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GENERAL NOTES:

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF VENICE LAND DEVELOPMENT REGULATIONS.
2. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR CONSTRUCTION.
3. THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 IS THE BENCHMARK DATUM FOR THIS PROJECT. CONVERSION FACTOR: NAVD 1988 + 1.11 FT = NGVD 1929.
4. ALL AREAS DESIGNATED AS "PRESERVE OR CONSERVATION" TO BE CLEARLY DELINEATED PRIOR TO CONSTRUCTION.

GENERAL CONSTRUCTION NOTES:

- 1. THERE SHALL BE NO CHANGE OR DEVIATION FROM THESE PLANS UNLESS APPROVED BY THE ENGINEER OR CITY OF VENICE.
2. ALL CLEARING AND GRUBBING DEBRIS TO BE BURNED OR REMOVED FROM SITE AND IS PART OF CLEARING AND GRUBBING ITEM.
3. IT IS THE INTENT OF THE OWNER THAT CERTAIN TREES BE DESIGNATED TO BE SAVED AND PROTECTED BY THE CONTRACTOR. IT IS ASSUMED THESE TREES ARE HEALTHY AND ARE EXPECTED TO BE PART OF THE LANDSCAPE DEVELOPMENT. THEREFORE, IF ANY TREES DAMAGED BY CONSTRUCTION OPERATION OR BY OTHER MEANS (EXCLUDING LIGHTNING, WINDSTORM AND OTHER ACTS OF GOD) PERISHES WITHIN THE CONSTRUCTION PERIOD, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND DISPOSE OF THOSE TREES. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER FOR THE LABOR, MATERIAL OR MACHINERY REQUIRED TO REMOVE SAID TREES(S). EXOTIC VEGETATION (E.G., MELALEUCA AND BRAZILIAN PEPPER) EXISTING WITHIN THE PROJECT AREA SHALL BE REMOVED AND PROPERLY DISPOSED OF IN AN APPROVED LANDFILL.
4. WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES, THE CONTRACTOR SHALL USE EXTREME CARE IN NOT DAMAGING THE ROOT SYSTEM. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRAIN LINE OF TREES TO REMAIN AND BE PRESERVED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL OF HIS EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.
5. LAY SOD AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, LAKE SLOPES, AND TWO FEET (2') WIDE STRIP ADJACENT TO ALL CURBING, AND AS DIRECTED BY THE ENGINEERS. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOD ELEVATIONS. FINISH EARTHWORK GRADINGS WILL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOD THICKNESS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST. ALL EROSION SILTATION AND MAINTAINING GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THEN.
6. CALL "SUNSHINE" (1-800-432-4770), COMCAST, FPL, CITY OF VENICE UTILITIES DEPARTMENT, TECO, AND FRONTIER PRIOR TO CONSTRUCTION AND CONNECTION TO EXISTING UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT EXISTING UTILITIES FROM DAMAGE.
7. ALL UTILITY LINES, STORM DRAIN LINES AND ACCESSORIES SUCH AS, BUT NOT LIMITED TO MANHOLES, CLEANOUTS, SEWER AND WATER SERVICES, VALVES, FIRE HYDRANTS AND INLETS WILL BE CONSTRUCTED TO ALIGNMENT AND LOCATIONS SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
8. CLEARING, GRUBBING, STRIPPING, AND COMPACTION WILL BE INSPECTED BY THE ENGINEER PRIOR TO FILLING.
9. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, CONSERVATION/PRESERVE AREAS, EXISTING LAKES & WATERWAYS WITHIN AND ADJOINING THE AREA OF CONSTRUCTION ACTIVITY SHALL BE PROTECTED BY ERECTION OF TREE PROTECTION BARRICADES AND/OR SILT BARRIERS. TREE PROTECTION BARRICADES SHALL MEET THE STANDARDS OF THE CITY OF VENICE. SILT BARRIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "BEST MANAGEMENT PRACTICES PLAN" AND THE "BMP DETAILS" SHOWN ON DWGS. B-1 THROUGH B-2 OF THE FULL CIVIL CONSTRUCTION PLANS. THE ENGINEER WILL DETERMINE THE EXTENT AND TYPE OF PROTECTIVE MEASURES TO BE CONSTRUCTED FOR PROTECTION OF CONSERVATION/PRESERVE AREAS. THE ENGINEER SHALL BE NOTIFIED WHEN PRESERVE AREA BARRICADES AND BARRIERS ARE IN PLACE.
10. THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN THE AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.
11. ALL DRAINAGE PIPE JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 280, SHEET 1.
12. ROADWAY AND DRAINAGE STRUCTURES SHALL MEET FDOT STANDARD SPECIFICATIONS SECTION 346 OF 3000 PSI CONCRETE.
13. THE WETLAND AND ASSOCIATED UPLAND VEGETATIVE BUFFER SHALL BE MAINTAINED IN ACCORDANCE WITH MANAGEMENT GUIDELINES CONTAINED WITHIN THE COMPREHENSIVE PLAN AS A CONSERVATION AREA OR PRESERVE. ALL ACTIVITIES INVOLVING FILLING, EXCAVATING, WELL DRILLING, ALTERING VEGETATION (INCLUDING TRIMMING OF BOTH TREES AND UNDERSTORY) AND STORING OF MATERIALS SHALL BE PROHIBITED WITHIN PRESERVATION AREAS, UNLESS WRITTEN APPROVAL IS FIRST OBTAINED FROM RESOURCE PROTECTION SERVICES TO FACILITATE IMPLEMENTATION OF APPROVED HABITAT MANAGEMENT PLANS OR THE REMOVAL OF NUISANCE INVASIVE VEGETATION.
14. A TREE REMOVAL AND PROTECTION PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, CLEARING OR TREE REMOVAL. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE CODE.
15. EROSION AND SEDIMENT CONTROL, BMPs IN ADDITION TO THOSE PRESENTED ON THE PLANS AND OUTLINED IN THE EROSION AND SEDIMENT CONTROL PLAN (ECP), BEST MANAGEMENT PRACTICES (BMP) PLAN, OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS. OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMPs SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.)
16. OFFSITE SURFACE WATER DISCHARGES, DISCHARGES TO THE MS4, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO THE CITY OF VENICE WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
17. FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO THE CITY OF VENICE. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
18. IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND THE CITY OF VENICE SHALL BE CONTACTED.
19. FERTILIZER APPLICATION SHALL BE CONSISTENT WITH THE CITY OF VENICE CODE.
20. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM - STORMWATER:
i. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(A), F.A.C.
ii. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(A)PART III.C.2, F.A.C.
iii. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO AIR AND WATER QUALITY IN ACCORDANCE WITH RULE 62-621.300(4)(A)PART III.D.1, F.A.C.
iv. THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(A)PART V.D.6, F.A.C., AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO AIR AND WATER QUALITY AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
v. A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO STATE INSPECTORS.
vi. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM - DEWATERING:
THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR TO ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE DEP. PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING. ANALYTICAL RESULTS FROM PRE-DISCHARGE TESTING SHALL BE PROVIDED TO AIR AND WATER QUALITY.
21. THE CONTRACTOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(c)1., FLORIDA ADMINISTRATIVE CODE, FROM THE CONSTRUCTION SITE BY TAKING ADEQUATE MEASURES TO STABILIZE AFFECTED AREAS.
22. DEPARTMENT OF ENVIRONMENTAL PROTECTION WATER AND WASTEWATER PERMITS ARE REQUIRED.
23. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
24. IN THE EVENT THAT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO THE PROJECT COMPLETION, ALL CONSTRUCTION AND VEGETATIVE DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED LANDFILL FACILITY.
25. A SEPARATE BUILDING PERMIT MUST BE APPLIED FOR AND ISSUED FOR EVERY SIGN, WALL, OUTDOOR LIGHTING AND STRUCTURE ON THE SITE. THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE NECESSARY BUILDING PERMITS.

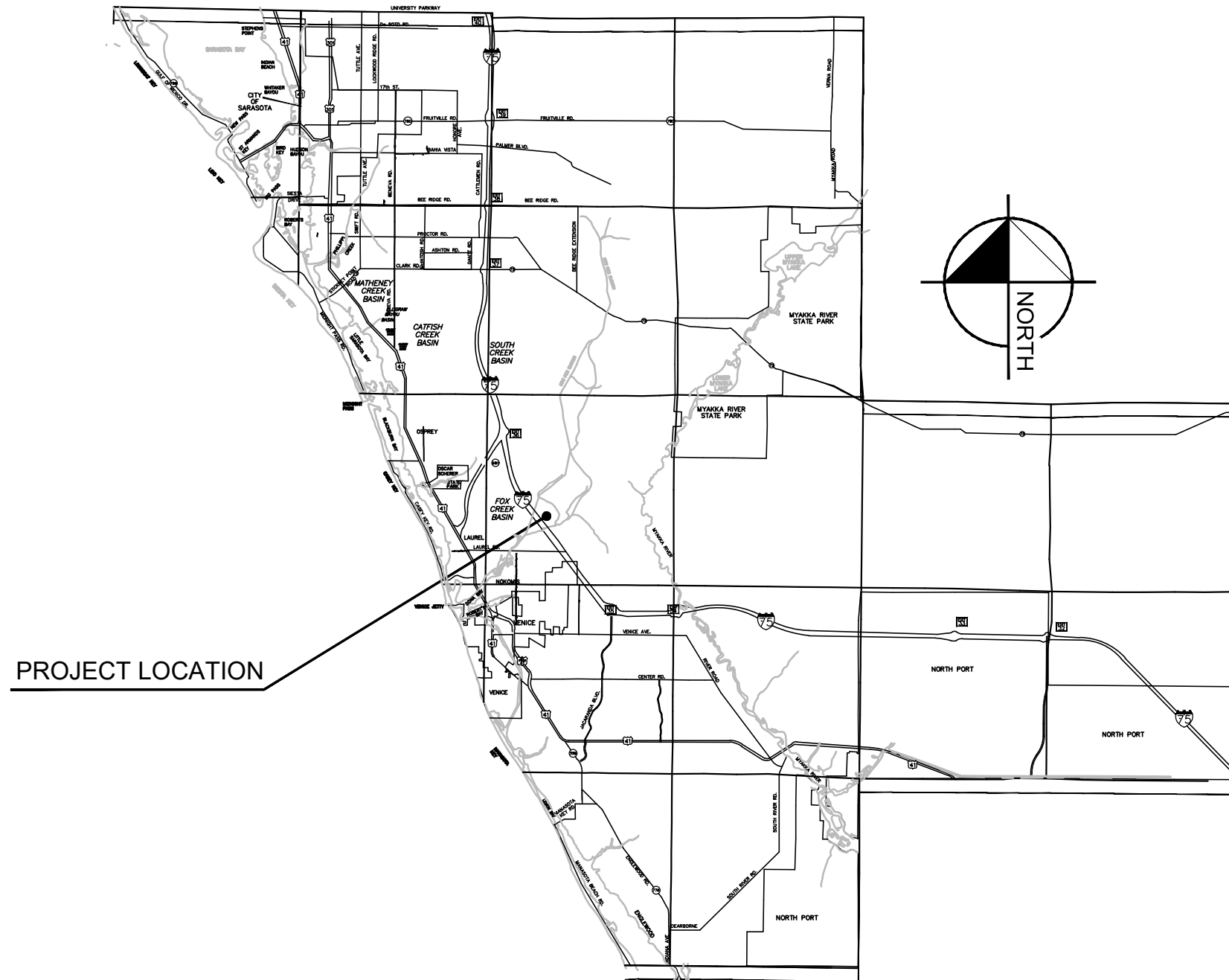
CITY OF VENICE REQUIRED NOTES:

- 1. ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW PERMIT.
2. ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF STATE ISSUED PERMITS.
3. TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE CITY OF VENICE.
4. POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
5. ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521.
6. CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
7. ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
8. CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

SITE AND DEVELOPMENT PLANS FOR RANCH ROAD MULTI-FAMILY

SECTION 20, TOWNSHIP 38 S, RANGE 19 E NORTH VENICE, FLORIDA

JULY 2022



DEVELOPER: SOUTH CITY PARTNERS, LLC
3715 NORTHSIDE PKWY, SUITE 1-310
ATLANTA, GA 30327
PH:(404)400-1322
CONTACT: BRYAN BELLISSIMO

ENGINEER: KIMLEY HORN AND ASSOCIATES, INC.
1777 MAIN STREET, SUITE 200
SARASOTA, FL 34236
PH : (941)379-7600
CONTACT: WILLIAM E. CONERLY, P.E.

SURVEYOR : BRITT SURVEYING, INC.
680 U.S. BYPASS N, UNIT 1
VENICE, FL 34285
PH : (941)493-1396
CONTACT: RANDALL E. BRITT, P.L.S.

ARCHITECT: DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY ROAD,
BUILDING C, SUITE 250
ATLANTA, GA 30328
(678) 506-8830
CONTACT: RUSSELL SIGMAN, AIA

LANDSCAPE ARCHITECT: B+C STUDIO, INC.
1320 ELLSWORTH INDUSTRIAL BLVD NW,
SUITE A1400,
ATLANTA, GA 30318
(678) 990-7691
CONTACT: TRAE ADAMS

PREPARED BY Kimley Horn

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LAND USE DEVELOPMENT DATA

PARCEL AREA: 15.85 ACRES
PRESENT ZONING: PUD - PLANNED UNIT DEVELOPMENT
ABUTTING ZONING: WEST: INTERSTATE 75
EAST: PUD
NORTH: PUD
SOUTH: INTERSTATE 75
PROJECT ADDRESS: 2600 RUSTIC RD AND 1700 RANCH RD
NOKOMIS, FL 34275 NOKOMIS, FL 34275
PID: 0362-00-1002 & 0362-00-1007
PROJECT AREA: 15.85 ACRES

PROPOSED NUMBER OF UNITS SHOWN: 303 MULTI-FAMILY RENTAL APARTMENT HOMES WITH A 6,745 SQUARE FOOT AMENITY CENTER BUILDING.
OVERALL DENSITY: 303 UNITS / 15.845 AC. = 19.12 UNITS PER ACRE (MAXIMUM ALLOWED = 304 UNITS TOTAL)

Table with 3 columns: LAND USE, ACRES, PERCENTAGE. Includes rows for Building (Multi-Family Apartments + Amenity Center), Roads, Sidewalks, Pavers and Parking, Lakes @ Control Water El., Other Pervious Area, and Total Area.

PROPOSED BUILDING SETBACKS: BUILDING SETBACK FROM I-75 EQUAL TO BUILDING HEIGHT (1:1).

RECLAIMED WATER: PROVIDED BY CITY OF VENICE.

WATER: POTABLE WATER SUPPLY WILL BE FROM CITY OF VENICE UTILITIES, BUT WILL BE MASTER METERED.

SEWER: WASTEWATER SERVICES WILL BE PROVIDED BY CITY OF VENICE UTILITIES.

GARBAGE: GARBAGE PICKUP WILL BE PROVIDED BY CITY OF VENICE.

ROADWAYS: ACCESS TO THIS PROJECT IS PROVIDED FROM RANCH ROAD, RUSTIC ROAD, AND CANOE BEND AVE.

PARKING LOT: TO BE PRIVATELY MAINTAINED.

LOADING ZONES REQUIRED: 6

LOADING ZONES PROVIDED: 6

EASEMENTS: REFER TO SHEETS A-4 AND A-6 THROUGH A-8 FOR EXISTING AND PROPOSED EASMENT INFORMATION.

TREE LOCATION: A TREE PERMIT WAS ISSUED FOR THIS PROJECT UNDER THE MASS GRADING PERMIT. REFER TO PLTR21-00285. 1050 INCHES NEW TREES ARE REQUIRED. REFER TO SEPARATE LANDSCAPE PLANS.

FEMA DESIGNATION: NOTE: THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP FOR SARASOTA COUNTY, FLORIDA, COMMUNITY NO. 12115C0245F, DATED NOVEMBER 4, 2016, AND ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. FEMA DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).

ENVIRONMENTAL AND SURFACE WATER MANAGEMENT SYSTEM: DRAINAGE SYSTEM WILL BE PRIVATELY MAINTAINED.

WELLS: THERE ARE NO KNOWN EXISTING WELLS WITHIN THE PROJECT BOUNDARY.

Table with 3 columns: IMPERVIOUS/PERVIOUS AREAS, ACRES, PERCENTAGE. Includes rows for Impervious Area, Pervious Area (Incl. Lake), and Total.

ADA: ALL SIDEWALK STREET CROSSINGS AT CURBS, GUTTERS AND INTERSECTIONS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND FLORIDA ACCESSIBILITY CODE.

LANDSCAPE PLANS: A TREE PERMIT WAS ISSUED FOR THIS PROJECT UNDER THE MASS GRADING PERMIT. REFER TO PLTR21-00285. 1050 INCHES NEW TREES ARE REQUIRED. REFER TO SEPARATE LANDSCAPE PLANS.

TREE MITIGATION PLANS: A TREE PERMIT WAS ISSUED FOR THIS PROJECT UNDER THE MASS GRADING PERMIT. REFER TO PLTR21-00285. 1050 INCHES NEW TREES ARE REQUIRED. REFER TO SEPARATE LANDSCAPE PLANS.

REQUIRED PARKING CALCULATION:

RESIDENTIAL USE: 2 SPACES PER UNIT
PRIVATE CLUBS: 1 SPACE PER THREE SEATS OR 1 SPACE PER 200 SQUARE FEET OF NON-STORAGE AREA

REQUIRED PARKING SPACES = 303 UNITS * 2 SPACES + 6,745 SF AMENITY CENTER * (1 SPACE PER 200 SF) = 606 SPACES + 34 SPACES
TOTAL SPACES REQUIRED = 640 SPACES REQUIRED (13 ADA)

PARKING SPACES PROVIDED:

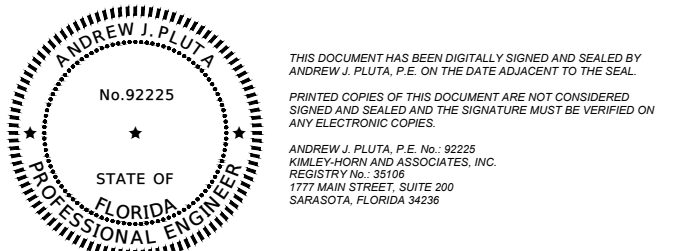
PROVIDED PARKING SPACES = 19 (ADJACENT TO AMENITY CENTER) + 24 (UNDER CARRIAGE HOMES) + 12 (2 GARAGES) + 430 (SURFACE)
TOTAL SPACES PROVIDED = 485 SPACES PROVIDED (24 ADA)

PARKING RATIO = 1.60

UTILITY COMPANIES:

FPL: 5657 NORTH McINTOSH ROAD, SARASOTA, FLORIDA 34233
TECO GAS: 8261 VICO COURT, SARASOTA, FLORIDA 34240-7844
FRONTIER: 1701 RINGLING BLVD, SARASOTA, FLORIDA 34236
COMCAST CABLE: 5205 FRUITVILLE ROAD, SARASOTA, FLORIDA 34232
VENICE UTILITIES: 401 W. VENICE AVE, VENICE, FL 34285
CONTACT: PATIENCE ANATASIO

I HEREBY CERTIFY THAT THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO SUBSECTIONS 335.075(1) AND (4), FLORIDA STATUTES.



ANDREW J. PLUTA, P.E.
FLA. P.E. LICENSE # 92225
CA. NO. 00035106

DATE:

07/15/2022

Plotted By: P. Blud, Andrew Sheet Set: RANCH ROAD MULTI-FAMILY LOYDOUT-A-2 GENERAL NOTES - July 15, 2022 10:58:28am \\kimley-horn.com\EL_SARTASAR_Civil\248016000-RANCH ROAD MULTI-FAMILY CAD\DrawnSheets\A-2 GENERAL NOTES.dwg

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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY. THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXPILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

EROSION CONTROL NOTES (CONT.)

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 2 WORKING DAYS BEFORE YOU DIG
IT'S THE LAW!
DIAL 811
Know what's below.
Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

RANCH ROAD
MULTI-FAMILY
PREPARED FOR
SCP ACQUISITIONS, LLC
CITY OF VENICE
FLORIDA

SHEET NUMBER
C1.2

Kimley»Horn

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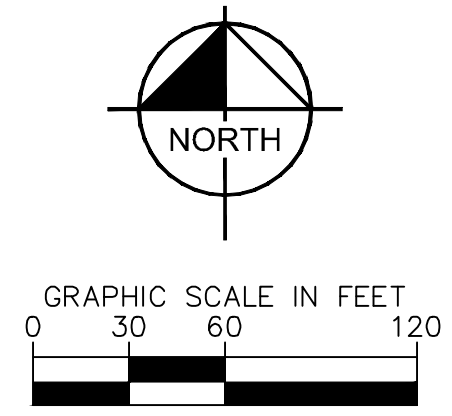
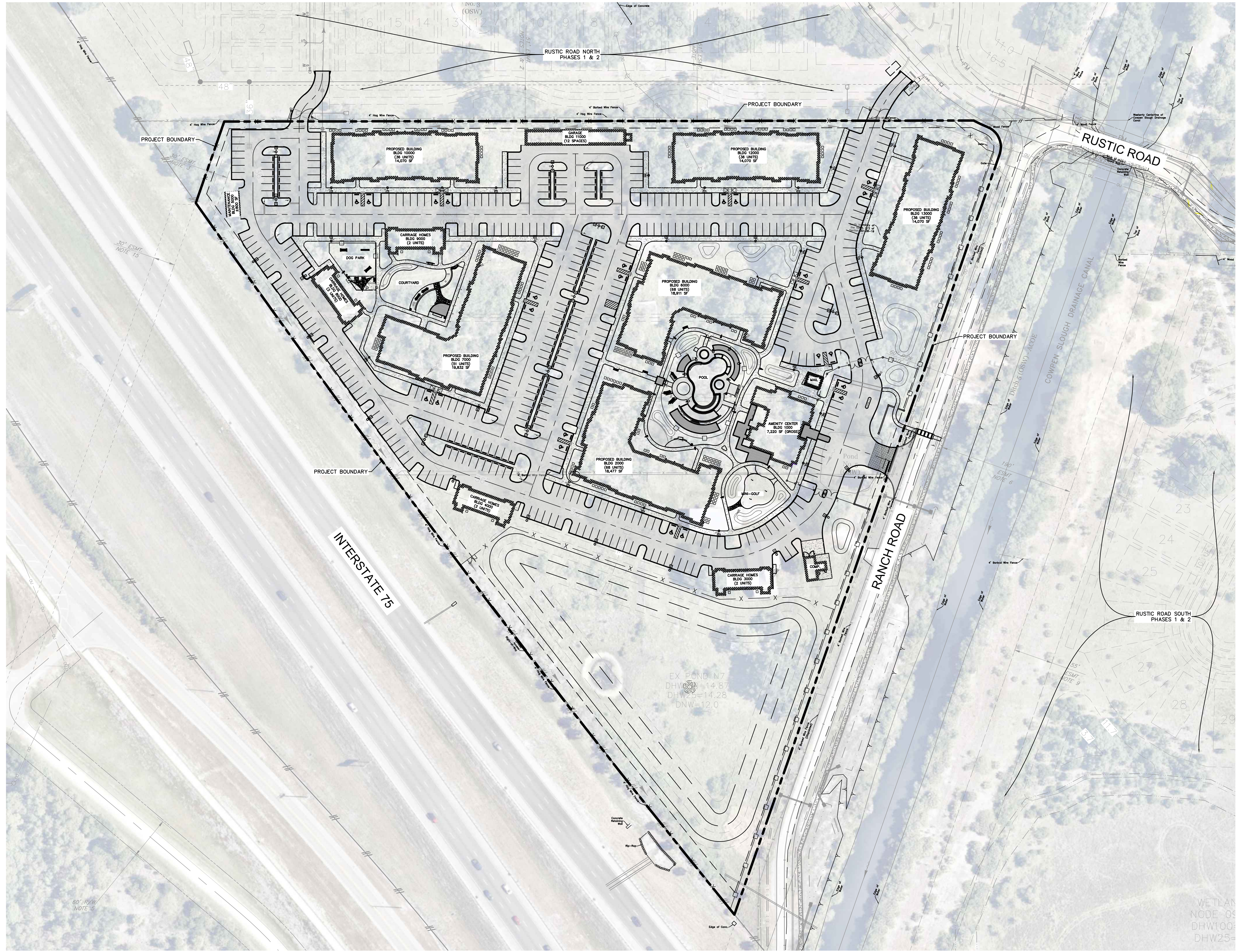
LICENSED PROFESSIONAL
ANDREW J. PLUTA, P.E.
FLORIDA LICENSE NUMBER
92225
DATE: _____

KHA PROJECT
248016000
DATE
JUNE 2022
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

GENERAL NOTES

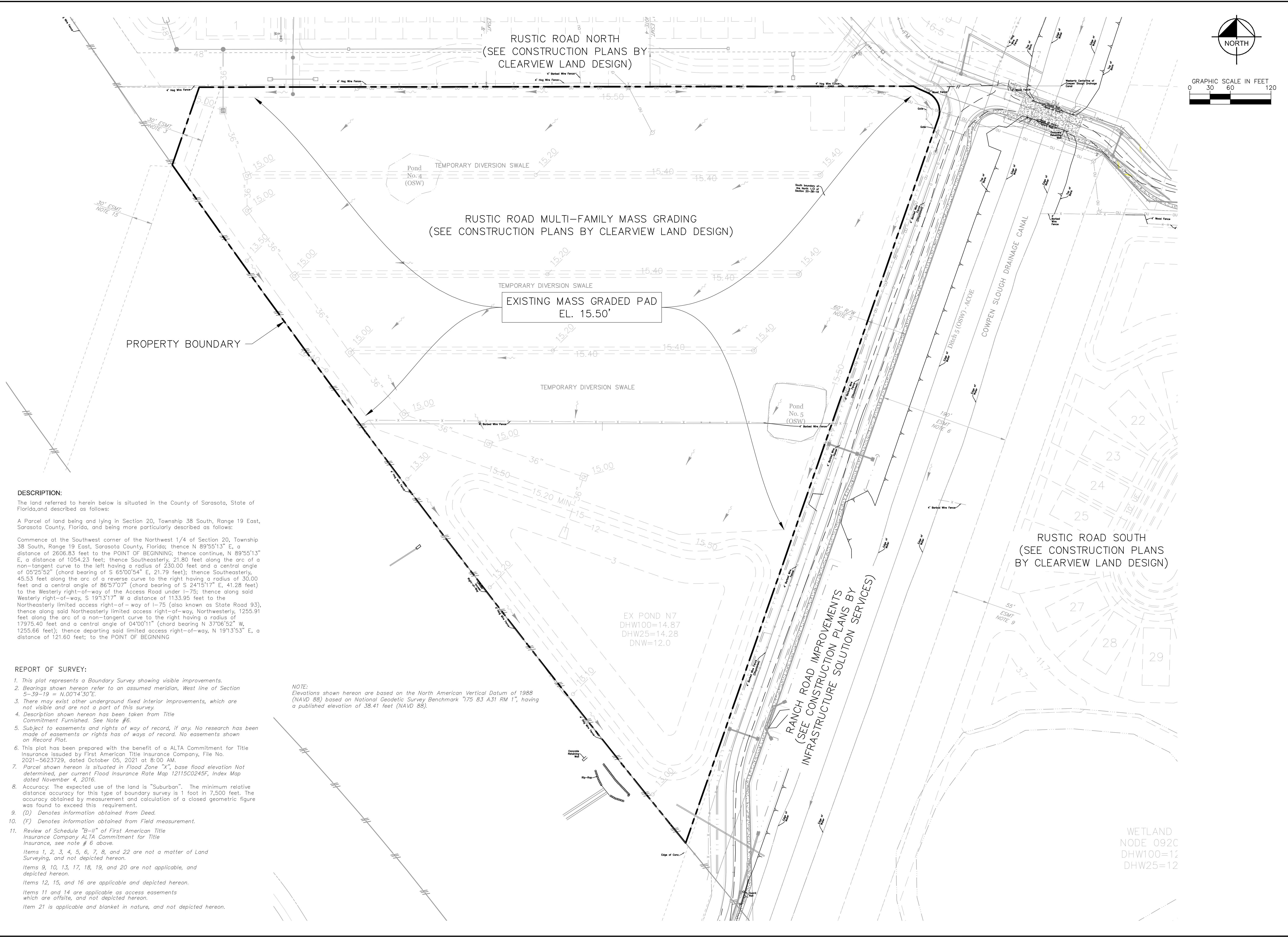
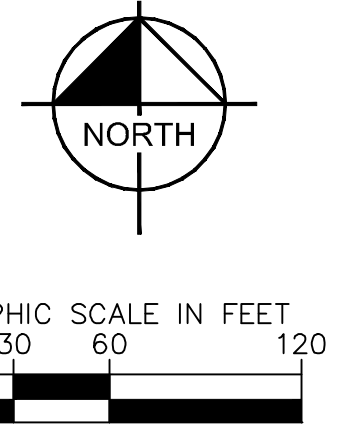
REVISIONS
No. _____
DATE _____

