-23-W 1330.47 FT TH N-00-35-20-E 665.32 FT TH N-89-47-58-E 1567.33 FT TH SELY ALG CURVE TO RIGHT 502.25 FT TH S-14-58 -E 417.1 FT MTH N-89-33-23-W 722.33 FT TO POB & N 115.5 FT OF W 197.15 FT OF SE 1/4 OF NW 1/4 OF SW 1/4 OF SEC 5-39-19, LESS LUCAYA AVE R/W PER ORI 1003/1391, L&B 5 & 8-39-19

GENERAL STATEMENT:

THE PROJECT IS PROPOSING TO REPLACE A COMMUNITY CLUBHOUSE THAT WAS DEMOLISHED DUE TO FIRE DAMAGE. CONSTRUCTION TO FALL WITHIN THE SAME FOOTPRINT AS THE PREVIOUS CLUBHOUSE (±10,300 SF).

ALERT TO CONTRACTOR:

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

DATUM NOTE:

1.) THE HORIZONTAL DATUM UTILIZED FOR THIS PROJECT IS NAVD 1983 FLORIDA WEST ZONE, 2011 ADJUSTMENT U.S SURVEY FEET. SAID DATUM WAS ESTABLISHED BY UTILIZING THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN)

2.) THE VERTICAL DATUM UTILIZED FOR THIS PROJECT IS NAVD 1988, U.S SURVEY FEET. THE BENCHMARK UTILIZED WAS NATIONAL GEODETIC SURVEY (NGS) CONTROL STATION "V 723" WITH AN ELEVATION OF 11.76 FEET

3) CONVERSION FROM NGVD 29 TO NAVD 88, NGVD - 1.129' = NAVD 88.

FLOOD NOTE:

PARCEL IS LOCATED IN FLOOD ZONE "X" ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBERS 12115C0331G, DATED 3/27/2024.

SHEET LIST TABLE

WTR MGMT DIST	CITY / COUNTY	SHEET TITLE	SHEET NUMBER	REV 1	REV 2	REV 3
X	X	COVER SHEET	C1.0	X		
X	X	~~GENERAL NOTES~~	~~C1.1~~			
X	X	~~EROSION AND SEDIMENTATION CONTROL - PHASE 1~~	~~C2.0~~			
X	X	~~EROSION AND SEDIMENTATION CONTROL - PHASE 2~~	~~C2.1~~			
X	X	~~EROSION CONTROL DETAILS~~	~~C2.2~~			
X	X	~~DEMOLITION PLAN~~	~~C3.0~~			
X	X	~~SITE PLAN~~	~~C4.0~~			
	X	~~TRUCK TURN PLAN~~	~~C4.1~~			
X	X	GRADING, PAVING, AND DRAINAGE	C5.0	X		
	X	UTILITY PLAN	C6.0	X		
	X	OVERALL UTILITY PLAN	C6.1	X		
	X	SUBSURFACE UTILITY SWING-TIE PLAN	C6.2	X		
X	X	CONSTRUCTION DETAILS	C7.0	X		
X	X	CONSTRUCTION DETAILS	C7.1	X		
X	X	CONSTRUCTION DETAILS	C7.2	X		
	X	~~LANDSCAPE PLAN (BY OTHERS)~~	~~LS1 THRU LS3~~			
	X	~~PHOTOMETRIC PLAN (BY OTHERS)~~	~~1 OF 1~~			

Bowman

Bowman
CERTIFICATE OF AUTHORIZATION LICENSE NO. 30462

BOWMAN CONSULTING GROUP, LTD.
5404 CYPRESS CEMTER DR
SUITE 140
TAMPA, FL 33609
PHONE: (813) 474-7424
BOWMAN.COM

COVER SHEET
BAY INDIES CLUBHOUSE
950 RIDGEWOOD AVE
VENICE,FL 34285

CITY OF VENICE
SARASOTA COUNTY, FL

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
It's fast. It's free. It's the law.
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TIMOTHY W. JOHNSON
LICENSE No. 47054
STATE OF FLORIDA
PROFESSIONAL ENGINEER

PLAN STATUS

REV	DATE	COMMENT
1	2026/05/16	CITY OF VENICE REV#1

MM DESIGN	ADH DRAWN	TJ CHKD
SCALE	AS NOTED	
JOB No.	011528-01-001	
DATE	10/14/2024	
SHEET	C1.0	

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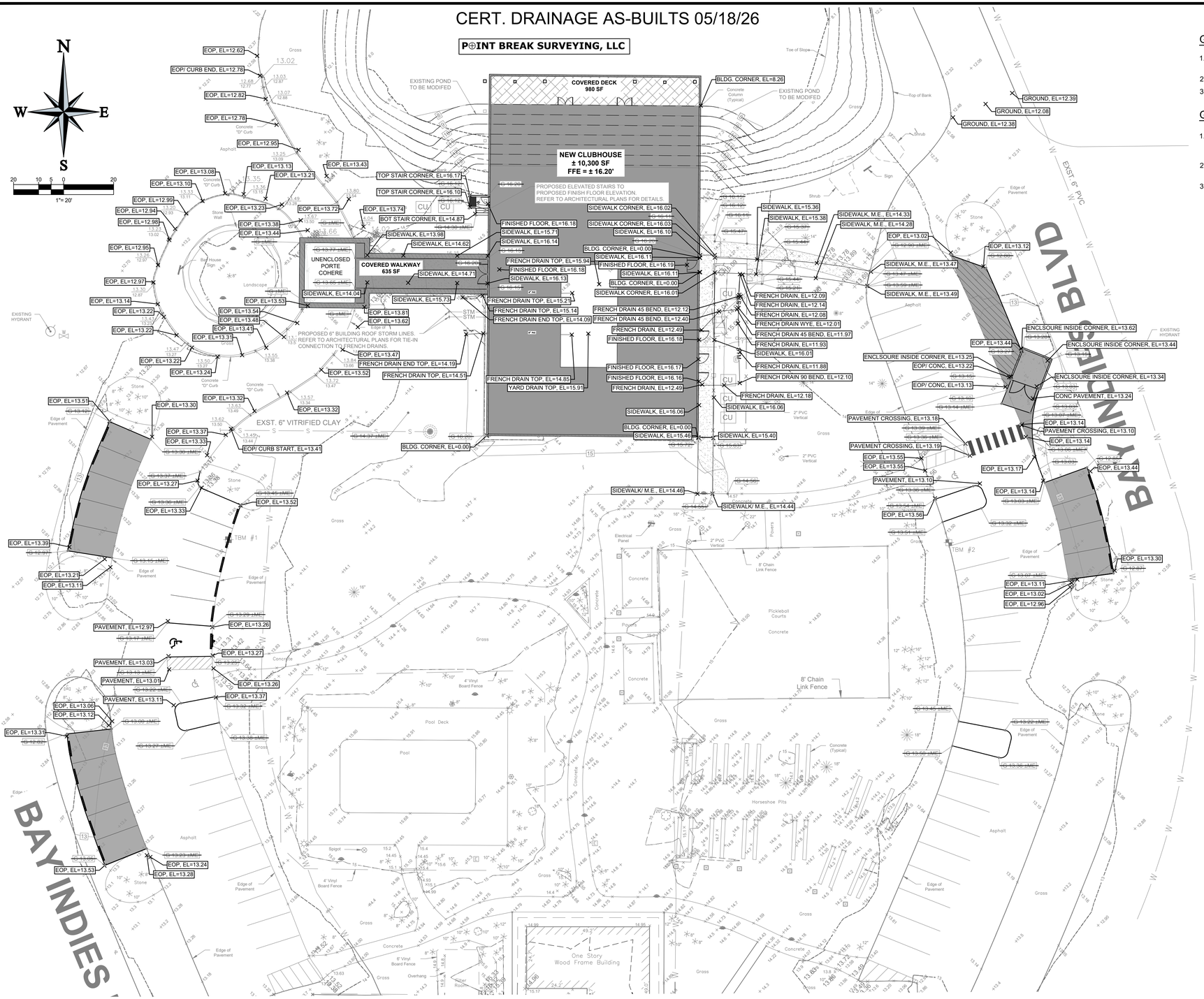
CERT. DRAINAGE AS-BUILTS 05/18/26

P⊕INT BREAK SURVEYING, LLC



GRADING NOTES:

1. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
2. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.

GENERAL NOTES:

1. RETENTION / DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION / DETENTION AREA.
2. THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED ON THE DRAINAGE PLAN.
3. REFER TO COVER SHEET FOR VERTICAL DATUM.

NOTE:
THERE IS AN INSUBUSTANITIAL EFFECT ON THE EXISTING POND/DRAINAGE SYSTEM. NO ADVERSE DRAINAGE IMPACT ONSITE IS EXPECTED.

RECORD DRAWINGS
June 29, 2026
APPROVED

GRADING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ACCESS EASEMENT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- G XX.XX / TC XX.XX — PROPOSED SPOT SHOTS
- HP — PROPOSED DRAINAGE BASIN LINE
- EXISTING CURB
- PROPOSED UTILITY EASEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED STORM PIPE
- W — PROPOSED WATER
- S — PROPOSED SANITARY
- E — PROPOSED ELECTRIC
- T — PROPOSED TELECOMMUNICATIONS
- G — PROPOSED GAS
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
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- G — EXISTING GAS MAIN

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JOB No.	011528-01-001	
DATE	10/14/2024	
SHEET	C5.0	

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USER: DPURSLEW PLOT DATE/TIME: Jun. 18, 26 - 13:07:14 DRAWING: V:\011528 - Green Earth Commercial Contracting Co\011528-01-001 (ENG) - Bay Indies CH, 950 E Sand Cay Ave Venice\Engineering\Engineering Plans\Plan Sets\Record Drawings\011528-01-001-C5.0-GRAD.dwg ;C5.0 GRADING AND DRAINAGE PLAN

