

GENERAL NOTES:

- OWNERSHIP AND UNIFIED CONTROL STATEMENT:
THE PROPOSED PROJECT IS OWNED BY BORDER & JACARANDA HOLDINGS, LLC.
- CHARACTER AND INTENDED USE STATEMENT:
ATTACHED TOWNHOME DEVELOPMENT.
- MAINTENANCE OF COMMON FACILITIES STATEMENT:
BORDER & JACARANDA HOLDINGS, LLC. OR THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF THE SITE IMPROVEMENTS.
THE ON-SITE IMPROVEMENTS WILL NOT BE DEDICATED TO THE PUBLIC OR MAINTAINED BY THE PUBLIC.
- EXISTING LAND USE:
VACANT LAND / 0389001000
VACANT LAND / 0389001001
- ZONING/PROPERTY ID:
PUD/0389001000
PUD/0389001001
- FLOOD ZONE:
THE SITE APPEARS TO LIE WITHIN FLOOD ZONE "X" ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NO. 125144 0244 F (MAP NUMBER 1215SC0244F) REVISED NOVEMBER 4, 2016.
- SITE COVERAGES: PID: 0389-00-1000, 0389001001

IMPERVIOUS: 10.77 AC.
PERVIOUS: 16.19 AC.
WETLANDS: 8.56 AC.
TOTAL: 35.52 AC.

8. SETBACKS:
- | SETBACKS: | REQUIRED | PROVIDED |
|--------------|----------|-----------------------------------|
| STREET YARD: | 30'-0" | 20'-0" |
| SIDE YARD: | 5'-0" | 10'-0" (20'-0" BETWEEN BUILDINGS) |
| REAR YARD: | 10'-0" | 10'-0" |

9. BUILDING DATA:
MAXIMUM RESIDENTIAL BUILDING HEIGHT SHALL BE THREE (3) STORIES, UP TO 42 FT (RMF-3 DESIGN STANDARDS).
CLUBHOUSE UP TO 20,000 SQ FT

BUILDING HEIGHT REFERS TO THE MAXIMUM VERTICAL DISTANCE MEASURED FROM THE FOLLOWING BENCHMARKS:

- FEMA FIRST HABITABLE FLOOR REQUIREMENT: THIS PROPERTY IS NOT IN A DESIGNATED FEMA FLOOD ZONE. THIS SITE IS WITHIN THE LIMITS OF FLOOD ZONE "X" AND NO BASE FLOOD ELEVATION HAS BEEN ESTABLISHED FOR THIS AREA.
- 18 INCHES ABOVE THE FDEP REQUIREMENT FOR THE FIRST HABITABLE FLOOR STRUCTURAL SUPPORT, TO OUR KNOWLEDGE, THERE IS NO FDEP REQUIREMENT IN THIS AREA.
- 18 INCHES ABOVE THE AVERAGE CROWN ELEVATION OF THE ADJACENT ROADWAY. THE ADJACENT ROADWAY FOR THIS SITE IS LAUREL ROAD WITH AN AVERAGE CROWN ELEVATION OF 13.4 FT (NAVD 1988), RESULTING IN A BUILDING HEIGHT BENCHMARK OF 14.9 FT (NAVD 1988). THIS BENCHMARK IS THE MOST APPROPRIATE FOR THIS PROJECT.
- THE AVERAGE NATURAL GRADE UNALTERED BY HUMAN INTERVENTION. THE EXISTING ON-SITE GRADE AVERAGES IN THE ELEVATION 10 FT - 12 FT RANGE.

10. PARKING CALCULATIONS:
- | | |
|---------------------------|---|
| REQUIRED PARKING RATIO: | 2 SPACES FOR EVERY RESIDENTIAL UNIT |
| REQUIRED PARKING SPACES: | 252 RESIDENT PARKING (1 DRIVEWAY, 1 GARAGE) |
| REQUIRED HANDICAP SPACES: | 4 |
| LOADING ZONES: | X |
| VISITOR SPACES: | 33 |
| PROVIDED PARKING SPACES: | 288 |

11. STORMWATER MANAGEMENT:
THIS DEVELOPMENT PROVIDES A MASTER STORMWATER MANAGEMENT SYSTEM THAT IS CONSISTENT WITH CITY OF VENICE AND SWFWMD REQUIREMENTS.

12. REFUSE AND RECYCLABLE NOTE:
REFUSE AND RECYCLABLES TO BE PICKED UP BY AN AUTHORIZED TRASH HAULER OR TAKEN TO A PRIVATE RECYCLING FACILITY. ALL REFUSE AND RECYCLING TO BE IN ACCORDANCE W/ CITY OF VENICE VENICE CODES. REFUSE COLLECTION SHALL BE PROVIDED BY WASTE MANAGEMENT.

13. UTILITY NOTES:
- FDEP WASTEWATER, FDEP WATER, SARASOTA R/W USE AND SARASOTA UTILITY PERMITS ARE REQUIRED.
 - WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE SPECIFICATIONS.
 - SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SARASOTA COUNTY SPECIFICATIONS
 - THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE" ONE CALL, FPL, AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ON-SITE OR OFF-SITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
 - UTILITIES AS FOLLOWS:
 - PHONE SERVICE TO BE PROVIDED BY VERIZON.
 - POWER TO BE PROVIDED BY FPL.
 - TV SERVICE TO BE PROVIDED BY COMCAST.
 - GAS, IF REQUESTED, TO BE PROVIDED BY TECO/PEOPLES GAS.
 - ANY WELLS DISCOVERED DURING EARTH MOVING, EXCAVATION OR CONSTRUCTION MUST BE REPORTED TO THE ENVIRONMENTAL ENGINEERING WITHIN 24 HOURS OF DISCOVERY. IF SAID WELL HAS NO USE IT SHALL BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
 - TO THE BEST OF OUR KNOWLEDGE THERE ARE NO SEPTIC TANKS LOCATED ON THIS SITE.
 - ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.

14. UTILITY PROVIDERS:
- | | |
|--|--|
| CITY OF VENICE UTILITIES DEPT. DANIEL STILLINGS 200 N WARFIELD AVE VENICE, FL 34285 941-660-3333 EXT: 7316 | COMCAST LEONARD MAXWELL-NEUBOLD 2601 SW 145TH AVE MIRAMAR, FL 33027 754-221-1234 |
| FRONTIER COMMUNICATIONS TONI CANNON 3712 W WALNUT ST TAMPA, FL 33607 813-875-1014 | TECO-PEOPLES GAS-SARASOTA JOAN DOMING 8416 PALM RIVER RD TAMPA, FL 33618 813-275-3783 |
| SARASOTA COUNTY TRAFFIC MARK RICHMOND PO BOX 8 SARASOTA, FL 34230-0008 941-861-0942 | SARASOTA COUNTY UTILITIES MICHAEL MEHAN 1001 SARASOTA CENTER BLVD SARASOTA, FL 34240 941-861-0525 |
| FLORIDA POWER & LIGHT JOEL BRAY CONTACT BY PHONE 386-586-6403 | PEACE RIVER / MANASOTA REGIONAL WATER SCOTT CUNNINGHAM 8988 S. W. COUNTY ROAD 769 ARCADIA, FL 34269 863-993-4365 |

15. SITE CLEARING NOTES
- NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED. THE PROTECTED ROOT ZONE IS DEFINED AS THE DRIPLINE OF THE TREE. ONLY HAND CLEARING OR MOWING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF CANOPY TREES TO BE SAVED IF AUTHORIZED BY THE ADMINISTRATOR. WHERE UNAUTHORIZED REMOVAL OF NATIVE VEGETATION WITHIN THE PROTECTED ROOT ZONE OCCURS, THE ADMINISTRATOR MAY REQUIRE THE PLANTING OF UNDERSTORY VEGETATION.
 - A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION. NATIVE VEGETATION REMOVAL WITHIN THE DRIPLINE OF A TREE, AND/OR TREE REMOVAL.

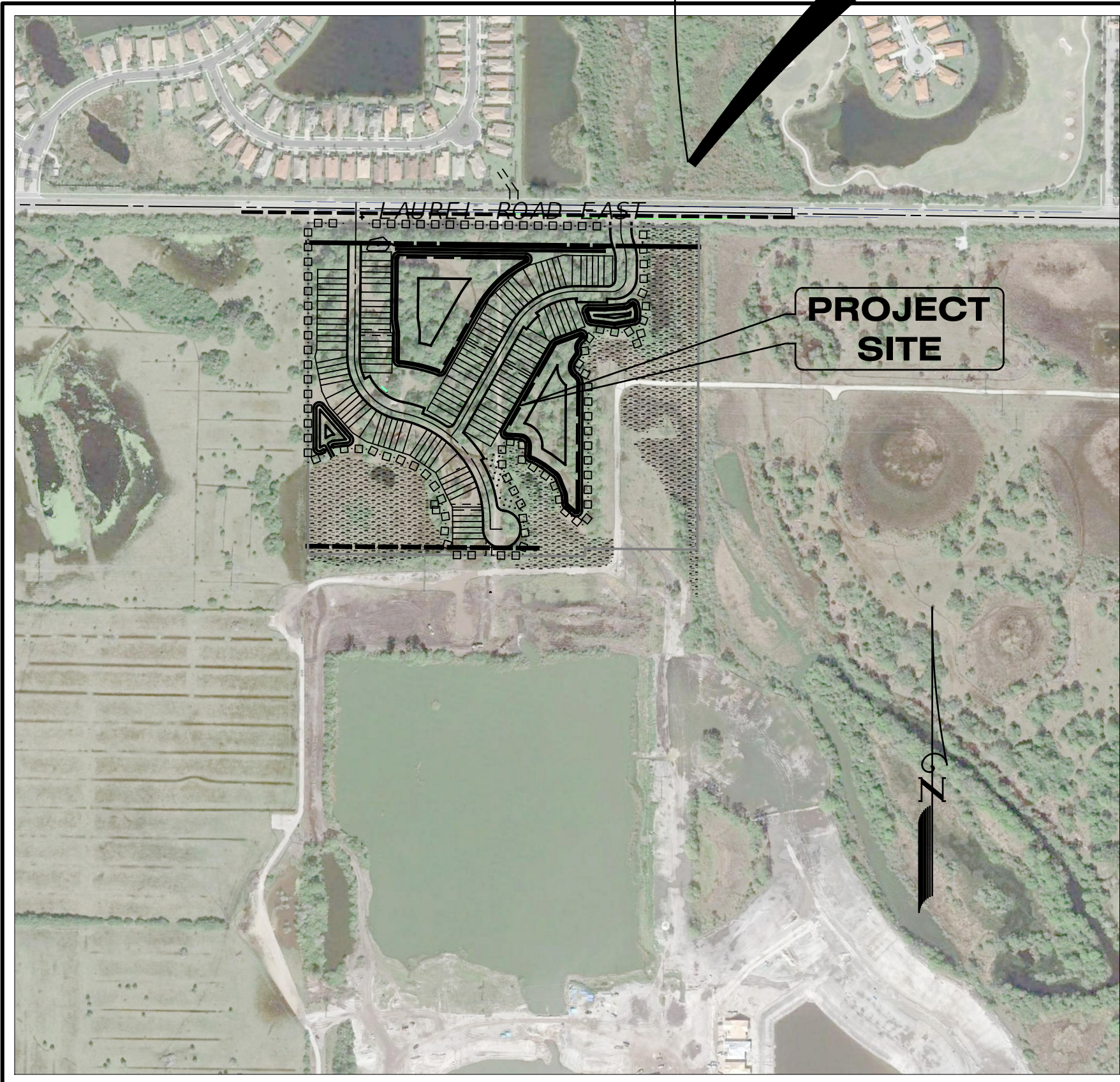
16. CITY OF VENICE REQUIRED NOTES:
- ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE ISSUANCE OF A RIGHT-OF-WAY USE PERMIT.
 - ALL WORK CONDUCTED IN CITY OF VENICE, SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
 - TREE REMOVAL PERMIT MUST BE OBTAINED FROM CITY OF VENICE NATURAL RESOURCES DEPARTMENT.
 - POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
 - ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS 1, 11 OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHAL AS PER F.S. 633.521.
 - CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACTS INFORMATION.
 - ALL UTILITIES WHETHER PUBLIC OR PRIVATE SHALL MEET CITY OF VENICE AND/OR SARASOTA COUNTY STANDARDS.
 - CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