PLOTTED BY: PLD, ANDREW STREET. SHEET: RANCH ROAD MULTI-FAMILY. LAYOUT: A-3. AERIAL SITE PLAN. JULY 15, 2022. 10:58:47 AM. KIMLEY-HORN.COM. VLSAR-DVA-V248016000-RANCH ROAD MULTI-FAMILY. CAD: PlanSheets/A-3. AERIAL SITE PLAN.dwg
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RANCH ROAD MULTI-FAMILY PREPARED FOR SCP ACQUISITIONS, LLC <small>CITY OF VENICE, FLORIDA</small>	AERIAL SITE PLAN		KHA PROJECT 248016000	LICENSED PROFESSIONAL ANDREW J. PLUTA, P.E. <small>FLORIDA LICENSE NUMBER 92225</small>	No. _____ DATE _____
	SHEET NUMBER C1.3			DATE JUNE 2022	REVISIONS No. _____ DATE _____

Plotted By: PLD, Andrew, Sheet: RANCH ROAD MULTI-FAMILY LAYOUT A-4 EXISTING CONDITIONS PLAN, July 15, 2022, 10:58:55am
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RUSTIC ROAD NORTH
 (SEE CONSTRUCTION PLANS BY CLEARVIEW LAND DESIGN)

RUSTIC ROAD MULTI-FAMILY MASS GRADING
 (SEE CONSTRUCTION PLANS BY CLEARVIEW LAND DESIGN)

EXISTING MASS GRADED PAD
 EL. 15.50'

PROPERTY BOUNDARY

RUSTIC ROAD SOUTH
 (SEE CONSTRUCTION PLANS BY CLEARVIEW LAND DESIGN)

RANCH ROAD IMPROVEMENTS
 (SEE CONSTRUCTION PLANS BY INFRASTRUCTURE SOLUTION SERVICES)

EX POND N7
 DHW100=14.87
 DHW25=14.28
 DNW=12.0

WETLAND
 NODE 092C
 DHW100=12
 DHW25=12

DESCRIPTION:
 The land referred to herein below is situated in the County of Sarasota, State of Florida, and described as follows:
 A Parcel of land being and lying in Section 20, Township 38 South, Range 19 East, Sarasota County, Florida, and being more particularly described as follows:
 Commence at the Southwest corner of the Northwest 1/4 of Section 20, Township 38 South, Range 19 East, Sarasota County, Florida; thence N 89°55'13" E, a distance of 2606.83 feet to the POINT OF BEGINNING; thence continue, N 89°55'13" E, a distance of 1054.23 feet; thence Southeasterly, 21.80 feet along the arc of a non-tangent curve to the left having a radius of 230.00 feet and a central angle of 05°25'52" (chord bearing of S 65°00'54" E, 21.79 feet); thence Southeasterly, 45.53 feet along the arc of a reverse curve to the right having a radius of 30.00 feet and a central angle of 86°57'07" (chord bearing of S 24°15'17" E, 41.28 feet) to the Westerly right-of-way of the Access Road under I-75; thence along said Westerly right-of-way, S 19°13'17" W a distance of 1133.95 feet to the Northeastly limited access right-of-way of I-75 (also known as State Road 93); thence along said Northeastly limited access right-of-way, Northwestly, 1255.91 feet along the arc of a non-tangent curve to the right having a radius of 17975.40 feet and a central angle of 04°00'11" (chord bearing N 37°06'52" W, 1255.66 feet); thence departing said limited access right-of-way, N 19°13'53" E, a distance of 121.60 feet; to the POINT OF BEGINNING

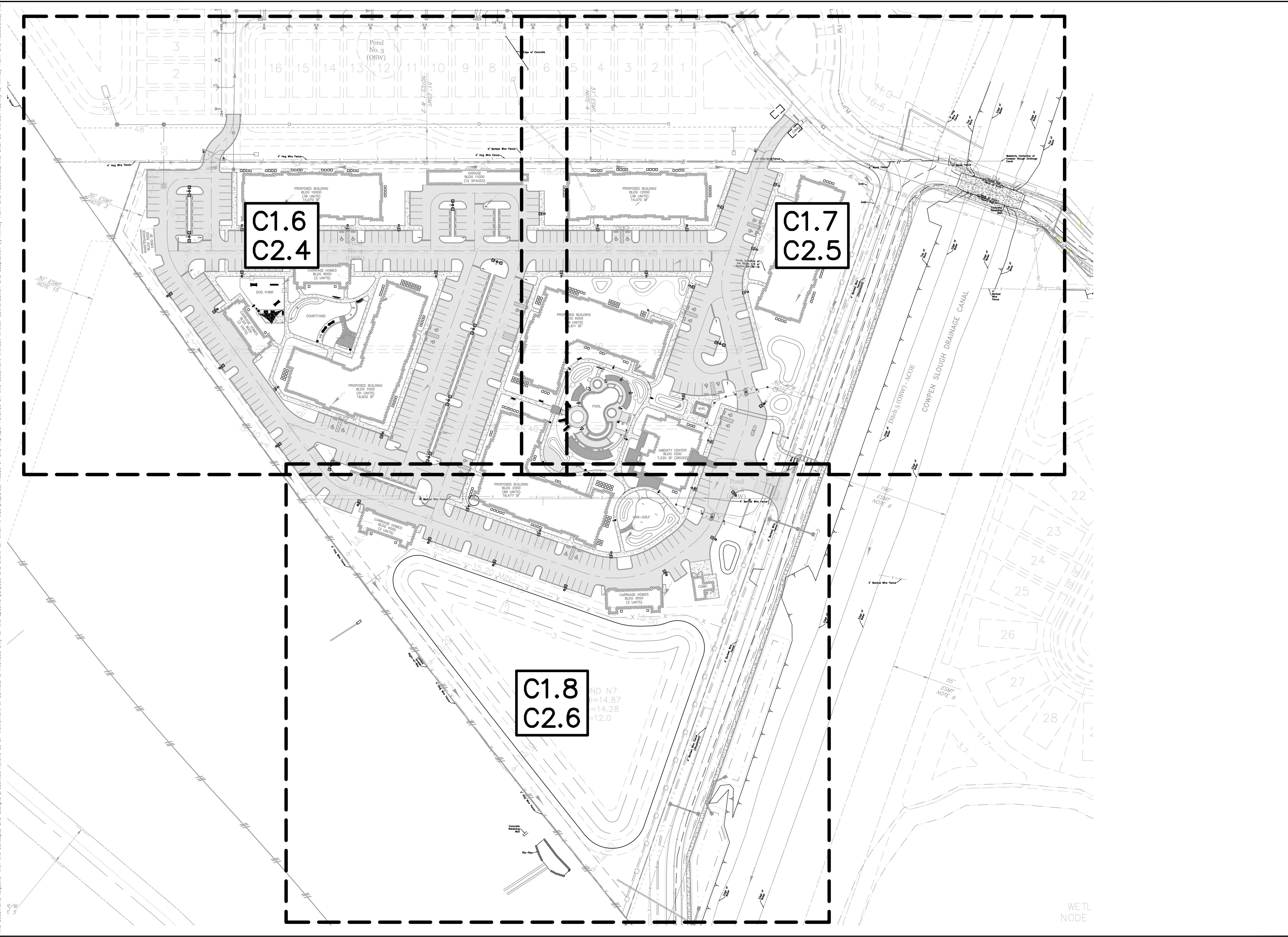
REPORT OF SURVEY:

- This plot represents a Boundary Survey showing visible improvements.
- Bearings shown hereon refer to an assumed meridian, West line of Section 5-39-19 = N.001°4'30"E.
- There may exist other underground fixed interior improvements, which are not visible and are not a part of this survey.
- Description shown hereon has been taken from Title Commitment Furnished. See Note #6.
- Subject to easements and rights of way of record, if any. No research has been made of easements or rights of ways of record. No easements shown on Record Plat.
- This plot has been prepared with the benefit of an ALTA Commitment for Title Insurance issued by First American Title Insurance Company, File No. 2021-5623729, dated October 05, 2021 at 8:00 AM.
- Parcel shown hereon is situated in Flood Zone "X", base flood elevation Not determined, per current Flood Insurance Rate Map 12115C0245F, Index Map dated November 4, 2016.
- Accuracy: The expected use of the land is "Suburban". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- (D) Denotes information obtained from Deed.
- (F) Denotes information obtained from Field measurement.
- Review of Schedule "B-II" of First American Title Insurance Company ALTA Commitment for Title Insurance, see note # 6 above.
 Items 1, 2, 3, 4, 5, 6, 7, 8, and 22 are not a matter of Land Surveying, and not depicted hereon.
 Items 9, 10, 13, 17, 18, 19, and 20 are not applicable, and not depicted hereon.
 Items 12, 15, and 16 are applicable and depicted hereon.
 Items 11 and 14 are applicable as access easements which are offsite, and not depicted hereon.
 Item 21 is applicable and blanket in nature, and not depicted hereon.

NOTE:
 Elevations shown hereon are based on the North American Vertical Datum of 1988 (NAVD 88) based on National Geodetic Survey Benchmark "175 83 A31 RM 1", having a published elevation of 38.41 feet (NAVD 88).

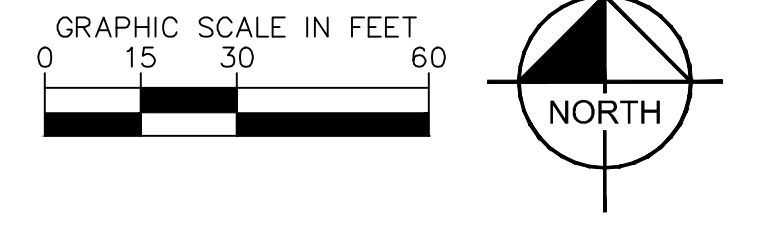
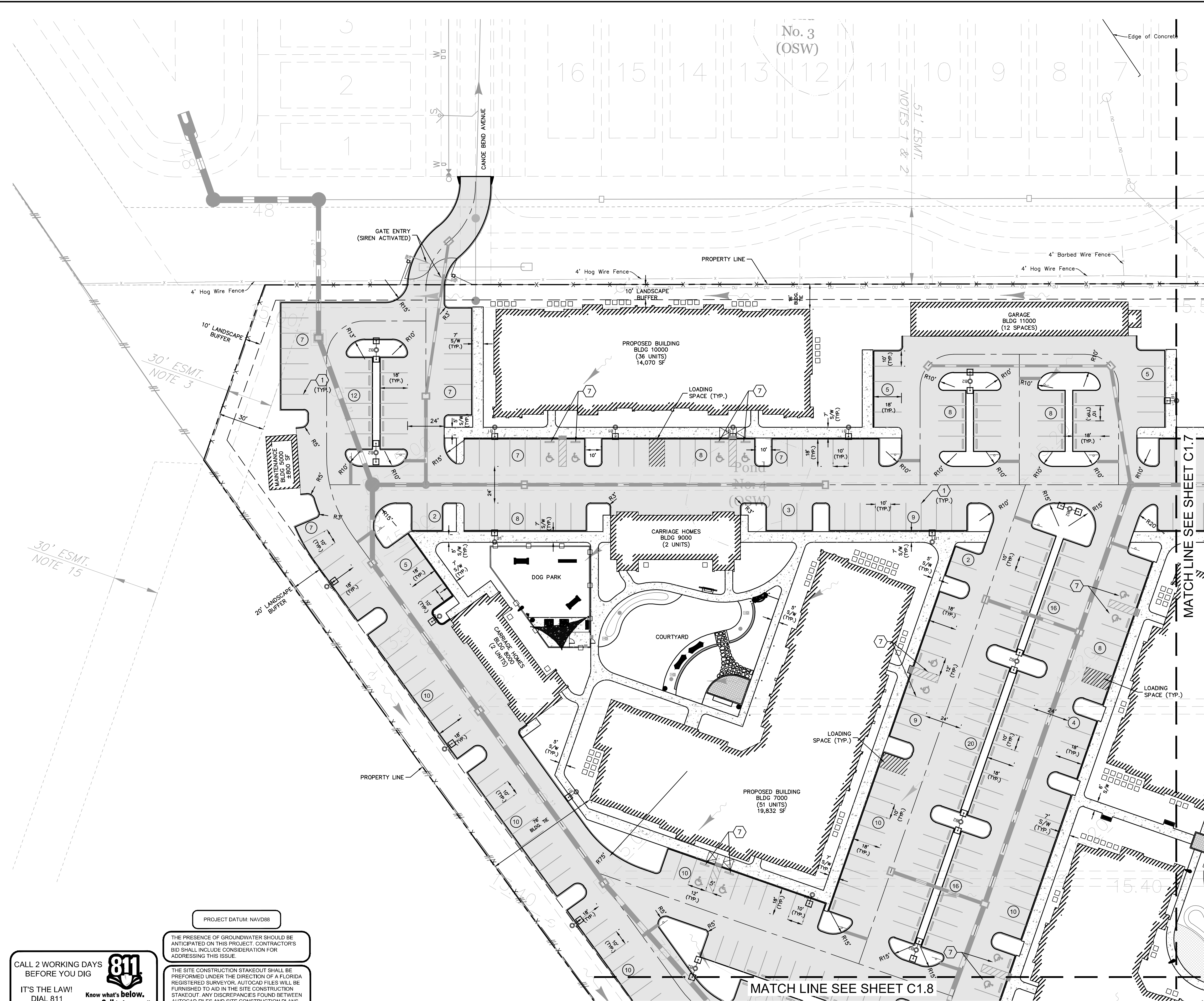
		LICENSED PROFESSIONAL ANDREW J. PLUTA, P.E. FLORIDA LICENSE NUMBER 92225	
		KHA PROJECT 248016000 DATE JUNE 2022 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	
RANCH ROAD MULTI-FAMILY PREPARED FOR SCP ACQUISITIONS, LLC CITY OF VENICE, FLORIDA		EXISTING CONDITIONS PLAN	
SHEET NUMBER C1.4		REVISIONS No. _____ BY _____ DATE _____	

Plotted By: P:\100 - Andrew - Sheet - RANCH ROAD MULTI-FAMILY - Layout A - 5 INDEX PLAN - July 15, 2022 - 10:58:09am - \\kimley-horn.com\EL_SARA_SAR_CIVIL\248016000-RANCH ROAD MULTI-FAMILY\CAD\PlanSheets\A-5 INDEX PLAN.dwg
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RANCH ROAD MULTI-FAMILY PREPARED FOR SCP ACQUISITIONS, LLC CITY OF VENICE, FLORIDA	INDEX PLAN		KHA PROJECT 248016000	LICENSED PROFESSIONAL ANDREW J. PLUTA, P.E. FLORIDA LICENSE NUMBER 92225	© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106	No. _____ Revisions _____ Date _____
	SHEET NUMBER C1.5	DATE JUNE 2022	SCALE AS SHOWN	DESIGNED BY DRAWN BY CHECKED BY	DATE _____	BY _____

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- LEGEND:**
- (F) TYPE "F" CURB
 - (RF) REVOLVED TYPE "F" CURB (24")
 - (D) TYPE "D" CURB
 - (M) TYPE "M" CURB
 - (CS) FLUSH CURB AND SIDEWALK
 - (CR) CURB RAMP
 - (T) 5' TRANSITION BETWEEN TWO TYPES OF CURB
 - (#) PARKING COUNT

- [Hatched Box] PROPOSED ASPHALT PAVEMENT (REFER TO PAVEMENT SECTION ON SHEET C2.7)
- [Dotted Box] CONCRETE PAVEMENT
- [Cross-hatched Box] PAVERS

SIGNAGE & PAVEMENT MARKING LEGEND

- (1) 4" WIDE SOLID WHITE STRIPE
 - (2) 4" WIDE SOLID BLUE STRIPE
 - (3) 6" WIDE SOLID WHITE STRIPE (LANE LINE)
 - (4) 12" WIDE SOLID WHITE LINE (STANDARD CROSSWALK)
 - (5) 24" WIDE SOLID WHITE LINE (STOP LINE)
 - (6) 18" WIDE SOLID YELLOW LINE (GORE)
 - (7) HANDICAP PARKING (SEE SHEET B-7 FOR DETAILS)
- (A) "STOP" SIGN & POST (R1-1, WR, 30"x30")
 - (B) 25 M.P.H. SPEED LIMIT SIGN & POST (R2-1, B/W, 24"x30")
 - (C) PEDESTRIAN CROSSING SIGN AND POST (W11-2, B/Y, 30"x30")
 - (D) HANDICAP PARKING SIGN AND POST (R7-8)
 - (E) "KEEP RIGHT" (GRAPHIC) SIGN AND POST (R4-7, B/W, 24"x30") AND 18"x18" REFLECTOR TYPE I AMBER OBJECT MARKER (OM1-3)

- NOTES:**
- ALL EDGE OF PAVEMENT RADII ARE 3' UNLESS OTHERWISE NOTED.
 - ALL HANDICAP RAMPS (CR) SHALL BE CONSTRUCTED WITH TACTILE SURFACES. SEE DETAIL ENG-1 ON SHEET C2.7.

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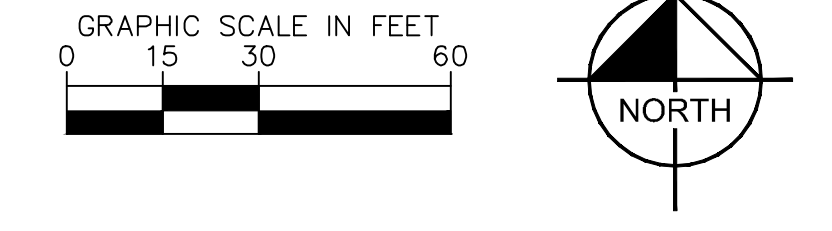
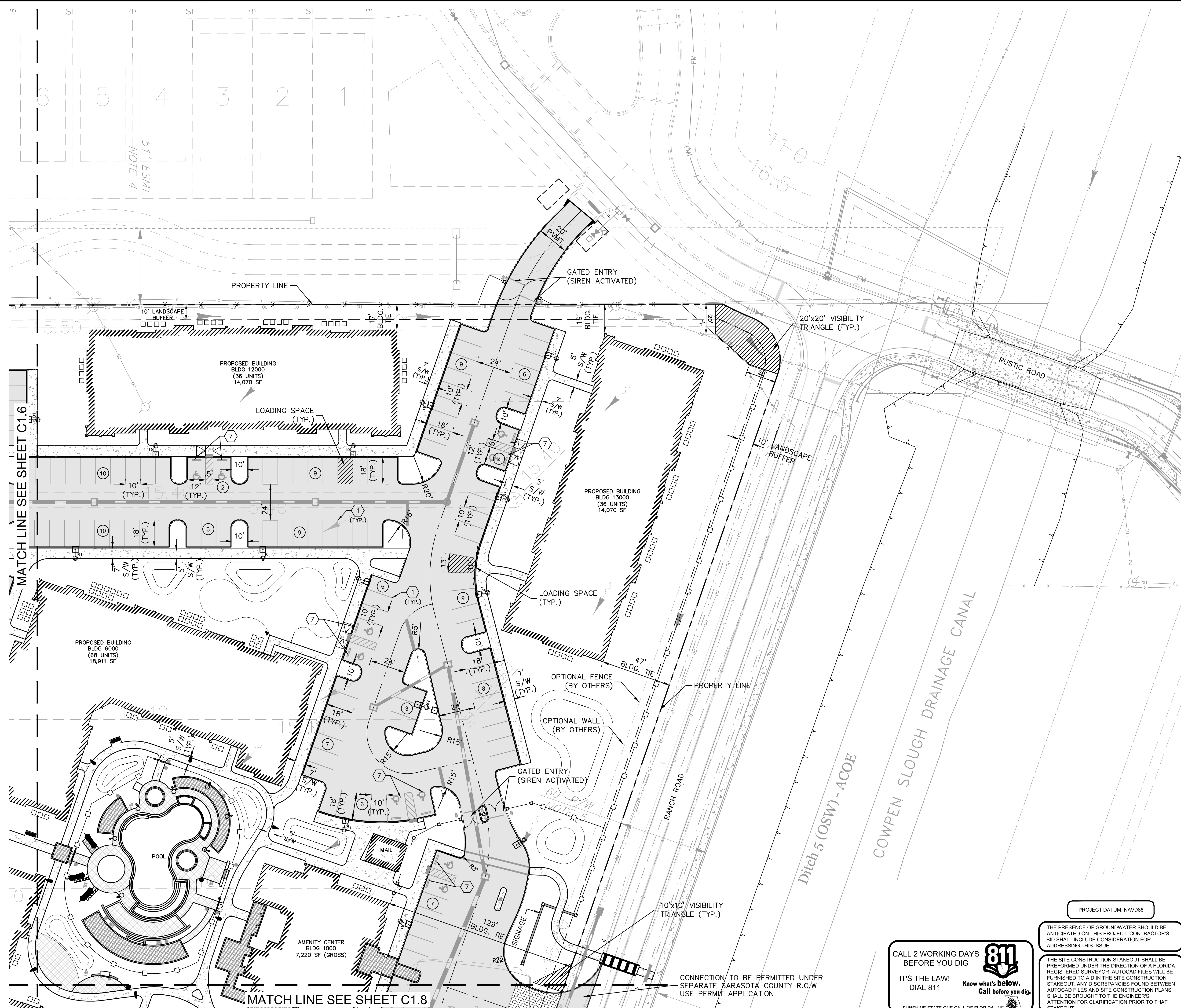
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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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<p style="font-size: 8px;">KHA PROJECT 248016000</p> <p style="font-size: 8px;">DATE JUNE 2022</p> <p style="font-size: 8px;">SCALE AS SHOWN</p> <p style="font-size: 8px;">DESIGNED BY _____</p> <p style="font-size: 8px;">DRAWN BY _____</p> <p style="font-size: 8px;">CHECKED BY _____</p>	<h2 style="margin: 0;">SITE PLAN</h2>								
<p style="font-size: 10px; margin: 0;">RANCH ROAD MULTI-FAMILY</p> <p style="font-size: 8px; margin: 0;">PREPARED FOR</p> <p style="font-size: 10px; margin: 0;">SCP ACQUISITIONS, LLC</p> <p style="font-size: 8px; margin: 0;">CITY OF VENICE, FLORIDA</p>	<p style="font-size: 8px;">SHEET NUMBER</p> <h1 style="margin: 0;">C1.6</h1>								
	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th style="width: 50%;">REVISIONS</th> <th style="width: 50%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS	DATE						
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- LEGEND:**
- (F) TYPE "F" CURB
 - (RF) REVOLVED TYPE "F" CURB (24")
 - (D) TYPE "D" CURB
 - (M) TYPE "M" CURB
 - (CS) FLUSH CURB AND SIDEWALK
 - (CR) CURB RAMP
 - (T) 5' TRANSITION BETWEEN TWO TYPES OF CURB
 - (#) PARKING COUNT

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LICENSED PROFESSIONAL
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 FLORIDA LICENSE NUMBER
 92225
 DATE: _____

KHA PROJECT
 248016000
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 SCALE AS SHOWN
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 DRAWN BY
 CHECKED BY

RANCH ROAD MULTI-FAMILY
 PREPARED FOR
SCP ACQUISITIONS, LLC
 CITY OF VENICE, FLORIDA

SHEET NUMBER
C1.7

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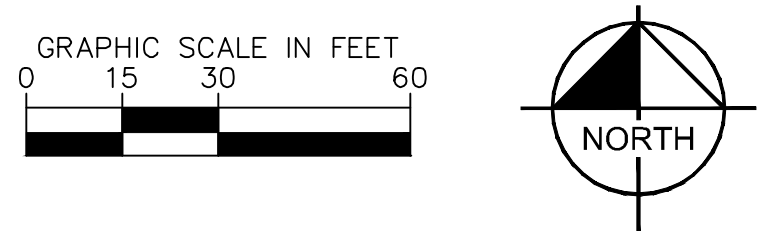
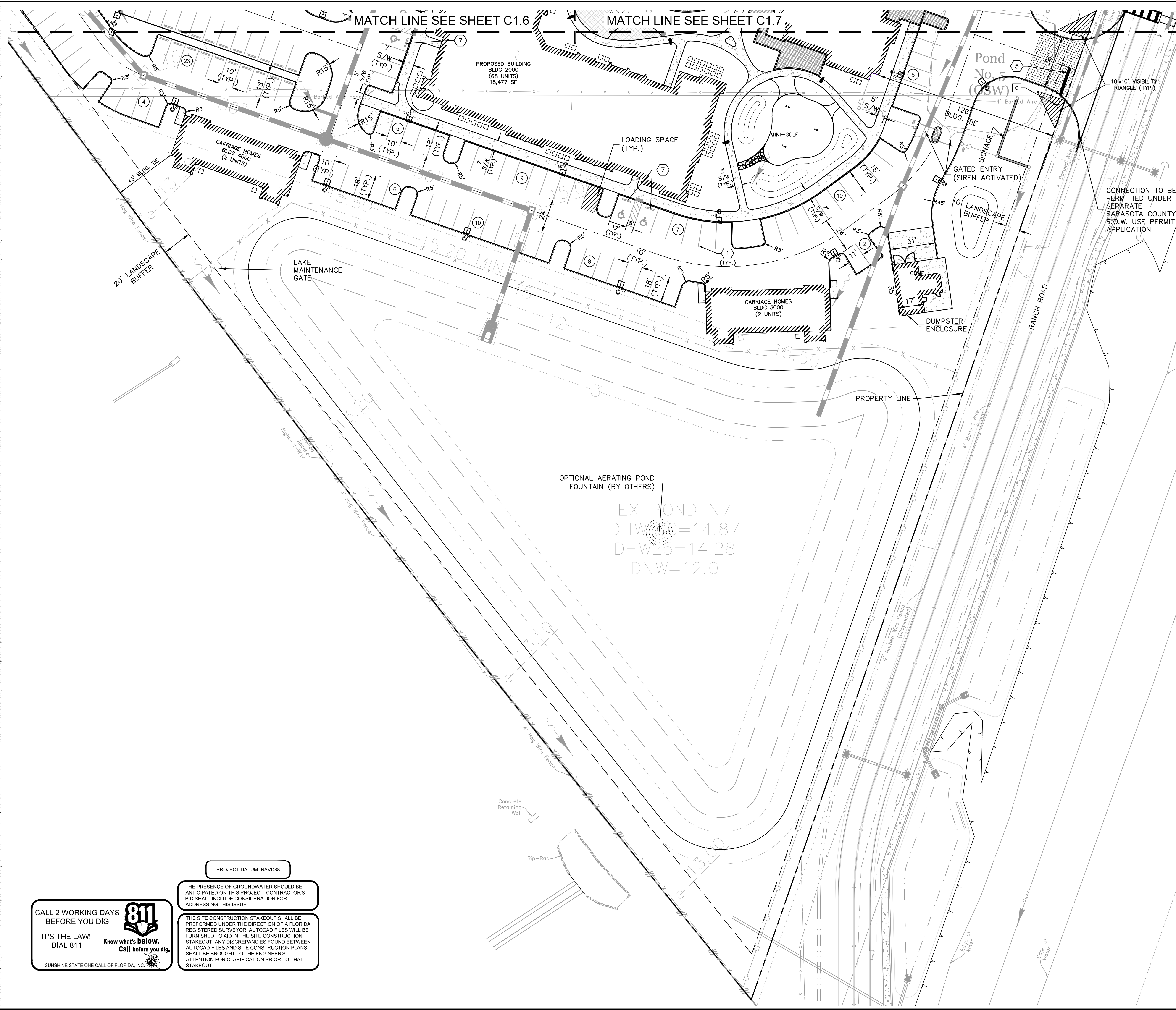
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CONNECTION TO BE PERMITTED UNDER SEPARATE SARASOTA COUNTY R.O.W. USE PERMIT APPLICATION