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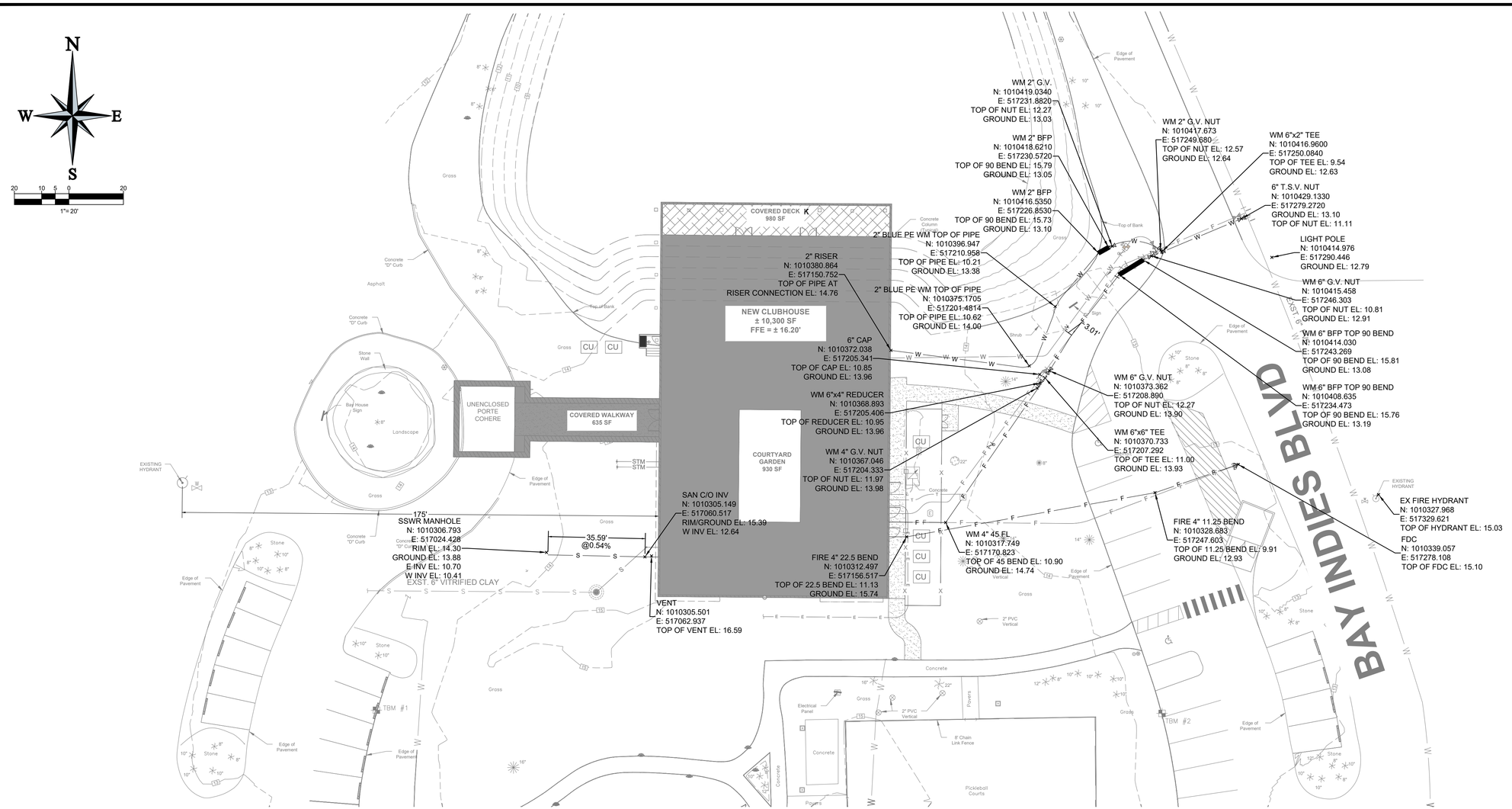

UTILITY LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ACCESS EASEMENT
- 165 — EXISTING 5' INTERVAL CONTOUR LINE
- 166 — EXISTING 1' INTERVAL CONTOUR LINE
- 165 — PROPOSED 5' INTERVAL CONTOUR LINE
- 165 — PROPOSED 1' INTERVAL CONTOUR LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED WATER STRUCTURES
- PROPOSED SANITARY STRUCTURES
- W — PROPOSED WATER
- F — PROPOSED FIRE
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- E — EXISTING UNDERGROUND ELECTRIC
- OH — EXISTING OVERHEAD WIRES
- T — EXISTING TELEPHONE
- G — EXISTING GAS MAIN

UTILITY KEYED NOTES:

ELECTRIC:

1. PROPOSED POINT OF CONNECTION TO EXISTING TRANSFORMER FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH WITH UTILITY COMPANY (FLORIDA POWER & LIGHT).
2. PROPOSED CONDUIT FOR ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (FLORIDA POWER & LIGHT).
3. PROPOSED BUILDING LOCATION FOR FOR UNDERGROUND ELECTRIC SERVICE (FLORIDA POWER & LIGHT). REFER TO ELECTRICAL PLANS FOR DETAILS.
4. PROPOSED FUTURE STUB OUT FOR ELECTRIC SERVICE.
5. PROPOSED POINT OF CONNECTION FOR UNDERGROUND TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (FRONTIER COMMUNICATIONS).
6. PROPOSED (2) 4" UNDERGROUND CONDUITS FOR TELECOMMUNICATION SERVICE.CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (FRONTIER COMMUNICATIONS).
7. PROPOSED BUILDING LOCATION FOR UNDERGROUND TELEPHONE/CABLE SERVICE (FRONTIER COMMUNICATIONS). REFER TO ELECTRICAL PLANS FOR DETAILS.
8. PROPOSED CONDENSING UNIT (TYPICAL). REFER TO ELECTRICAL PLANS FOR DETAILS.

SEWER:

9. PROPOSED APPROXIMATE LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
10. PROPOSED 6" GREEN PVC (SDR 26) SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT MINIMUM SLOPE OF 1.04% AND THE CONTRACTOR TO PROVIDE 36" MINIMUM COVER..
11. PROPOSED 6" GREEN PVC (SDR 26) POINT OF CONNECTION TO EXISTING MANHOLE. THE CONTRACTOR SHALL PERFORM CORE DRILLING AND INSTALL A SEAL BOOT AS METHOD OF CONNECTION.

WATER:

12. PROPOSED APPROXIMATE LOCATION FOR POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLAN FOR DETAILS.
13. PROPOSED 6" CUT-IN TEE CONNECTION WITH A 6" GATE VALVE TO EXISTING 6" PVC WATER MAIN. CONTRACTOR TO FIELD VERIFY THE EXISTING MAIN AT THIS LOCATION.
14. PROPOSED 6" BLUE C-900 PVC DOMESTIC WATER SERVICE, PER CITY OF VENICE STANDARD DETAILS.
15. PROPOSED 6" FIRE BACKFLOW PREVENTOR
16. PROPOSED 45° BEND.
17. PROPOSED 6" X 4" REDUCER , PER CITY OF VENICE STANDARD DETAILS.
18. PROPOSED 2" METER AND BACKFLOW PREVENTOR, PER CITY OF VENICE STANDARD DETAIL
19. PROPOSED 2" GATE VALVE, PER CITY OF VENICE STANDARD DETAIL
20. PROPOSED 6"X2" TEE CONNECTION.
21. PROPOSED 2" BLUE PE WATER SERVICE, PER CITY OF VENICE STANDARD DETAILS.
22. PROPOSED FUTURE HOSE BIBB AT THE BUILDING. REFER TO ARCHITECTURAL PLANS.

FIRE:

23. PROPOSED APPROXIMATE LOCATION FOR FIRE SERVICE LINE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLAN FOR DETAILS.
24. PROPOSED FDC LOCATION. REFER TO ARCHITECTURAL PLANS.
25. PROPOSED 4" BLUE PE FIRE SERVICE, PER CITY OF VENICE STANDARD DETAILS.

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2. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.

GENERAL NOTES:

1. REFER TO COVER SHEET FOR VERTICAL DATUM.

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Venice, Florida
"City on the Gulf"

Bowman
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SHEET C6.0

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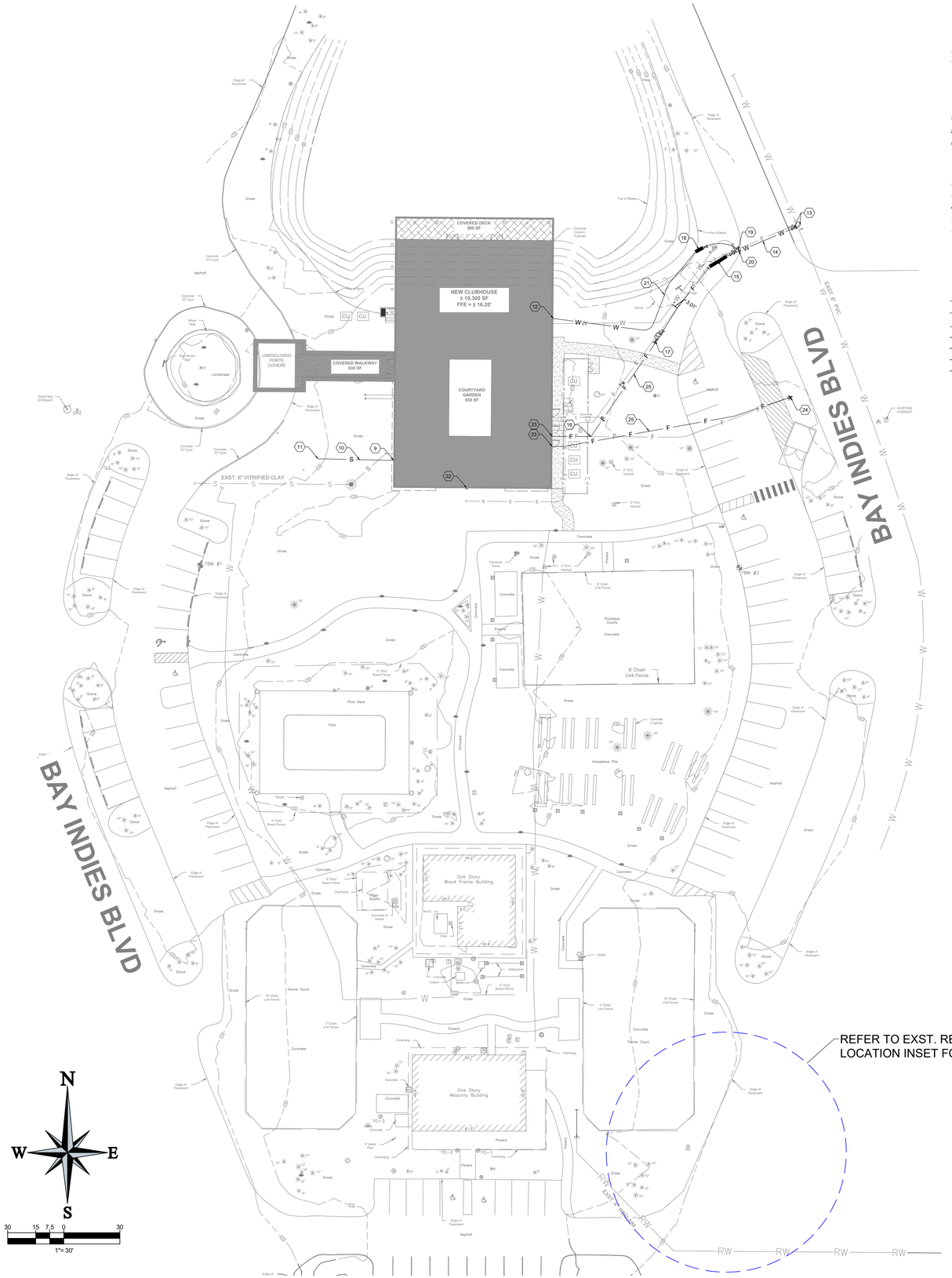

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5. PROPOSED POINT OF CONNECTION FOR UNDERGROUND TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (FRONTIER COMMUNICATIONS).
6. PROPOSED (2) 4" UNDERGROUND CONDUITS FOR TELECOMMUNICATION SERVICE.CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (FRONTIER COMMUNICATIONS).
7. PROPOSED BUILDING LOCATION FOR UNDERGROUND TELEPHONE/CABLE SERVICE (FRONTIER COMMUNICATIONS). REFER TO ELECTRICAL PLANS FOR DETAILS.
8. PROPOSED CONDENSING UNIT (TYPICAL). REFER TO ELECTRICAL PLANS FOR DETAILS.