INFRASTRUCTURE IMPROVEMENTS

| | | | |
|------------------------------------|---|-------|-------|
| LINEAR FEET OF POTABLE WATER (8") | = | 2,376 | LF |
| LINEAR FEET OF POTABLE WATER (4") | = | 404 | LF |
| LINEAR FEET OF RECLAIM MAIN (6") | = | 2,272 | LF |
| LINEAR FEET OF RECLAIM MAIN (4") | = | 369 | LF |
| LINEAR FEET OF SANITARY SEWER MAIN | = | 2,081 | LF |
| LINEAR FEET OF FORCE MAIN | = | 974 | LF |
| NUMBER OF MANHOLES | = | 15 | UNITS |

CITY OF VENICE TO PROVIDE WATER
AND SOLID WASTE SERVICES TO THE PROJECT

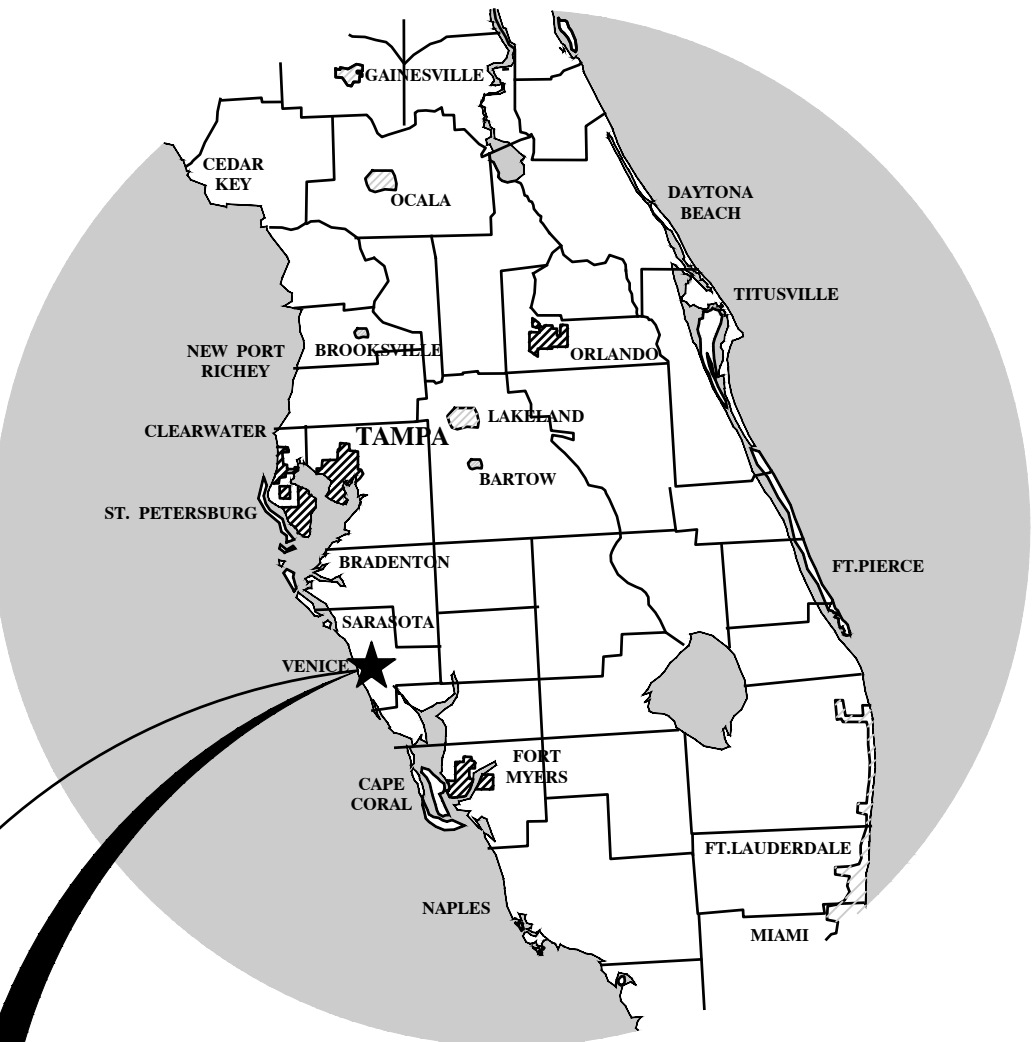
SARASOTA COUNTY TO PROVIDE SANITARY
SEWER TO THE PROJECT



VICINITY MAP
SARASOTA COUNTY, FLORIDA
SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST

| LAND USE | PUD REZONE | | SUM OF PLATTED UNITS WITHIN MILANO PUD | | PRELIMINARY PLAT CIELO PHASE 1 | | PRELIMINARY PLAT FIORE (AKA CIELO) PHASE 2 | |
|------------------|------------|-------|--|-------|--------------------------------|-------|--|-------|
| | AREA (AC.) | % | AREA (AC.) | % | AREA (AC.) | % | AREA (AC.) | % |
| RESIDENTIAL | 182 | 34.5% | 108.51 | 27.0% | 15.63 | 17.4% | 6.65 | 18.7% |
| AMENITY AREA | 4 | 0.8% | 4.87 | 1.2% | 1.05 | 1.2% | 0.52 | 1.5% |
| ROAD ROW | 50 | 9.5% | 32.41 | 8.1% | 4.56 | 5.1% | 2.35 | 6.6% |
| WETLANDS | 131 | | 74.33 | | 39.58 | | 8.56 | |
| CONSERVATION | 9 | | 18.48 | | 6.06 | | 3.25 | |
| LAKES | 94 | | 95.55 | | 10.213 | | 4.347 | |
| OTHER OPEN SPACE | 57 | | 78.85 | | 13.077 | | 9.84 | |
| TOTAL OPEN SPACE | 291 | 55.2% | 267.71 | 66.6% | 68.93 | 76.6% | 26.00 | 73.2% |
| IMPERVIOUS | N/A | | 103.16 | 25.7% | 8.623 | 9.6% | 10.597 | 29.8% |
| TOTAL AREA | 527.32 | 100% | 401.82 | 100% | 89.98 | 100% | 35.52 | 100% |

| LOT TYPE | # | # | # | # |
|--|------|------|------|------|
| SINGLE FAMILY DETACHED A LOTS | N/A | 239 | 0 | 0 |
| SINGLE FAMILY DETACHED B LOTS | N/A | 99 | 71 | 0 |
| SINGLE FAMILY ATTACHED (PAIRED VILLAS) | N/A | 126 | 0 | 0 |
| MULTI FAMILY | N/A | 0 | 0 | 0 |
| SINGLE FAMILY DETACHED D LOTS | N/A | 107 | 0 | 0 |
| SINGLE FAMILY DETACHED E LOTS | N/A | 73 | 0 | 0 |
| SINGLE FAMILY ATTACHED (TOWNHOME) | N/A | 0 | 0 | 126 |
| LOT TOTAL | 1350 | 644 | 71 | 126 |
| DU/AC | 2.56 | 1.63 | 0.79 | 3.55 |



PRELIMINARY PLAT AMENDMENT FOR FIORE (F.K.A. CIELO PH. 2)

INDEX OF CONSTRUCTION PLANS

| SHEET NO. | DESCRIPTION |
|-----------|--|
| 1 | COVER SHEET |
| 2 | EXISTING SITE CONDITIONS & DEMOLITION PLAN |
| 3 | MASTER SITE PLAN |
| 4 | AERIAL SITE PLAN |
| 5-7 | SITE PLAN |
| 8 | TYPICAL ROADWAY SECTIONS |
| 9 | MASTER DRAINAGE PLAN |
| 10-12 | NEIGHBORHOOD GRADING PLAN |
| 13-14 | CROSS SECTIONS |
| 15 | DRAINAGE STRUCTURE DATA |
| 16 | MASTER UTILITY PLAN |
| 17 | WATER & SEWER PLAN |
| 18-19A | ROADWAY PLAN & PROFILE |
| 20 | SIDEWALK, SIGNING & PAVEMENT MARKING PLAN |
| 21 | PUMP STATION DESIGN |
| 22-23 | PUMP STATION DETAILS |
| 24-25 | DRAINAGE DETAILS |
| 26 | GENERAL ENGINEERING |
| 27-28 | SIDEWALK DETAILS |
| 29 | GENERAL UTILITIES |
| 30-31 | POTABLE WATER SYSTEM DETAILS |
| 32-33 | SANITARY SEWER SYSTEM DETAILS |
| 34 | INTERSECTION IMPROVEMENTS |
| 35 | PRE DEVELOPMENT DRAINAGE AREA |
| 36 | POST DEVELOPMENT DRAINAGE AREA |
| 37 | SURFACE WATER MANAGEMENT PLAN |
| 38 | ADDRESS PLAN |
| 39 | AMENDMENT COMPARISON |

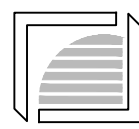
L1-L10 PERMIT LANDSCAPE PLANS

PREPARED FOR:

NEAL COMMUNITIES

5800 Lakewood Ranch Blvd. N.
Sarasota, Florida 34240
Phone: (941) 328-1111

PREPARED BY:



Clearview
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
3010 W Azelee St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

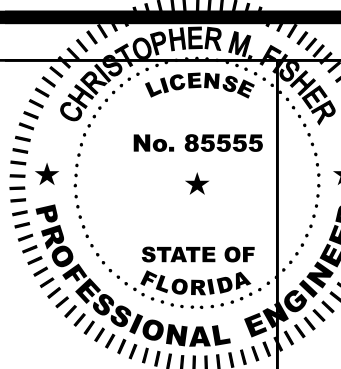
CALL 48 HOURS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811



SUNSHINE STATE ONE CALL OF FLORIDA, INC.