MATCH LINE SEE SHEET C1.6

MATCH LINE SEE SHEET C1.8

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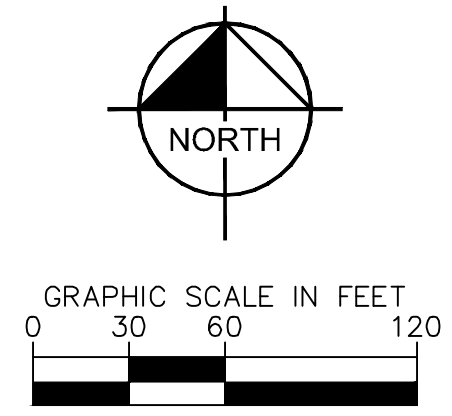
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FLORIDA LICENSE NUMBER	92225
DATE	

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SITE PLAN

RANCH ROAD MULTI-FAMILY
PREPARED FOR
SCP ACQUISITIONS, LLC
CITY OF VENICE, FLORIDA

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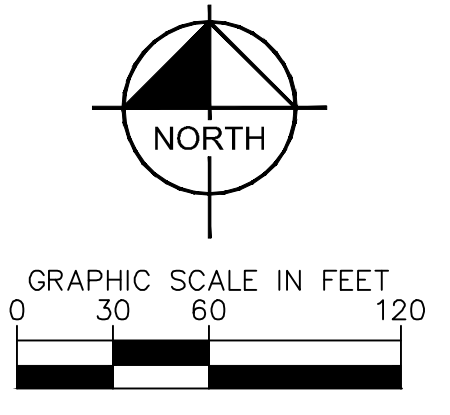
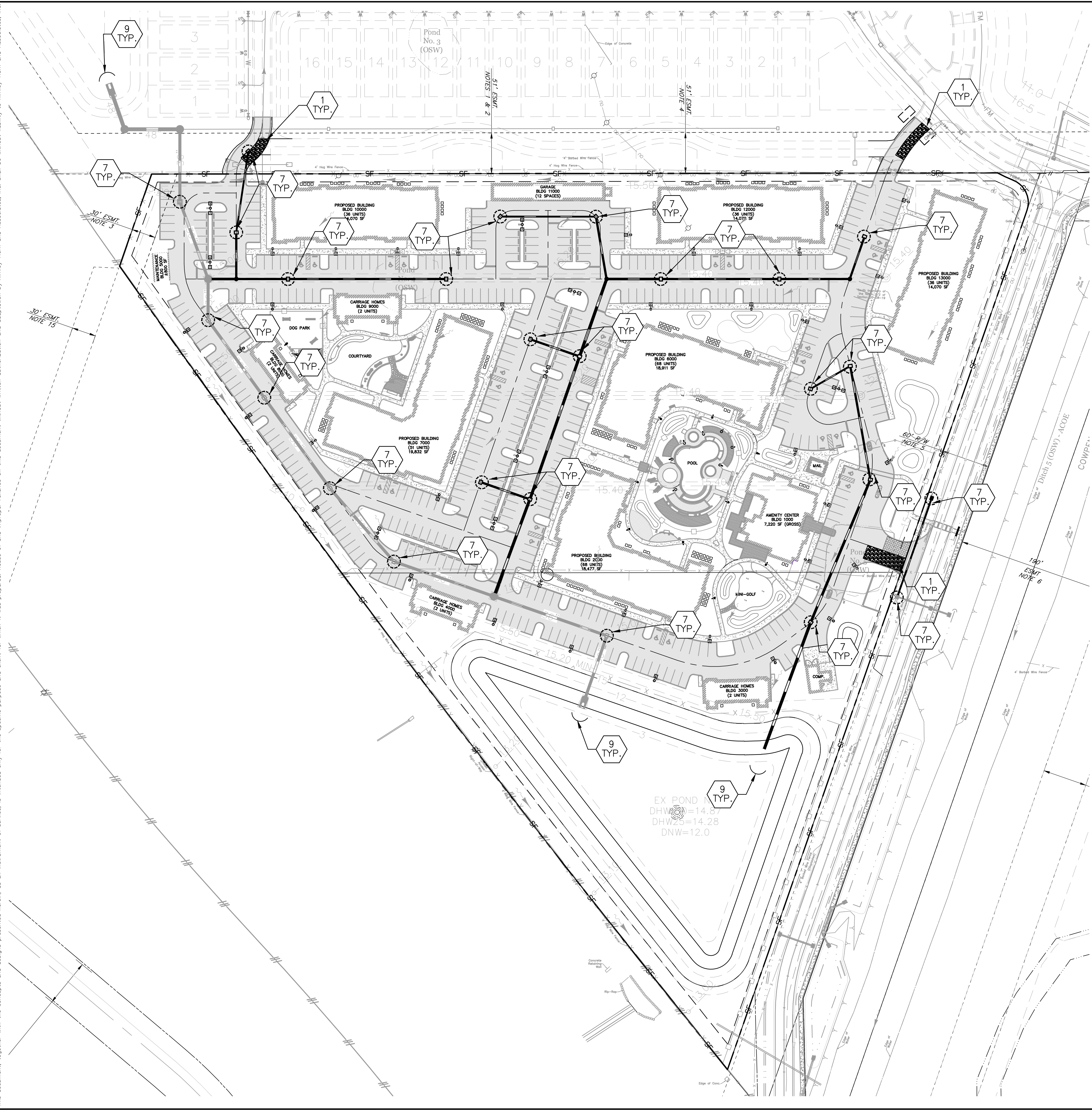
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**RANCH ROAD
 MULTI-FAMILY**
 PREPARED FOR
SCP ACQUISITIONS, LLC
 CITY OF VENICE, FLORIDA

SHEET NUMBER
C1.9

WETLAND
 NODE 09
 DHW100=
 DHW25=

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LEGEND

- SILT FENCE
- INLET PROTECTION
- 7 TYP. TYPICAL BEST MANAGEMENT DEVICE LOCATION. SEE BMP DETAIL DRAWING FOR BMP PLACEMENT AND DETAILS. (SHEET B-2)

BEST MANAGEMENT PRACTICE GUIDELINES

- 7 TYP. TYPICAL BEST MANAGEMENT DEVICE LOCATION. SEE BMP DETAIL DRAWING FOR BMP PLACEMENT AND DETAILS. (SHEET B-2)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES OR AS DIRECTED BY THE ENGINEER.
2. PRIOR TO ANY EARTHMOVING OPERATIONS, THE CONTRACTOR SHALL INSTALL ALL REQUIRED BMP DEVICES PER CITY OF VENICE. ALL BMP DEVICES SHALL BE LOCATED AS SHOWN ON PLANS.
3. ALL GRASSING BY EITHER SEED OR SOD SHALL BE INSTALLED AS SOON AS PRACTICAL UPON THE COMPLETION OF FINAL GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTANCE BY THE ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND DUST DURING ALL PHASES OF CONSTRUCTION BY USING WATER TRUCKS, WIND FENCING OR OTHER DEVICES AS APPROVED BY THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS SUBSTANCES IN A MANNER TO PREVENT GREASE, OIL, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.
 ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE SWFWMD ENVIRONMENTAL RESOURCE PERMIT.

BEST MANAGEMENT PRACTICES NOTES:

1. SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED IN THE LOCATIONS INDICATED AND ALONG THE OSW LINE UNLESS OTHERWISE NOTED ON THE PLANS. IF THERE IS AN OSW IMPACT, ALL SILT FENCE SHALL BE INSTALLED 2' WATER WARD OF TOE OF SLOPE AS SHOWN ON THESE PLANS. NO SILT FENCE SHALL BE INSTALLED IN PRESERVED WETLANDS OR UPLANDS EXCEPT AS PROTECTION AROUND TEMPORARY IMPACTS.
2. BEST MANAGEMENT PRACTICES SHOWN FOR OPEN THROAT AND GRATED SWALE INLETS SHALL BE INSTALLED AS APPROPRIATE FOR VARIOUS PROJECT PHASES.
3. ALL LAKES SHALL BE SODDED FROM CWL TO 2' BACK OF LAKE CONTROL LINE (TOP OF BANK).
4. ALL CURBING, EDGE OF PAVEMENT WHERE CURB IS NOT PRESENT SHALL HAVE A 2' WIDE STRIP OF SOD.
5. ALL DRAINAGE STRUCTURES SHALL BE SODDED ALONG THE EDGE OF THE STRUCTURE 2' MINIMUM SOD WIDTH.
6. ALL DRAINAGE SWALES SHALL BE SODDED TO 2' BACK OF TOP OF BANK.
7. CONTRACTOR TO INSPECT AND REPAIR ALL BMP'S ON A WEEKLY BASIS. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE AND WILL BE SUBMITTED TO THE DISTRICT ON A MONTHLY BASIS.
8. ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
9. RECOMMENDED LOCATIONS OF THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCES HAVE BEEN SHOWN ON THE PLANS. ALTERNATE LOCATIONS CAN BE PROPOSED BY THE CONTRACTOR AND SHALL BE APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING TEMPORARY GRAVEL CONSTRUCTION ENTRANCES PER THE DETAIL PROVIDED ON THE SHEET B-2 FOR ENTRANCES TO THE PROJECT.

DEWATERING NOTES:

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ARRANGEMENT, LOCATION AND DEPTHS OF THE DEWATERING SYSTEM NECESSARY TO ACCOMPLISH THE WORK DESCRIBED ON THESE PLANS.
2. THE CONTRACTOR, IF REQUIRED, IS RESPONSIBLE FOR SUBMITTING TO THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT FOR REVIEW A DEWATERING PLAN AND SUPPORTING CALCULATIONS. THIS PLAN SHALL DETAIL THE DEWATERING METHODS PROPOSED, THE DURATION OF DEWATERING, FLOW PATHS, AND POINTS OF DISCHARGE.
3. ALL WATER REMOVED FROM THE EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL NOT ENDANGER PUBLIC HEALTH, DAMAGE PUBLIC OR PRIVATE PROPERTY, OR AFFECT ADVERSELY ANY PORTION OF THE WORK UNDER CONSTRUCTION OR COMPLETED.
4. PUBLIC RIGHTS-OF-WAY AND PROPERTIES SHALL NOT BE UTILIZED FOR THE DISPOSAL OF WATER REMOVED FROM THE GROUND BY THE DEWATERING PROCESS.
5. THE METHODS AND PROVISIONS UTILIZED TO PREVENT SILTATION AND EROSION SHALL CONFORM TO CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRACTICES AND REGULATIONS AND ANY OTHER LOCAL LEGAL PROVISIONS WHICH MAY APPLY. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE STRICTER REQUIREMENTS SHALL APPLY.
6. SHOULD DEWATERING BE REQUIRED, CONTRACTOR IS TO FOLLOW, AT A MINIMUM, THE TYPICAL DEWATERING DISCHARGE PLAN AS DETAILED ON SHEET B-2 FOR ALL PUMPED WATER.
7. THE PUMPING RATE SHALL BE MONITORED AND ADJUSTED, IF NECESSARY IN ORDER TO PREVENT THE DISCHARGE OF TURBID WATER INTO THE PUBLIC RIGHTS-OF-WAY OR EXISTING WETLANDS.
8. NO DIRECT PUMPING DISCHARGE IS PERMITTED INTO ANY EXISTING WETLANDS.

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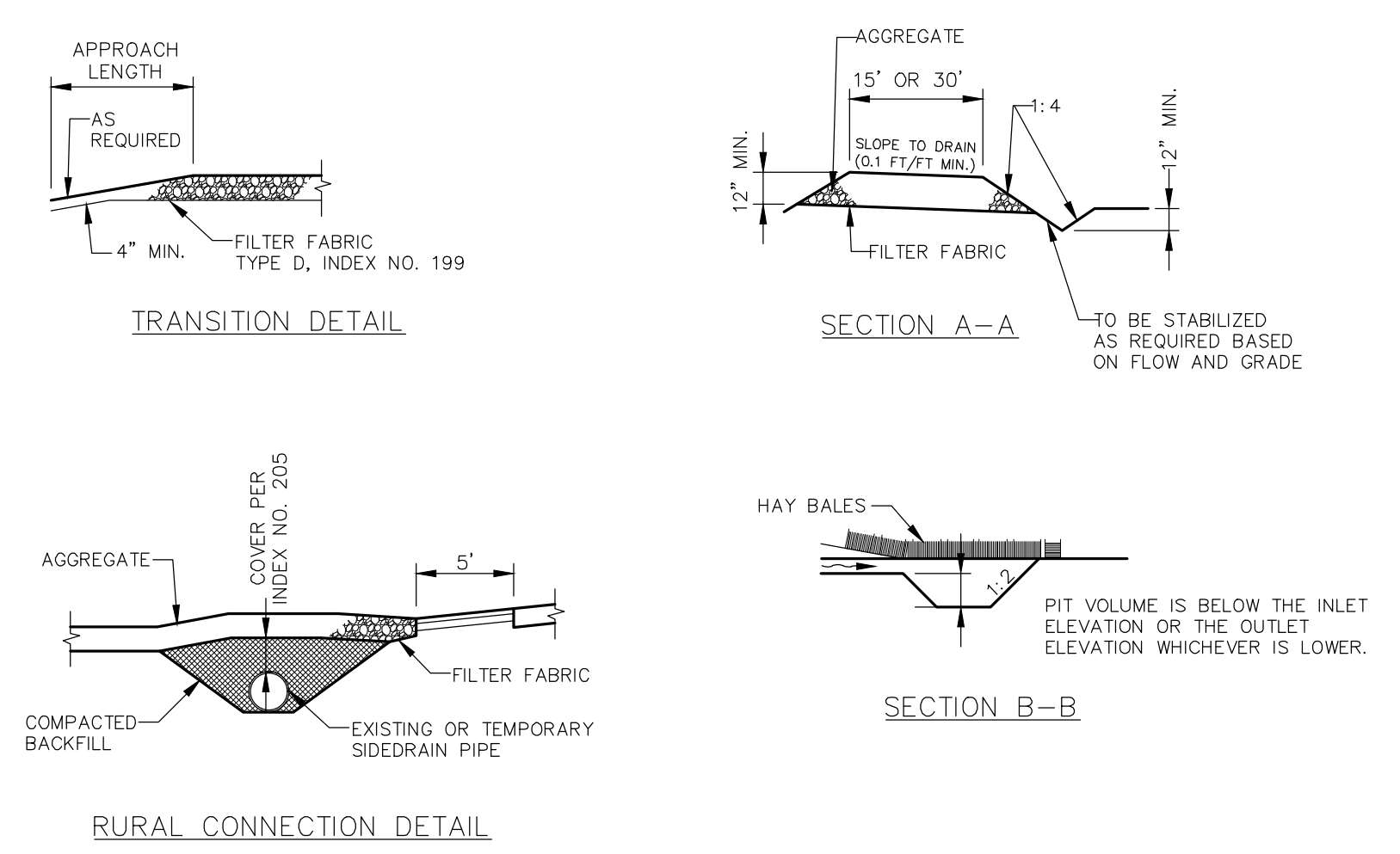
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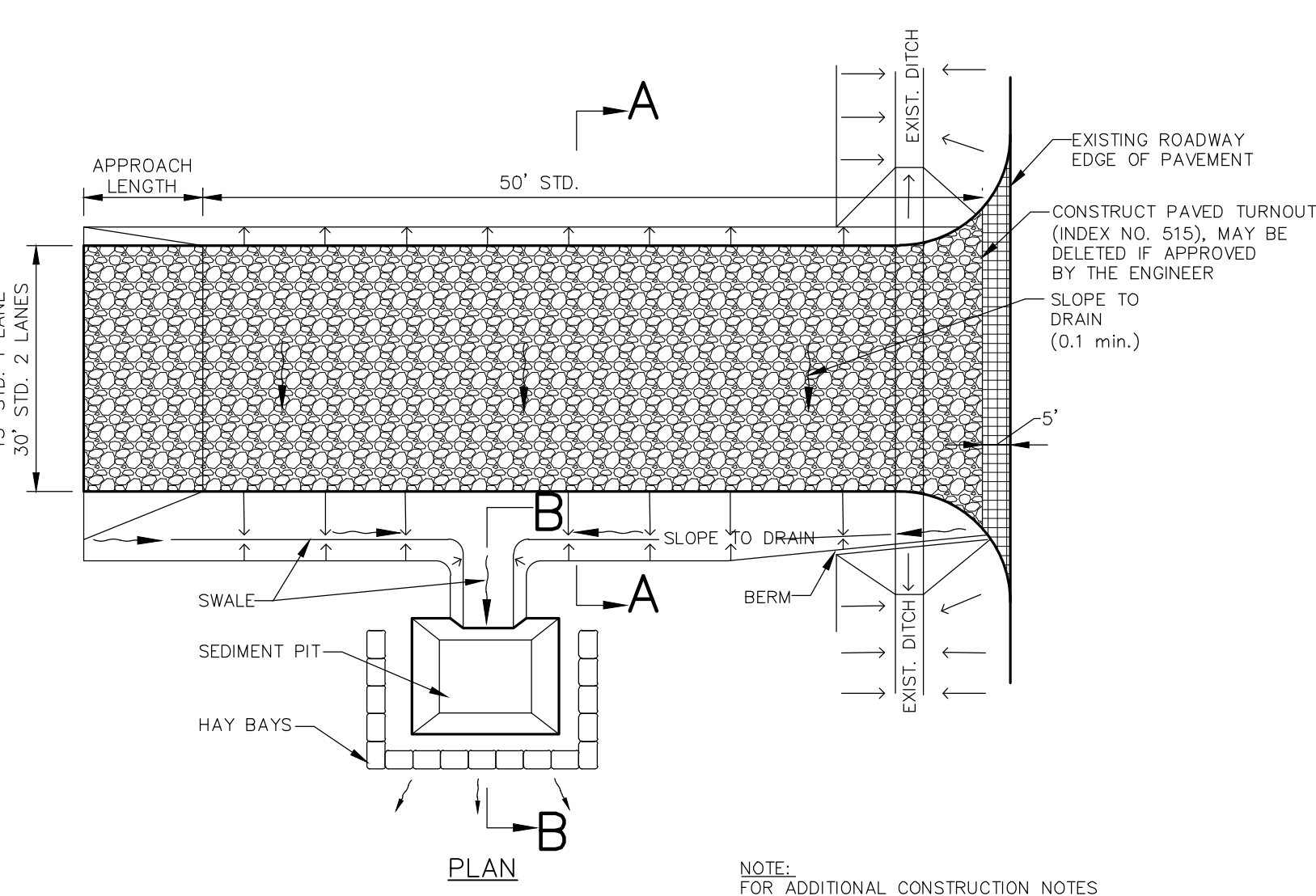
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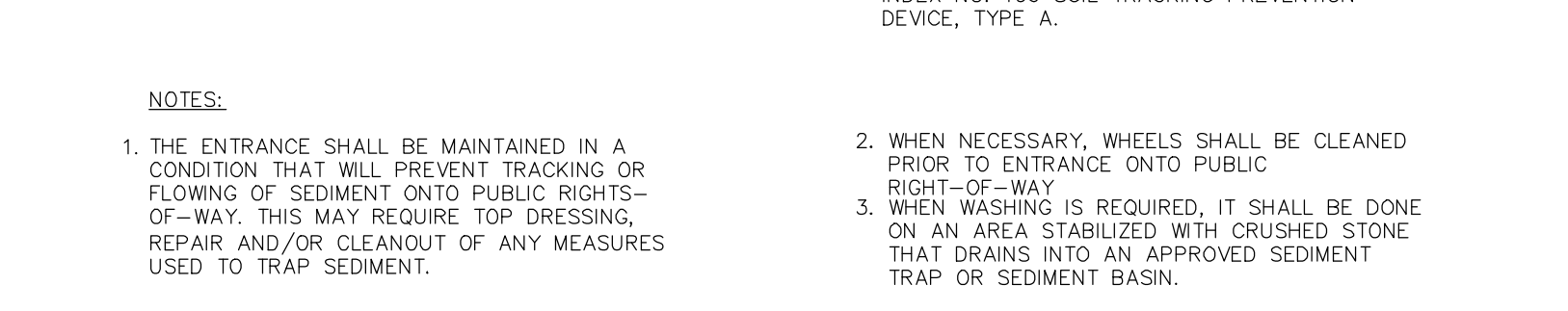
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.

FIGURE 1



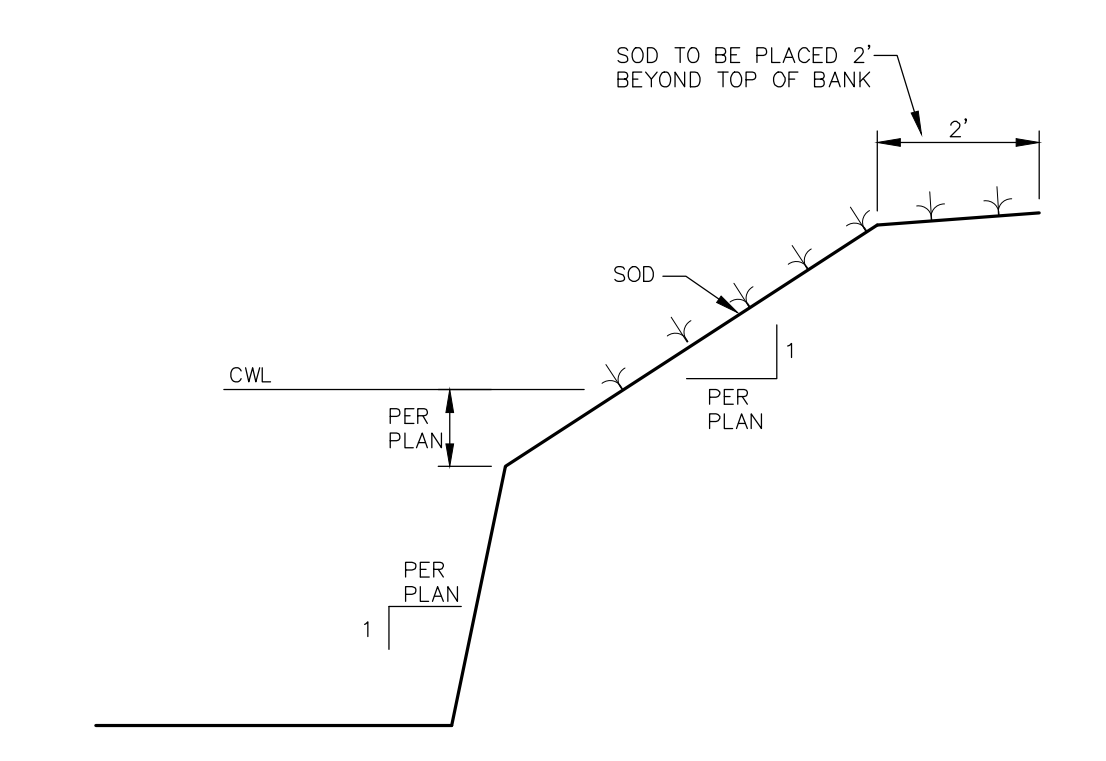
TYPICAL SILT FENCE
N.T.S.

FIGURE 2



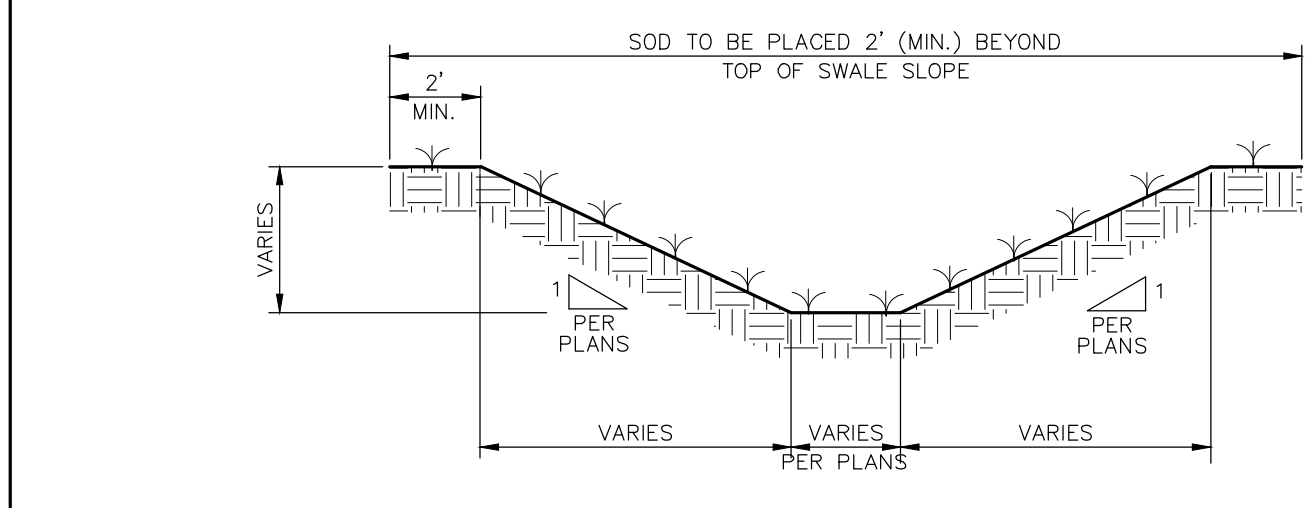
TYPICAL SWALE SECTION
N.T.S.

FIGURE 5



FLOATING TURBIDITY BARRIERS
N.T.S.

FIGURE 4



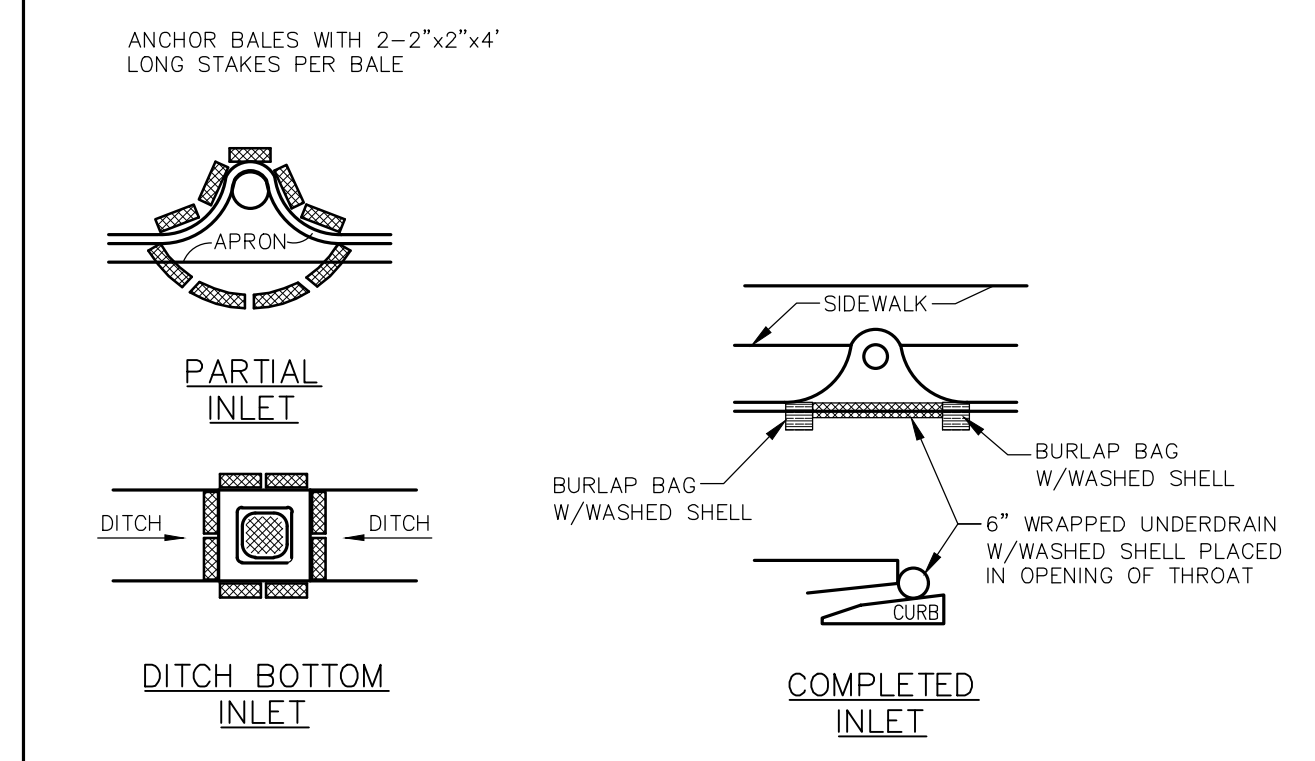
TYPICAL SWALE SECTION
N.T.S.