SEWER:

9. PROPOSED APPROXIMATE LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
10. PROPOSED 6" GREEN PVC (SDR 26) SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT MINIMUM SLOPE OF 1.04% AND THE CONTRACTOR TO PROVIDE 36" MINIMUM COVER..
11. PROPOSED 6" GREEN PVC (SDR 26) POINT OF CONNECTION TO EXISTING MANHOLE. THE CONTRACTOR SHALL PERFORM CORE DRILLING AND INSTALL A SEAL BOOT AS METHOD OF CONNECTION.

WATER:

12. PROPOSED APPROXIMATE LOCATION FOR POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLAN FOR DETAILS.
13. PROPOSED 6" CUT-IN TEE CONNECTION WITH A 6" GATE VALVE TO EXISTING 6" PVC WATER MAIN. CONTRACTOR TO FIELD VERIFY THE EXISTING MAIN AT THIS LOCATION.
14. PROPOSED 6" BLUE C-900 PVC DOMESTIC WATER SERVICE, PER CITY OF VENICE STANDARD DETAILS.
15. PROPOSED 6" FIRE BACKFLOW PREVENTOR
16. PROPOSED 45° BEND.
17. PROPOSED 6" X 4" REDUCER , PER CITY OF VENICE STANDARD DETAILS.
18. PROPOSED 2" METER AND BACKFLOW PREVENTOR, PER CITY OF VENICE STANDARD DETAIL
19. PROPOSED 2" GATE VALVE, PER CITY OF VENICE STANDARD DETAIL
20. PROPOSED 6"X2" TEE CONNECTION.
21. PROPOSED 2" BLUE PE WATER SERVICE, PER CITY OF VENICE STANDARD DETAILS.
22. PROPOSED FUTURE HOSE BIBB AT THE BUILDING. REFER TO ARCHITECTURAL PLANS.

FIRE:

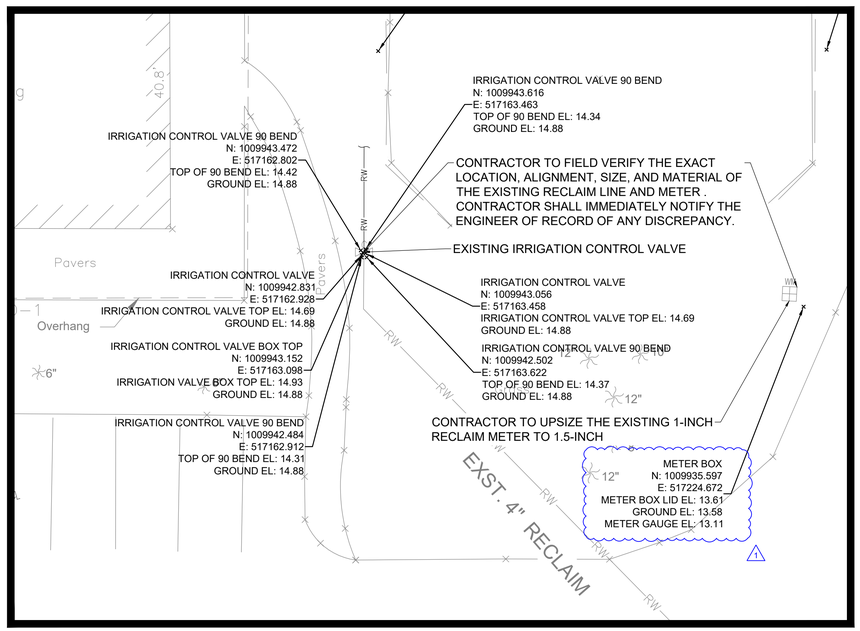
23. PROPOSED APPROXIMATE LOCATION FOR FIRE SERVICE LINE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLAN FOR DETAILS.
24. PROPOSED FDC LOCATION. REFER TO ARCHITECTURAL PLANS.
25. PROPOSED 4" BLUE PE FIRE SERVICE, PER CITY OF VENICE STANDARD DETAILS.

UTILITY NOTES:

1. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
2. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.

GENERAL NOTES:

1. REFER TO COVER SHEET FOR VERTICAL DATUM.



EXISTING RECLAIM METER LOCATION INSET

SCALE: 1" = 10'

Bowman

CERTIFICATE OF AUTHORIZATION LICENSE NO. 30462

BOWMAN CONSULTING GROUP, LTD.
5404 CYPRESS CENTER DR
SUITE 140
TAMPA, FL 33609
PHONE: (813) 474-7424
BOWMAN.COM

OVERALL UTILITY PLAN
BAY INDIES CLUBHOUSE
950 RIDGEWOOD AVE
VENICE, FL 34285

CITY OF VENICE

SARASOTA COUNTY, FL

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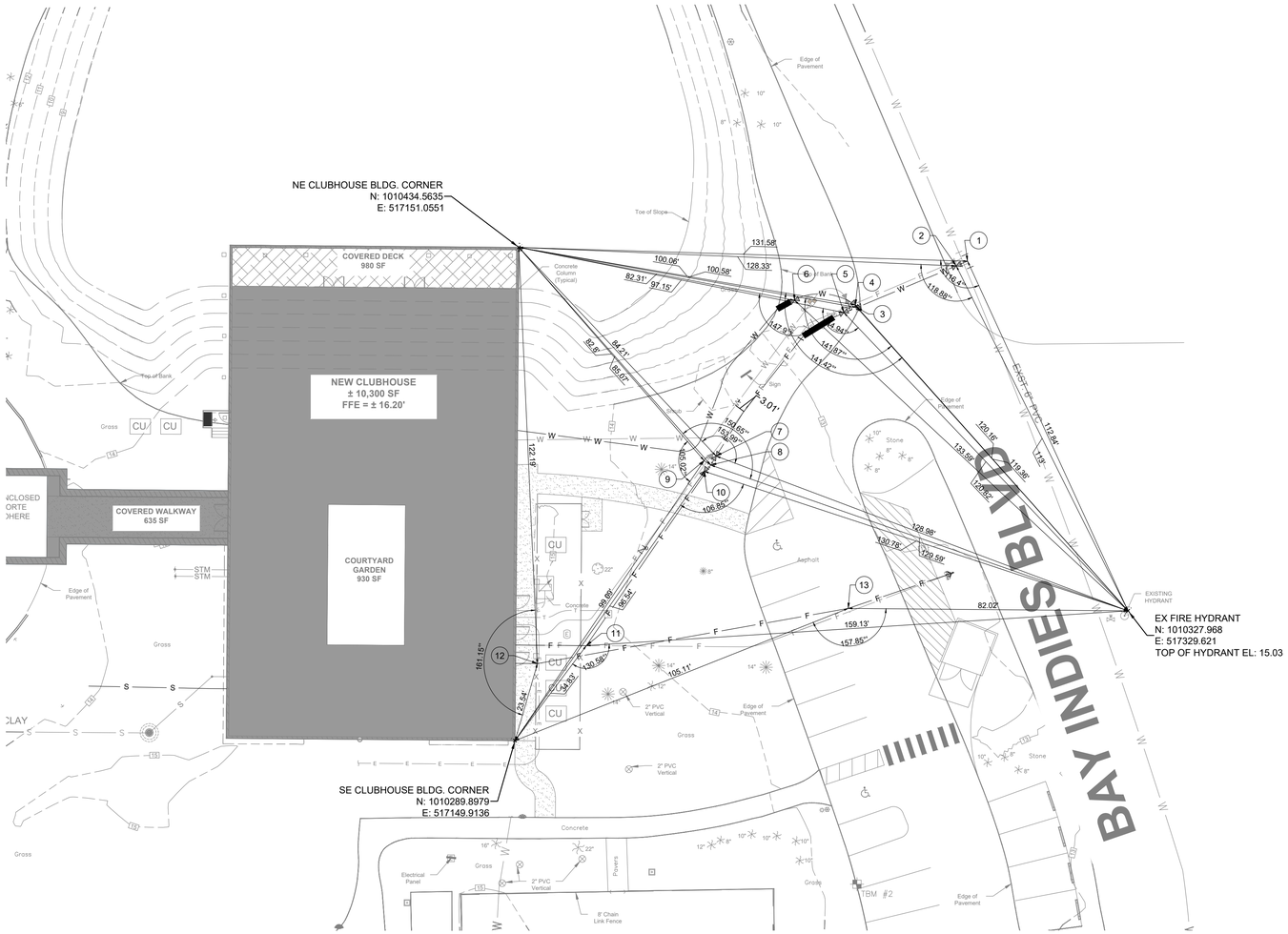
TIMOTHY W. JOHNSON
LICENSE No. 47054
STATE OF FLORIDA
PROFESSIONAL ENGINEER

PLAN STATUS

REV	DATE	COMMENT
1	2026/06/16	CITY OF VENICE REV#1

MM	ADH	TJ
DESIGN	DRAWN	CHKD

SCALE 1" = 30'
JOB No. 011528-01-001
DATE 10/14/2024
SHEET C6.1



RECORD DRAWINGS

June 29, 2026

APPROVED

SWING-TIE DATA TABLE

ELEMENT NUMBER	ELEMENT DESCRIPTION	MONUMENT TIE-IN #1	MONUMENT TIE-IN #1 DISTANCE (FT)	MONUMENT TIE-IN #2	MONUMENT TIE-IN #2 DISTANCE (FT)	TRIANGULATION ANGLE (DECIMAL DEGREES)
1	6" TEE	NE CLUBHOUSE BLDG. CORNER	131.58	EX. FIRE HYDRANT	112.84	116.4
2	6" GATE VALVE	NE CLUBHOUSE BLDG. CORNER	128.33	EX. FIRE HYDRANT	113	118.88
3	6" X 2" TEE	NE CLUBHOUSE BLDG. CORNER	100.58	EX. FIRE HYDRANT	119.36	141.87
4	2" GATE VALVE	NE CLUBHOUSE BLDG. CORNER	100.06	EX. FIRE HYDRANT	120.16	141.42
5	6" GATE VALVE	NE CLUBHOUSE BLDG. CORNER	97.15	EX. FIRE HYDRANT	120.82	144.94
6	2" GATE VALVE	NE CLUBHOUSE BLDG. CORNER	82.31	EX. FIRE HYDRANT	133.59	147.9
7	6" GATE VALVE	NE CLUBHOUSE BLDG. CORNER	84.21	EX. FIRE HYDRANT	128.98	153.99
8	6" TEE	NE CLUBHOUSE BLDG. CORNER	85.07	EX. FIRE HYDRANT	129.59	150.65
9	6" CAP	NE CLUBHOUSE BLDG. CORNER	82.80	SE CLUBHOUSE BLDG. CORNER	99.09	105.02
10	6" X 4" REDUCER	SE CLUBHOUSE BLDG. CORNER	96.54	EX. FIRE HYDRANT	130.78	106.85
11	4" 45° BEND	SE CLUBHOUSE BLDG. CORNER	34.83	EX. FIRE HYDRANT	159.13	130.58
12	4" 22.5° BEND	SE CLUBHOUSE BLDG. CORNER	23.54	NE CLUBHOUSE BLDG. CORNER	122.19	161.15
13	4" 11.25° BEND	SE CLUBHOUSE BLDG. CORNER	105.11	EX. FIRE HYDRANT	82.02	157.85