THE ENGINEER OR SURVEYOR, WITH INFORMATION PROVIDED BY THE CONTRACTOR, SHALL PROVIDE RECORD DRAWINGS THAT MEET THE REQUIREMENTS OF THE SARASOTA COUNTY UNIFORM WASTEWATER CODE, LATEST EDITION.



FIORE
(F.K.A. CIELO PH. 2)

This item has been digitally signed and sealed by CHRISTOPHER FISHER on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

DATE: 12-20-2019
JOB NO. NCI-CO-003

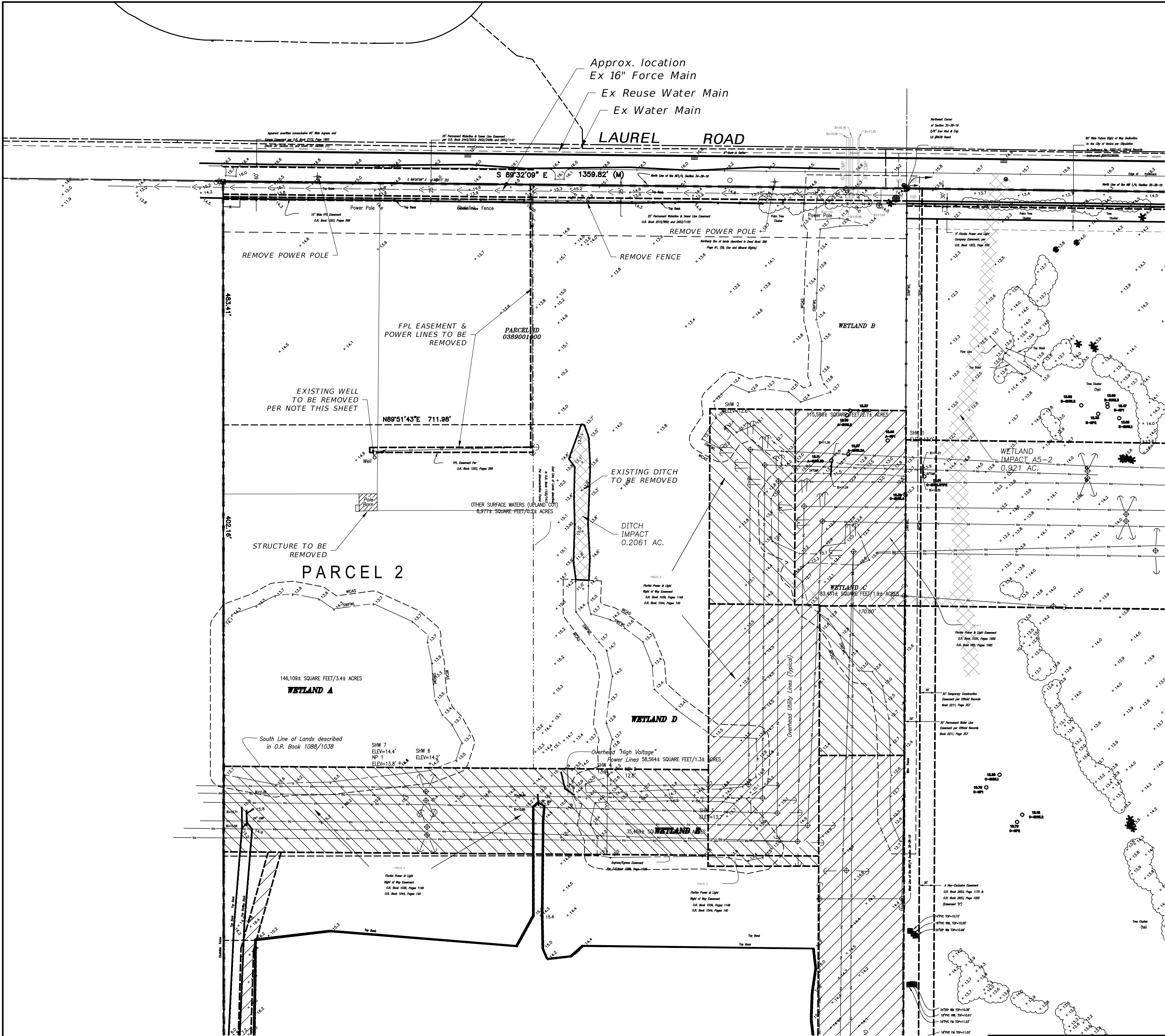
Elevations based on National Geodetic Vertical Datum (NGVD 29)
Conversion from NGVD 29 to NAVD 88 = -1.17 Feet

STREET & DRAINAGE
DESIGNED BY: CMF
DRAWN BY: DNS

WATER & SANITARY SEWER
DESIGNED BY: CMF
DRAWN BY: DNS

FILE: CV
SHEET 1 OF 39

REVISIONS



SURVEYOR'S NOTES:

1. THIS PLAT REPRESENTS A BOUNDARY SURVEY SHOWING VISIBLE IMPROVEMENTS OF THE DESCRIPTION INDICATED HEREON.
2. NO IMPROVEMENTS, OTHER THAN THOSE NOTED, ARE SHOWN ON THIS PLAT. IMPROVEMENTS SUCH AS, BUT NOT LIMITED TO, SUBSURFACE UTILITIES, FOUNDATIONS, TREES, SPRINKLER SYSTEMS, LANDSCAPE FEATURES, ETC., ARE NOT SHOWN UNLESS OTHERWISE NOTED.
3. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT FROM FIRST AMERICAN TITLE INSURANCE COMPANY, AGENT FILE NUMBER: CNLBank/VICA, FAST FILE NUMBER: 2037-3030901, DATE OF POLICY: DECEMBER 3, 2013 AT 10:49 a.m. NEITHER BRIGHAM/ALLEN LAND SURVEYING, NOR THIS SURVEYOR, HAS PERFORMED A TITLE SEARCH TO DETERMINE ANY OWNERSHIP OR EASEMENTS OF RECORD. THIS SURVEY IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY AND OTHER MATTERS OF RECORD, WHICH ARE NOT SHOWN.
4. GOVERNMENTAL LANDS, JURISDICTIONAL LANDS OR LANDS OF SPECIAL ENVIRONMENTAL CONCERNS (SUCH AS WETLANDS, SURFACE WATER PROTECTION AREA, LISTED SPECIES ETC.) ARE NOT SHOWN UNLESS OTHERWISE NOTED.
5. THIS SURVEY IS NOT INTENDED TO BE PROOF OF OWNERSHIP AND IS NOT A GUARANTEE OR WARRANTY OF OWNERSHIP OF ANY KIND, AND SURVEYOR ACCEPTS NO LIABILITY FOR ANY COSTS OR DAMAGES ARISING IN THE DEFENSE, PROOF OF, OR LOSS OF OWNERSHIP OF ANY OR ALL OF THE LANDS SHOWN AND DESCRIBED ON THIS SURVEY.
6. BEARINGS SHOWN HEREON ARE ASSUMED, AND REFER TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 35 AS BEING S89°20'49"E, BETWEEN THE TWO MONUMENTS DEFINING SAID LINE AS SHOWN HEREON.
7. THIS SURVEY REPRESENTS A FIELD SURVEY OF THE ENTIRE PERIMETER BOUNDARY. ALL BOUNDARY CORNERS SHOWN WERE CONFIRMED TO BE CORRECT AS WELL AS ALL FIELD MEASUREMENTS SHOWN ON THIS MAP. ALL EASEMENTS SHOWN WERE TAKEN FROM A BRITT SURVEY 13-12-01 DATED 12-17-2013 AND THE SUPPLIED TITLE COMMITMENT.
8. ALL SUE (SUBSURFACE UTILITY ENGINEERING) POINTS SHOWN HEREON WITH VVM (VERIFICATION OF VERTICAL AND HORIZONTAL) ARE FROM OTHERS.
9. ELEVATIONS SHOWN HEREON ARE BASED FROM A NATIONAL GEODETIC SURVEY (NGS) BENCHMARK, P 699 WITH A PUBLISHED ELEVATION OF 14.06 FEET NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) CONVERTED TO 15.17 FEET NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) USING VERTCON SOFTWARE FROM NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA).

LEGAL DESCRIPTION: (by ARDURRA)

A PARCEL OF LAND BEING A PORTION OF THAT CERTAIN PROPERTY DESCRIBED IN OFFICIAL RECORDS INSTRUMENT # 2014028405 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING IN SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