FIGURE 5



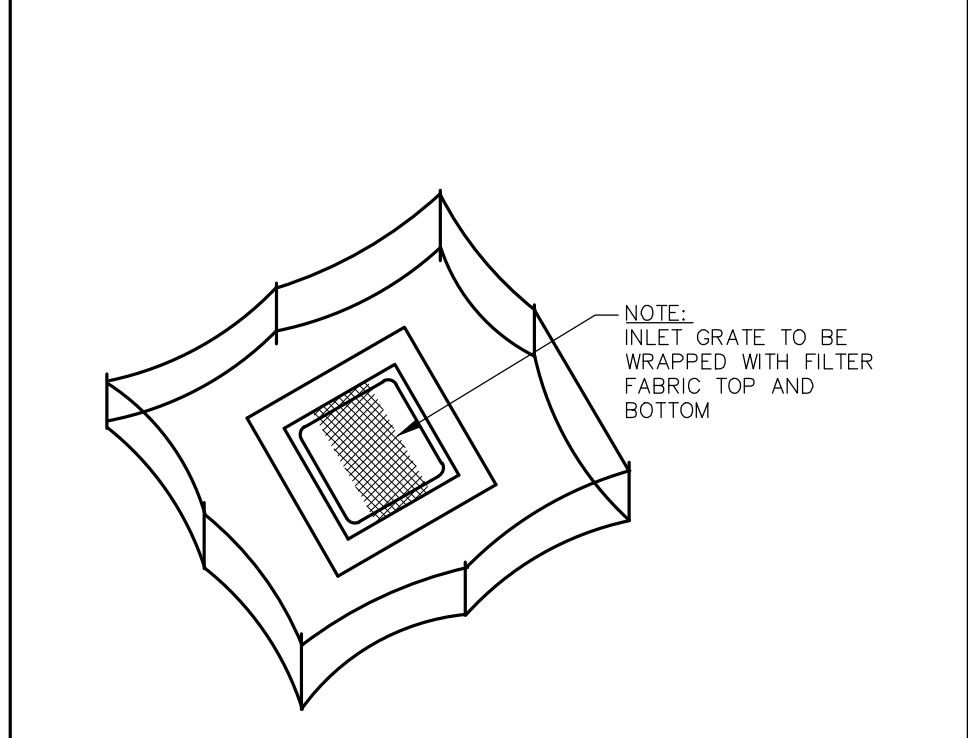
TYPICAL RETENTION/DETENTION POND SECTION
N.T.S.

FIGURE 6



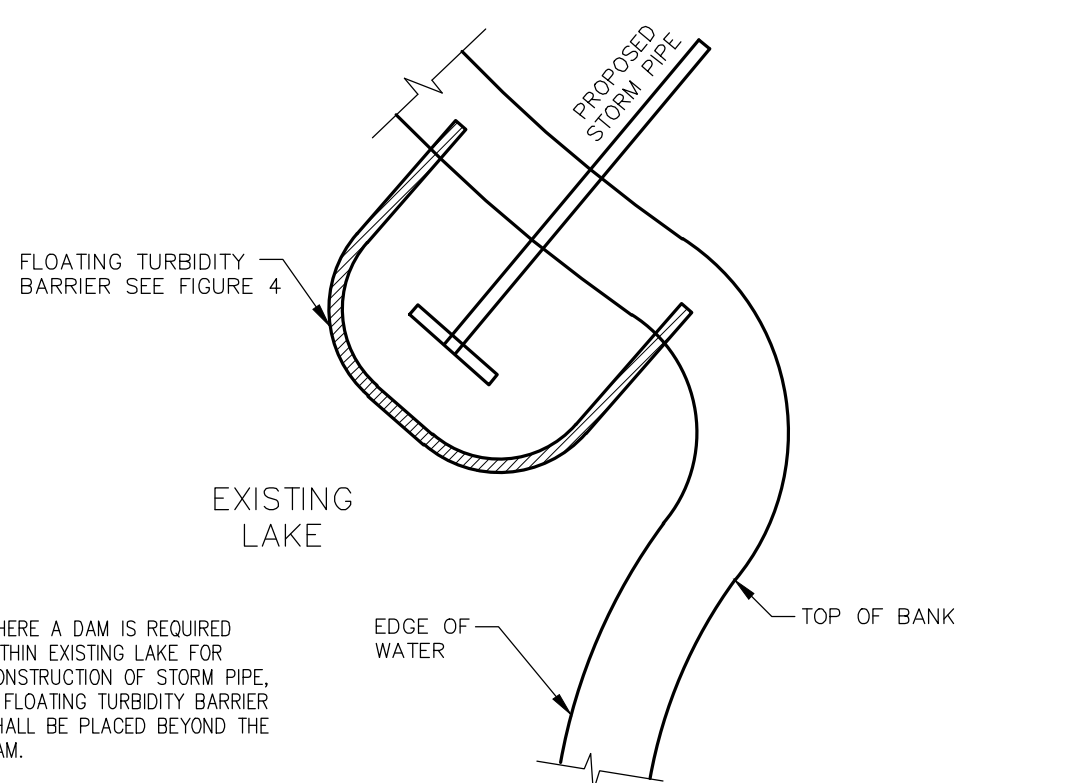
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.

FIGURE 7



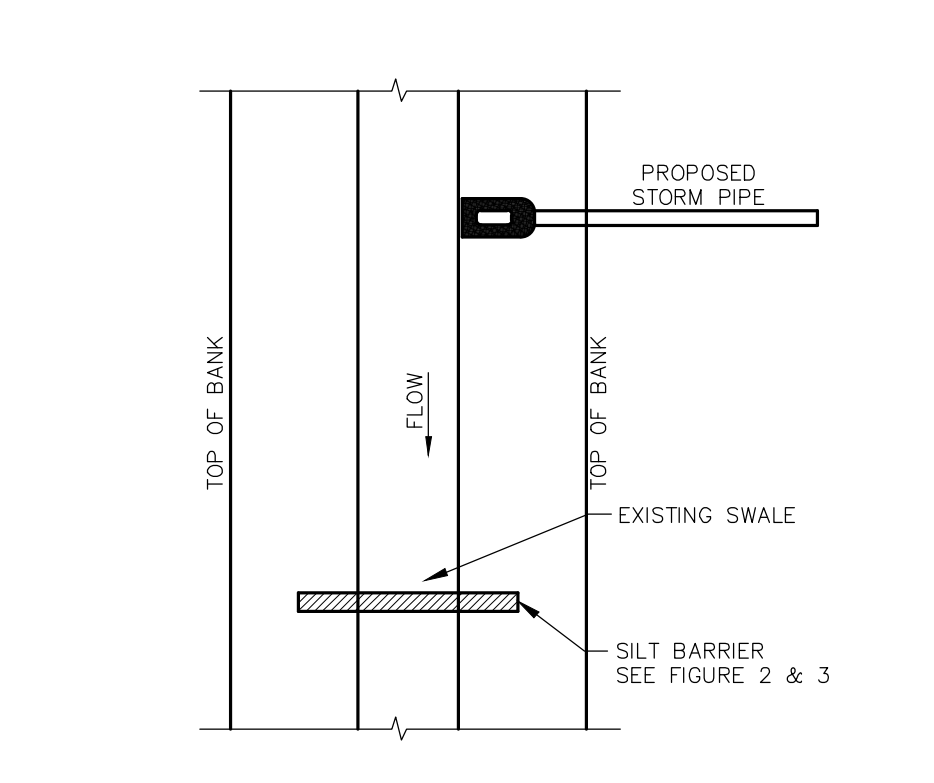
STAKED SILT BARRIER OR SILT FENCE
PROTECTION AROUND DITCH BOTTOM INLETS
N.T.S.

FIGURE 8



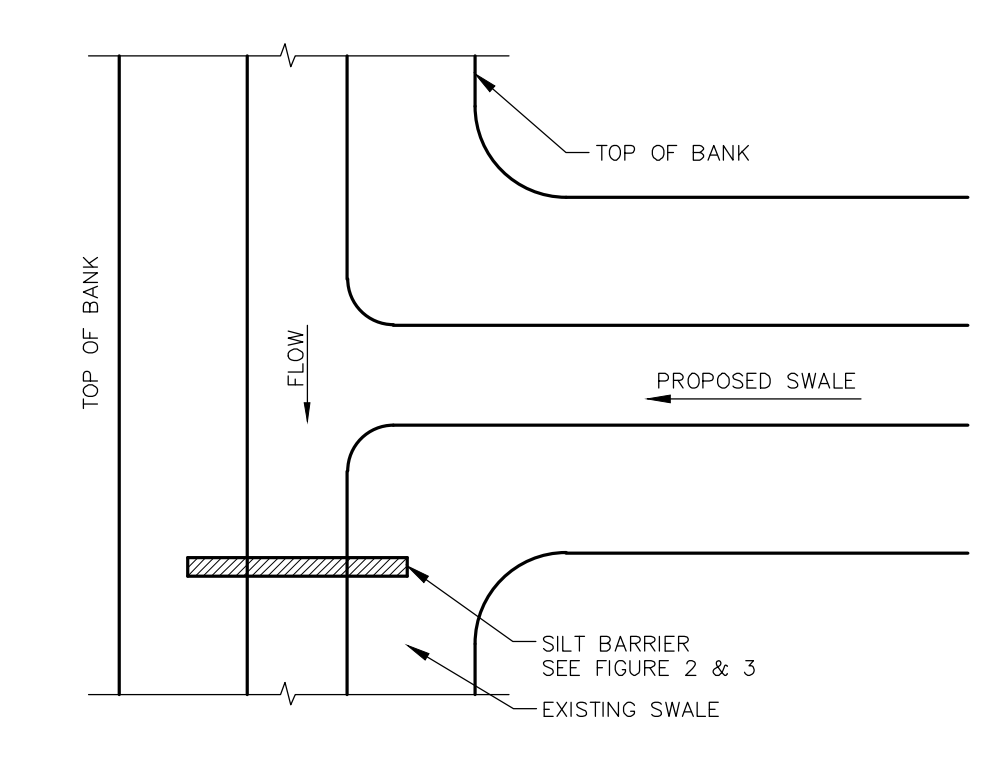
FLOATING TURBIDITY BARRIER AT CONNECTION OF STORM PIPE TO EXISTING LAKE
N.T.S.

FIGURE 9



SILT BARRIER AT CONNECTION OF STORM PIPE TO EXISTING SWALE
N.T.S.

FIGURE 10



SILT BARRIER AT CONNECTION OF SWALE TO EXISTING SWALE
N.T.S.

FIGURE 11

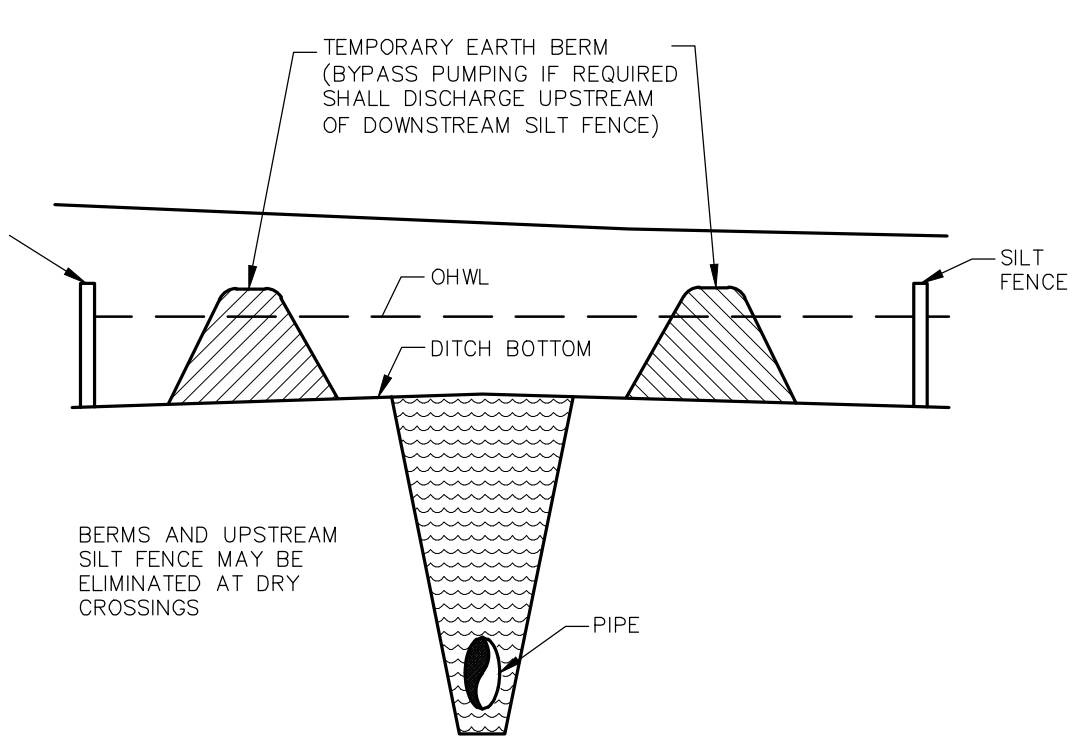


FIGURE 12

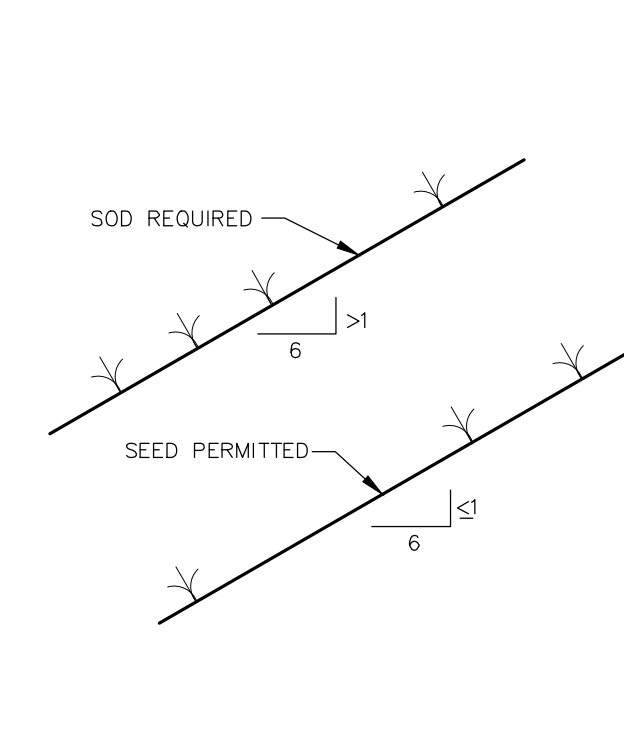


FIGURE 13

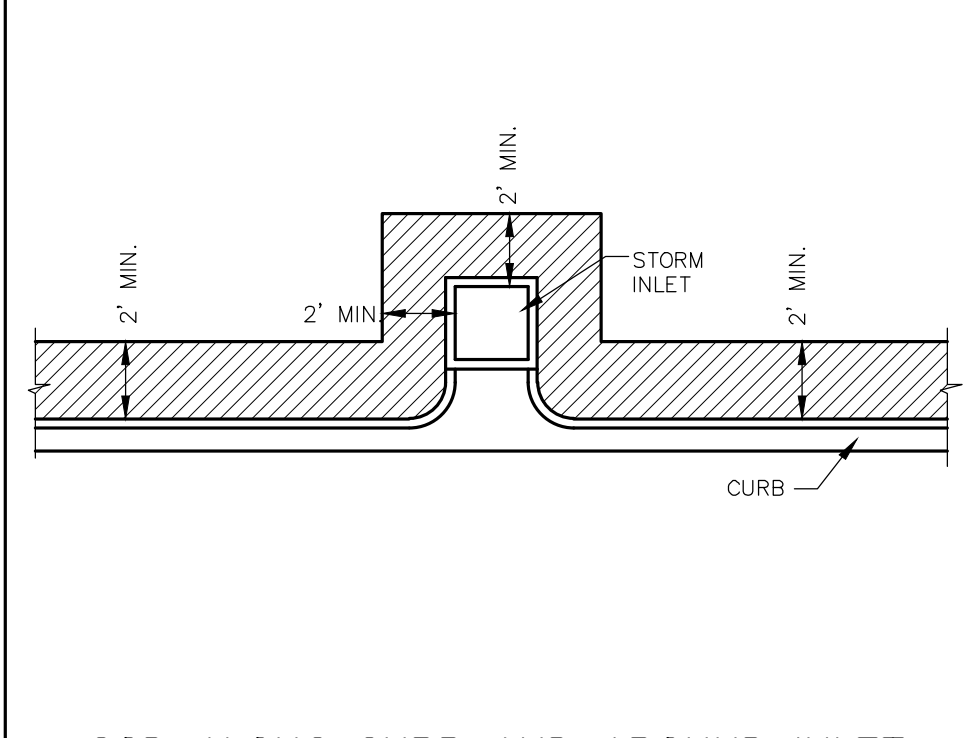


FIGURE 14

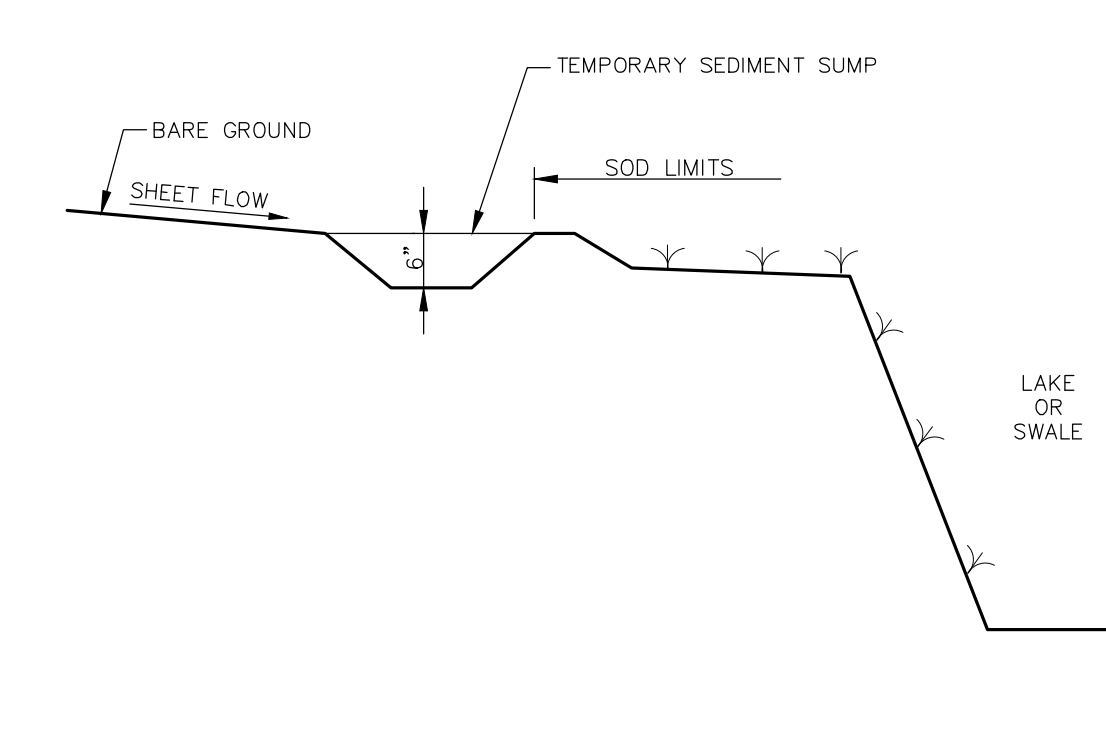


FIGURE 15

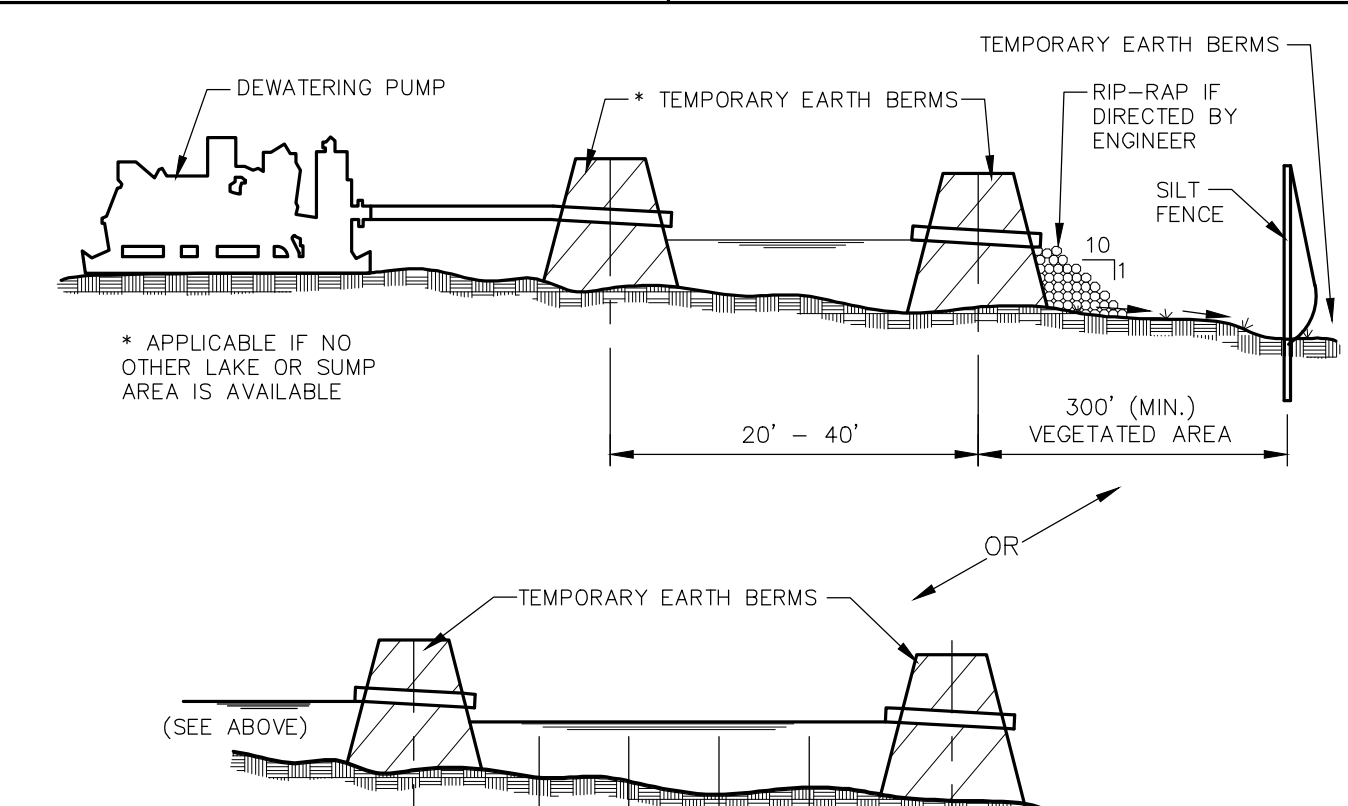


FIGURE 16

NO.	REVISIONS	DATE	BY

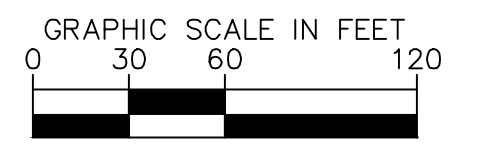
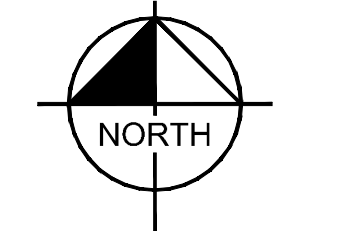
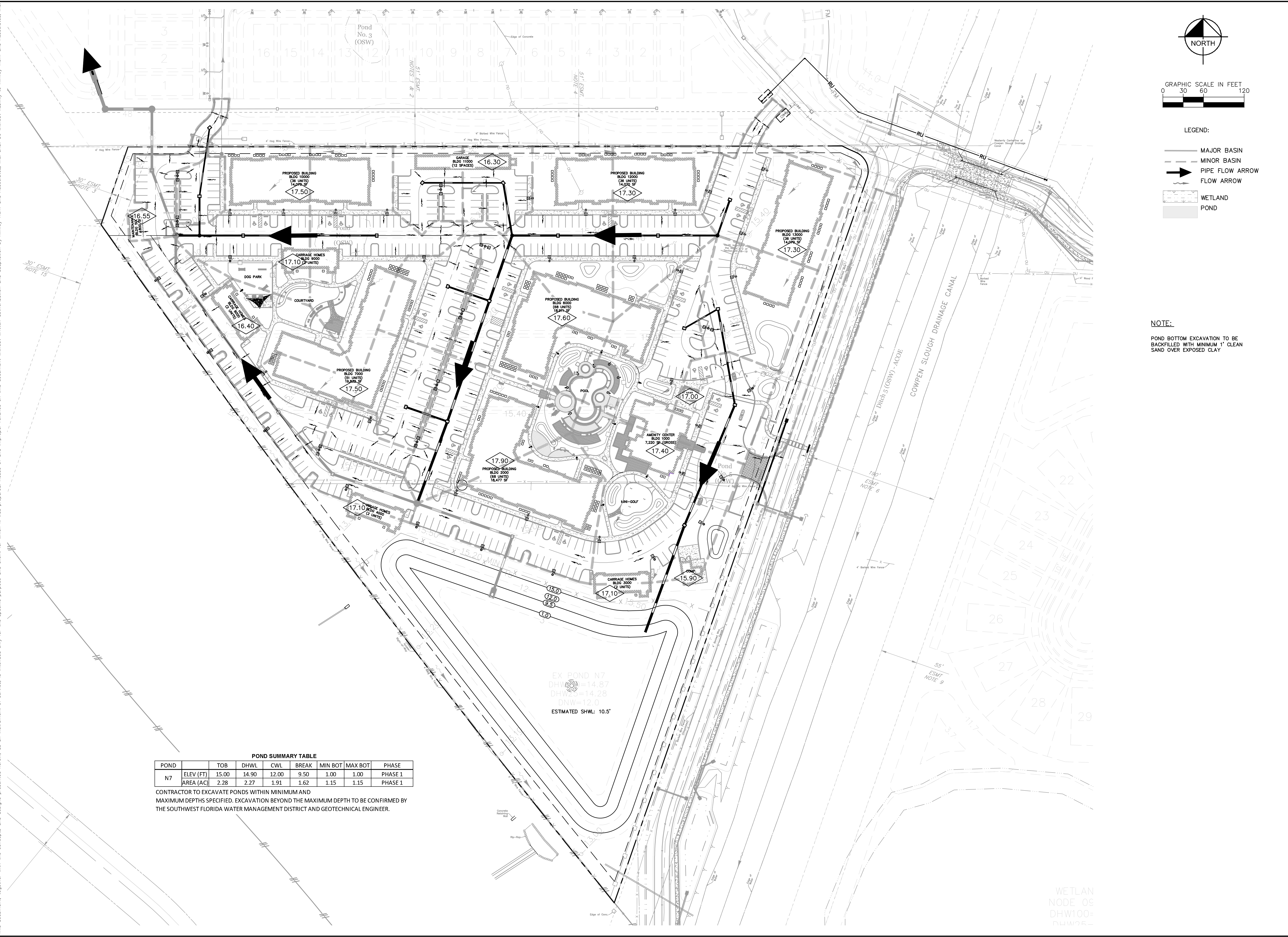
Kimley-Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236
PHONE: 941-379-7800
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL
ANDREW J. PLUTA, P.E.
FLORIDA LICENSE NUMBER
92225

BEST MANAGEMENT PRACTICES DETAILS

RANCH ROAD MULTI-FAMILY
PREPARED FOR
SCP ACQUISITIONS, LLC
CITY OF VENICE, FLORIDA

Plotted By: PLD, Andrew, Sheet Set: RANCH ROAD MULTI-FAMILY, Layout: B-3 MASTER DRAINAGE PLAN, July 15, 2022, 11:01:25am, Kimley-Horn.com, L-SART\ASR-Civil\248016000-RANCH ROAD MULTI-FAMILY\CAD\Plan\Sheets\B-3 MASTER DRAINAGE PLAN.dwg
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- LEGEND:
- MAJOR BASIN
 - MINOR BASIN
 - PIPE FLOW ARROW
 - FLOW ARROW
 - WETLAND
 - POND