UTILITY LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ACCESS EASEMENT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED WATER STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED WATER
- PROPOSED FIRE
- PROPOSED SANITARY
- PROPOSED ELECTRIC
- PROPOSED TELECOMMUNICATIONS
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING STORM
- EXISTING WATER MAIN
- EXISTING SANITARY
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING TELEPHONE
- EXISTING GAS MAIN

NOTE

HORIZONTAL CONTROL AND TIE INFORMATION IS DERIVED FROM AS-BUILT DATA PROVIDED BY THE PROJECT SURVEYOR

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DESIGN	DRAWN	CHKD

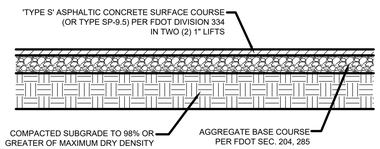
SCALE 1" = 30'

JOB No. 011528-01-001

DATE 10/14/2024

SHEET C6.2

ASPHALT TYPE	STANDARD & HEAVY DUTY
ASPHALT LOCATION	PARKING & LOADING ZONE
AGGREGATE CONCRETE SURFACE COURSE	2.0"
AGGREGATE BASE COURSE	8"
COMPACTED SUBGRADE	12"

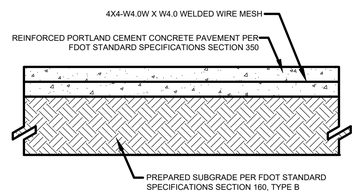


DETAIL NOTES:

1. AGGREGATE BASE COURSE CAN BE LIMEROCK OR CRUSHED CONCRETE (LBR = 100). COMPACT BASE COURSE TO 98% OF THE MATERIALS MAXIMUM DRY DENSITY PER ASTM D-1557.
2. COMPACTED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40.

ASPHALT PAVING DETAIL

	CONCRETE SLAB TYPE	
SLAB COMPONENT	STANDARD DUTY	HEAVY DUTY
CONCRETE PAVEMENT	5"	7"
COMPACTED SUBGRADE	12"	12"
MINIMUM 28 DAY STRENGTH	4,000 PSI	4,000 PSI

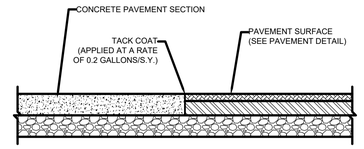


NOTE: THESE ARE MINIMUM SPECIFICATIONS. REFER TO GEOTECHNICIAL REPORT FOR FINAL SPECIFICATIONS.

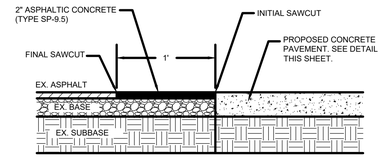
DETAIL NOTES:

1. SUBGRADE MATERIALS SHALL MEET FDOT REQUIREMENTS INCLUDING COMPACTION TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
2. CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS, OR FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.
4. CONTRACTOR TO DOWEL AND JOINT BETWEEN CONCRETE SLAB AND CURB.

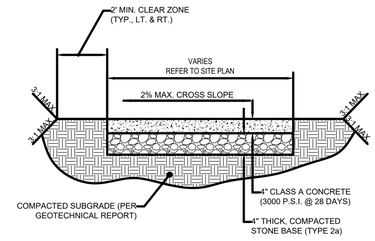
CONCRETE SLAB DETAIL



CONCRETE-TO-ASPHALT DETAIL



PAVEMENT CONNECTION DETAIL



DETAIL NOTES:

1. EXPANSION JOINTS 1/2" WIDE PREMOLDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

CONCRETE SIDEWALK DETAIL

SOLID PARKING SPACE LINE (6" WIDE WHITE)

SOLID PARKING LINE (6" WIDE BLUE)

SOLID LANE LINE (6" WIDE WHITE)

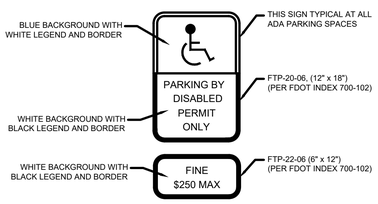
SOLID DOUBLE CENTER LINE (6" WIDE YELLOW)

SOLID CROSSWALK TRANSVERSE LINE (12" WIDE WHITE)

SOLID STOP BAR LINE (24" WIDE WHITE)

NOTE: ALL STRIPING SHALL BE PAINTED UNLESS OTHERWISE SPECIFIED ON THE SITE PLAN AND SHALL MEET THE CRITERIA OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.

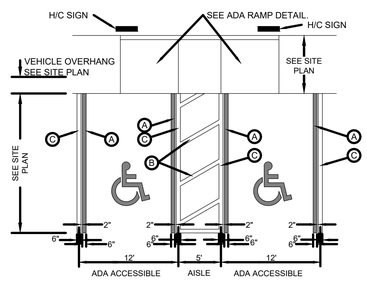
STRIPING DETAIL



DETAIL NOTES:

1. ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE.
2. ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.
3. REFER TO FDOT INDEX 700-102 FOR SPECIFICATIONS.

ADA ACCESSIBLE SIGN DETAIL



ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS

STRIPING LEGEND

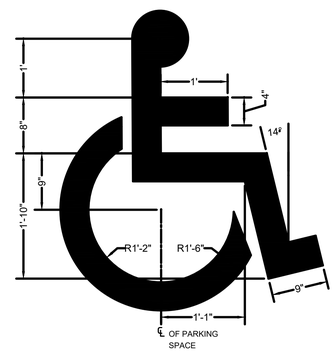
- (A) 6" BLUE
- (B) 6" WHITE @ 60°
- (C) 6" WHITE

DETAIL NOTES:

1. REFER TO FDOT STANDARD PLANS INDEX 700-101 FOR SPECIFICATIONS.

N.T.S.

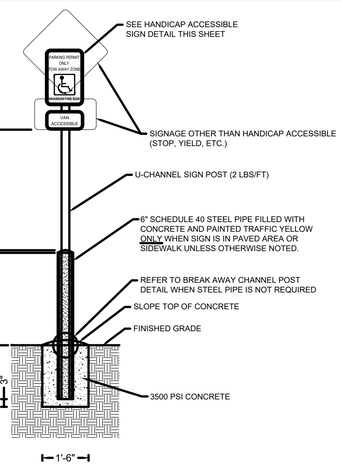
ADA ACCESSIBLE STRIPING DETAIL

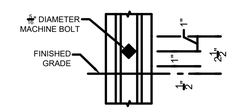


DETAIL NOTES:

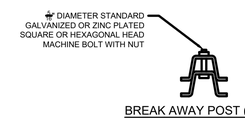
1. STRIPING TO BE PAINTED 4" WIDE WHITE OR AS REQUIRED BY STATE OR LOCAL CODE.

ADA SYMBOL STRIPING DETAIL





BREAK AWAY POST (ELEVATION)

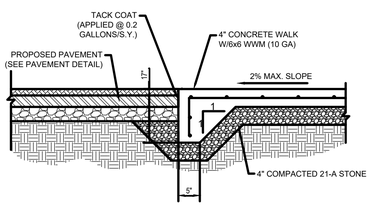


BREAK AWAY POST (PLAN)

DETAIL NOTES:

1. ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

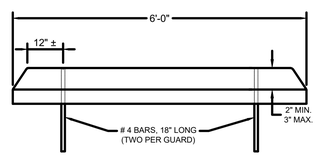
SIGN POST DETAIL

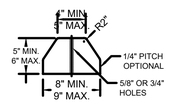


DETAIL NOTES:

1. PROVIDE ½" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS.
2. PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS.
3. SUBGRADE TO BE COMPACTED TO 95% OR GREATER OF MAX. DRY DENSITY PER ASTM D-1557
4. CONCRETE TO BE 4,000 P.S.I. AT 28 DAYS.

MONOLITHIC CURB & FLUSH SIDEWALK DETAIL

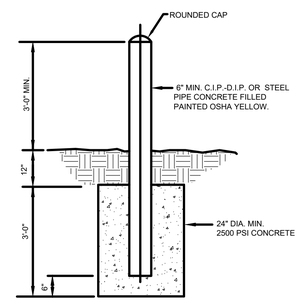




DETAIL NOTES:

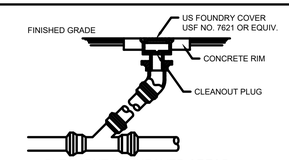
1. ULTIMATE STRENGTH OF CONCRETE FOR WHEEL STOPS SHALL BE 2,500 P.S.I. @ 28 DAYS.

WHEEL STOP DETAIL



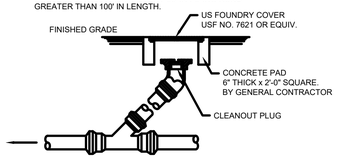
DEPENDING UPON THE FACILITY/DEVICE TO BE PROTECTED LARGER BOLLARDS AND CONCRETE ANCHORS MAY BE REQUIRED.

UTILITY PROTECTION BOLLARD DETAIL



CLEANOUT IN UNPAVED AREAS

NOTE: G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.

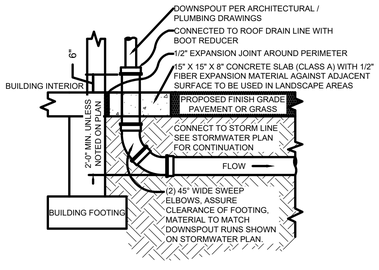


CLEANOUT IN PAVED AREAS

NOTE: G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.

NOTE: REFER TO HILLSBOROUGH COUNTY CLEANOUT DETAIL THIS SHEET FOR CLEANOUT PROPOSED 1-FOOT FROM THE PROPERTY LINE.