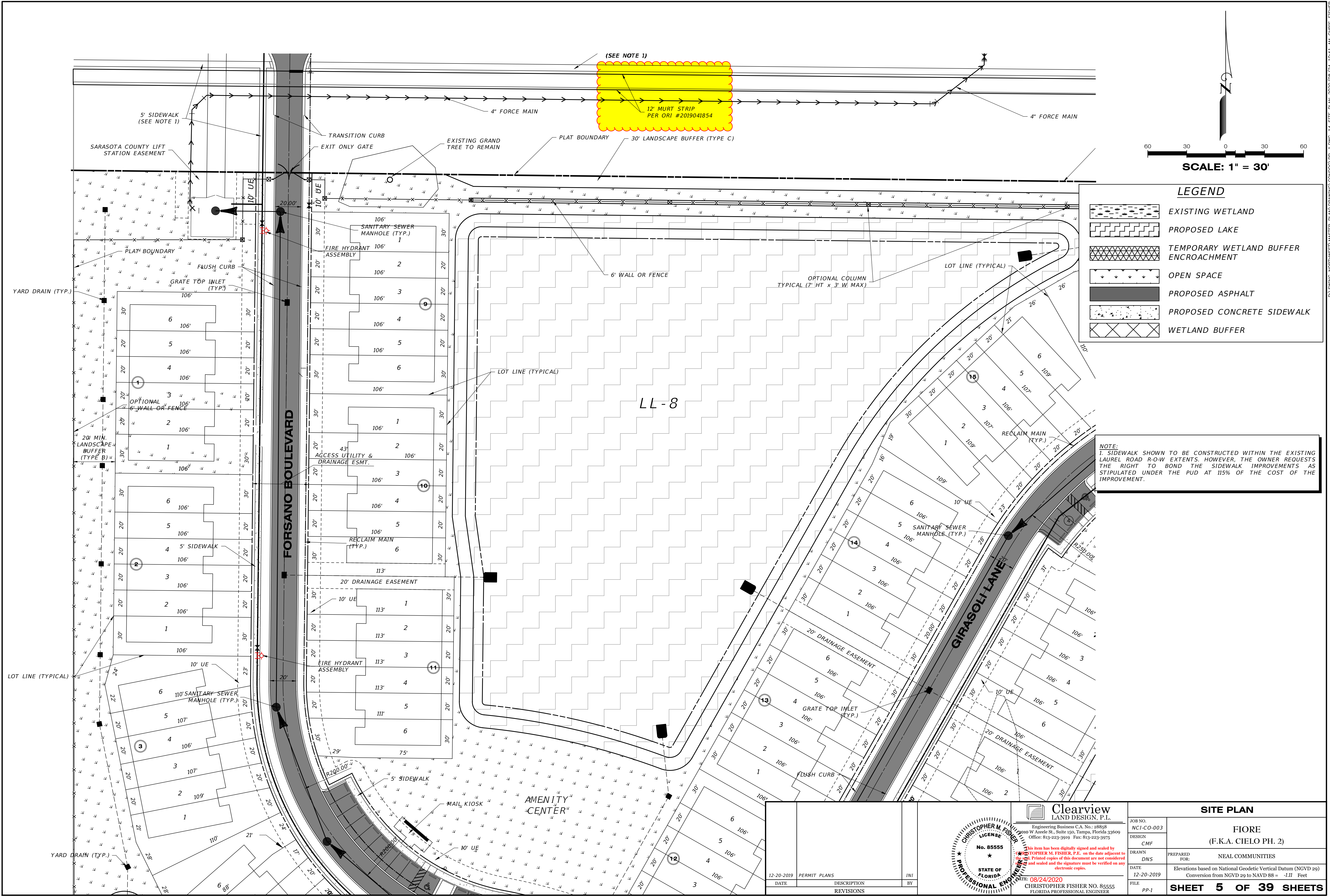
COMMENCING AT THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA; THENCE SOUTH 00°19'26" WEST, ALONG THE EAST LINE OF SAID SECTION 34, A DISTANCE OF 12.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY OF LAUREL ROAD ACCORDING TO OFFICIAL RECORDS INSTRUMENT # 2019041854 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, SAME BEING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST LINE, SOUTH 00°19'26" WEST A DISTANCE OF 1,120.11 FEET TO THE NORTH LINE OF ARIA ACCORDING TO PLAT BOOK 52, PAGE 428 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG SAID NORTH LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 89°30'30" WEST, A DISTANCE OF 389.84 FEET; (2) SOUTH 00°08'44" WEST, A DISTANCE OF 26.40 FEET; (3) NORTH 89°30'15" WEST, A DISTANCE OF 963.59 FEET TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF SAID SECTION 34; THENCE NORTH 00°01'38" EAST, ALONG SAID WEST LINE, A DISTANCE OF 1,150.18 FEET TO AFORESAID SOUTH RIGHT-OF-WAY OF LAUREL ROAD; THENCE SOUTH 89°21'08" EAST, ALONG SAID SOUTH RIGHT-OF-WAY, SAME BEING A LINE 12.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 34, A DISTANCE OF 1,359.32 FEET TO THE POINT OF BEGINNING.

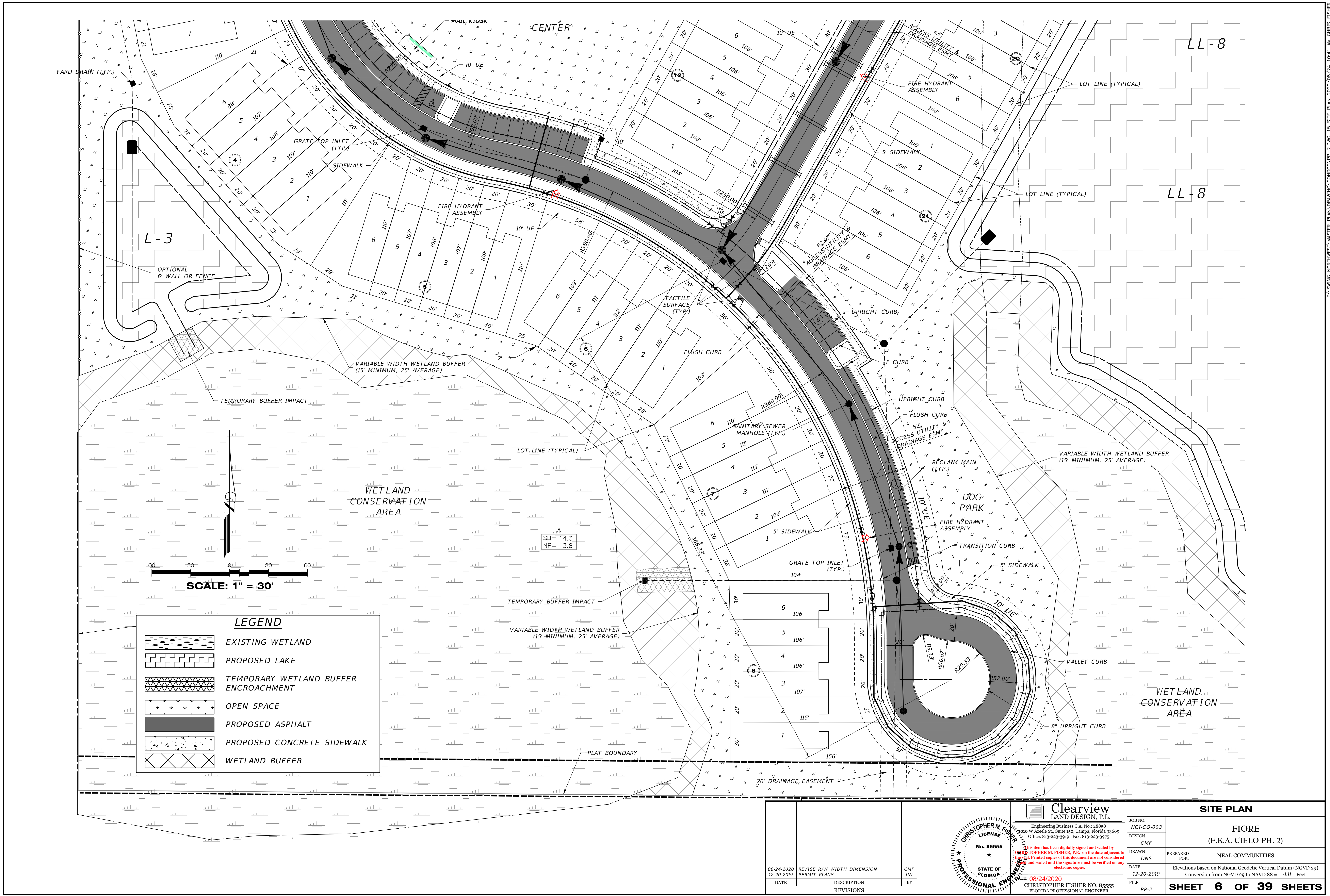
CONTAINING 35.519 ACRES.

SURVEY DATA:
Boundary survey, topographic survey, tree survey, improvement location and associated survey work shown hereon and used for design purposes is based upon information provided by (Brigham/Allen Land Survey, project, job number). Clearview Land Design, P.L. has reviewed, but not verified the data provided. This data is the basis for design and Clearview Land Design, P.L. makes no certifications or representations as to the accuracy of the survey data.

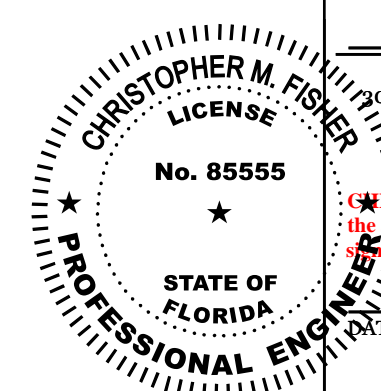
ALL EXISTING WELLS SHALL BE ABANDONED BY A FLORIDA-LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531(2) F.A.C. UNLESS OTHERWISE NOTED

| | | | | | | | | | | | |
|--|--|--|--|--|--|--|--|--|--|--|--|
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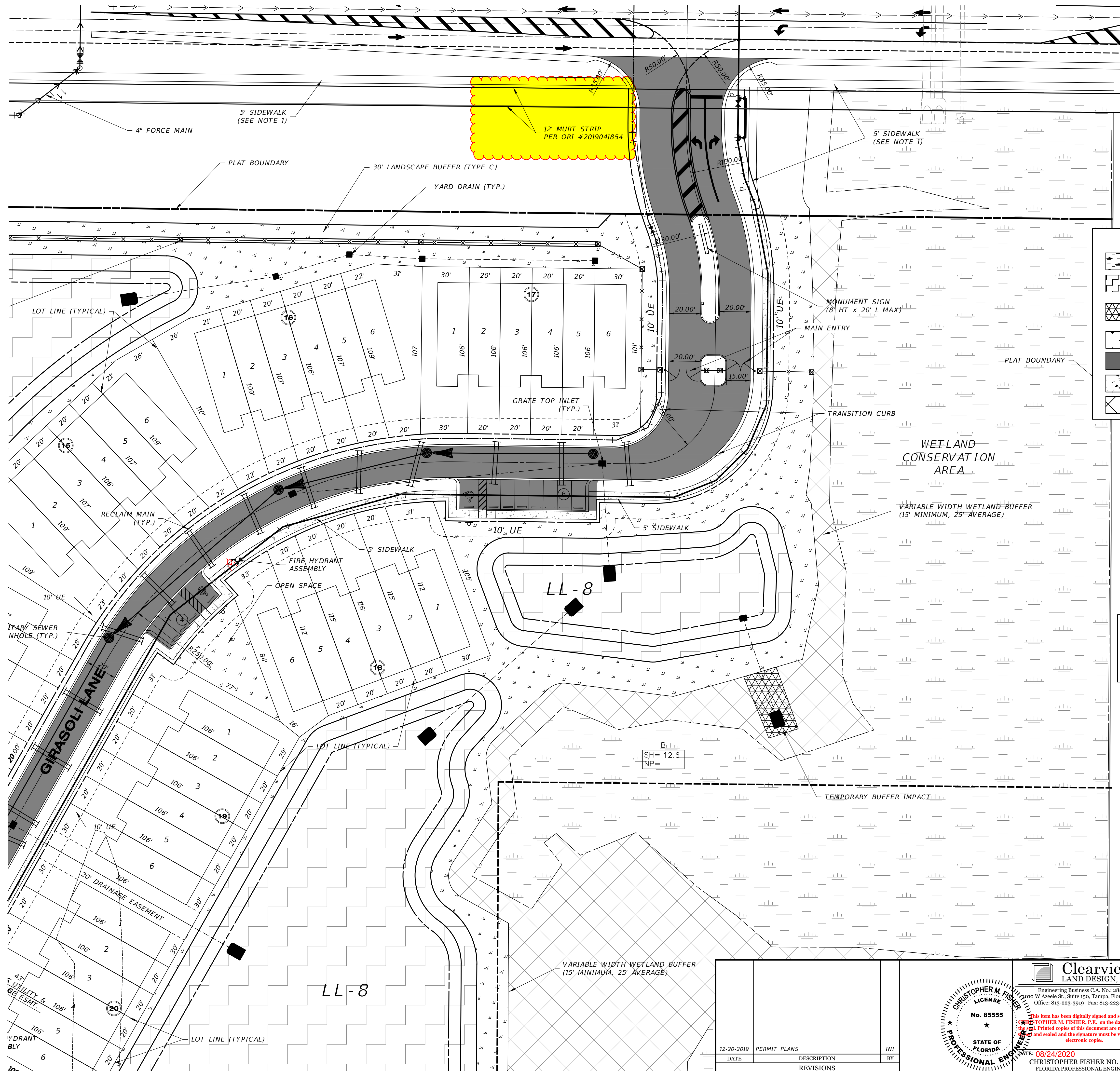
| Clearview LAND DESIGN, P.L. | | | SITE PLAN | |
|---|--|--|---|-----------------------------------|
| Engineering Business C.A. No.: 28858 2010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | | JOB NO. NCI-CO-003 | FIORE (F.K.A. CIELO PH. 2) |
| DESIGN CMF | | | DRAWN DN/S | PREPARED FOR: NEAL COMMUNITIES |
| DATE 12-20-2019 | | | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | |
| FILE PP-2 | | | SHEET 6 OF 39 SHEETS | |