NOTE:
 POND BOTTOM EXCAVATION TO BE BACKFILLED WITH MINIMUM 1' CLEAN SAND OVER EXPOSED CLAY

POND SUMMARY TABLE

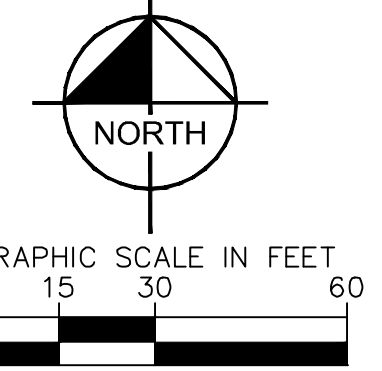
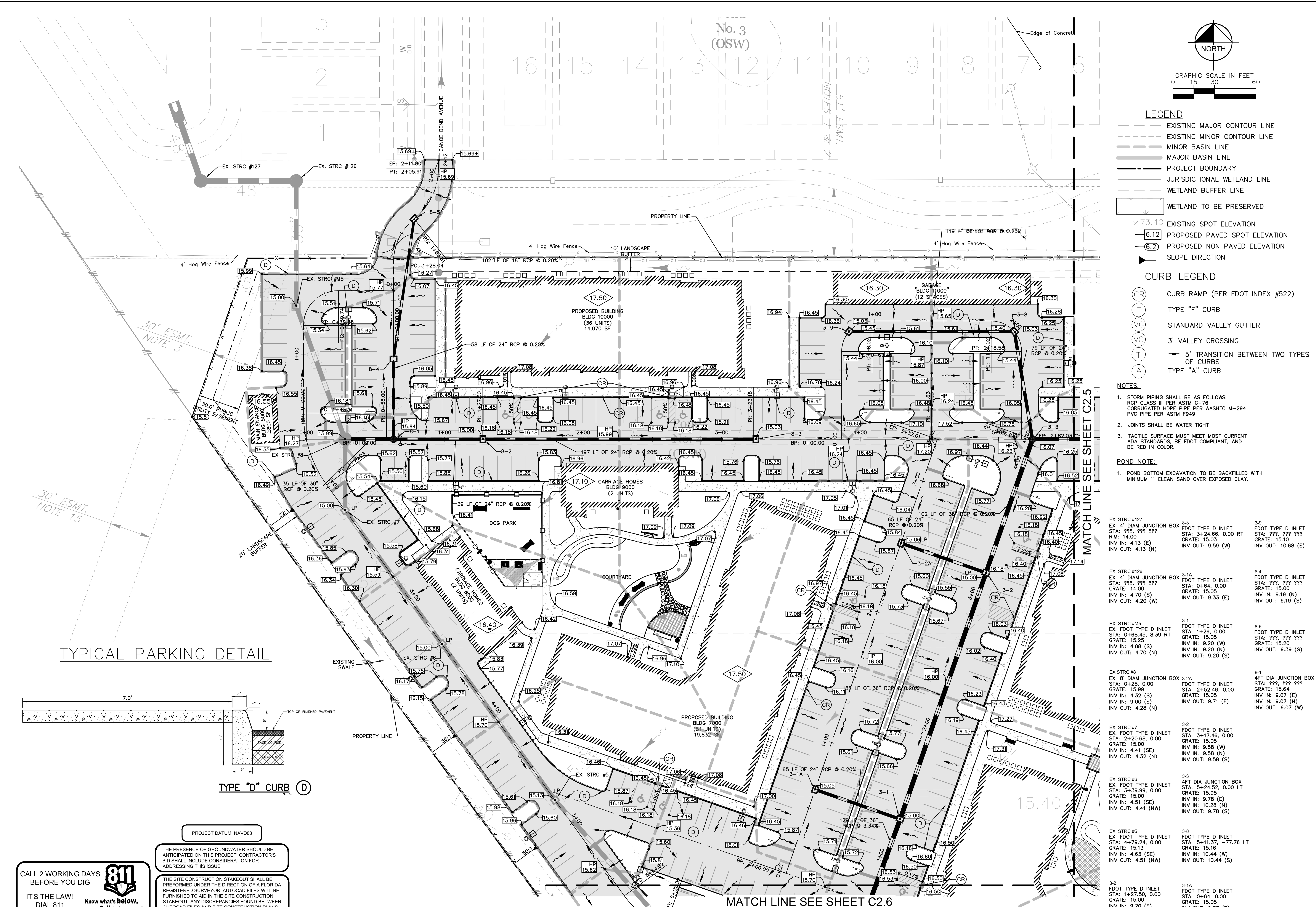
POND		TOB	DHWL	CWL	BREAK	MIN BOT	MAX BOT	PHASE
N7	ELEV (FT)	15.00	14.90	12.00	9.50	1.00	1.00	PHASE 1
	AREA (AC)	2.28	2.27	1.91	1.62	1.15	1.15	PHASE 1

CONTRACTOR TO EXCAVATE PONDS WITHIN MINIMUM AND MAXIMUM DEPTHS SPECIFIED. EXCAVATION BEYOND THE MAXIMUM DEPTH TO BE CONFIRMED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND GEOTECHNICAL ENGINEER.

EX POND N7
 DHW100=14.87
 DHW25=14.28
 DNW=12.0
 ESTIMATED SHWL: 10.5'

Kimley»Horn	LICENSED PROFESSIONAL ANDREW J. PLUTA, P.E. FLORIDA LICENSE NUMBER 92225 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106			
KHA PROJECT 248016000 DATE JUNE 2022 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	DATE:			
MASTER DRAINAGE PLAN				
RANCH ROAD MULTI-FAMILY PREPARED FOR SCP ACQUISITIONS, LLC CITY OF VENICE, FLORIDA				
SHEET NUMBER C2.3				
	REVISIONS	No.	DATE	BY

PLOTTED BY: BLDG, Andrew, Street, RANCH ROAD MULTI-FAMILY, Layout: B-4, PAVING GRADING AND DRAINAGE PLAN, July 15, 2022, 11:01:56am, Kimley-Horn.com, \SAR\SAR-Civil\248016000-RANCH ROAD MULTI-FAMILY\CAD\PlanSheets\B-4_PAVING GRADING AND DRAINAGE PLAN.dwg
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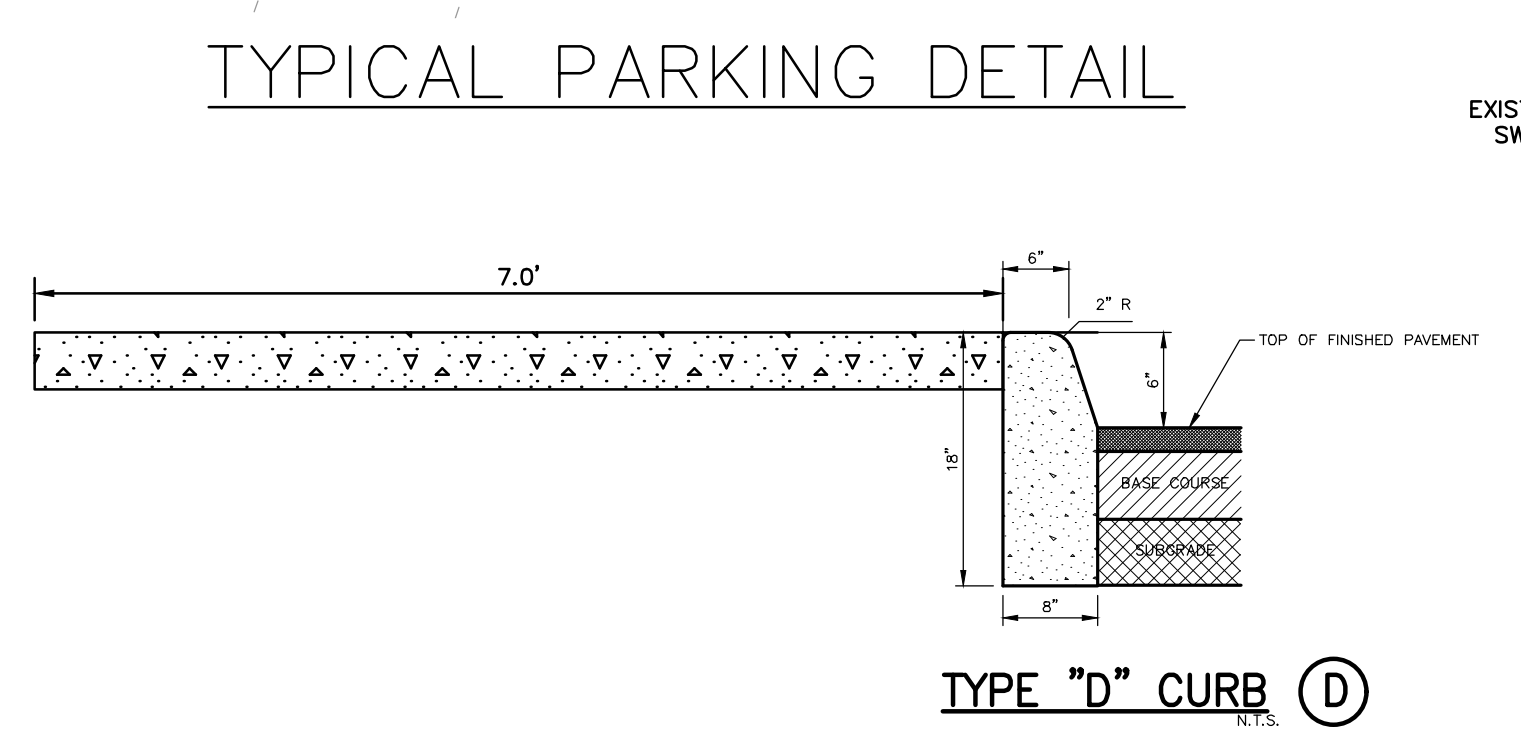


- LEGEND**
- EXISTING MAJOR CONTOUR LINE
 - EXISTING MINOR CONTOUR LINE
 - MINOR BASIN LINE
 - MAJOR BASIN LINE
 - PROJECT BOUNDARY
 - JURISDICTIONAL WETLAND LINE
 - WETLAND BUFFER LINE
 - WETLAND TO BE PRESERVED
 - × 73.40 EXISTING SPOT ELEVATION
 - 6.12 PROPOSED PAVED SPOT ELEVATION
 - 6.2 PROPOSED NON PAVED ELEVATION
 - ▲ SLOPE DIRECTION

- CURB LEGEND**
- CR CURB RAMP (PER FDOT INDEX #522)
 - F TYPE "F" CURB
 - VG STANDARD VALLEY GUTTER
 - VC 3' VALLEY CROSSING
 - T 5' TRANSITION BETWEEN TWO TYPES OF CURBS
 - A TYPE "A" CURB

- NOTES:**
- STORM PIPING SHALL BE AS FOLLOWS:
RCP CLASS III PER ASTM C-76
HDPE PIPE PER AASHTO M-294
PVC PIPE PER ASTM F949
 - JOINTS SHALL BE WATER TIGHT
 - TACTILE SURFACE MUST MEET MOST CURRENT ADA STANDARDS, BE FDOT COMPLIANT, AND BE RED IN COLOR.
- POND NOTE:**
- POND BOTTOM EXCAVATION TO BE BACKFILLED WITH MINIMUM 1' CLEAN SAND OVER EXPOSED CLAY.

EX STRC #127 EX. 4" DIAM JUNCTION BOX STA: ???, ??? ??? GRATE: 14.00 INV IN: 4.13 (E) INV OUT: 4.13 (N)	8-3 FOOT TYPE D INLET STA: 3+24.66, 0.00 RT GRATE: 15.03 INV IN: 9.59 (W) INV OUT: 10.68 (E)	EX STRC #126 EX. 4" DIAM JUNCTION BOX STA: ???, ??? ??? GRATE: 14.00 INV IN: 4.70 (S) INV OUT: 4.20 (W)	3-1A FOOT TYPE D INLET STA: 0+64, 0.00 GRATE: 15.05 INV IN: 9.33 (E) INV OUT: 9.19 (S)	EX STRC #5 EX. FDOT TYPE D INLET STA: 0+68.45, 8.39 RT GRATE: 15.25 INV IN: 4.88 (S) INV OUT: 4.70 (N)	3-1 FOOT TYPE D INLET STA: 1+29, 0.00 GRATE: 15.05 INV IN: 9.20 (W) INV OUT: 9.20 (S)	EX STRC #8 EX. 8" DIAM JUNCTION BOX STA: 0+28, 0.00 GRATE: 15.99 INV IN: 4.32 (S) INV OUT: 9.00 (E) INV OUT: 4.28 (N)	3-2A FOOT TYPE D INLET STA: 2+52.46, 0.00 GRATE: 15.05 INV IN: 9.07 (E) INV IN: 9.07 (N) INV OUT: 9.07 (W)	EX STRC #7 EX. FDOT TYPE D INLET STA: 2+20.68, 0.00 GRATE: 15.00 INV IN: 4.1 (SE) INV OUT: 4.32 (N)	3-2 FOOT TYPE D INLET STA: 3+17.46, 0.00 GRATE: 15.05 INV IN: 9.58 (W) INV IN: 9.58 (N) INV OUT: 9.58 (S)	EX STRC #6 EX. FDOT TYPE D INLET STA: 3+39.99, 0.00 GRATE: 15.00 INV IN: 4.51 (SE) INV OUT: 4.41 (NW)	3-3 4FT DIA JUNCTION BOX STA: 5+24.52, 0.00 LT GRATE: 15.95 INV IN: 9.78 (E) INV IN: 10.28 (N) INV OUT: 9.78 (S)	EX STRC #5 EX. FDOT TYPE D INLET STA: 4+79.24, 0.00 GRATE: 15.13 INV IN: 4.63 (SE) INV OUT: 9.20 (E) INV OUT: 9.20 (W)	3-8 FOOT TYPE D INLET STA: 5+11.37, -77.76 LT GRATE: 15.16 INV IN: 10.44 (S)	8-2 FOOT TYPE D INLET STA: 1+27.50, 0.00 GRATE: 15.00 INV IN: 9.20 (E) INV OUT: 9.33 (E)	3-1A FOOT TYPE D INLET STA: 0+64, 0.00 GRATE: 15.05 INV IN: 9.33 (E)
--	---	--	---	---	--	---	--	--	---	--	--	--	--	---	--



PROJECT DATUM: NAVD83

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

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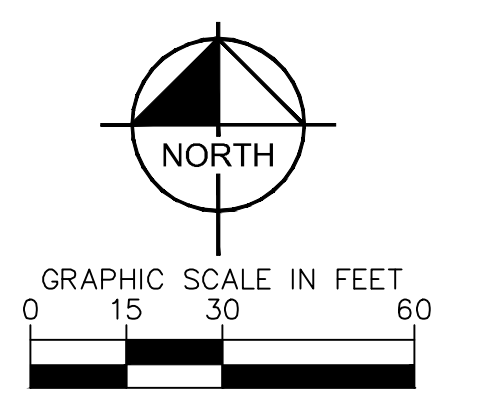
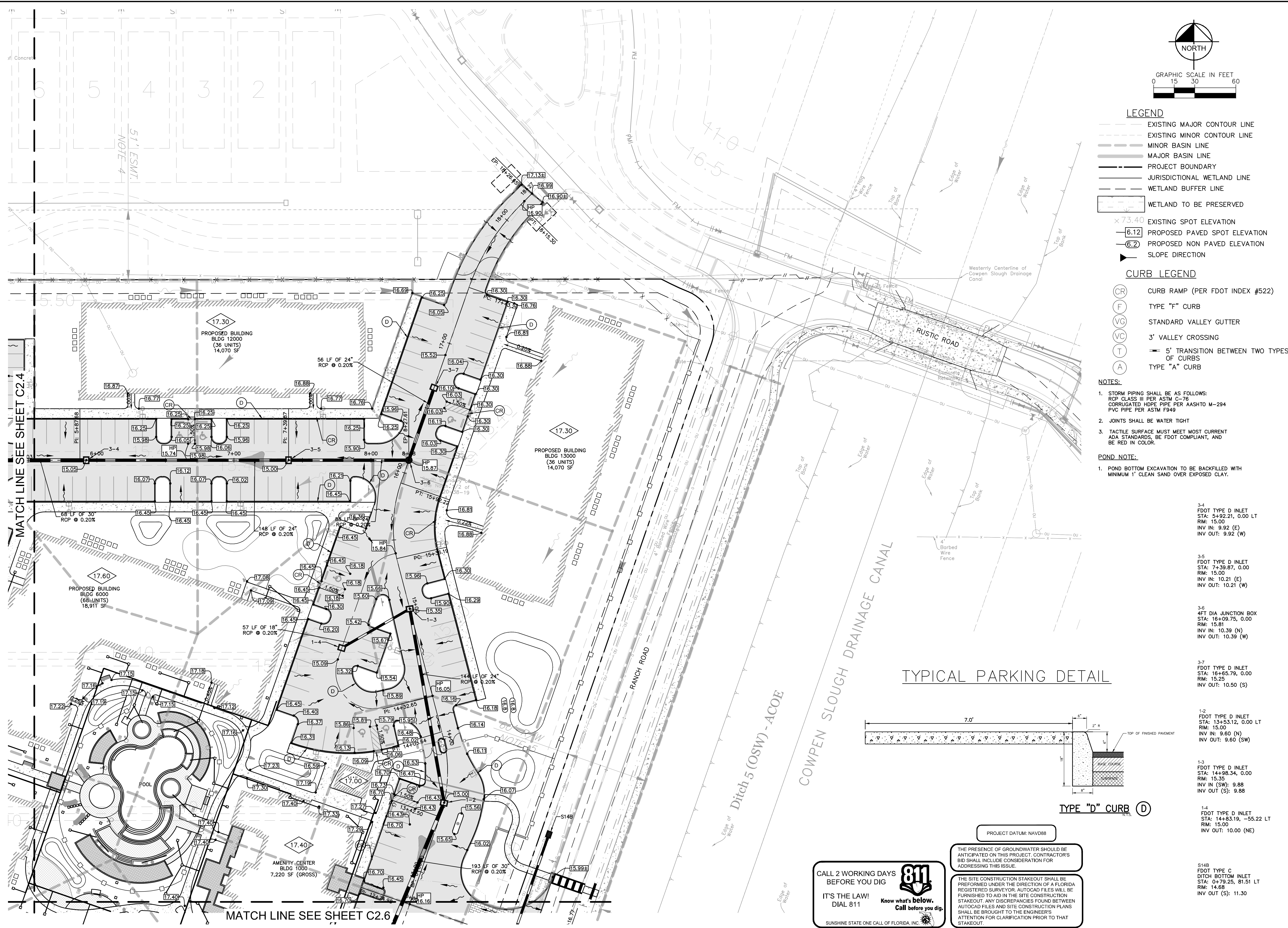
LICENSED PROFESSIONAL: ANDREW J. PLUTA, P.E.
 DATE: JUNE 2022
 SCALE: AS SHOWN
 DESIGNED BY: 92225
 DRAWN BY: 92225
 CHECKED BY: 92225
 DATE:

PAVING GRADING AND DRAINAGE PLAN
 PREPARED FOR: SCP ACQUISITIONS, LLC
 CITY OF VENICE, FLORIDA

RANCH ROAD MULTI-FAMILY
 SHEET NUMBER: C2.4

NO.	REVISIONS	DATE	BY

PLOTTED BY: BLDG, ANDREW, SHEET: RANCH ROAD MULTI-FAMILY LOYDUT-B-5 PAVING GRADING AND DRAINAGE PLAN, JULY 15, 2022, 11:02:26am. KIMLEY-HORN.COM \E:\SAR\SAR-Civil\248016000-RANCH ROAD MULTI-FAMILY CAD\PlanSheets\B-5 PAVING GRADING AND DRAINAGE PLAN.dwg
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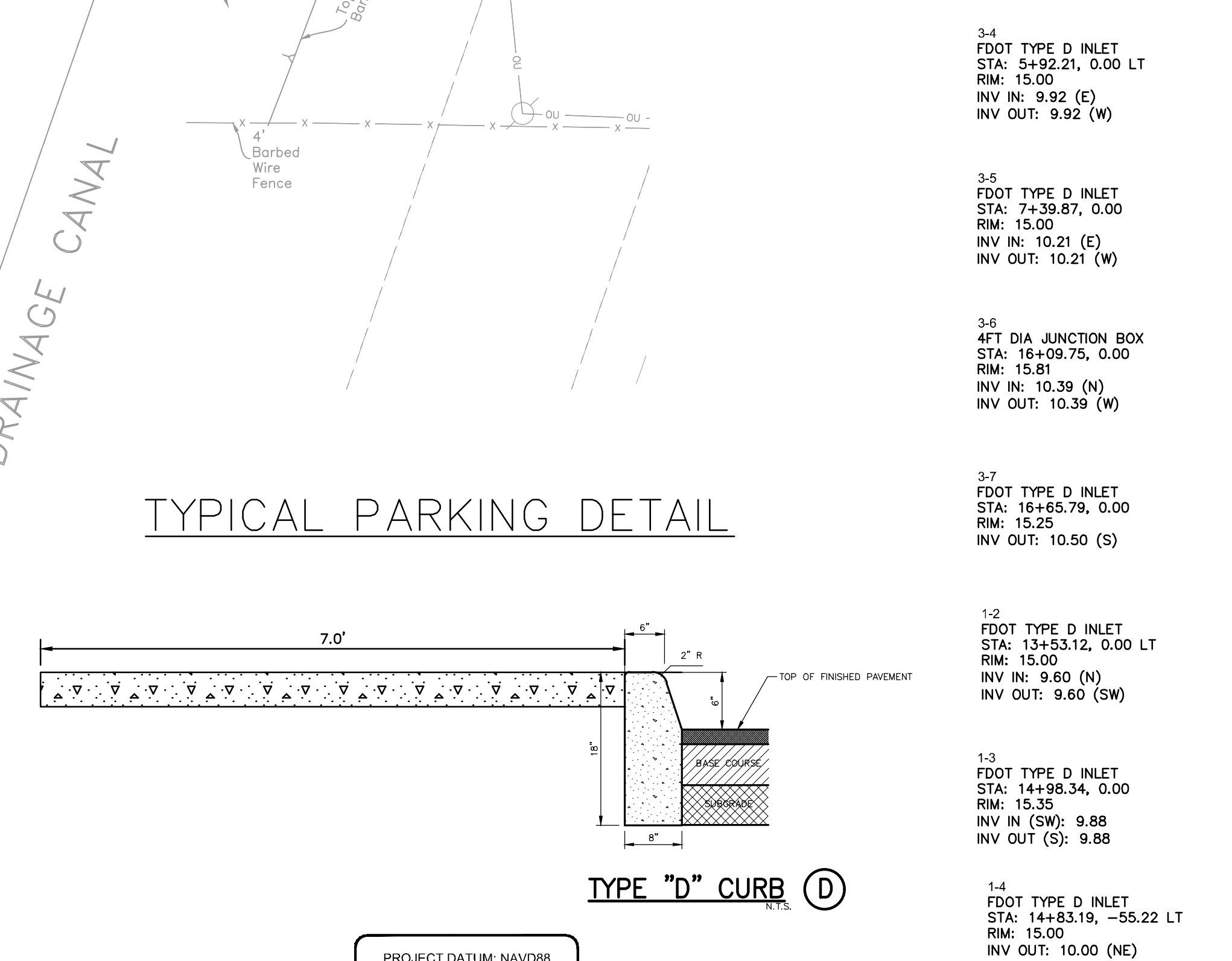


- LEGEND**
- EXISTING MAJOR CONTOUR LINE
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 - MINOR BASIN LINE
 - MAJOR BASIN LINE
 - PROJECT BOUNDARY
 - JURISDICTIONAL WETLAND LINE
 - WETLAND BUFFER LINE
 - WETLAND TO BE PRESERVED

- $\times 73.40$ EXISTING SPOT ELEVATION
- 6.12** PROPOSED PAVED SPOT ELEVATION
- 6.2** PROPOSED NON PAVED ELEVATION
- SLOPE DIRECTION

- CURB LEGEND**
- CURB RAMP (PER FDOT INDEX #522)
 - TYPE "F" CURB
 - STANDARD VALLEY GUTTER
 - 3' VALLEY CROSSING
 - 5' TRANSITION BETWEEN TWO TYPES OF CURBS
 - TYPE "A" CURB

- NOTES:**
- STORM PIPING SHALL BE AS FOLLOWS:
RCP CLASS II PER ASTM C-76
CORRUGATED HDPE PIPE PER AASHTO M-294
PVC PIPE PER ASTM F949
 - JOINTS SHALL BE WATER TIGHT
 - TACTILE SURFACE MUST MEET MOST CURRENT ADA STANDARDS, BE FDOT COMPLIANT, AND BE RED IN COLOR.
- POND NOTE:**
- POND BOTTOM EXCAVATION TO BE BACKFILLED WITH MINIMUM 1' CLEAN SAND OVER EXPOSED CLAY.