CLEANOUT DETAIL



RECORD DRAWINGS
June 29, 2026
APPROVED

EXTERIOR DOWNSPOUT BOOT DETAIL

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BOWMAN CONSULTING GROUP, LTD.
5404 CYPRESS CEMTER DR
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PLAN STATUS

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1	2026/06/16	CITY OF VENICE REV#1

MM	ADH	TJ
DESIGN	DRAWN	CHKD

SCALE AS NOTED
JOB No. 011528-01-001
DATE 10/14/2024

SHEET C7.0

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USER: DFURSLEW PLOT DATE/TIME: Jun. 18, 26 - 13:07:22 DRAWING: Y:\011528 - Green Earth Commercial Contracting Co\011528-01-001 (ENG) - Bay Indies CH, 950 E Sand Cay Ave Venice\Engineering\Engineering Plans\Plan Sets\Record Drawings\011528-01-001-C7.0-DETL.dwg :C7.0-CONSTRUCTION DETAILS

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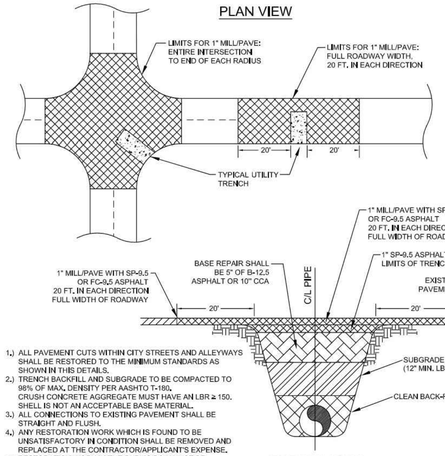
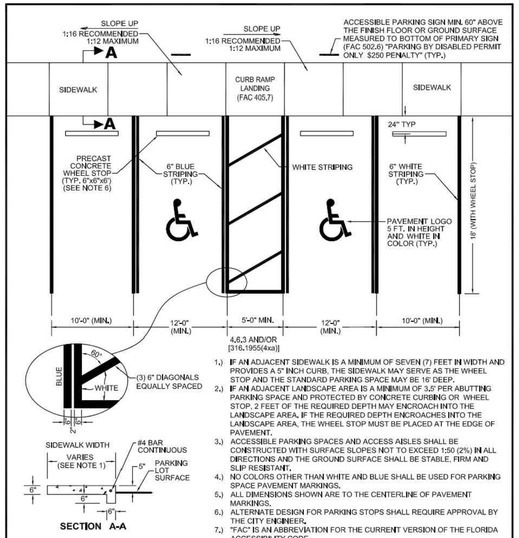


1.) ALL PAVEMENT CUTS WITHIN CITY STREETS AND ALLEYWAYS SHALL BE RESTORED TO THE MINIMUM STANDARDS AS SHOWN IN THIS DETAILS.
2.) TRENCH BACKFILL AND SUBGRADE TO BE COMPACTED TO 98% OF MAX. DENSITY PER AASHTO T-180. CRUSH CONCRETE AGGREGATE MUST HAVE AN LBR ≥ 150. SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.
3.) ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE STRAIGHT AND FLUSH.
4.) ANY RESTORATION WORK WHICH IS FOUND TO BE UNSATISFACTORY IN CONDITION SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR/APPLICANT'S EXPENSE.
5.) RESTORATION WORK IN THE PUBLIC ROW MUST BE COMPLETED WITHIN 7 DAYS UNLESS WRITTEN APPROVAL IS RECEIVED BY THE CITY ENGINEER OR DESIGNEE TO EXTEND THE RESTORATION TIMEFRAME. RESTORATION WORK NOT COMPLETED AS REQUIRED MAY BE REFERRED TO CODE ENFORCEMENT FOR ACTION INCLUDING DAILY FINES.

PAVEMENT RESTORATION DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	ENGINEERING	DATE MAR 2025
Venice, FL City on the Gulf		PAVEMENT RESTORATION	SHEET NO. ENG-2



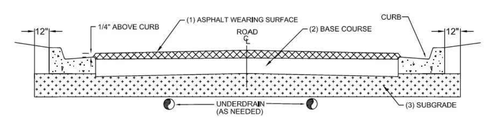
4,6,3 AND/OR [316.1955(4xa)]

1.) IF AN ADJACENT SIDEWALK IS A MINIMUM OF SEVEN (7) FEET IN WIDTH AND PROVIDES A 5" INCH CURB, THE SIDEWALK MAY SERVE AS THE WHEEL STOP AND THE STANDARD PARKING SPACE MAY BE 16' DEEP.
2.) IF AN ADJACENT LANDSCAPE AREA IS A MINIMUM OF 3.5' PER ABUTTING PARKING SPACE AND PROTECTED BY CONCRETE CURBING OR WHEEL STOP, 2 FEET OF THE REQUIRED DEPTH MAY ENCROACH INTO THE LANDSCAPE AREA. IF THE REQUIRED DEPTH ENCROACHES INTO THE LANDSCAPE AREA, THE WHEEL STOP MUST BE PLACED AT THE EDGE OF PAVEMENT.
3.) ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE CONSTRUCTED WITH SURFACE SLOPES NOT TO EXCEED 1:50 (2%) IN ALL DIRECTIONS AND THE GROUND SURFACE SHALL BE STABLE, FIRM AND SLIP RESISTANT.
4.) NO COLORS OTHER THAN WHITE AND BLUE SHALL BE USED FOR PARKING SPACE PAVEMENT MARKINGS.
5.) ALL DIMENSIONS SHOWN ARE TO THE CENTERLINE OF PAVEMENT MARKINGS.
6.) ALTERNATE DESIGN FOR PARKING STOPS SHALL REQUIRE APPROVAL BY THE CITY ENGINEER.
7.) "FAC" IS AN ABBREVIATION FOR THE CURRENT VERSION OF THE FLORIDA ACCESSIBILITY CODE.

ACCESSIBLE & TYPICAL PARKING SPACE DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	ENGINEERING	DATE MAR 2025
Venice, FL City on the Gulf		ACCESSIBLE & TYPICAL PARKING	SHEET NO. ENG-5



ROADWAY SECTION DESIGN (MINIMUM THICKNESS)

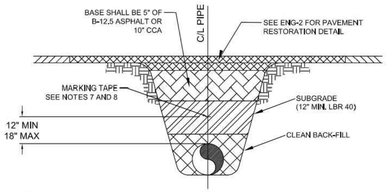
STREET CLASSIFICATION	(1) ASPHALT SURFACE:	(2) BASE: B-12.5	CTB	CCA	(3) SUB-GRADE: TYPE B STAB.
PRIVATE ACCESSWAY & LIGHT DUTY PARKING	2" TYPE SP-9.5 (INSTALLED AS TWO 1" LIFTS)	4"	8"	8"	8" MIN 40 LBR
RESIDENTIAL STREET	2" TYPE SP-9.5 (INSTALLED AS TWO 1" LIFTS)	5"	10"	10"	12" MIN 40 LBR
INDUSTRIAL STREET (PUBLIC/PRIVATE)	2" TYPE SP-12.5 & 1" TYPE FC-9.5	5"	10"	10"	12" MIN 40 LBR
COLLECTOR / ARTERIAL STREET	3" TYPE SP-12.5 & 1" TYPE FC-9.5	5"	10"	10"	12" MIN 40 LBR

1.) ALL STREETS WITHIN THE CITY LIMITS SHALL MEET THE MINIMUM DESIGN STANDARDS AS ESTABLISHED IN THIS DETAIL.
2.) ALL INSTALLATION METHODS AND MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3.) CRUSHED CONCRETE AGGREGATE (CCA) MUST HAVE AN LBR ≥150. SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.
4.) CEMENT TREATED BASE:
   a.) THE MATERIAL TO BE USED AS THE FILLER AGGREGATE IN CTB MUST BE LBR TESTED PRIOR TO DESIGN FORMULATION (ADDING CEMENT). THIS MATERIAL MUST ACHIEVE AN LBR VALUE OF ≥ 100.
   b.) CTB DESIGN CRITERION SHOULD TARGET RANGE FROM 175 TO 275 PSI ON 7 DAY BREAK. TESTING MUST BE PROVIDED TO VERIFY THE COMPRESSIVE STRENGTH OF THE MIX.
5.) ALL GRANULAR COURSES OF ROAD CONSTRUCTION MUST BE COMPACTED TO 98% OF ITS OPTIMUM DENSITY AS PER T-180 (AASHTO). CTB SHALL BE COMPACTED TO 98% OF ITS LAB FORMULATION DENSITY (AASHTO T-99).
6.) ALL MINERAL MATERIALS USED IN CONSTRUCTION OF ROADWAYS MUST MEET THE FOLLOWING CRITERIA:
   a.) FINES (PASSING # 200 SIEVE) MUST BE LIMITED TO ≤ 12%. ORGANICS LIMITED TO ≤ 5%. NO DELETERIOUS MATERIALS.
7.) SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD MANUAL).
8.) ALL CITY STREET SIGNS WILL BE BLUE BACKGROUND WITH 6" WHITE LETTERS AND CONSTRUCTED WITH HIGH INTENSITY REFLECTORIZED MATERIAL. ALL STREET SIGNS SHALL BE 9 INCHES WIDE AND APPROVED BY THE DIRECTOR OF PUBLIC WORKS PRIOR TO INSTALLATION.
9.) ALL CURB PADS SHALL MEET THE SAME STRUCTURAL AND COMPACTION STANDARDS AS ROAD SUB GRADE. THESE PADS WILL EXTEND TO AT LEAST 12" BEYOND THE CURB.
10.) UNDERDRAINS OR SIDEDRAINS MAY BE INCLUDED WHEN THE GROUND WATER LEVELS MAY AFFECT THE STRUCTURAL INTEGRITY OF THE ROAD. THIS DESIGN SHALL BE THE RESPONSIBILITY OF ENGINEER OF RECORD.
11.) ANY PROPOSED TRAFFIC CALMING DEVICES MUST BE APPROVED BY THE CITY ENGINEER & FIRE CHIEF.
12.) ASPHALT COURSES AND CONCRETE SHALL NOT BE PLACED WHILE RAIN IS FALLING, OR WHEN THERE IS STANDING WATER ON THE SURFACE TO BE COVERED.
13.) TACK COAT SHALL BE APPLIED BETWEEN ALL ASPHALT LAYERS.

TYPICAL ROADWAY SECTION

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	ENGINEERING	DATE MAR 2025
Venice, FL City on the Gulf		TYPICAL ROADWAY SECTION	SHEET NO. ENG-3



MARKING TAPE AND MESSAGES		
PIPE	TAPE COLOR	MESSAGE
PVC STORM WATER	WHITE	CAUTION STORM WATER OR STORM DRAIN BELOW
POTABLE WATER MAIN	BLUE	CAUTION POTABLE WATER MAIN BELOW
REUSE WATER MAIN	PURPLE	CAUTION REUSE WATER MAIN BELOW
SEWER FORCE MAIN	GREEN	CAUTION SEWER FORCE MAIN BELOW
SEWER & SERVICE LATERALS	GREEN	CAUTION SEWER MAIN BELOW

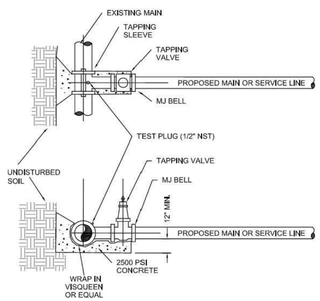
1.) COPPERHEAD TRACING WIRE #12 AWG OR EQUAL SHALL BE ATTACHED TO TOP OF PIPE AT 20' INTERVALS ON ALL RECLAIMED WATER, FORCE, OR POTABLE WATER MAINS. IT SHALL BE COLOR CODED TO REFLECT WHAT THE PIPE CARRIES. (BLUE = WATER, GREEN = SEWER, PURPLE = REUSE) WHERE TRACER WIRE NEEDS TO BE JOINED, CONNECTIONS SHALL UTILIZE DRYCON WATERPROOF CONNECTION OR APPROVED EQUAL. WIRE NUTS AND/OR DUCT TAPE ARE NOT ACCEPTABLE.
2.) MINIMUM COVER SHALL BE 36" FROM TOP OF PIPE TO FINISHED GRADE MAXIMUM COVER SHALL BE 42" FROM FINISHED GRADE UNLESS OTHERWISE APPROVED.
3.) MAINS SHALL BE INSTALLED LEVEL AND ELIMINATE HIGH POINTS UNLESS OTHERWISE APPROVED BY UTILITIES DIRECTOR.
4.) INSTALLATION OF PIPE SHALL BE IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5.) PAVEMENT RESTORATION SHALL CONFORM WITH DETAIL ENG-2 OF THESE CITY STANDARDS. FOR NEW CONSTRUCTION, THE FIRST LIFT OF ASPHALT SHALL BE IN PLACE PRIOR TO RECORD DRAWING REVIEW.
6.) CONFLICTS - UTILIZE 45° BENDS WITH SEPARATION AS PER CITY DETAILS. ALL UTILITIES (PUBLIC & PRIVATE) THAT CROSS A DITCH/SWALE SHALL BE 36" MIN. BELOW THE ACTUAL/DESIGN BOTTOM OF CONVEYANCE.
7.) MARKING TAPE SHALL BE 3" WIDE (MIN.) DETECTABLE UNDERGROUND WARNING TAPE. CENTERED DIRECTLY OVER THE PIPE.
8.) FOR ALL SEWER FORCE MAINS AND WATER AND RECLAIMED MAINS WITH A NOMINAL DIAMETER OF 12 INCHES OR GREATER, INSTALL 3M ELECTRONIC MARKING CAUTION TAPE, SERIES 7000 OR APPROVED EQUAL
9.) SEE S-6 FOR GRAVITY SEWER PIPE TRENCH DETAIL.