This item has been digitally signed and sealed by
CHRISTOPHER M. FISHER, P.E. on the date adjacent to
this signature. Printed copies of this document are not considered
valid and sealed and the signature must be verified on any
electronic copies.

DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

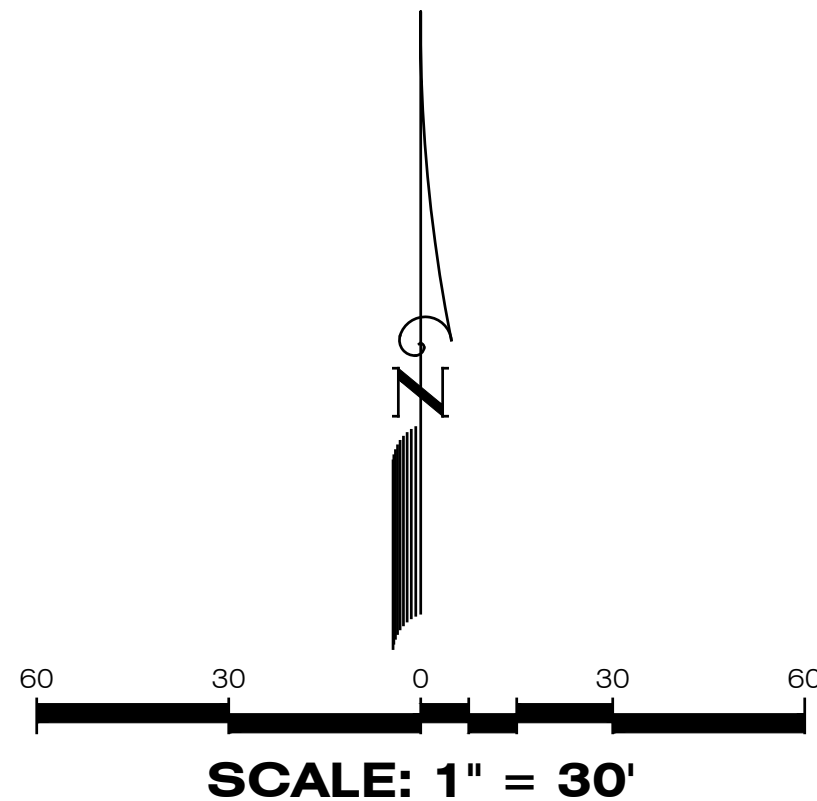
| DATE | DESCRIPTION | BY |
|------------|----------------------------|-----|
| 06-24-2020 | REVISE R/W WIDTH DIMENSION | CMF |
| 12-20-2019 | PERMIT PLANS | INI |
| | | |



LEGEND

- EXISTING WETLAND
- PROPOSED LAKE
- TEMPORARY WETLAND BUFFER ENCROACHMENT
- OPEN SPACE
- PROPOSED ASPHALT
- PROPOSED CONCRETE SIDEWALK
- WETLAND BUFFER

NOTE:
1. SIDEWALK SHOWN TO BE CONSTRUCTED WITHIN THE EXISTING LAUREL ROAD R-O-W EXTENTS. HOWEVER, THE OWNER REQUESTS THE RIGHT TO BOND THE SIDEWALK IMPROVEMENTS AS STIPULATED UNDER THE PUD AT 115% OF THE COST OF THE IMPROVEMENT.



| | | | |
|--|--|---|--|
| Clearview LAND DESIGN, P.L. Engineering Business C.A. No.: 28858 2010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | SITE PLAN | |
| JOB NO. NCI-CO-003 | | FIORE (F.K.A. CIELO PH. 2) | |
| DESIGN CMF | | PREPARED FOR: NEAL COMMUNITIES | |
| DRAWN DNS | | DATE: 12-20-2019 | |
| FILE PP-3 | | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | |
| DATE: 08/24/2020 CHRISTOPHER FISHER NO. 85555 FLORIDA PROFESSIONAL ENGINEER | | SHEET 7 OF 39 SHEETS | |

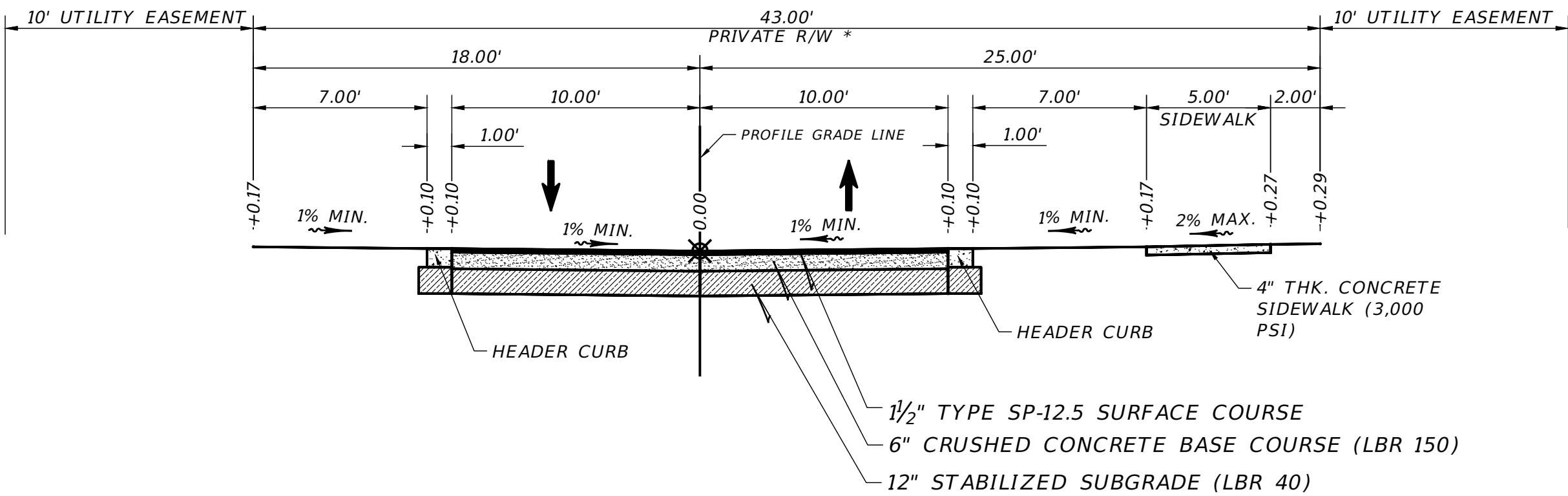
| Proposed Pavement Structure (All ROADS): | | |
|--|--|-----------|
| Layer | Coefficients | Thickness |
| 0.44 | - Type SP-9.5 Asphalt Surface | 1 1/2" |
| 0.15 | - Crushed Concrete Base (LBR 150 min.) | 6" |
| 0.08 | - Stabilized Subgrade (LBR 40 min.) | 12" |
| SN = (0.44) (1.50) + (0.15) (6) + (0.08) (12) | | |
| = 2.52 | | |
| Use: 6" Crushed Concrete Base with 1 1/2" Type SP-9.5 Asphalt Surface and 12" Stabilized Subgrade (LBR 40 Min) | | |

| Alternate Pavement Structure (All ROADS): | | |
|--|---|-----------|
| Layer | Coefficients | Thickness |
| 0.44 | - Type SP-9.5 Asphalt Surface Course | 1 1/2" |
| 0.15 | - Soil Cement Base Course (300 p.s.i. min.) | 8" |
| 0.04 | - Compacted Subgrade (98% AASHTO T-180) | 12" |
| SN = (0.44) (1.50) + (0.15) (8) + (0.04) (12) | | |
| = 2.34 | | |
| Use: 8" Soil Cement Base with 1 1/2" Type SP-9.5 Asphalt Surface Course and 12" Compacted Subgrade | | |

| Alternate Pavement Structure (All ROADS): | | |
|---|---|-----------|
| Layer | Coefficients | Thickness |
| 0.44 | - Type SP-9.5 Asphalt Surface Course | 1 1/2" |
| 0.15 | - Bank Run Shell Base Course (100 LBR.) | 6" |
| 0.04 | - Stabilized Subgrade (LBR 40 Min.) | 12" |
| SN = (0.44) (1.50) + (0.15) (6) + (0.08) (12) | | |
| = 2.52 | | |
| Use: 6" Bank Run Shell Base with 1 1/2" Type SP-9.5 Asphalt Surface Course and 12" Stabilized Subgrade (LBR 40) | | |

| OPTIONAL PAVEMENT DESIGNS - FOR LOCAL STREETS ONLY | | |
|--|---|------------------------------------|
| CRUSHED CONCRETE BASE | SOIL CEMENT BASE | BANK RUN SHELL BASE |
| 1-1/2" TYPE SP-12.5 A.C.S.C. | 1-1/2" TYPE SP-12.5 A.C.S.C. | 1-1/2" TYPE SP-12.5 A.C.S.C. |
| 6" L.B.R. 150 CRUSHED CONCRETE BASE | 8" 300 p.s.i. SOIL CEMENT BASE | 6" (LBR 100) BANK RUN SHELL BASE |
| 12" L.B.R. 40 TYPE B STABILIZATION | 12" COMPACTED SUBGRADE (98% AASHTO T-180) | 12" L.B.R. 40 TYPE B STABILIZATION |