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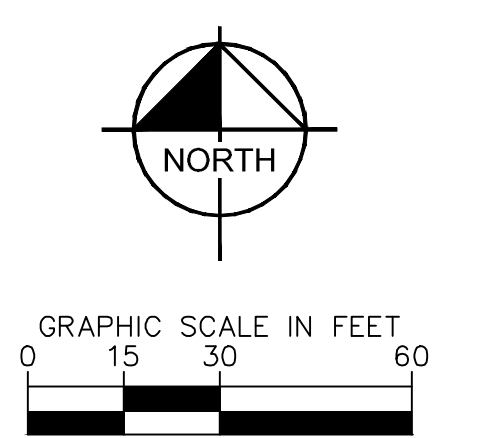
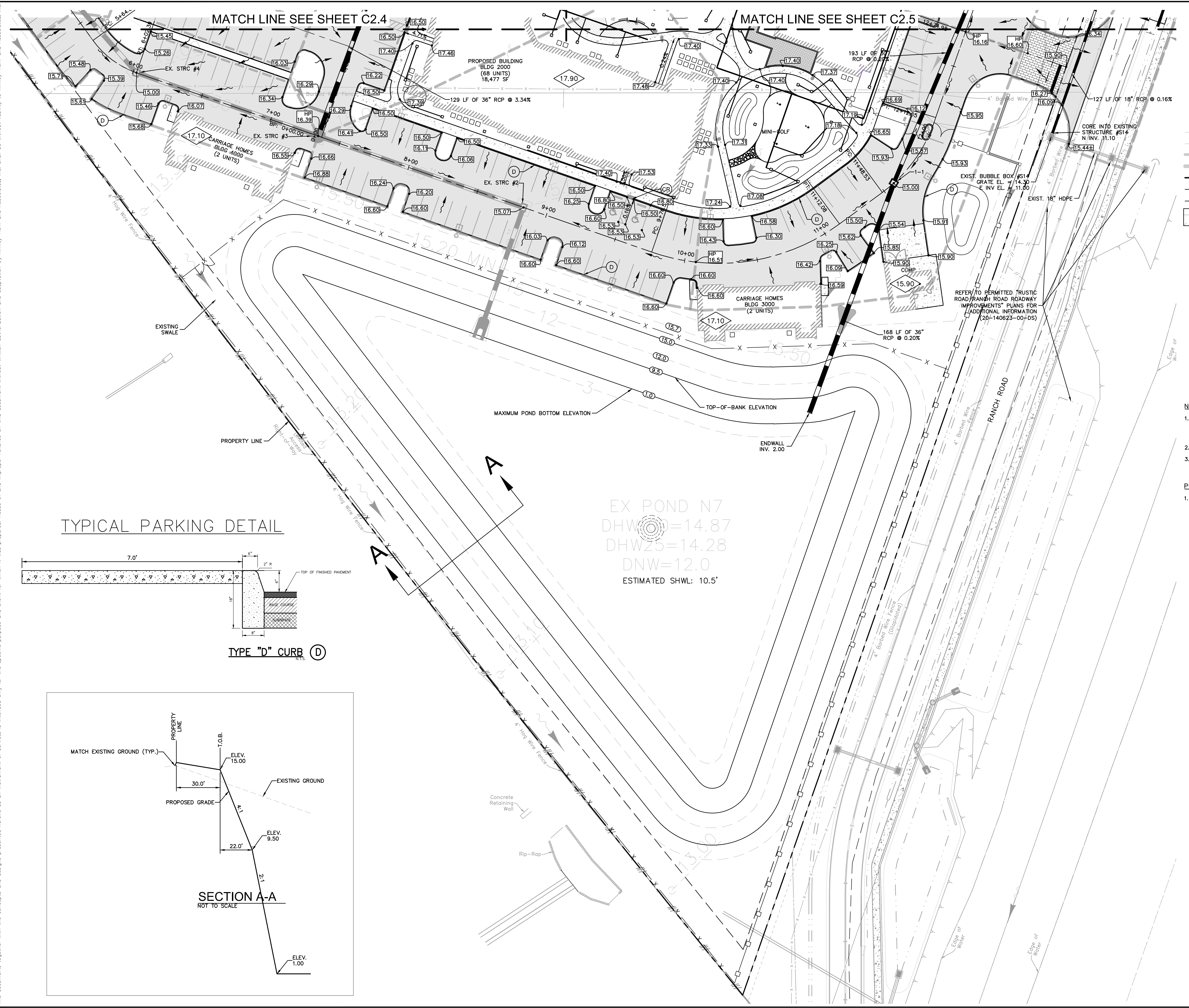
PROJECT DATUM: NAVD88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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<p>KHA PROJECT 248016000</p> <p>DATE JUNE 2022</p> <p>SCALE AS SHOWN</p> <p>DESIGNED BY DRAWN BY CHECKED BY</p>	<p>PAVING GRADING AND DRAINAGE PLAN</p> <p>RANCH ROAD MULTI-FAMILY PREPARED FOR SCP ACQUISITIONS, LLC FLORIDA CITY OF VENICE</p>						
<p>SHEET NUMBER C2.5</p>							
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		No.	DATE	BY			
No.	DATE	BY					

Plotted By: P. Blod, Andrew, Street: RANCH ROAD MULTI-FAMILY LOYOUT B-6 PAVING GRADING AND DRAINAGE PLAN July 15, 2022, 11:02:53am
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 - MAJOR BASIN LINE
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 - JURISDICTIONAL WETLAND LINE
 - WETLAND BUFFER LINE
 - WETLAND TO BE PRESERVED

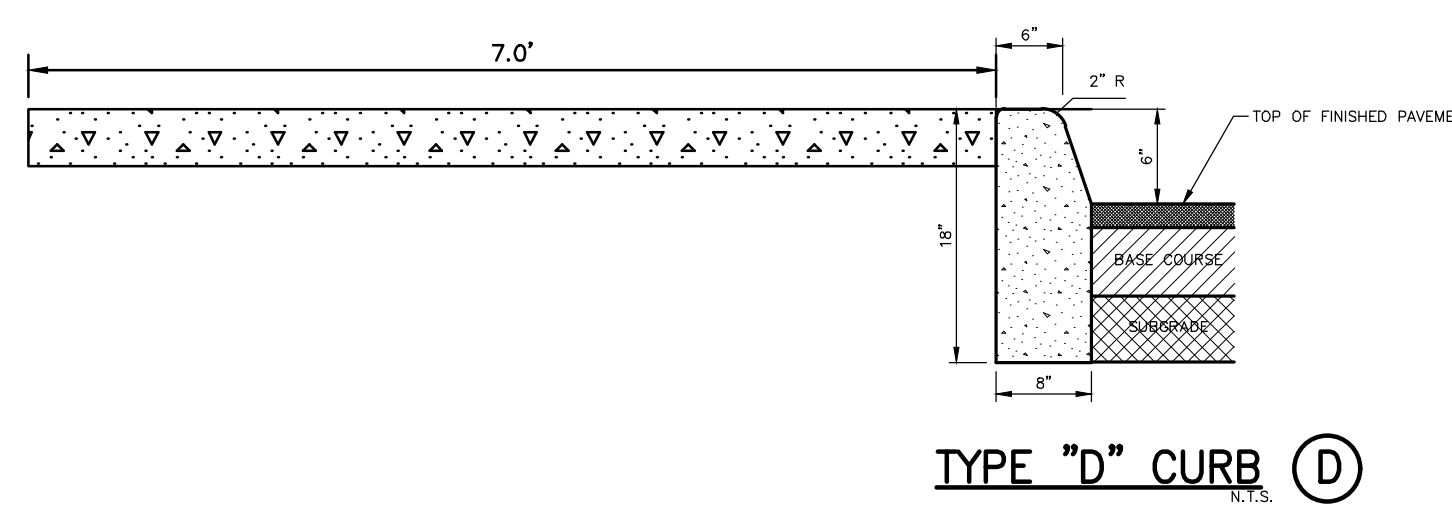
- × 73.40 EXISTING SPOT ELEVATION
- 6.12 PROPOSED PAVED SPOT ELEVATION
- 6.2 PROPOSED NON PAVED ELEVATION
- ▲ SLOPE DIRECTION

- CURB LEGEND**
- (CR) CURB RAMP (PER FDOT INDEX #522)
 - (F) TYPE "F" CURB
 - (VG) STANDARD VALLEY GUTTER
 - (VC) 3' VALLEY CROSSING
 - (T) 5' TRANSITION BETWEEN TWO TYPES OF CURBS
 - (A) TYPE "A" CURB

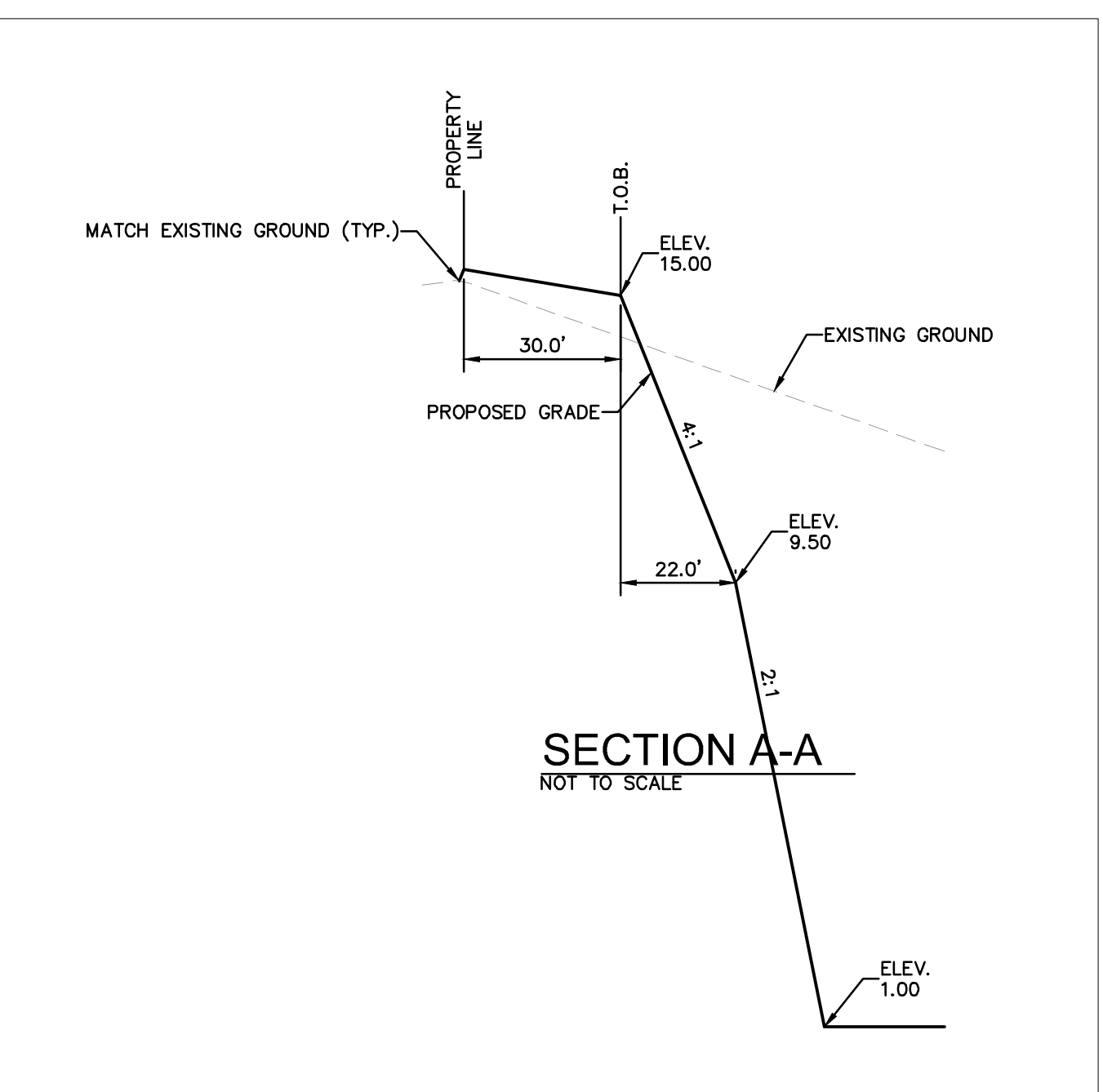
- NOTES:**
- STORM PIPING SHALL BE AS FOLLOWS:
 RCP CLASS II PER ASTM C-76
 CORRUGATED HDPE PIPE PER ASTM M-294
 PVC PIPE PER ASTM F949
 - JOINTS SHALL BE WATER TIGHT
 - TACTILE SURFACE MUST MEET MOST CURRENT ADA STANDARDS, BE FDOT COMPLIANT, AND BE RED IN COLOR.
- POND NOTE:**
- POND BOTTOM EXCAVATION TO BE BACKFILLED WITH MINIMUM 1" CLEAN SAND OVER EXPOSED CLAY.

- EX. STRC #2
 EX. FDOT TYPE D INLET
 STA: 8+83.36, 0.00
 RIM: 15.07
 INV IN: 4.97 (S)
 INV OUT: 4.89 (W)
- EX. STRC #3
 EX. 8" DIAM. JUNCTION BOX
 STA: 7+34.36, 0.00
 RIM: 16.39
 INV IN: 4.89 (E)
 INV IN: 4.89 (N)
 INV OUT: 4.75 (W)
- EX. STRC #4
 EX. FDOT TYPE D INLET
 STA: 6+02.39, 0.00
 RIM: 15.00
 INV IN: 4.75 (E)
 INV OUT: 4.63 (NW)
- 1-1
 FDOT TYPE D INLET
 STA: 11+58.69, -0.08 LT
 RIM: 15.00
 INV IN: 9.21 (NE)
 INV OUT: 2.34 (S)

TYPICAL PARKING DETAIL



EX POND N7
 DHW₂₅=14.87
 DHW₂₅=14.28
 DNW=12.0
 ESTIMATED SHWL: 10.5'



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<p>KHA PROJECT: 248016000 DATE: JUNE 2022 SCALE: AS SHOWN DESIGNED BY: [blank] DRAWN BY: [blank] CHECKED BY: [blank]</p>	<p>LICENSED PROFESSIONAL: ANDREW J. PLUTA, P.E. FLORIDA LICENSE NUMBER: 92225 DATE: [blank]</p>						
<p>SHEET NUMBER C2.6</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DATE	BY			
No.	DATE	BY					

PROJECT DATUM: NAVD88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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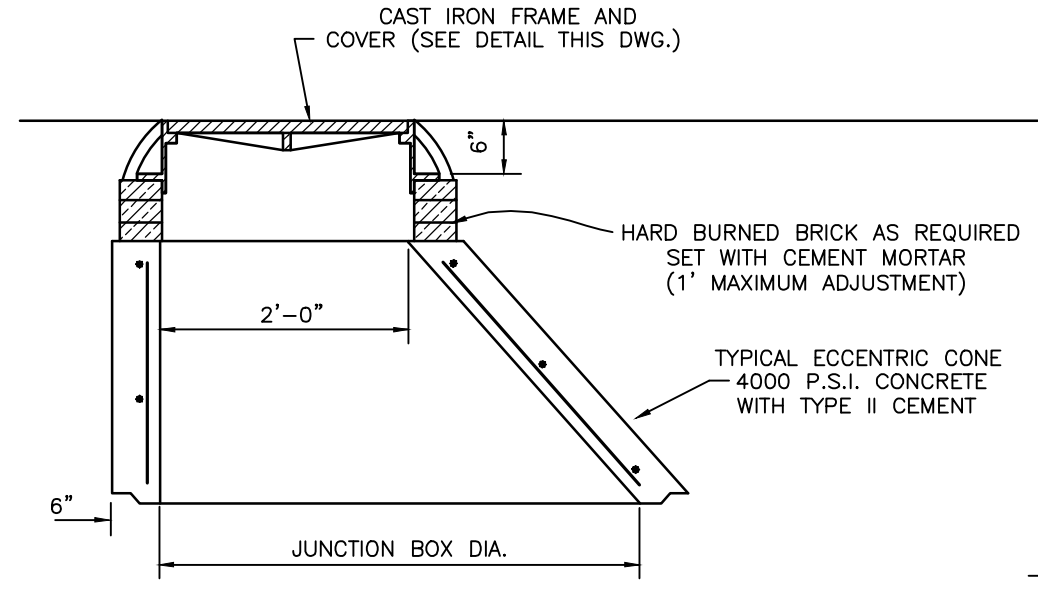
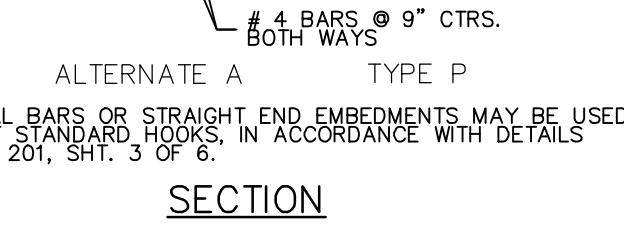
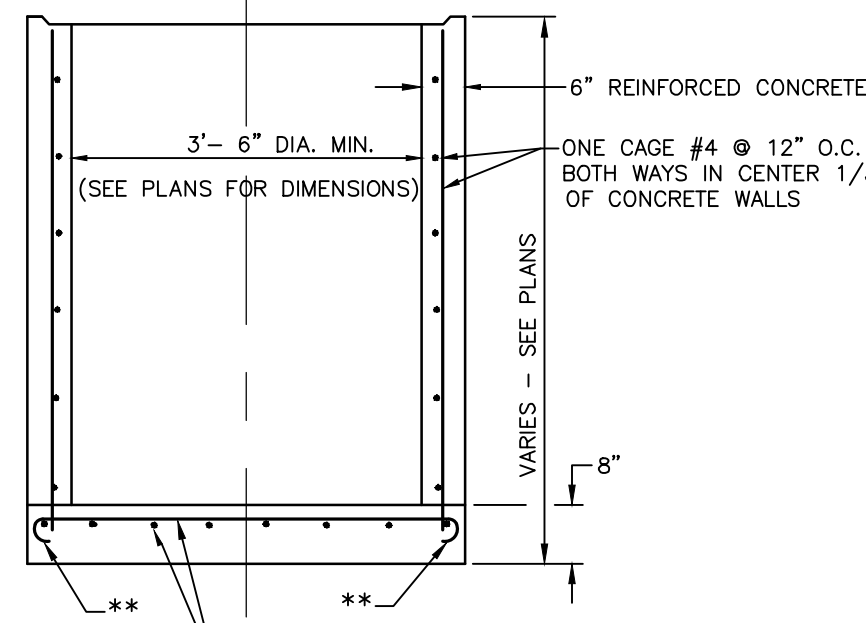
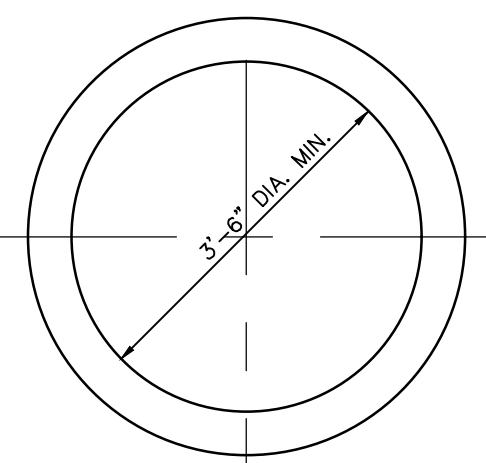
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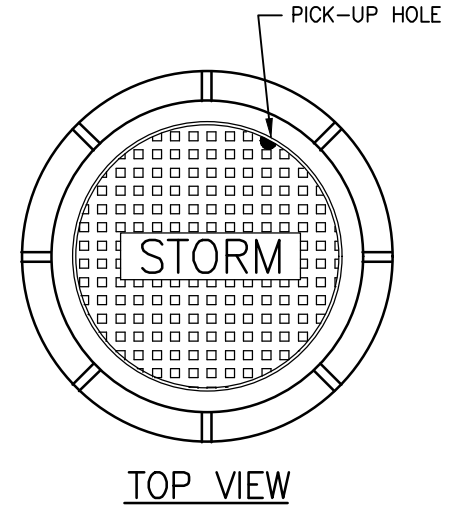
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

PLOTTED BY: PLD, ANDREW... SHEET: RANCH ROAD MULTI-FAMILY... LOYALTY-B-B STORMWATER DETAILS... JULY 15, 2022... 11:03:12am... KIMLEY-HORN.COM...

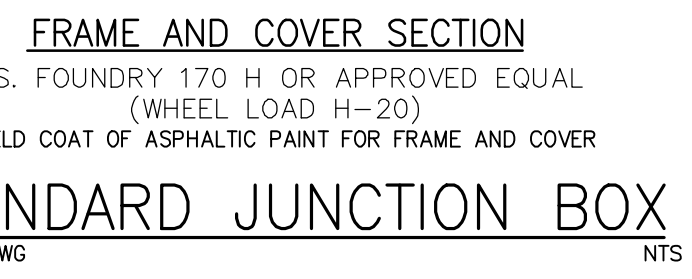
NOTE:
 (1) ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4000 P.S.I. @ 28 DAYS.
 (2) REINFORCING SHOWN IS THE MINIMUM REQUIRED. IF DIMENSIONS OF BOX REQUIRES ADDITIONAL REINFORCING IN ORDER TO CARRY DESIGN LOADS, MANUFACTURER SHALL PROVIDE ADDITIONAL REINFORCING AS REQUIRED.



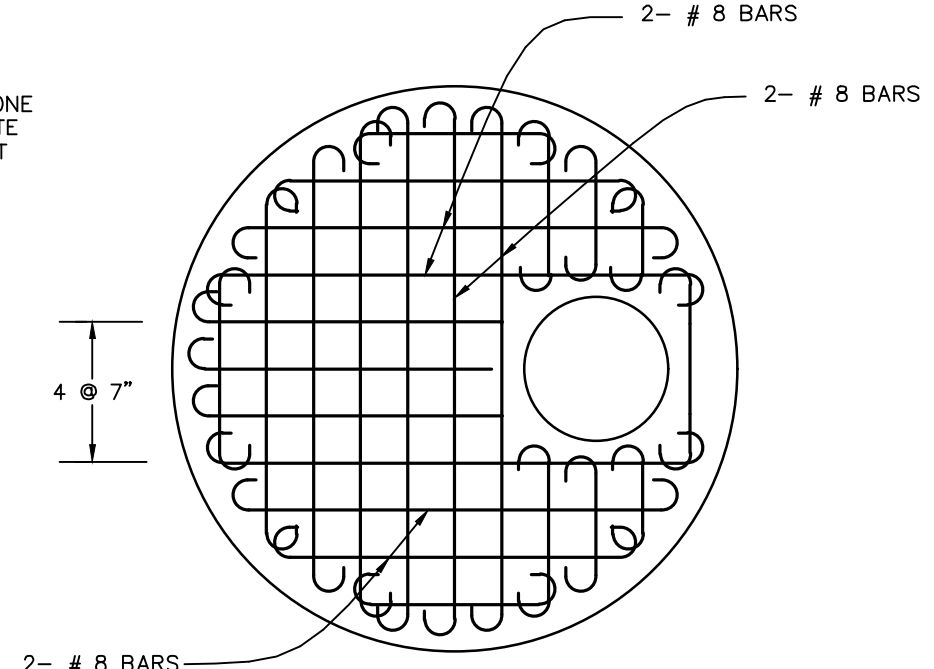
LID SECTION
TYPE 8 (TRAFFIC) (H-20)



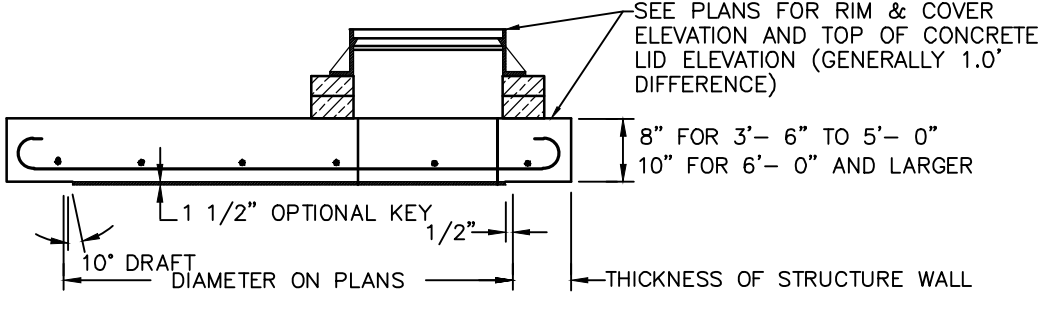
TOP VIEW



FRAME AND COVER SECTION
U.S. FOUNDRY 170 H OR APPROVED EQUAL (WHEEL LOAD H-20)
1 FIELD COAT OF ASPHALTIC PAINT FOR FRAME AND COVER
STANDARD JUNCTION BOX
SSDKH25_DWG



LID REINFORCEMENT PLAN



LID SECTION
TYPE 7-T (TRAFFIC) (H-20)

ALL REINFORCEMENT NO. 6 BARS EXCEPT 6-#8 BARS SHOWN. BARS SPACED @ 6\"/>

PLAN

SECTION

WALL DEPTH	SCHEDULE	AREA (in. ² /FT.)	MAX. SPACING BARS	MAX. SPACING WWR
0'-6"	A12	0.20	12"	8"
0'-10"	A6	0.20	6"	5"
10'-12"	A4	0.20	4"	3"
10'-15"	B5.5	0.24	3 3/4"	5"

TYPE C
Recommended Maximum Pipe Size:
2'-0" Wall - 18" Pipe
3'-1" Wall - 24" Pipe (18" where an 18" pipe enters a 2'-0" wall)

PLAN

SECTION

WALL DEPTH	SCHEDULE	AREA (in. ² /FT.)	MAX. SPACING BARS	MAX. SPACING WWR
0'-6"	A12	0.20	12"	8"
0'-10"	A6	0.20	6"	5"
10'-12"	A4	0.20	4"	3"
10'-15"	B5.5	0.24	3 3/4"	5"

TYPE D
Recommended Maximum Pipe Size:
3'-1" Wall - 24" Pipe
4'-1" Wall - 36" Pipe

PLAN

SECTION

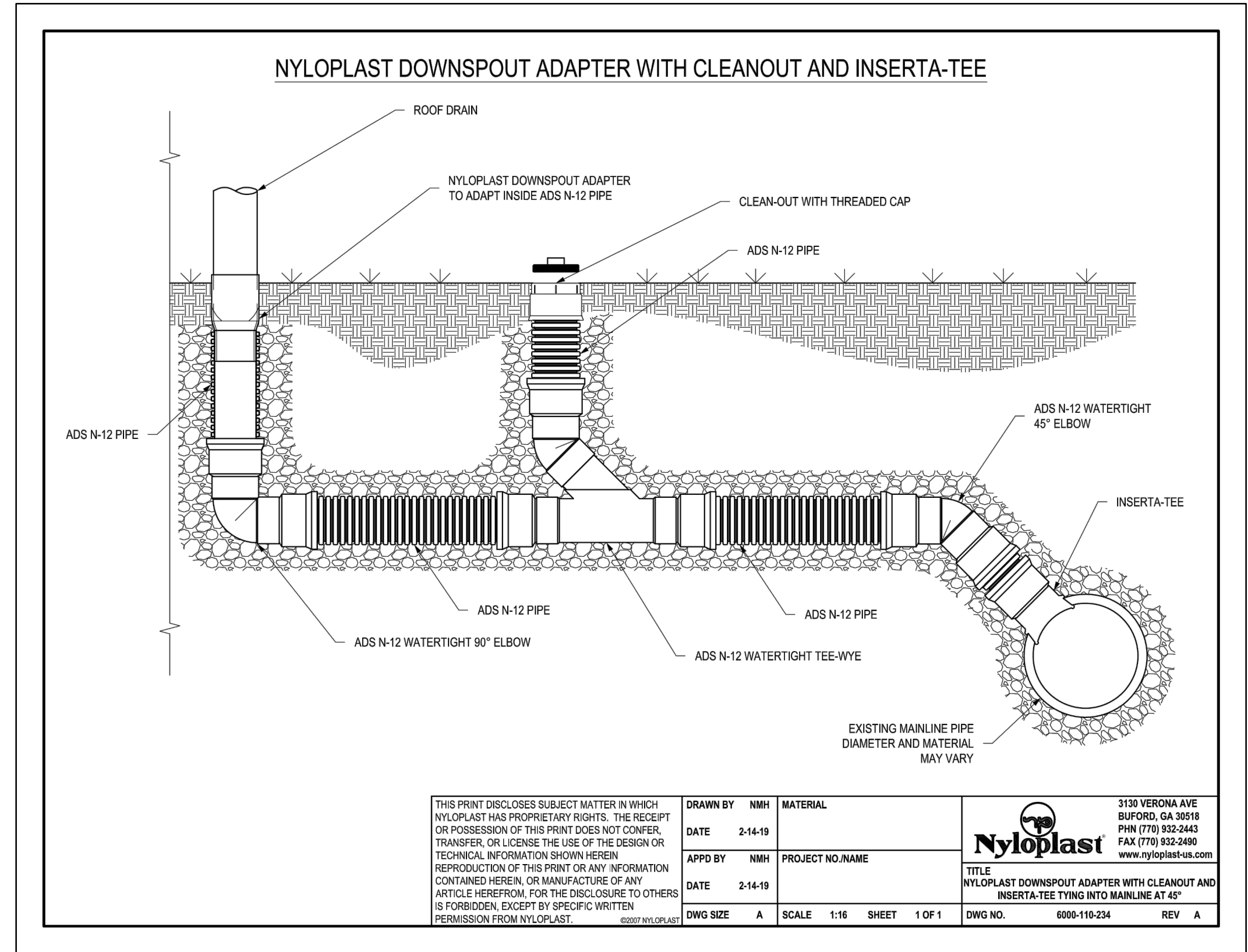
WALL DEPTH	SCHEDULE	AREA (in. ² /FT.)	MAX. SPACING BARS	MAX. SPACING WWR
0'-5"	A12	0.20	12"	8"
0'-7'-5"	A6	0.20	6"	5"
7'-5'-10"	B5.5	0.24	3 3/4"	5"
10'-15"	C6.5	0.37	6 3/4"	6"

TYPE E
Recommended Maximum Pipe Size:
3'-0" Wall - 24" Pipe
4'-0" Wall - 36" Pipe

LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/17		425-052	1 of 7

FDOT TYPE D INLET

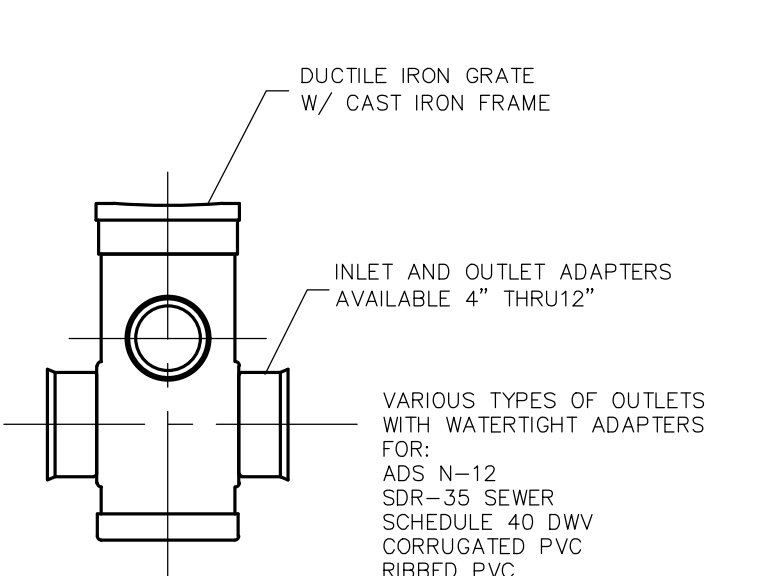
N.T.S.