PRESSURE PIPE TRENCH DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	UTILITIES - GENERAL	DATE MAR 2025
Venice, FL City on the Gulf		UTILITY PIPE TRENCH	SHEET NO. U-1

RECORD DRAWINGS
June 29, 2026
APPROVED

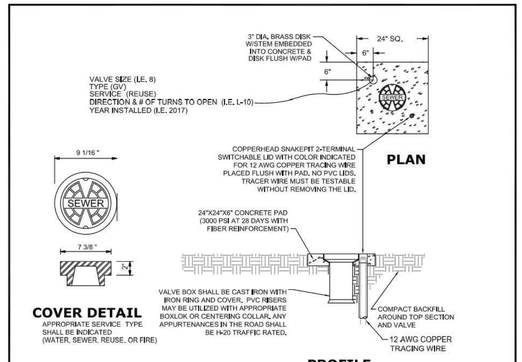


1.) EXISTING MAIN SHALL NOT BE TAPPED UNTIL THE ASSEMBLED SLEEVE AND VALVE ARE TESTED IN PLACE AT A MINIMUM OF 150 PSI FOR THIRTY MINUTES.
2.) UPON SUCCESSFUL TAPPING SLEEVE PRESSURE TEST (NOTE 1), THE THRUST BLOCK SHALL BE POURED AND HAVE SET FOR 24 HRS PRIOR TO TAPPING. READY-MADE THRUST BLOCKS CAN BE USED WITH CITY APPROVAL.
3.) STAINLESS STEEL TAPPING SLEEVE SHALL BE FORD. ALL HARDWARE SHALL BE 316 STAINLESS STEEL. GASKETS SHALL BE VIRGIN SBR COMPOUND.
4.) GATE VALVES SHALL BE RESILIENT WEDGE-TYPE MANUFACTURED BY MUELLER OR AMERICAN VALVE. ALL GATE VALVES SHALL BE FUSION BONDED EPOXY COATED (INTERIOR AND EXTERIOR) MEET ANSI/AWWA C550, AND BE NSF61 CERTIFIED.
5.) TAPPING SLEEVES MAY ONLY BE USED WHEN THE TAP DIAMETER IS AT LEAST ONE PIPE SIZE SMALLER THAN THE DIAMETER OF THE MAIN BEING TAPPED. TRANSMISSION MAINS SHALL NOT BE TAPPED WITH A TAP LESS THAN 4" IN DIAMETER.
6.) TAPPING/SERVICE SADDLES MAY BE USED FOR TAPS UP TO AND INCLUDING 2" DIAMETER.
7.) ALL TAPS SHALL BE WHOLE NUMBER NOMINAL SIZES, INCLUDING 1", 2", 4", ETC.
8.) VALVE BOX ALIGNMENT DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH W-1 ON ALL VALVES ABOVE 1".

TAPPING SLEEVE & VALVE DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	UTILITIES - GENERAL	DATE MAR 2025
Venice, FL City on the Gulf		TAPPING SLEEVE & VALVE	SHEET NO. U-3



COVER DETAIL
APPROPRIATE SERVICE TYPE SHALL BE INDICATED (WATER, SEWER, REUSE, OR FIRE)

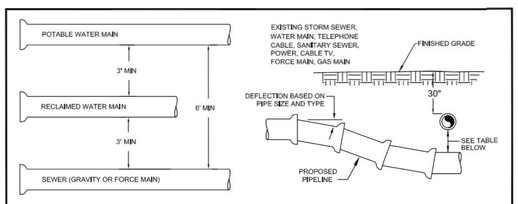
PROFILE

1.) PAVED AREAS: SET CONCRETE PAD AND COVER FLUSH WITH FINISHED PAVEMENT SURFACE.
2.) UNPAVED AREAS: SET PAD AND COVER 1 INCH ABOVE FINISHED GRADE.
3.) VALVES LOCATED IN DITCH AND OVER 4' DEPTH (LINE) MUST USE TRENCH ADAPTER VALVE BOX (AMERICAN FLOW CONTROL).
4.) COPPERHEAD TRACING WIRE #12 AWG OR EQUAL SHALL BE USED. IT SHALL BE COLOR CODED TO REFLECT WHAT THE PIPE CARRIES (BLUE = WATER, GREEN = SEWER, PURPLE = REUSE). CONTRACTOR SHALL PERFORM CONTINUITY TEST ON ALL TRACER WIRES, WITNESSED BY CITY REPRESENTATIVE. WHERE TRACER WIRE NEEDS TO BE JOINED, CONNECTIONS SHALL UTILIZE DRYCON WATERPROOF CONNECTION OR APPROVED EQUAL. WIRE NUTS AND/OR DUCT TAPE ARE NOT ACCEPTABLE.
5.) PRE-CAST PADS MAY BE USED WITH CITY APPROVAL.
6.) FOR CURBED ROADWAYS: CURB SHALL BE ETCHED WITH THE LETTER "V" DIRECTLY PERPENDICULAR TO THE VALVE BOX.
7.) VALVE BOX COVERS SHALL BE PAINTED BLUE FOR POTABLE WATER, PURPLE FOR REUSE WATER, AND GREEN FOR SEWER.

VALVE BOX DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	UTILITIES - GENERAL	DATE MAR 2025
Venice, FL City on the Gulf		VALVE BOX	SHEET NO. U-4



MINIMUM HORIZONTAL SEPARATION DISTANCES (FT)

(OUTSIDE OF PIPELINE TO OUTSIDE OF PIPELINE)

	WATER MAIN	FORCE MAIN	SANITARY SERVICE	REUSE MAIN	STORM WATER	OTHER UTILITIES (TELEPHONE, CABLE, ETC.)
WATER MAIN	3	6	6	3	3	3
FORCE MAIN	6	3	3	3	3	3
SANITARY SEWER	6	3	3	3	3	3
REUSE MAIN	3	3	3	3	3	3
STORM WATER	3	3	3	3	3	3
OTHER UTILITIES	3	3	3	3	3	3

MINIMUM VERTICAL SEPARATION DISTANCES (IN)

(OUTSIDE OF PIPELINE TO OUTSIDE OF PIPELINE)

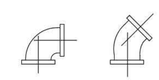
	WATER MAIN	FORCE MAIN	SANITARY SERVICE	REUSE MAIN	STORM WATER	OTHER UTILITIES (TELEPHONE, CABLE, ETC.)
WATER MAIN	6	12	12	6	6	6
FORCE MAIN	12	6	6	6	6	6
SANITARY SEWER	12	6	6	6	6	6
REUSE MAIN	6	6	6	6	6	6
STORM WATER	6	6	6	6	6	6
OTHER UTILITIES	6	6	6	6	6	6

1.) MAXIMUM JOINT DEFLECTION SHALL BE 90% OF MANUFACTURER'S RECOMMENDATION.
2.) WHEREVER POSSIBLE, THE LAYOUT OF UTILITIES SHALL PLACE SANITARY SEWER AND SEWER FORCE MAINS BELOW RECLAIMED MAINS AND BELOW WATER MAINS, RESPECTIVELY. WHERE WATER MAINS ARE ABOVE GRAVITY SEWERS OR WASTEWATER FORCE MAINS, A VERTICAL CLEARANCE OF 6 INCHES IS ACCEPTABLE. STORM SHALL BE PLACED BELOW BOTH WATER AND SEWER WHERE POSSIBLE.
3.) ACCEPTABLE VARIANCES:
   A. WHERE HORIZONTAL SEPARATION CANNOT BE MAINTAINED, C900 DR14 PVC PIPE SHALL BE USED FOR ONE OF THE PIPELINES.
   B. WHERE VERTICAL CLEARANCE CANNOT BE MAINTAINED, ONE FULL LENGTH OF DR14 C900 PIPE SHALL BE INSTALLED CENTERED AT THE POINT OF CROSSING.
   C. WHERE 36" MINIMUM DEPTH OF COVER CANNOT BE MAINTAINED, SPECIAL PROTECTION OR PIPE MATERIAL UPGRADE MAY BE REQUIRED, AT THE DISCRETION OF THE UTILITY DEPARTMENT.
4.) NO UTILITY PIPE SHALL PASS THROUGH, OR COME IN CONTACT WITH ANY PART OF A SANITARY MANHOLE OR STORMWATER STRUCTURE WITHOUT APPROVAL FROM THE UTILITIES DIRECTOR OR CITY ENGINEER.

UTILITY CONFLICT & SEPARATION DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	UTILITIES - GENERAL	DATE MAR 2025
Venice, FL City on the Gulf		UTILITY CONFLICTS & SEPARATIONS	SHEET NO. U-5



1.) ALL PIPE FITTINGS SHALL BE COMPACT. DUCTILE IRON.
2.) ALL APPLICATIONS (RAW, POTABLE, REUSE, SEWER) SHALL BE FUSION BONDED EPOXY COATED INSIDE AND OUT.
3.) ALL FITTINGS SHALL MEET ANSI/AWWA C116/A21.16 STANDARDS.
4.) ALL HARDWARE SHALL BE 316 SS.
5.) ALL FITTINGS FOR SANITARY SEWER SHALL BE HEAVY WALL SDR 26 PVC.

PIPE FITTINGS

N.T.S.