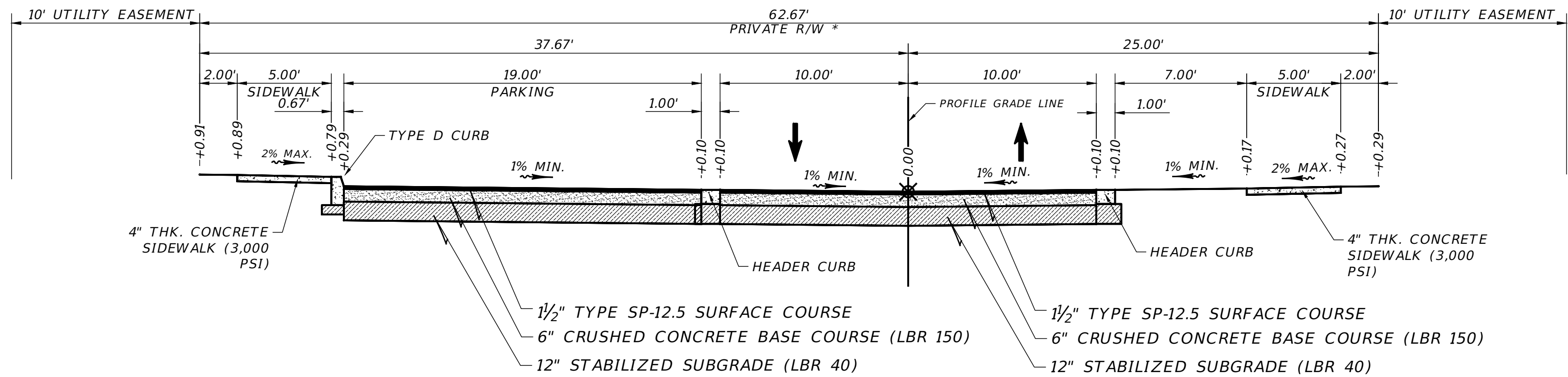
CONTRACTOR MAY PROPOSE ALTERNATE PAVEMENT DESIGNS. CONTRACTOR SHALL SUBMIT ANY PAVEMENT ALTERNATIVES TO ENGINEER FOR APPROVAL PRIOR TO FINAL SUBGRADE PREPARATIONS.



TYPICAL DRIVE SECTION

SCALE: 1" = 5'

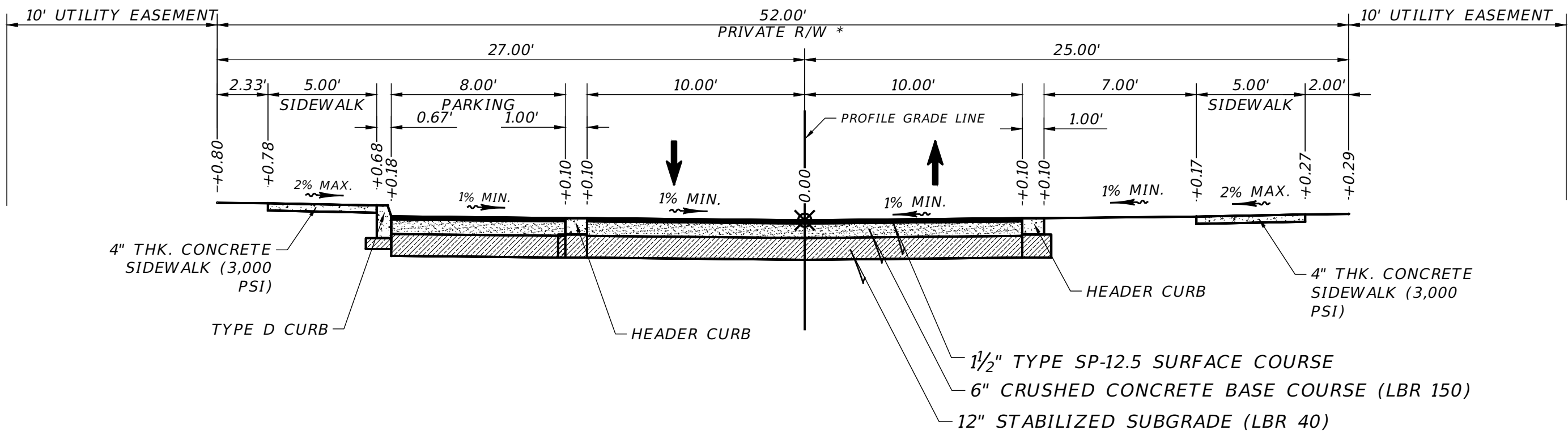
* ALL RIGHTS-OF-WAY TO BE PRIVATELY OWNED AND MAINTAINED.



TYPICAL DRIVE SECTION

SCALE: 1" = 5'

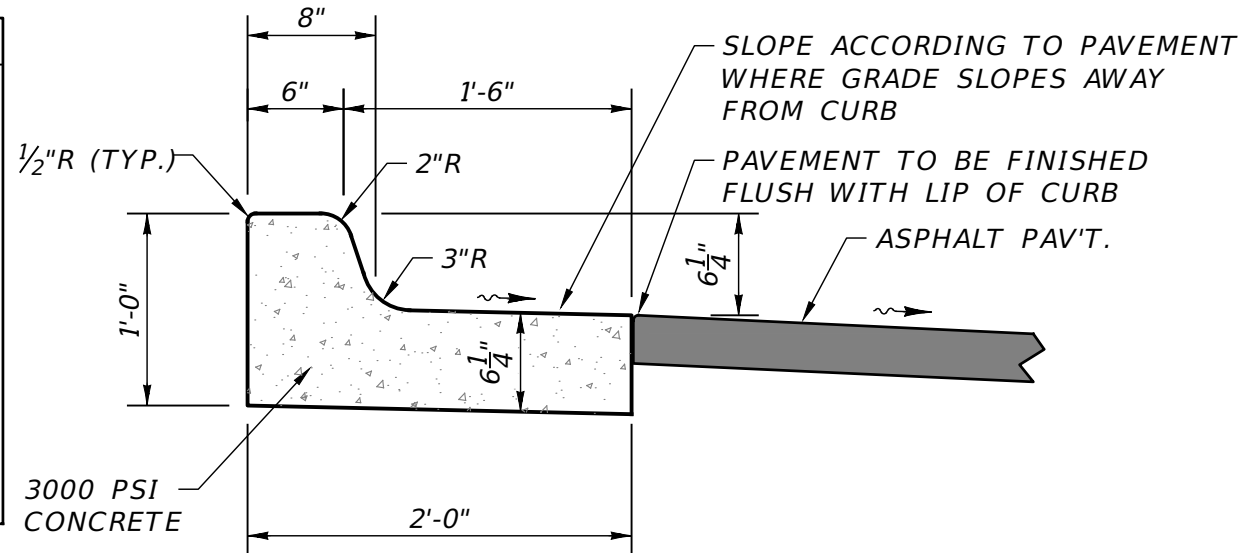
* ALL RIGHTS-OF-WAY TO BE PRIVATELY OWNED AND MAINTAINED.



TYPICAL DRIVE SECTION

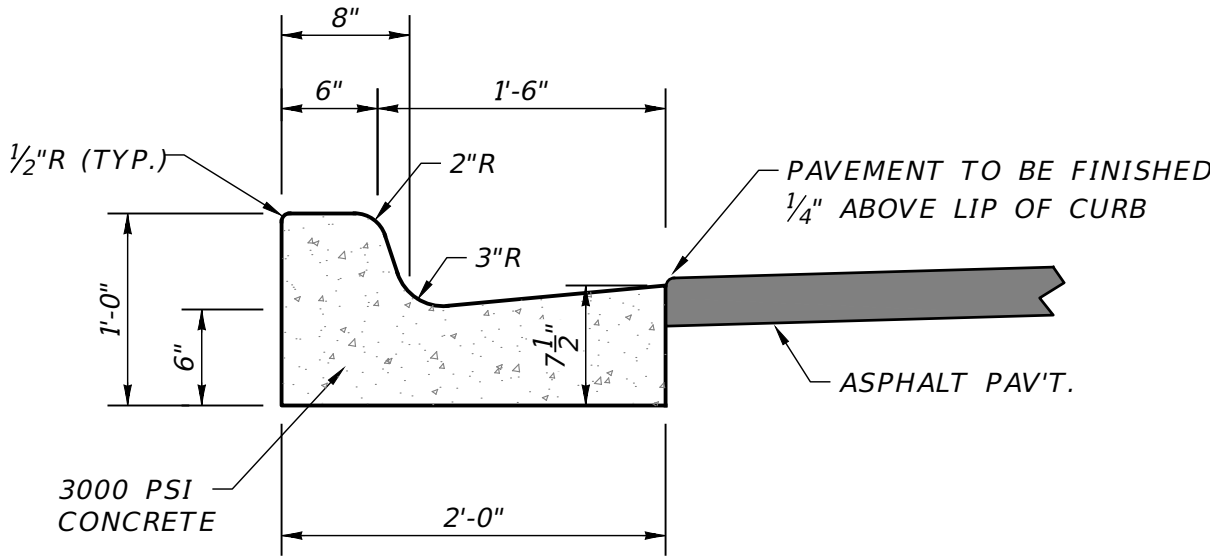
SCALE: 1" = 5'

* ALL RIGHTS-OF-WAY TO BE PRIVATELY OWNED AND MAINTAINED.