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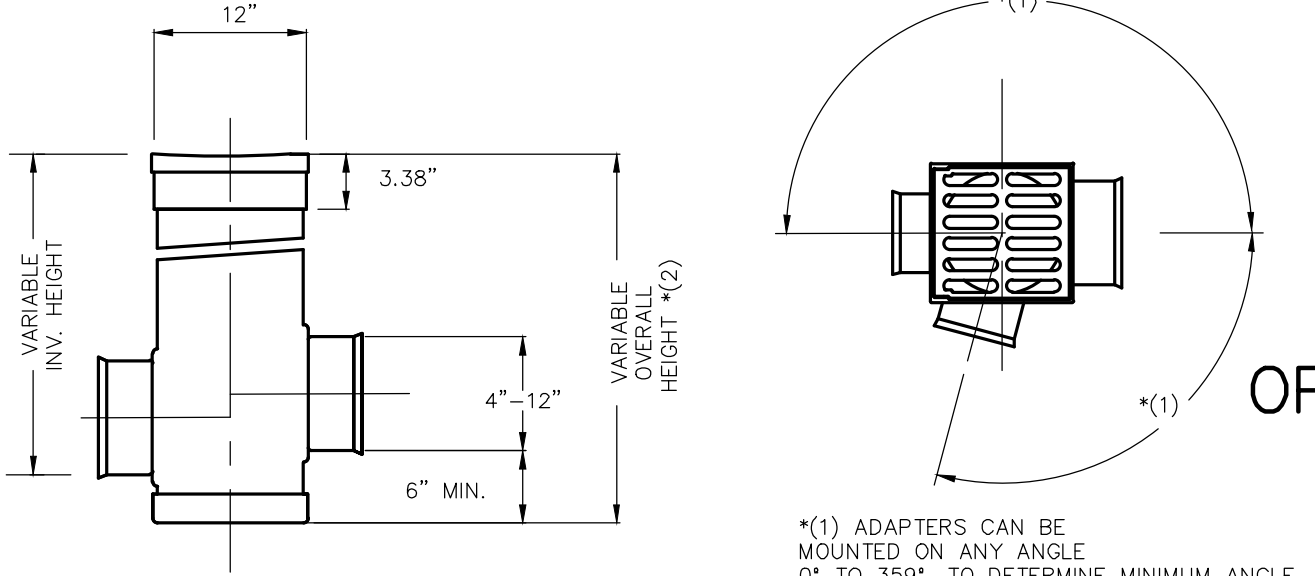
12" PVC INLINE DRAIN

N.T.S.
REF: NYLOPLAST STORM DRAINAGE STRUCTURES



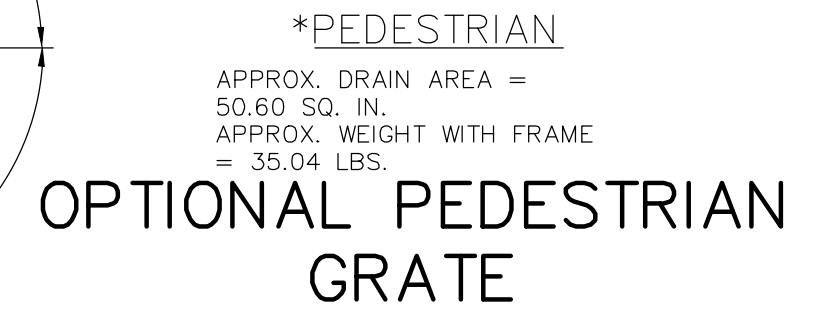
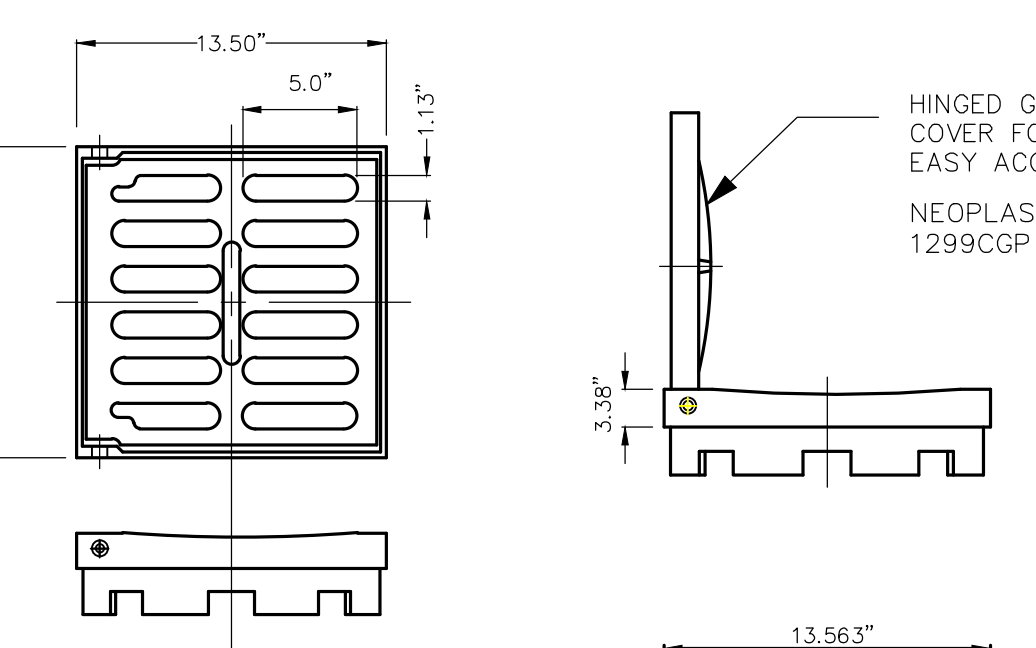
12" CAST IRON GRATE

N.T.S.
REF: NYLOPLAST STORM DRAINAGE STRUCTURES



12" PVC YARD DRAINS

N.T.S.
REF: NYLOPLAST STORM DRAINAGE STRUCTURES



*PEDESTRIAN
APPROX. DRAIN AREA = 50.60 SQ. IN.
APPROX. WEIGHT WITH FRAME = 35.04 LBS.

Kimley»Horn

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 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236
 PHONE: 941-379-7600
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL
 ANDREW J. PLUTA, P.E.
 FLORIDA LICENSE NUMBER
 92225

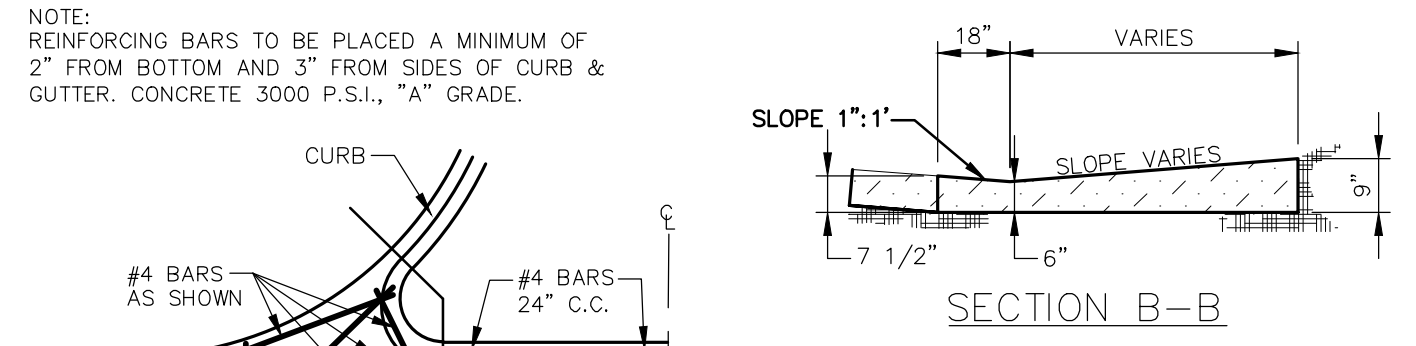
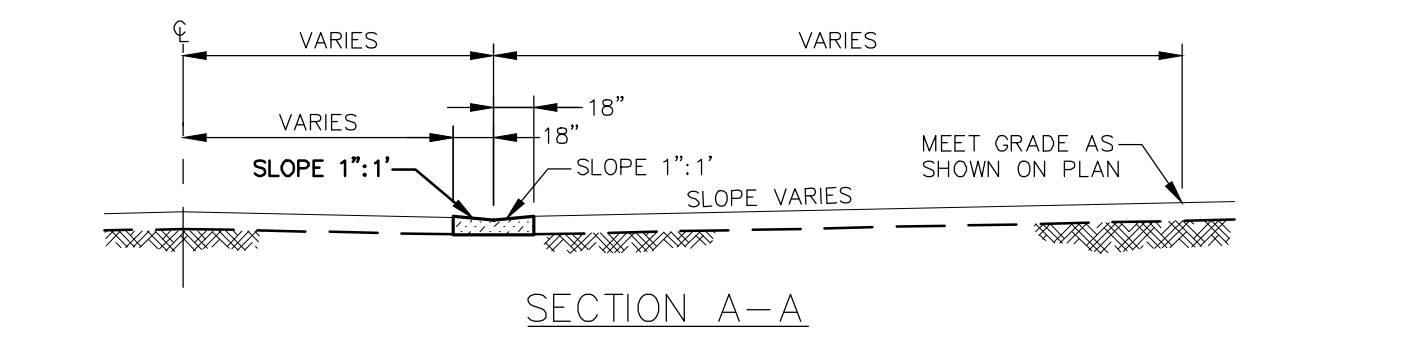
KHA PROJECT: 248016000
 DATE: JUNE 2022
 SCALE: AS SHOWN
 DESIGNED BY: [blank]
 DRAWN BY: [blank]
 CHECKED BY: [blank]

STORMWATER DETAILS

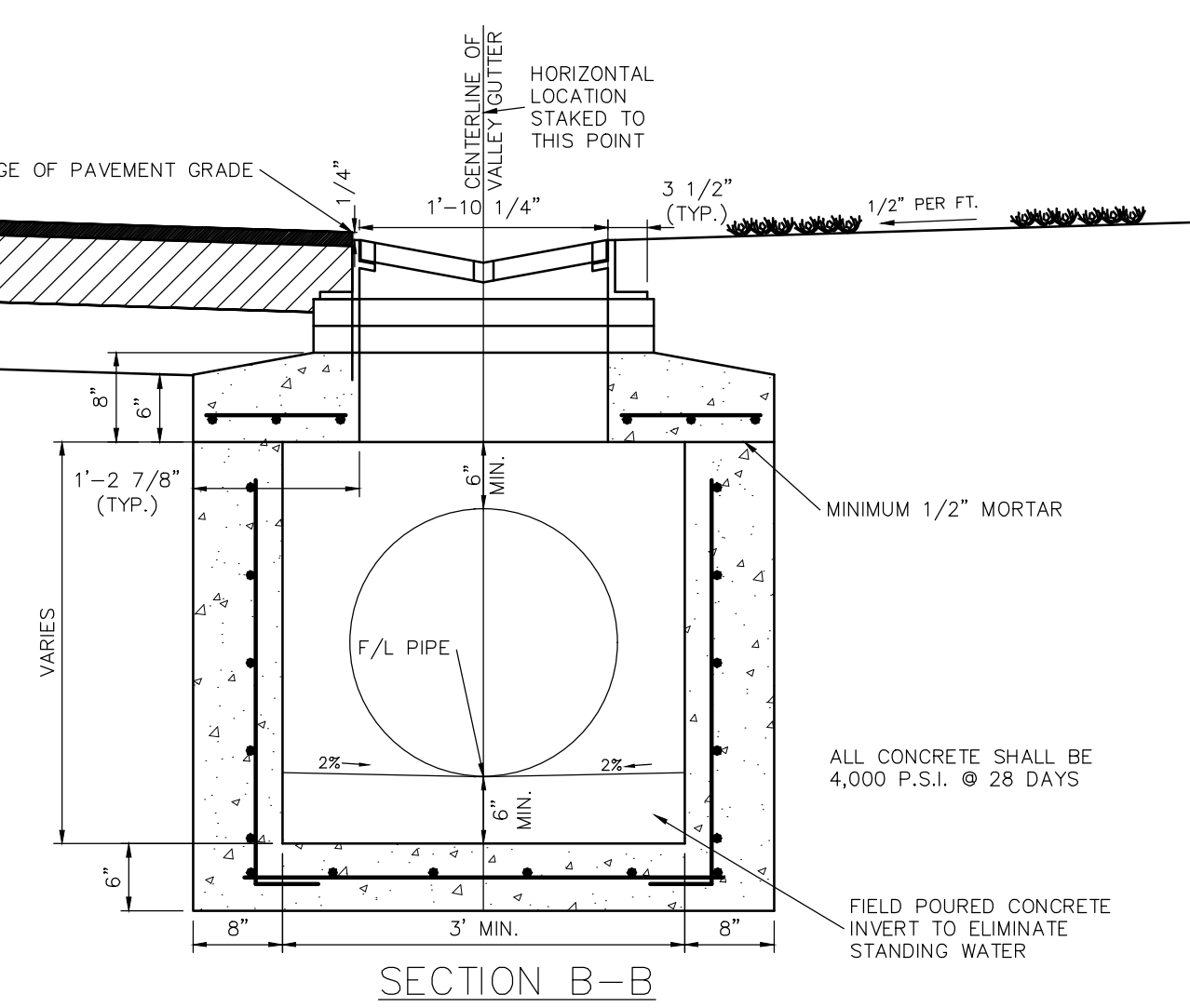
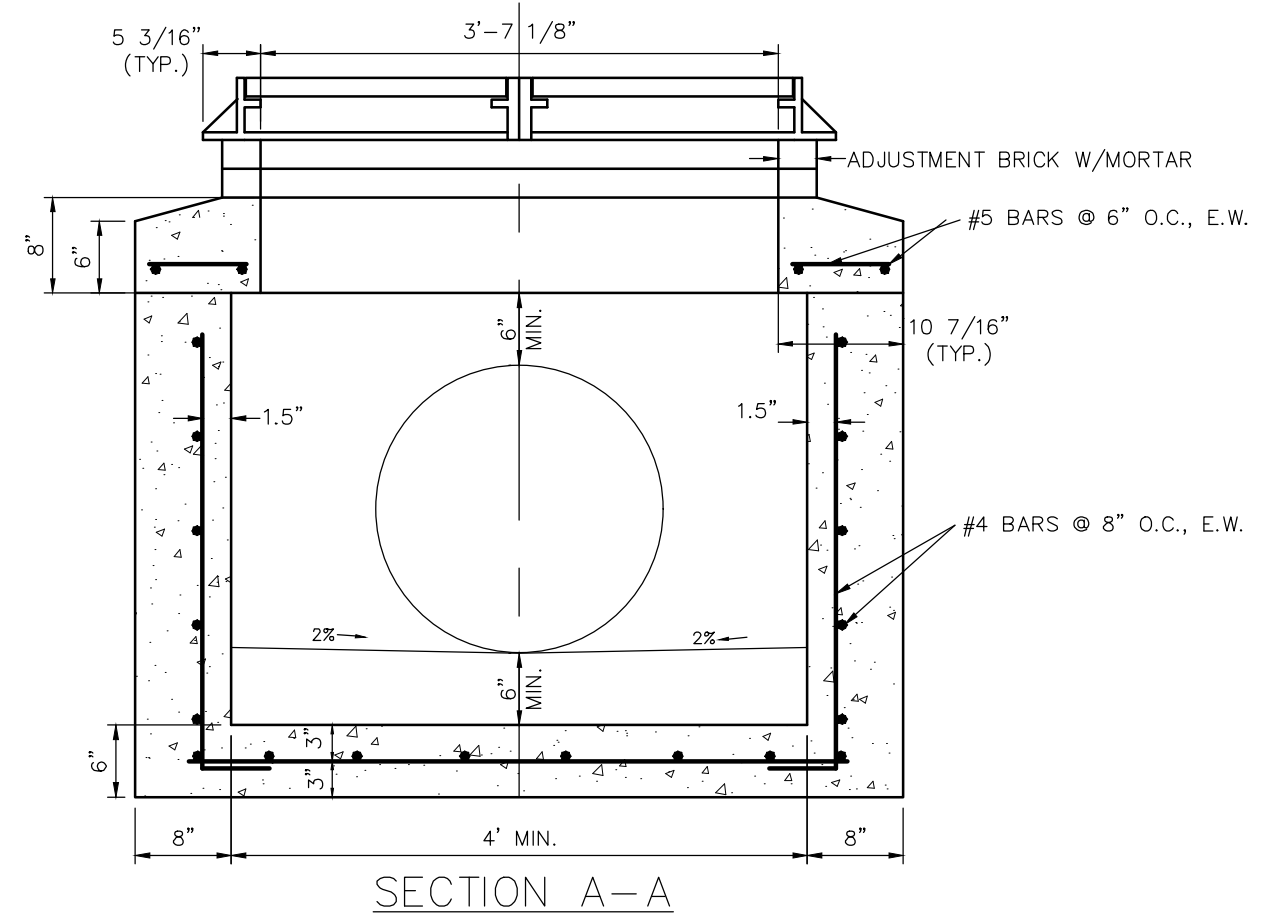
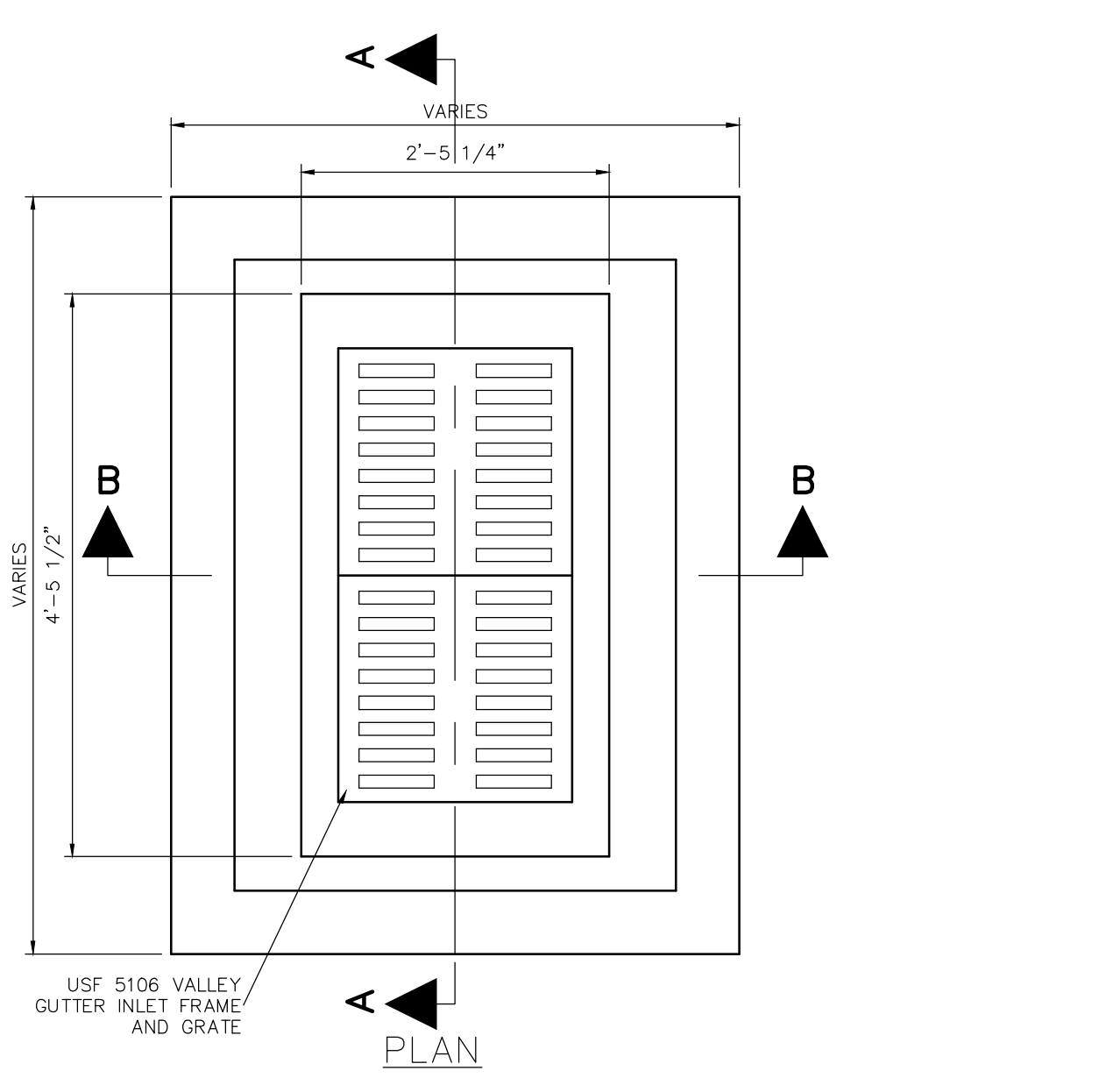
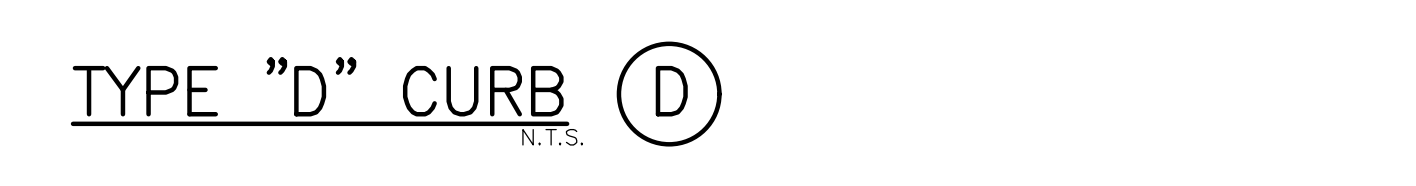
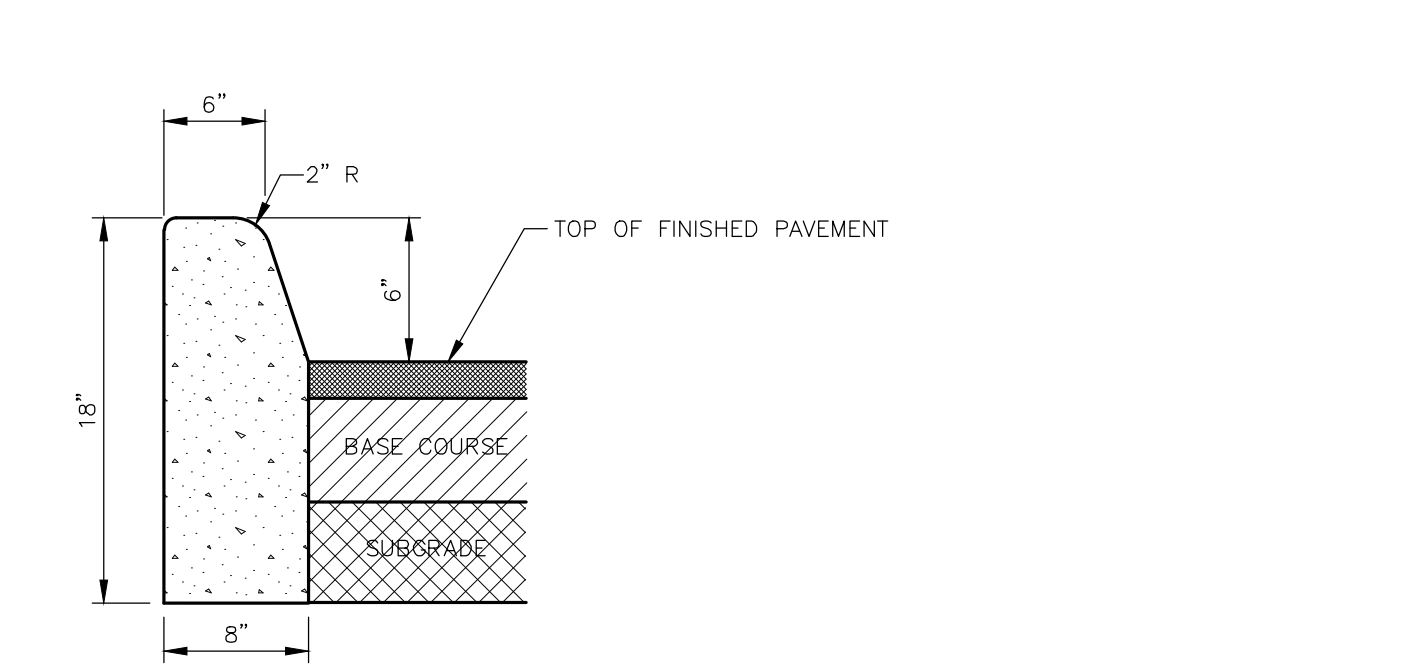
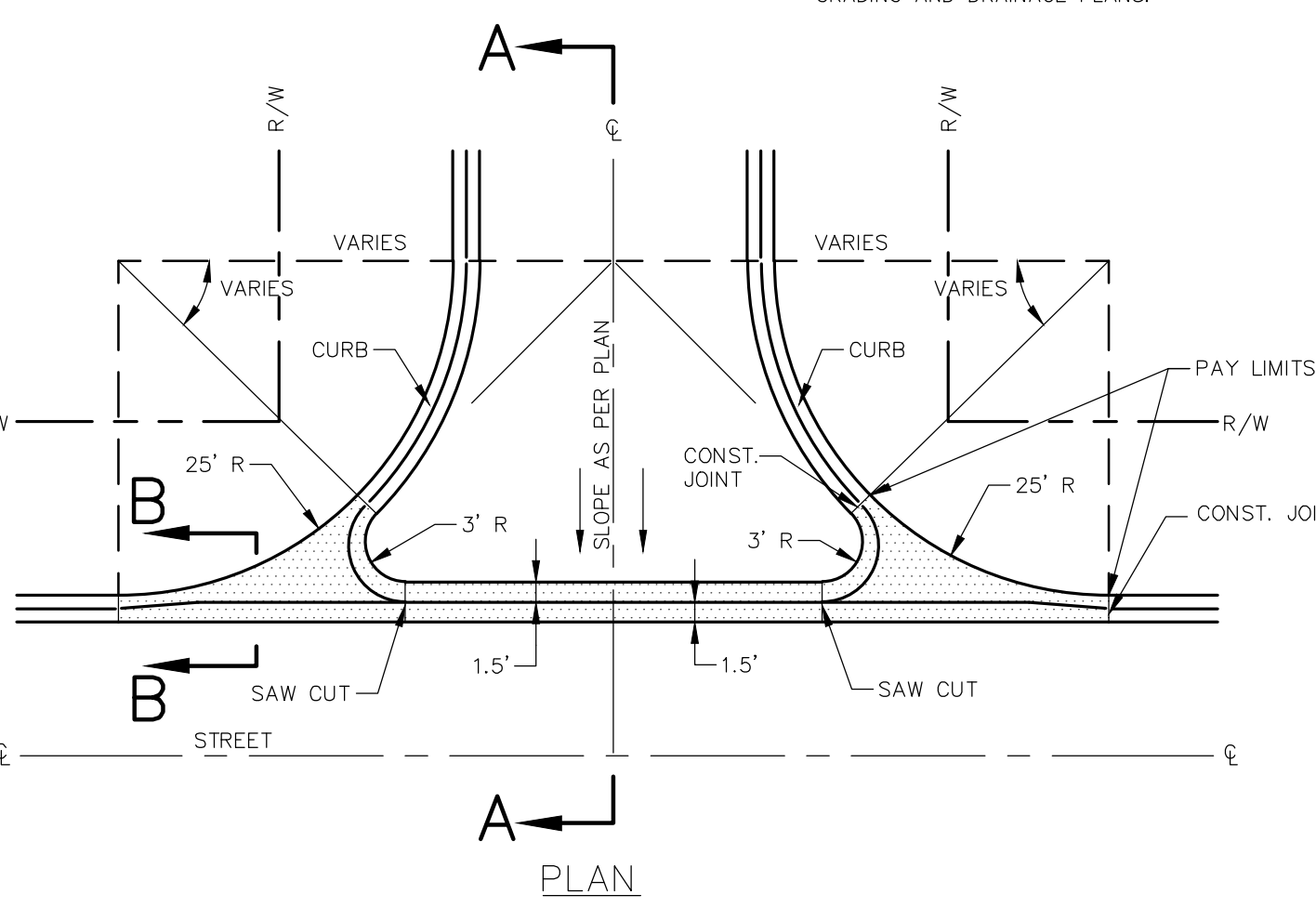
RANCH ROAD MULTI-FAMILY
 PREPARED FOR
 SCP ACQUISITIONS, LLC
 CITY OF VENICE, FLORIDA