SERVICE	COLOR	MATERIAL/CLASS
POTABLE WATER MAIN	BLUE	AWWA C900 PVC / DR 18 FUSIBLE C900 PVC / DR 18 CERT-A-LOK C900 PVC / DR 18 HDPE PPI PE 4710 / DR 11 / DIPS (WITH UTILITIES DEPARTMENT APPROVAL)
RAW WATER MAIN	WHITE	
REUSE MAIN	PURPLE	
FORCE MAIN (MIN. 4" DIAMETER)	GREEN	
WATER SERVICE	BLUE	PE (POLYTUBING) / DR 9
REUSE SERVICE	PURPLE	PE (POLYTUBING) / DR 9
GRAVITY SEWER MAIN (MIN. 8" DIAMETER)	GREEN	ASTMD3034 / SDR 26
SEWER LATERAL (MIN. 6" DIAMETER)	GREEN	ASTMD3034 / SDR 26

PIPE MATERIAL SCHEDULE

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2626	UTILITIES - GENERAL	DATE MAR 2025
Venice, FL City on the Gulf		PIPE FITTINGS & MATERIAL	SHEET NO. U-6

Bowman
CERTIFICATE OF AUTHORIZATION LICENSE NO. 30462

BOWMAN CONSULTING GROUP, LTD.
5404 CYPRESS CENTER DR
SUITE 140
TAMPA, FL 33609
PHONE: (813) 474-7424
BOWMAN.COM

CONSTRUCTION DETAILS
BAY INDIES CLUBHOUSE
950 RIDGEWOOD AVE
VENICE, FL 34285
CITY OF VENICE
SARASOTA COUNTY, FL

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TIMOTHY W. JOHNSON
LICENSE No. 47054
STATE OF FLORIDA
PROFESSIONAL ENGINEER

PLAN STATUS

REV	DATE	COMMENT
1	2026/05/16	CITY OF VENICE REV#1

MM	ADH	TJ
DESIGN	DRAWN	CHKD

SCALE AS NOTED
JOB No. 011528-01-001
DATE 10/14/2024
SHEET C7.1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN SHALL BE WITHOUT LIABILITY TO BOWMAN.

MINIMUM LENGTH (FT) OF FORCE MAIN TO BE RESTRAINED ON EACH SIDE OF FITTING										
FITTING		PIPE SIZE (INCHES) 4	6	8	10	12	16	18	20	24
45 BEND:	H	6	9	12	14	16	21	23	25	29
	VU	4	6	7	9	10	13	15	16	19
	VD	12	20	26	32	37	48	53	28	68
22.5 BEND:	H	3	4	6	7	8	10	11	12	14
	VU	2	3	4	4	5	6	7	8	9
	VD	7	10	13	15	18	23	26	28	33
11.25 BEND:	H	2	2	3	3	4	5	5	6	7

MINIMUM LENGTH (FT) OF WATER OR REUSE MAIN TO BE RESTRAINED ON EACH SIDE OF FITTING										
FITTING		PIPE SIZE (INCHES) 4	6	8	10	12	16	18	20	24
90 BEND:	H	23	33	43	51	60	76	83	90	104
45 BEND:	H	10	14	18	21	25	31	34	37	43
	VU	6	8	11	13	16	20	22	24	28
	VD	22	30	40	48	56	72	80	87	102
22.5 BEND:	H	5	7	8	10	12	15	17	18	21
	VU	3	4	5	6	7	10	11	12	14
	VD	10	15	19	23	27	35	38	42	49
11.25 BEND:	H	2	3	4	5	6	7	8	9	10
VALVES/PLUGS:		52	73	96	115	136	174	193	211	246

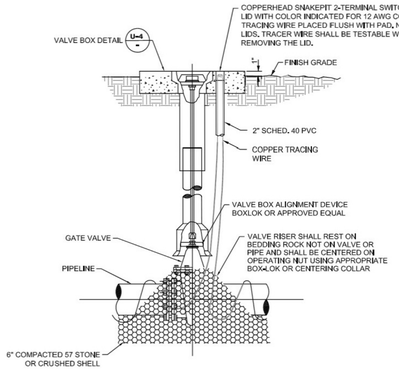
ABBREVIATIONS: H=HORIZONTAL, VU=VERTICAL UP, VD=VERTICAL DOWN.

1.) FOR TEE OR REDUCER FITTINGS SUBMIT RESTRAINED JOINT LENGTH CALCULATIONS TO CITY ENGINEER FOR REVIEW AND APPROVAL, USING THE ASSUMPTIONS LISTED ABOVE.
2.) RESTRAINED JOINT LENGTH FOR WATER AND REUSE MAINS BASED ON TEST PRESSURE OF 150 PSI. RESTRAINED JOINT LENGTH FOR FORCE (SEWER) MAINS BASED ON TEST PRESSURE OF 100 PSI. CALCULATIONS WERE MADE USING EBAA IRON SOFTWARE (AVAILABLE AT WWW.EBAA.COM) AND THE FOLLOWING ASSUMPTIONS: GRANULAR MATERIAL (GM) SOIL TYPE, TRENCH TYPE 3, BURY DEPTH OF 3 FT, AND SAFETY FACTOR OF 2 TO 1. IF FIELD CONDITIONS DIFFER FROM ABOVE ASSUMPTIONS EOR SHALL PROVIDE CALCULATIONS BASED ON ACTUAL CONDITIONS.
3.) RESTRAINED JOINT SHALL BE USED ON ALL JOINTS FROM ANY MAIN TEE TO ANY FIRE HYDRANT ASSEMBLY.
4.) THRUST BLOCKS WILL NOT BE ACCEPTED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
5.) ALL HARDWARE SHALL BE 316 SS.

PRESSURE MAIN RESTRAINED JOINT TABLE

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - GENERAL | RESTRAINED JOINT TABLE | DATE MAR 2025 | SHEET NO. U-7

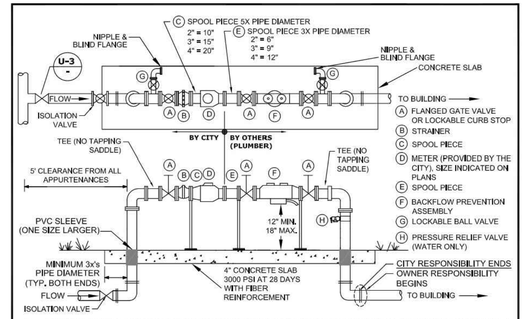


1.) GATE VALVES SHALL BE RESILIENT WEDGE-TYPE MANUFACTURED BY MUELLER, AMERICAN VALVE, OR EQUAL. ALL GATE VALVES SHALL BE FUSION BONDED EPOXY COATED (INTERIOR AND EXTERIOR) MEET ANSI/AWWA C550, AND BE NSF61 CERTIFIED. BRANCH VALVES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE TEE.
2.) GATE VALVES SHALL BE NOMINAL SIZES: 2", 4, 6", ETC. NO GATE VALVES SMALLER THAN 2". FOR VALVES LARGER THAN 12" IN USE BUTTERFLY STYLE VALVE.
3.) VALVE SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4.) COPPERHEAD TRACING WIRE PAIR #12 AWG OR EQUAL SHALL BE USED. IT SHALL BE COLOR CODED TO REFLECT WHAT THE PIPE CARRIES. (BLUE = WATER, PURPLE = REUSE)
5.) FOR CURBED ROADWAYS; CURB SHALL BE ETCHED WITH THE LETTER "V" DIRECTLY PERPENDICULAR TO THE VALVE BOX.
6.) ALL BOLTS AND HARDWARE SHALL BE 316 SS.
7.) SIGNIFICANT UTILITY CROSSINGS, SUCH AS DITCHES, WATER BODIES, AND MAJOR ROADS, SHALL HAVE ISOLATION VALVES ON EACH SIDE OF THE CROSSING.

GATE VALVE DETAIL

(WATER AND REUSE ONLY)
N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - WATER | GATE VALVE | DATE MAR 2025 | SHEET NO. W-1



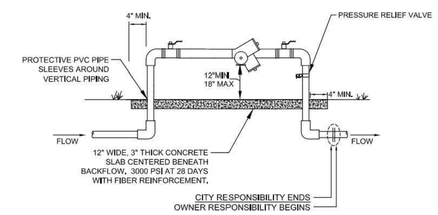
1.) EITHER 90°-DEGREE OR 45°-DEGREE FITTINGS MAY BE USED WITH THE REQUIRED LENGTH OF RESTRAINED JOINT FITTINGS.
2.) BACKFLOW PREVENTION ASSEMBLY TYPE SHALL BE DETERMINED BY THE CITY OF VENICE UTILITIES DEPARTMENT'S MOST CURRENT CROSS-CONNECTION CONTROL PROGRAM MANUAL (CCM), AND SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE METER, RPZ OR DOUBLE CHECK BFP SHALL BE INSTALLED ABOVE GROUND PER CCM TABLE 3.1.
3.) ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AND/OR ASSE 1013.
4.) ALL CONCRETE PIPE PENETRATIONS SHALL BE PROTECTED WITH A PVC SLEEVE, ONE SIZE LARGER THAN RISER PIPE.
5.) VALVES SHALL BE FULL PORTED FULL FLOW BALL VALVES OR RESILIENT WEDGE OS&Y GATE VALVES.
6.) THE BACKFLOW ASSEMBLY SHALL MATCH THE WATER METER SIZE.
7.) METERS 1-1/2" AND UP WILL HAVE FLANGES. LAY LENGTHS MUST BE VERIFIED PRIOR TO CONSTRUCTION OF ASSEMBLIES. NO SPOOL PIECE REQUIRED FOR 1 1/2".
8.) METERS 1-1/2" AND SMALLER REQUIRE A LOCKABLE CURB STOP.
9.) ALL COMMERCIAL AND MULTI FAMILY UNIT METERS MUST BE ABOVE GRADE. REUSE METERS 2" AND LESS MAY BE BELOW GROUND.
10.) BACKFLOW PREVENTION ASSEMBLY AND BYPASS ARE NOT REQUIRED FOR REUSE METER.
11.) BACKFLOW PREVENTION ASSEMBLIES SHALL ONLY BE BY-PASSED IF A TEMPORARY RP IS INSTALLED ON BY-PASS.
12.) NO BRANCH OR TEE SERVICE CONNECTIONS SHALL EXIST BETWEEN THE WATER METER AND BACKFLOW PREVENTER.
13.) THE ENGINEER OF RECORD SHALL SUBMIT METER SIZING CALCULATIONS BASED ON SERVICE DEMAND PER AWWA M-22 AND SUBJECT TO APPROVAL BY THE UTILITY DEPARTMENT.
14.) PARALLEL BACKFLOW ASSEMBLY MAY BE PERMITTED TO ALLOW FOR UNINTERRUPTED SERVICE AND SHALL PROVIDE THE SAME DEGREE OF PROTECTION OR GREATER.
15.) NO PVC SHALL BE PERMITTED ON THE CITY SIDE.