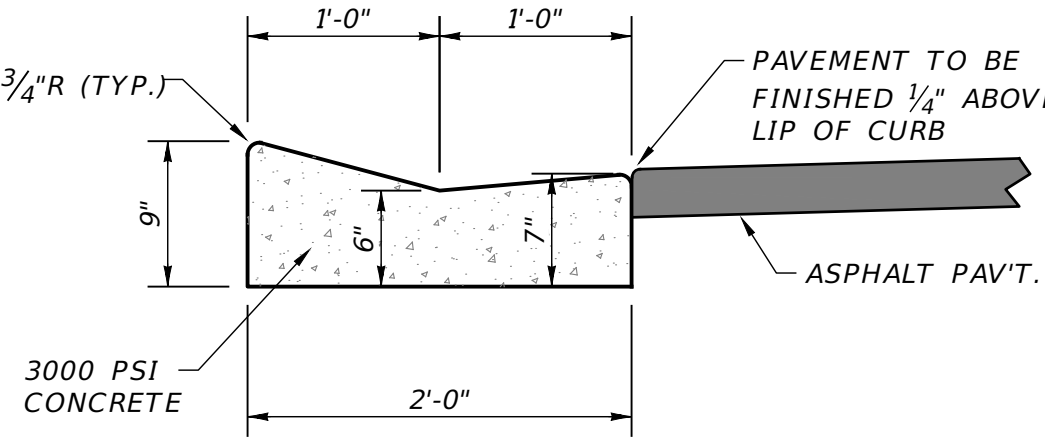
TYPE "F" CURB & GUTTER
ROTATED (HIGH-SIDE)

SCALE: 1" = 1'



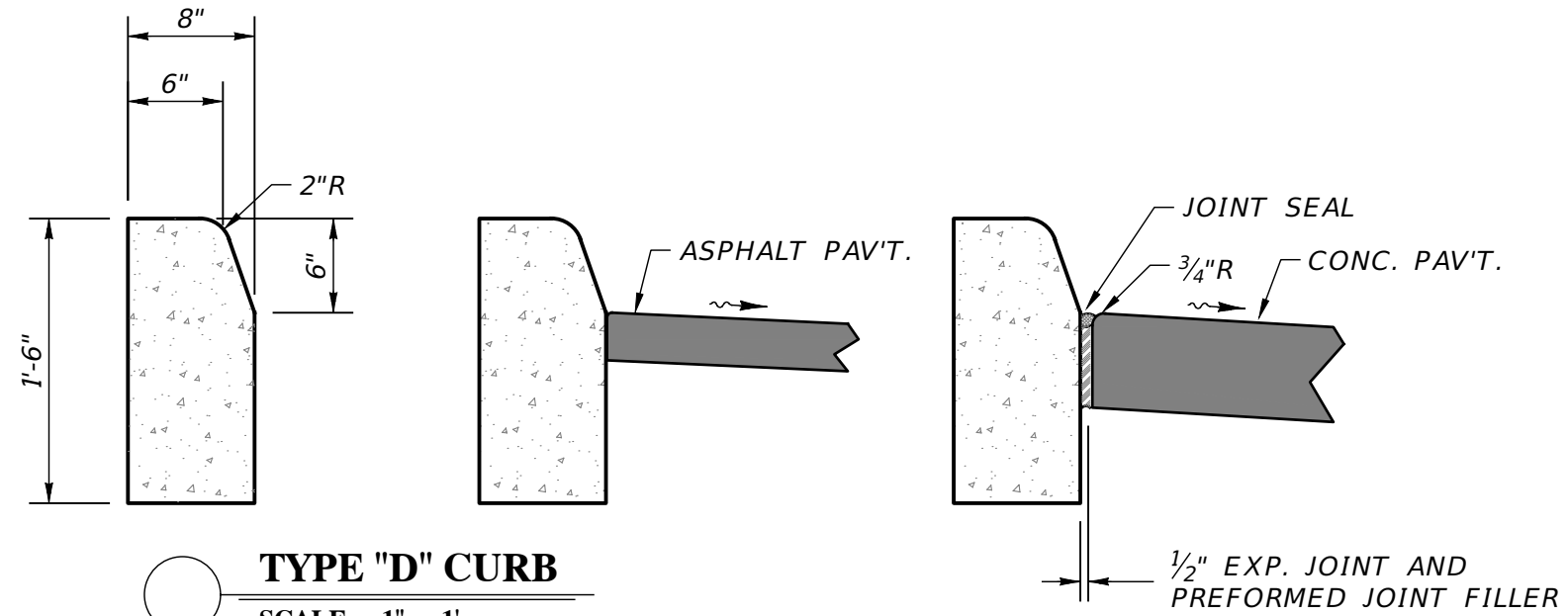
TYPE "F" CURB & GUTTER

SCALE: 1" = 1'



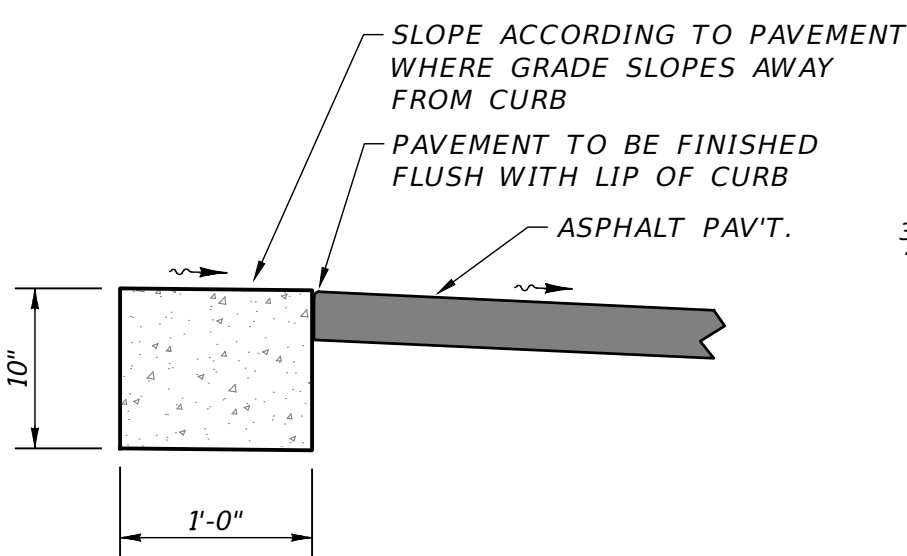
STANDARD MIAMI CURB

SCALE: 1" = 1'



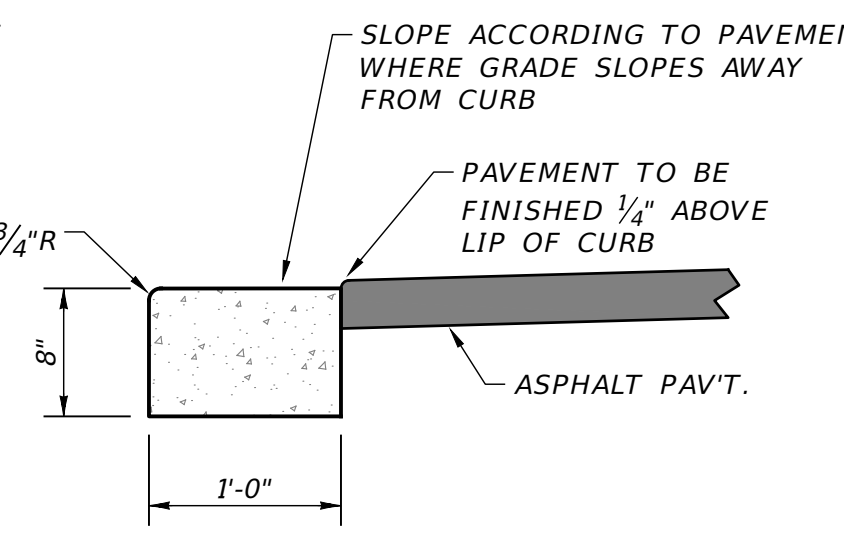
TYPE "D" CURB

SCALE: 1" = 1'



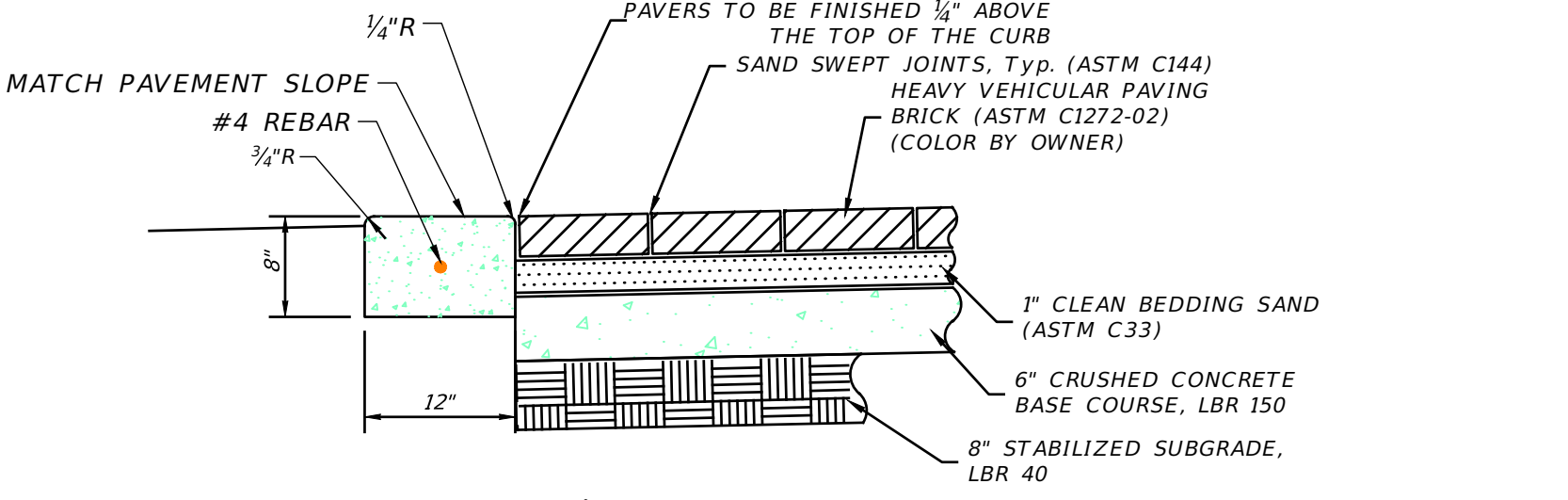
12' HEADER CURB

SCALE: 1" = 1'



CONCRETE FLUSH CURB

SCALE: 1" = 1'



VEHICULAR PAVERS AT 12' FLUSH CURB

SCALE: 1" = 1'

PAVEMENT CONSTRUCTION NOTES (CRUSHED CONCRETE)

- Subgrade shall be prepared in accordance with FDOT Index No. 505, latest edition, Embankment fills or natural sands to 24-inches below the bottom of a stabilized subgrade shall be sandy soils (A-3 or SP/SP-SM) with typically 15% fines or less passing the No. 200 sieve.
- Subgrade shall be inspected and approved by the Engineer prior to placement of any base material.
- Type "B" subgrade stabilization with a minimum Limerock Bearing Ratio (LBR) of 40 is required in accordance with Section 160 of the FDOT Standard Specifications for Road and Bridge Construction and tested at a frequency required by the City of Venice.
- Pavement base course shall be crushed concrete as designated in the plans and shall be compacted to the minimum thickness shown.
- The base course shall be inspected and approved by the Engineer prior to any paving operation.
- Crushed concrete road base material shall meet the following conditions:
 - Conform with the gradation chart from Section 204 of the FDOT Standard Specifications for Road and Bridge Construction: Graded Aggregate Base.
 - Should have a minimum Limerock Bearing Ratio (LBR) of 150.
 - Single course lifts should not exceed 6-inches (loose).
 - Shall be of uniform quality, free of all organics, steel rebar, asphalt debris, and any other deleterious material.
 - Shall be compacted to a minimum of one hundred percent (100%) of the maximum dry density as determined by AASHTO T-180.
 - Shall be tested at a frequency required by the jurisdictional governing agency or according to FDOT standards in the absence of local testing requirements.
- Pavement surface course shall be asphalt concrete of type and thickness shown in the typical sections and shall meet current FDOT Specifications.
- All curbs and gutters shall be placed on a foundation of Type "B" stabilized subgrade with a minimum LBR of 40 and which has been compacted to a minimum density of ninety-eight (98) percent of the maximum dry density as determined by AASHTO T 180 for a minimum depth of six (6) inches.
- All Portland Cement Concrete shall have a minimum compressive strength of 3,000 p.s.i.
- Roadway underdrain has been shown in these plans to meet the minimum standards of the City of Venice.
- Should no underdrain be specified in the plans the Contractor is to include 1,000 linear feet of underdrain at unit prices for bid purposes.