SHEET NUMBER
C2.8

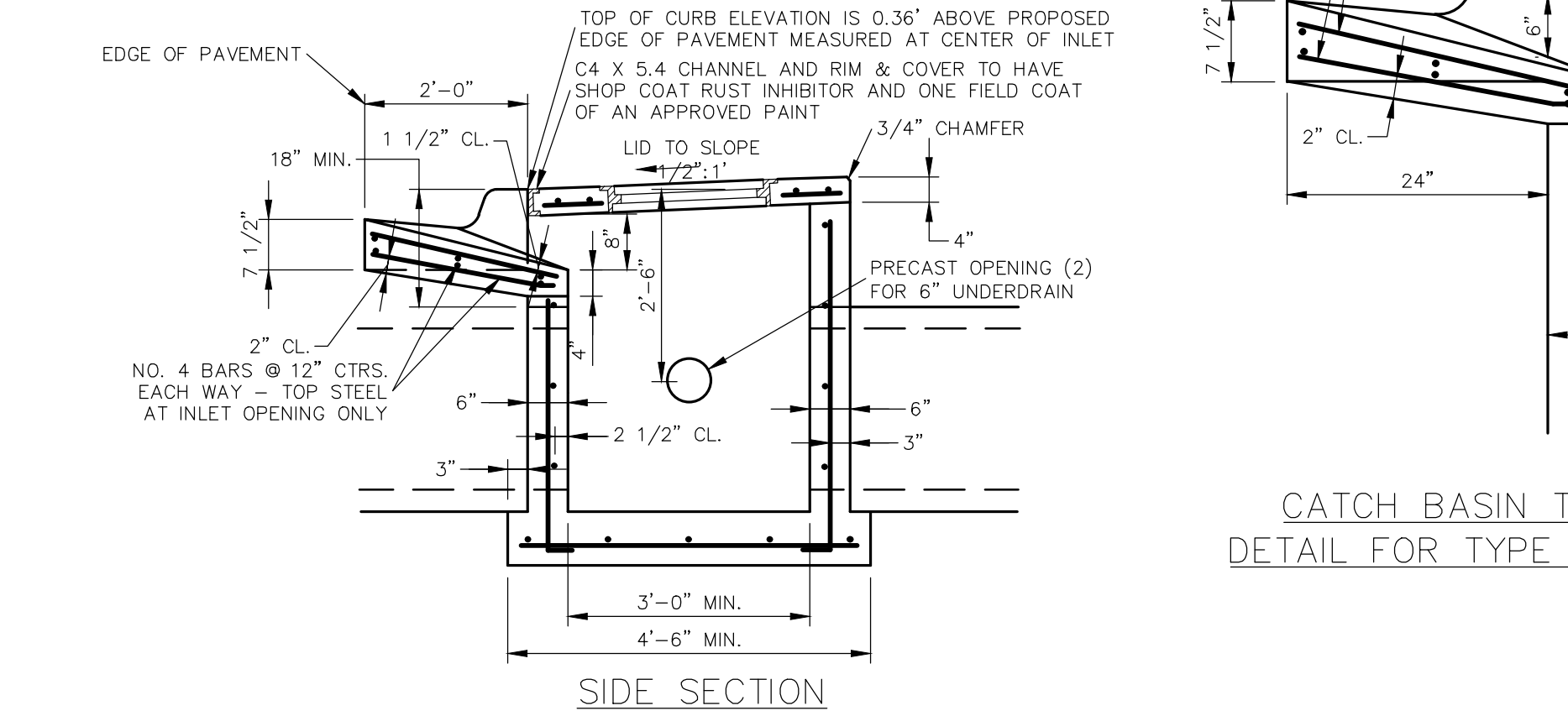
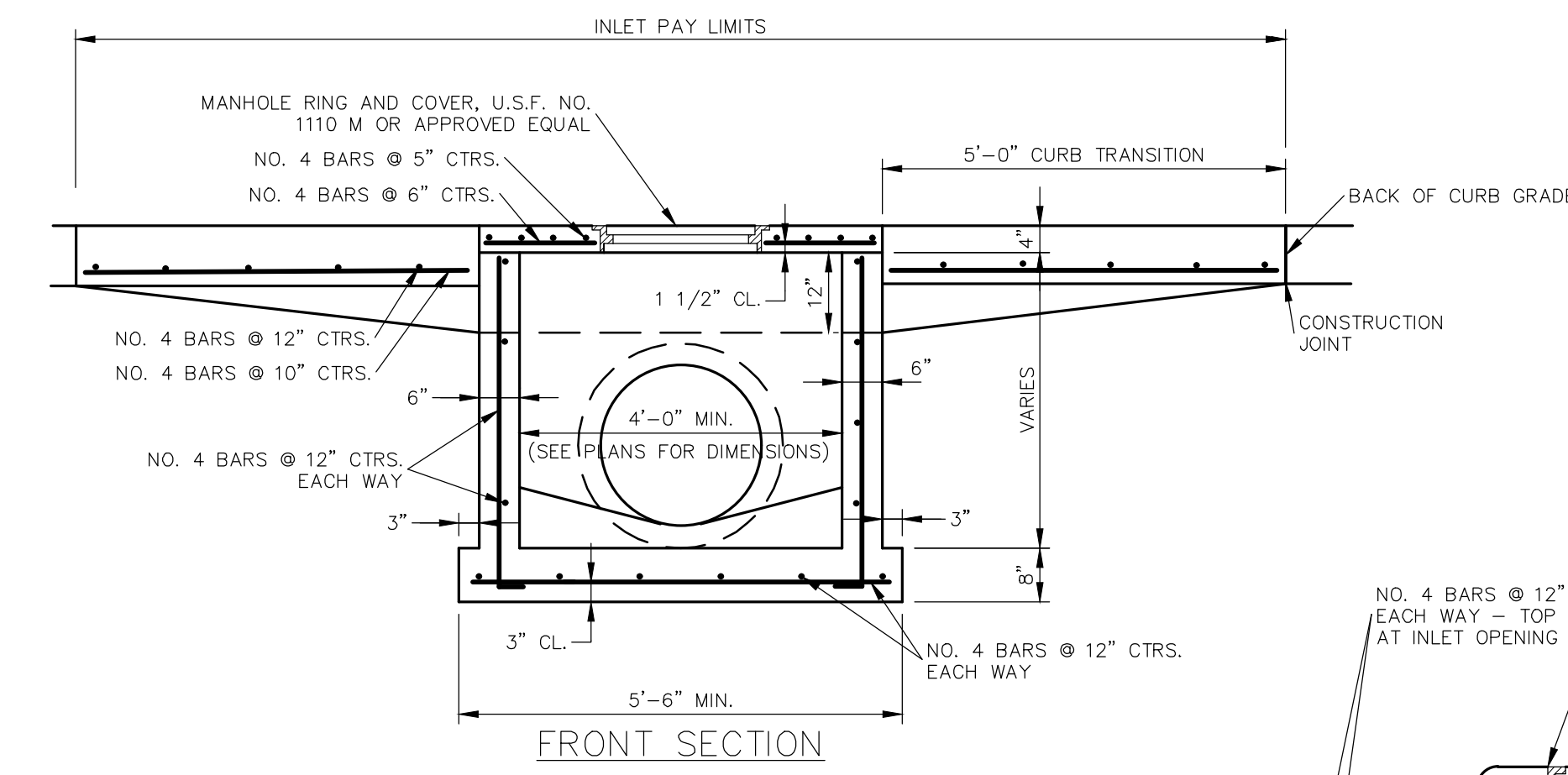
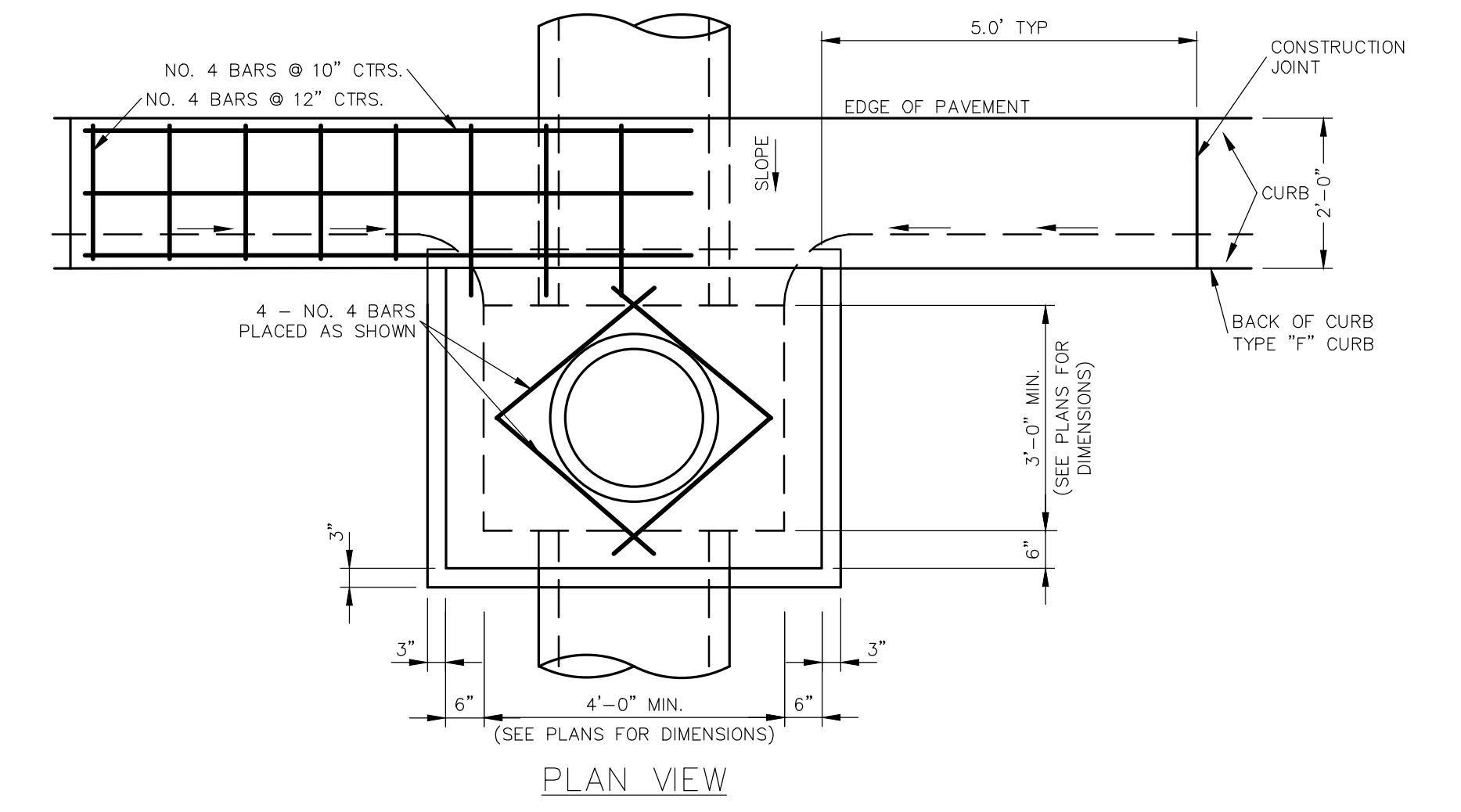
Plotted By: Fluid, Andrew Sheet Set: RANCH ROAD MULTI-FAMILY LAYOUT: B-9 MISCELLANEOUS DETAILS July 15, 2022 11:03:20am
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NOTE:
 REINFORCING BARS TO BE PLACED A MINIMUM OF 2" FROM BOTTOM AND 3" FROM SIDES OF CURB & GUTTER. CONCRETE 3000 P.S.I., "A" GRADE.



VALLEY GUTTER INLET DETAIL
N.T.S.



NOTES:
 1. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4000 P.S.I. @ 28 DAYS.
 2. ALL STEEL TO HAVE A MINIMUM 2 1/2" CLEARANCE UNLESS OTHERWISE NOTED.
 3. STEEL REINFORCEMENT SHALL MEET ASTM SPECIFICATIONS (A-615), DEFORMED BARS.
 4. ALL INLETS TO HAVE FIELD POURED INVERTS TO ELIMINATE STANDING WATER.

STANDARD OPEN THROAT DROP INLET
 (TYPE "F" INLET)
 N.T.S.

NO.	REVISIONS	DATE	BY

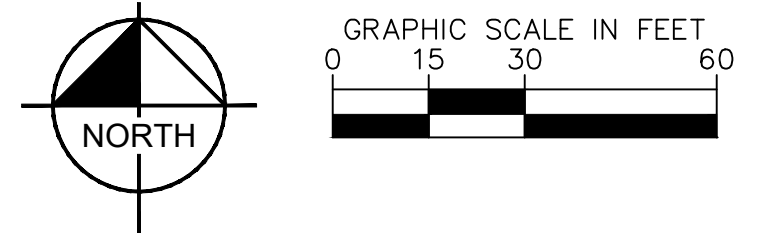
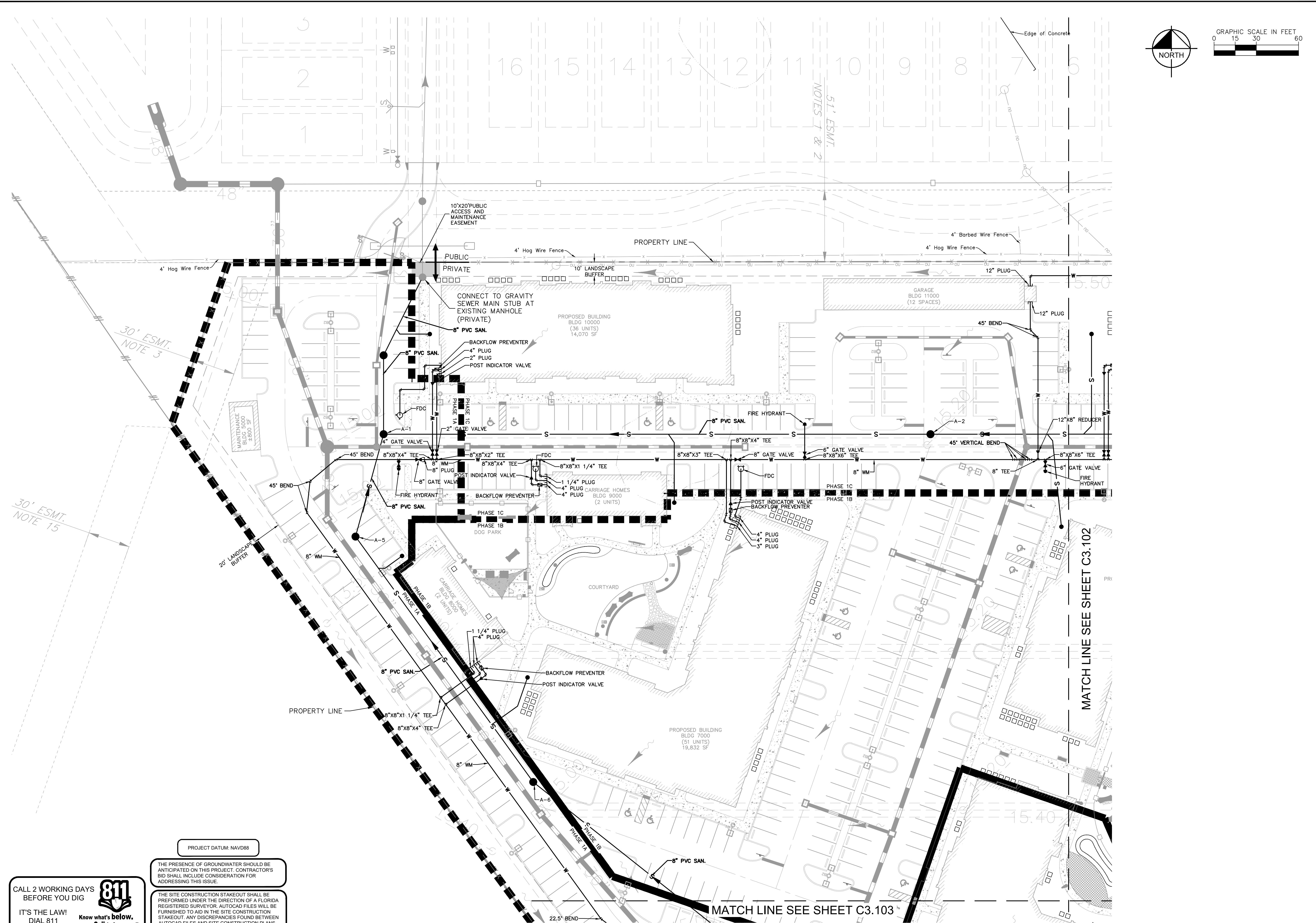
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LICENSED PROFESSIONAL
 ANDREW J. PLUTA, P.E.
 FLORIDA LICENSE NUMBER
 92225

KHA PROJECT
 248016000
 DATE
 JUNE 2022
 SCALE
 AS SHOWN
 DESIGNED BY
 DRAWN BY
 CHECKED BY

RANCH ROAD
 MULTI-FAMILY
 PREPARED FOR
 SCP ACQUISITIONS, LLC
 CITY OF VENICE
 FLORIDA

PLOTTED BY: PLD, ANDREW, SHEET: RANCH ROAD MULTI-FAMILY - LAYOUT C-1 UTILITY PLAN - JULY 15, 2022 11:07:13am. \\kimley-horn.com\FLSAR\SAR_C\248016000-RANCH ROAD MULTI-FAMILY\CAD\PlanSheet\C-1 UTILITY PLAN.dwg
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KHA PROJECT
 248016000
 DATE
 JUNE 2022
 SCALE AS SHOWN
 DESIGNED BY
 DRAWN BY
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RANCH ROAD MULTI-FAMILY
 PREPARED FOR
SCP ACQUISITIONS, LLC
 CITY OF VENICE, FLORIDA

SHEET NUMBER
C3.101

CALL 2 WORKING DAYS BEFORE YOU DIG
 IT'S THE LAW!
 DIAL 811

 Know what's below.
 Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

PROJECT DATUM: NAVD88
 THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
 THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

MATCH LINE SEE SHEET C3.103

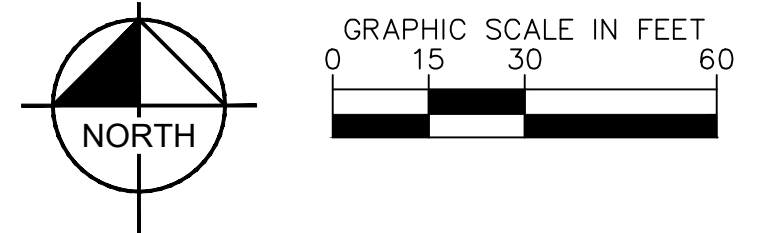
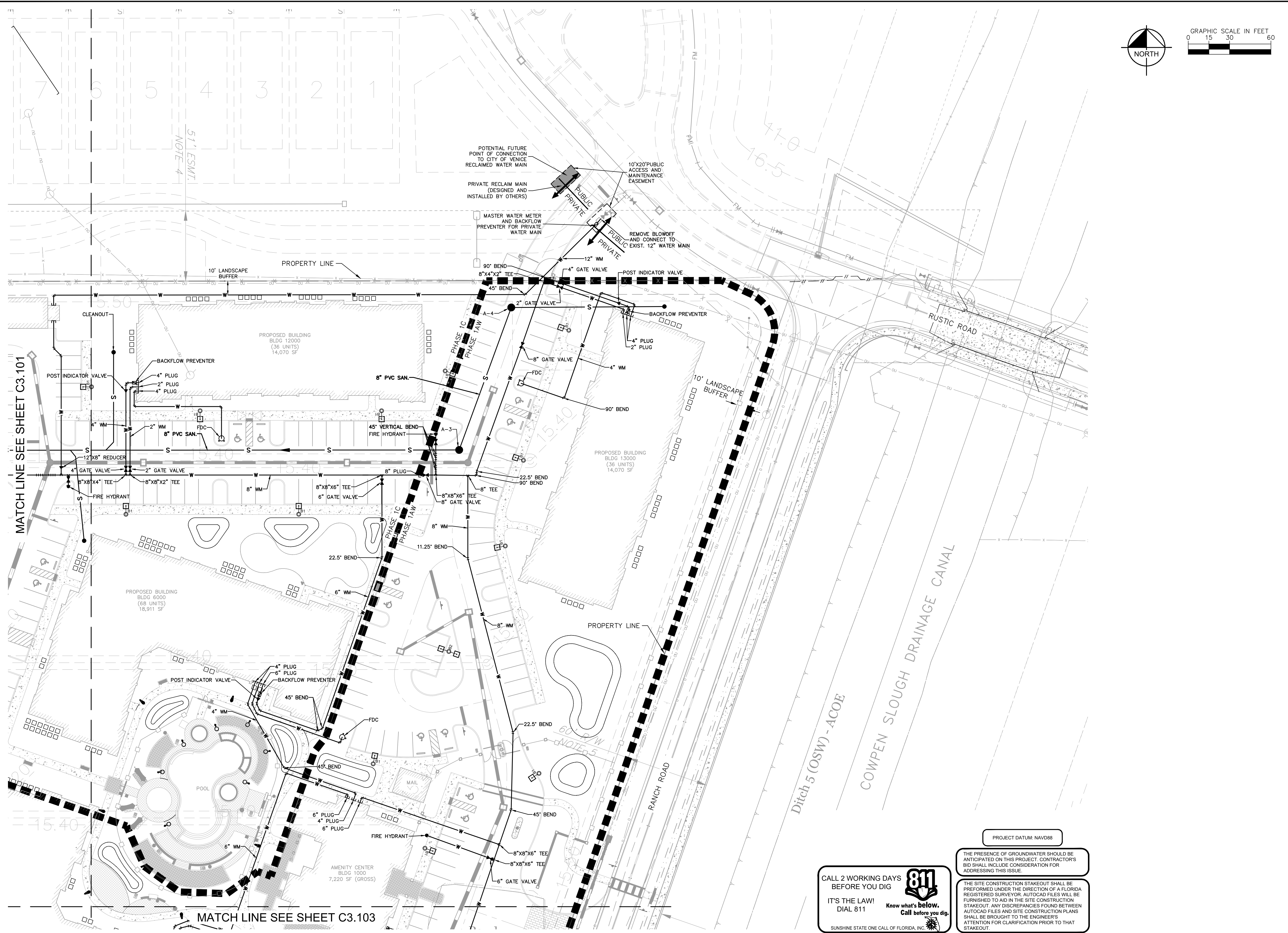
MATCH LINE SEE SHEET C3.102

30' ESMT. NOTE 3

30' ESMT. NOTE 15

PROJECT DATUM: NAVD88

Plotted By: P. Andrus, Andrew, Sheet: RANCH ROAD MULTI-FAMILY - LAYOUT C-1B MASTER UTILITY PLAN - July 15, 2022 11:06:31am \\kimley-horn.com\F\PROJECTS\248016000-RANCH ROAD MULTI-FAMILY\CAD\PlanSheets\C-2 UTILITY PLAN.dwg
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MATCH LINE SEE SHEET C3.101

51' ESMT.
NOTE 4

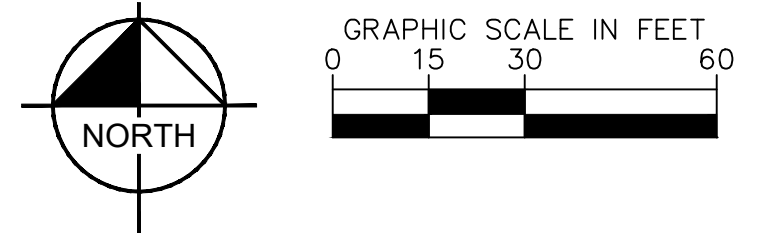
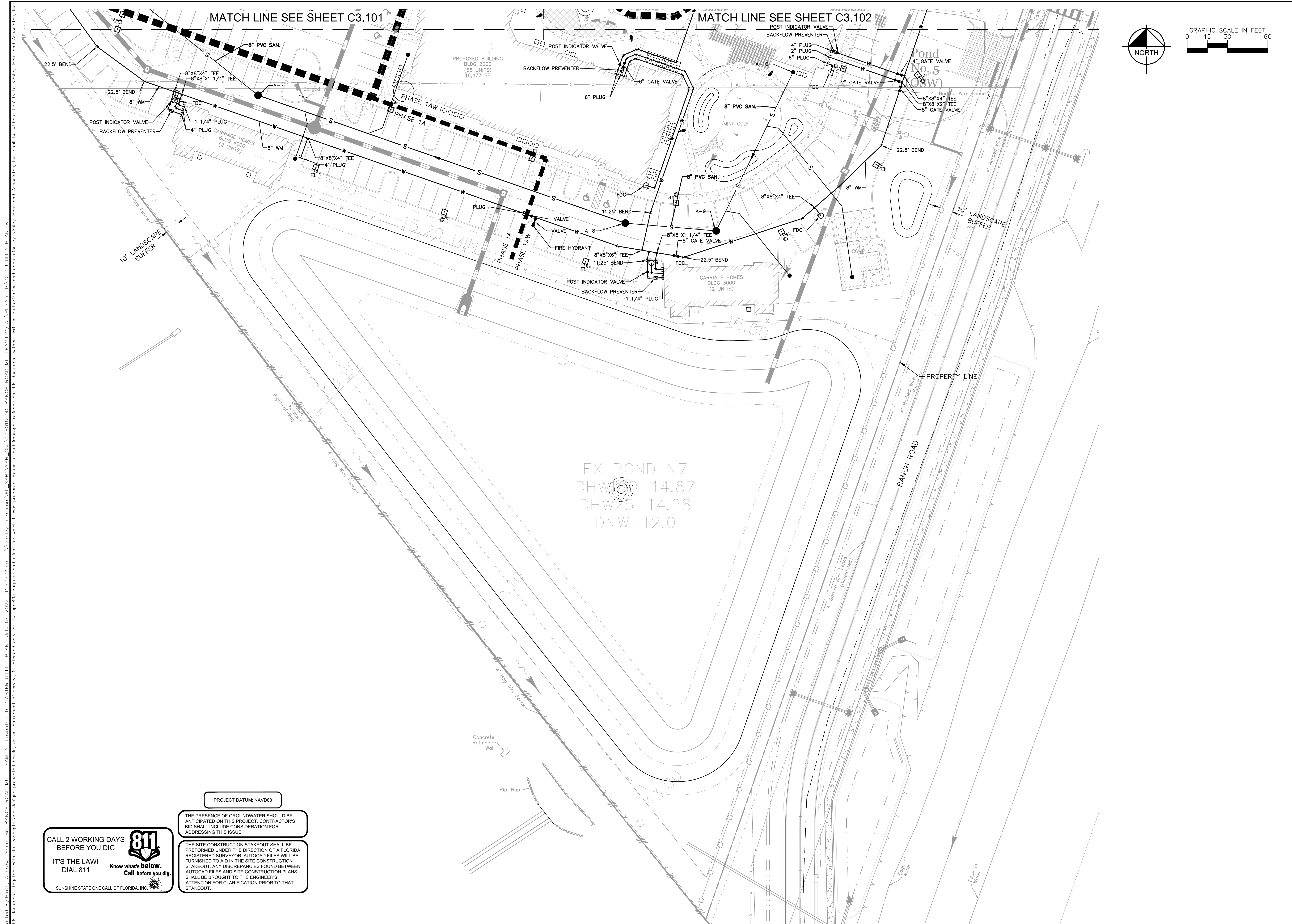
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RANCH ROAD MULTI-FAMILY PREPARED FOR SCP ACQUISITIONS, LLC FLORIDA	MASTER UTILITY PLAN	LICENSED PROFESSIONAL ANDREW J. PLUTA, P.E. FLORIDA LICENSE NUMBER 92225	KHA PROJECT 248016000 DATE JUNE 2022 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	REVISIONS No. DATE BY
		Kimley-Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106	SHEET NUMBER C3.102	



MATCH LINE SEE SHEET C3.101

MATCH LINE SEE SHEET C3.102

EX POND N7
 DHW@0=14.87
 DHW25=14.28
 DNW=12.0

CALL 2 WORKING DAYS
 BEFORE YOU DIG
811
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<h2 style="margin: 0;">MASTER UTILITY PLAN</h2>	<h3 style="margin: 0;">RANCH ROAD MULTI-FAMILY</h3> <p style="margin: 0;">PREPARED FOR SCP ACQUISITIONS, LLC <small>CITY OF VENICE, FLORIDA</small></p>	<p style="font-size: 8px; margin: 5px 0;">© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106</p>
KHA PROJECT 248016000 DATE JUNE 2022 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	LICENSED PROFESSIONAL ANDREW J. PLUTA, P.E. FLORIDA LICENSE NUMBER 92225 DATE:	REVISIONS No. DATE BY
SHEET NUMBER C3.103		