METER SIZE	BY-PASS SIZE
1 1/2", 2"	1"
3", 4"	2"
6"	4"
8"	6"

REUSE METER, WATER METER, & BACKFLOW PREVENTION ASSEMBLY

ABOVE GROUND METER, 2" & LARGER
N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - WATER | WATER & REUSE METER & BACKFLOW | DATE MAR 2025 | SHEET NO. W-4



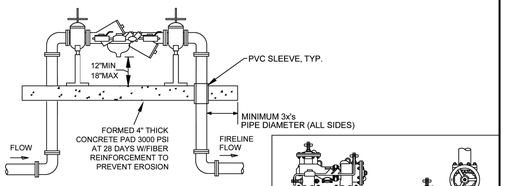
1.) BACKFLOW PREVENTION ASSEMBLY TYPE SHALL BE DETERMINED BY THE CITY OF VENICE UTILITIES DEPARTMENT'S MOST CURRENT CROSS-CONNECTION CONTROL PROGRAM.
2.) ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AND/OR ASSE 1013.
3.) ALL ABOVE GROUND PIPING SHALL BE RIGID COPPER.
4.) THE WATER METER AND BACKFLOW PREVENTER SHALL BE THE SAME SIZE.
5.) INSTALLED IMMEDIATELY AFTER THE UTILITY WATER METER, PER THE CROSS CONNECTION CONTROL MANUAL, UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF VENICE UTILITIES DIRECTOR AND WITH A SIGNED WAIVER AGREEMENT BY THE CUSTOMER.
6.) NO BRANCH OR TEE CONNECTIONS SHALL EXIST BETWEEN THE WATER METER AND BACKFLOW PREVENTER.
7.) ALL METER BOXES SHALL BE SET FLUSH WITH FINISHED GRADE.
8.) SHEETING SHALL BE A PVC TYPE MATERIAL WITH A MINIMUM OF 40 MIL. THICKNESS.
9.) PROTECTIVE PIPE SLEEVES SHALL BE PVC PIPE ONE SIZE LARGER THAN RISER OR OTHER CITY APPROVED MATERIAL.
10.) PRESSURE RELIEF VALVE SHALL BE INSTALLED.
11.) LINE DOWNSTREAM OF METER AND PRIOR TO BACKFLOW SHALL BE POLYETHYLENE.
12.) NO PVC SMALLER THAN 4" DIAMETER SHALL BE INSTALLED ON CITY-OWNED UTILITIES.

ABOVE GROUND BACKFLOW PREVENTION ASSEMBLY

N.T.S.

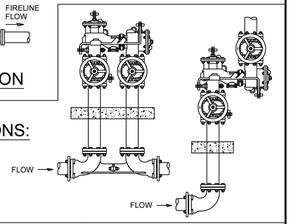
CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - WATER | BACKFLOW ASSEMBLY (NO MASTER METER) | DATE MAR 2025 | SHEET NO. W-5

RECORD DRAWINGS
June 29, 2026
APPROVED



STANDARD ORIENTATION

OPTIONAL ORIENTATIONS:

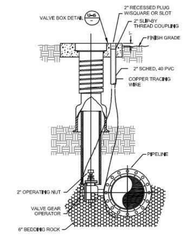


1.) ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AND/OR 1047 OR 1048 ASSE AS APPLICABLE
2.) 45° FITTINGS MAY BE SUBSTITUTED FOR 90° FITTINGS.
3.) PIPE BETWEEN TAP & ISOLATION VALVE SHALL BE C900 PVC OR HDPE.
4.) IF TEEING OFF FOR POTABLE SERVICE, INSTALL INDICATOR VALVE BETWEEN TEE FOR POTABLE SERVICE AND FIRE SERVICE BACKFLOW ASSEMBLY.
5.) ASSEMBLY SHALL BE PAINTED RED WITH ALKYD ENAMEL, EPOXY OR POLYURETHANE BASED PAINT, EXCEPT FOR STAINLESS STEEL PARTS.
6.) VALVE ASSEMBLIES SHALL MEET NFPA 24 REQUIREMENTS AND INDICATOR VALVES SHALL BE PROVIDED.
7.) FOR INSTALLATION REQUIREMENTS, PLEASE REFER TO THE CURRENT FLORIDA FIRE PREVENTION CODE.
8.) FOR FIRE PROTECTION SYSTEMS EQUIPPED WITH A FIRE PUMP, THE PIPE BETWEEN THE CHECK VALVE AND THE OUTSIDE CONNECTION SHALL BE EQUIPPED WITH AN APPROVED BALL DRIP.
9.) BACKFLOW PREVENTION ASSEMBLY TYPE SHALL BE DETERMINED BY THE CITY OF VENICE UTILITIES DEPARTMENT'S MOST CURRENT CROSS-CONNECTION CONTROL PROGRAM.
10.) 5" STORZ INLET CONNECTION MAY BE REDUCED FOR PIPE SIZES LESS THAN 5".
11.) FIRE SERVICES ARE PRIVATELY OWNED AND MAINTAINED FROM THE TAP OR POINT WHERE THE SYSTEM BECOMES EXCLUSIVELY USED FOR FIRE PROTECTION. THIS INCLUDES THE ISOLATION VALVE OR POSITION INDICATOR VALVE (PIV).

FIRE SERVICE BACKFLOW ASSEMBY

SIZE 2" - 10"
N.T.S.

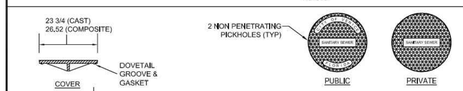
CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - WATER | FIRE SERVICE BACKFLOW ASSEMBLY | DATE JAN 2026 | SHEET NO. W-9



1.) PLUG VALVES SHALL BE FULL PORT, MANUFACTURED BY DEZURIK OR APPROVED EQUAL.
2.) SEAT OF PLUG VALVE SHALL BE ON THE UPSTREAM SIDE OF THE BODY.
3.) VALVE SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4.) ALL SEWER FORCE MAIN PLUG VALVES SHALL BE GEAR OPERATED.

PLUG VALVE DETAIL

(SEWER FORCE MAINS ONLY)
N.T.S.



1. MATERIAL: ASTM-A48 CLASS 30B GRAY IRON OR HEAVY DUTY COMPOSITE WITH 316 SS LOCKING BOLTS.
2. RING & COVER WT: APPROX. 150 LBS. EA. (IRON ONLY)
3. INFLOW DISH REQUIRED WITH CAST IRON COVERS

TYPICAL COVER

1.) HEAVY DUTY 130 LB. COVER
2.) MANHOLE COVER SHALL BE U.S FOUNDARY TYPE CE-ORS
3.) SHALL BE LABELLED AS ILLUSTRATED ABOVE
4.) SHALL BE WATERTIGHT

1.) MATERIAL: ASTM-A48 CLASS 30B GRAY IRON
2.) RING WT: 90 LBS. APP.
3.) COVER WT: 130 LBS. APP.

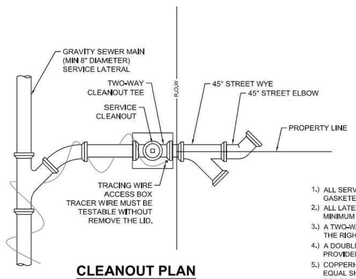
LOW PROFILE COVER

NOTE: ALL MANHOLES COVERS ON VENICE ISLAND AND AT OR BELOW THE BASE FLOOD ELEVATION SHALL BE COMPOSITE AND WATERTIGHT UNLESS OTHERWISE APPROVED BY THE UTILITIES DIRECTOR.

MANHOLE COVERS DETAIL

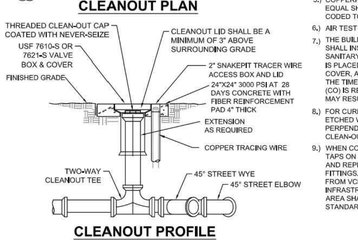
(ALL UNITS IN INCHES)
N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - SEWER | PLUG VALVE & MANHOLE COVERS | DATE MAR 2025 | SHEET NO. S-1



CLEANOUT PLAN

1.) ALL SERVICE LATERAL JOINTS SHALL BE GASKETED FROM MAIN WYE.
2.) ALL LATERAL SERVICES SHALL BE A MINIMUM OF 8IX INCHES IN DIAMETER.
3.) A TWO-WAY CLEANOUT SHALL BE PROVIDED AT THE RIGHT OF WAY ON THE PROPERTY LINE.
4.) A DOUBLE-SWEEP CLEANOUT SHALL BE PROVIDED ON THE PRIVATE SIDE.
5.) COPPERHEAD TRACING WIRE #12 AWG OR EQUAL SHALL BE USED. IT SHALL BE COLOR CODED TO GREEN FOR SEWER.
6.) AIR TEST REQUIRED.
7.) THE BUILDING GENERAL CONTRACTOR SHALL INSURE THE APPLICABLE SERVICING SANITARY SEWER CLEANOUT CONNECTION IS PLACED ABOVE FINISHED GRADE WITH COVER, AND IS WITH A CONCRETE PAD AT THE TIME CERTIFICATION OF OCCUPATION (CO) IS REQUESTED. NON COMPLIANCE MAY RESULT IN A DELAY OF CO.
8.) FOR CURBED ROADWAYS: CURB SHALL BE ETCHED WITH THE LETTER "S" DIRECTLY PERPENDICULAR TO THE SEWER CLEAN-OUT.
9.) WHEN CONNECTING TO EXISTING SERVICE TAPS ON VCP, REMOVE EXISTING VCP WYE AND REPLACE WITH SDR26 GASKETED FITTINGS, USE MAXADAPTOR TO TRANSITION FROM VCP TO PVC. EXISTING INFRASTRUCTURE WITHIN THE PROJECT AREA SHALL BE BROUGHT UP TO CURRENT STANDARDS.

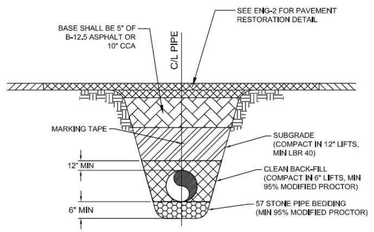


CLEANOUT PROFILE

SANITARY SEWER SERVICE & CLEANOUT DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - SEWER | SEWER SERVICE & CLEANOUT | DATE MAR 2025 | SHEET NO. S-4



1.) MINIMUM COVER SHALL BE 36" FROM TOP OF PIPE TO FINISHED GRADE.
2.) INSTALLATION OF PIPE SHALL BE IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3.) PAVEMENT RESTORATION SHALL CONFORM WITH DETAIL ENG-2 OF THESE CITY STANDARDS. FOR NEW CONSTRUCTION, THE FIRST LIFT OF ASPHALT SHALL BE IN PLACE PRIOR TO RECORD DRAWING REVIEW.
4.) ALL UTILITIES (PUBLIC AND PRIVATE) THAT CROSS A DITCH / SWALE SHALL BE 36" MIN BELOW THE ACTUAL / DESIGN BOTTOM OF CONVEYANCE.
5.) MARKING TAPE SHALL BE PROVIDED PER U-1.

SEWER PIPE TRENCH DETAIL

N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT 401 W VENICE AVE VENICE, FL 34285 (941) 486-2626 | UTILITIES - SEWER | SEWER PIPE TRENCH | DATE MAR 2025 | SHEET NO. S-6

Bowman
CERTIFICATE OF AUTHORIZATION LICENSE NO. 30462
BOWMAN CONSULTING GROUP, LTD.
5404 CYPRESS CENTER DR
SUITE 140
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PHONE: (813) 474-7424
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CONSTRUCTION DETAILS
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PLAN STATUS

REV	DATE	COMMENT
1	2026/06/16	CITY OF VENICE REV#1

MM	ADH	TJ
DESIGN	DRAWN	CHKD

SCALE AS NOTED
JOB No. 011528-01-001
DATE 10/14/2024
SHEET C7.2