ALTERNATE PAVEMENT CONSTRUCTION NOTES (SOIL CEMENT)

- Subgrade shall be prepared in accordance with FDOT Index No. 505, latest edition, Embankment fills or natural sands to a depth of 24-inches below the bottom of the pavement base shall be sandy soils (A-3 or SP/SP-SM) with typically 15% fines or less passing the No. 200 sieve.
- Subgrade shall be inspected and approved by the Engineer prior to placement of any base material.
- Subgrade under a soil-cement base shall be proof-rolled to grade, as directed and approved by the Engineer with suitable compaction equipment to achieve a density of ninety-eight (98%) percent Modified Proctor for a depth of twelve (12) inches prior to placing soil-cement base.
- Soil-cement mix design shall be provided a minimum 30 days in advance of placement of base material for approval by the Engineer. The soil-cement product shall be in accordance with PCA standards, 300 p.s.i. minimum.
- Soil-cement surface shall be inspected and approved by the Engineer prior to any paving operation.

ALTERNATE PAVEMENT CONSTRUCTION NOTES (BANK RUN SHELL)

Bank Run Shell road base shall meet the following conditions

- Conform with the gradation chart from Section 204 of the FDOT Standard Specifications for Road and Bridge Construction: Graded Aggregate Base.
- Should have a minimum Limerock Bearing Ratio (LBR) of 100.
- Single course lifts should not exceed 6-inches (loose).
- Shall be of uniform quality, free of all organics, steel rebar, asphalt debris, and any other deleterious material.
- Shall be compacted to a minimum of one hundred percent (100%) of the maximum dry density as determined by AASHTO T-180.
- Shall be tested at a frequency required by the jurisdictional governing agency or according to FDOT standards in the absence of local testing requirements.

| | | |
|------------|--------------|-----|
| 12-20-2019 | PERMIT PLANS | INI |
| DATE | DESCRIPTION | BY |
| REVISIONS | | |

CHRISTOPHER M. FISHER

LICENSE

No. 85555

STATE OF FLORIDA

PROFESSIONAL ENGINEER

Clearview

LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858

2010 W Azele St., Suite 150, Tampa, Florida 33609

Office: 813-223-3919 Fax: 813-223-3975

This item has been digitally signed and sealed by CHRISTOPHER M. FISHER, P.E. on the date adjacent to this seal. Printed copies of this document are not considered sealed and the signature must be verified on any electronic copies.

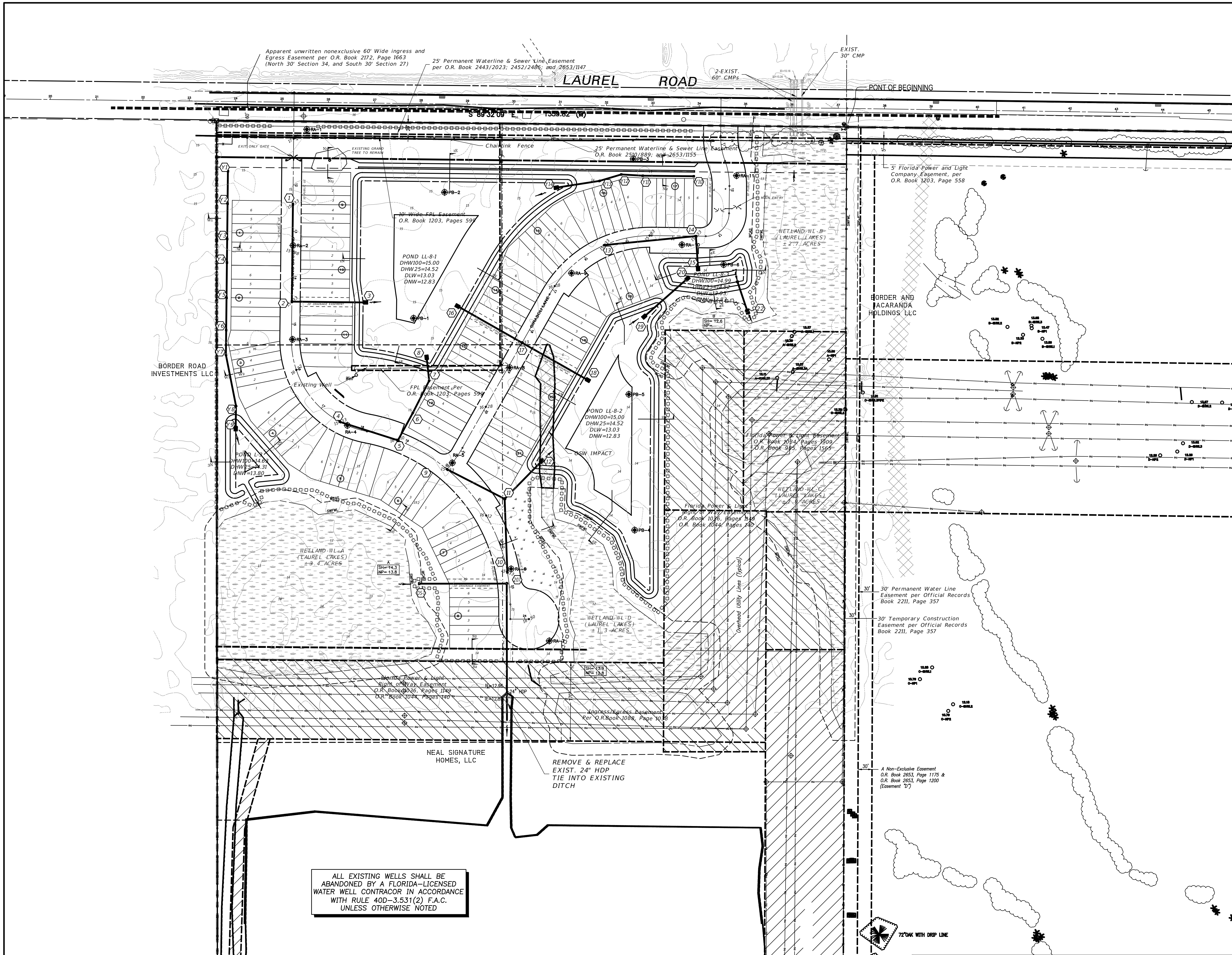
DATE: 08/24/2020

CHRISTOPHER FISHER NO. 85555

FLORIDA PROFESSIONAL ENGINEER

TYPICAL ROADWAY SECTIONS

| | | |
|-----------------------|---|--|
| JOB NO. NC1-CO-003 | FIORE (F.K.A. CIELO PH. 2) | |
| DESIGN CMF | NEAL COMMUNITIES | |
| DRAWN DNS | PREPARED FOR: | |
| DATE 12-20-2019 | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | |
| FILE R5 | SHEET 8 OF 39 SHEETS | |



200 100 0 100 200
SCALE: 1" = 100'

| LEGEND | | |
|----------|----------|----------------------------|
| EXISTING | PROPOSED | |
| | | STORM DRAINAGE STRUCTURE |
| | | STRUCTURE NO. |
| | | SPOT ELEVATION |
| | | CONTOUR |
| | | DIRECTION OF SURFACE FLOW |
| | | STAKED EROSION CONTROL |
| | | POND BORING LOCATION |
| | | ROADWAY BORING LOCATION |
| | | EPC WETLAND LINE |
| | | WETLAND CONS. AREA SETBACK |
| | | WETLAND HYDROPERIOD DATA |
| | | WETLAND AREAS |
| | | PROPOSED OSW IMPACT |

NOTES:
1. Elevations Refer to the National Geodetic Vertical Datum of 1929 (NGVD).
2. The site appears to lie within Flood Zones "X" and "AE" according to Federal Emergency Management Agency (FEMA) - Flood Insurance Rate Map (FIRM) Community-Panel No. 125144 0244F (Map Number 12115C0244F, effective November 4, 2016).

STREET & DRAINAGE CONSTRUCTION NOTES:

1. Prior to construction, the Contractor shall obtain from the Engineer or Owner a copy of all pertinent permits related to this project. It is the Contractor's responsibility to assure that all construction activities are in compliance with the conditions of all permits and approvals. Contractor is also responsible for having his dewatering plan approved by SWFWMD.
2. All construction, materials and workmanship are to be in accordance with City of Venice Subdivision Regulations and DOT Specifications, latest editions.
3. Grass and mulch, or solid sod, all areas in existing rights-of-way disturbed by construction. In the proposed rights-of-way a 2' wide area behind the back of curb to be solid sodded. The remainder of the proposed rights-of-way to be seeded and mulched if the slope is steeper than 6:1.
4. In accordance with the Underground Facility Damage Prevention and Safety Act (Chapter 556, F.S.) the Contractor shall call the Sunshine State One Call of Florida (SSCOF) at 1-800-432-4770 forty eight (48) hours in advance of any excavation.
5. Prior to curb inlet construction, the Engineer shall lay out the back of the curb in the vicinity of the respective inlet for alignment and grade, and the Contractor shall construct the inlet allowing for an 18" concrete throat between the back of the curb and the face of the inlet. The top of the inlet shall be constructed to an elevation of 3/8" above the top of curb (these dimensions apply to the concrete valley gutter type section only). Any inlets constructed incorrectly by deviating from this sequence of inlet construction shall be the sole responsibility of the Contractor and no additional payment shall be made or allowed for removing and/or correcting the inlet.
6. Fill obtained through excavation of streets and detention ponds shall be placed on lots and adjacent land in accordance with the Master Drainage and Grading Plan as directed by the Engineer unless otherwise noted.
7. Sod/Seed & Mulch shall be placed in accordance with applicable City/County standards as well as in accordance with standard and specific conditions in the SWFWMD permit, if applicable. At a minimum this shall include sodding of all pond embankments at a slope 5:1 or steeper to the NW line, as well as seeding and mulching of the balance of the pond tracts (including pond berms, excluding the area below NW), sodding at a minimum of 2' from the back of curb and any project area with a slope of 5:1 or steeper.
8. Roadway underdrain has been located on these plans to meet the minimum standards of Sarasota County. Prior to curb construction, the Geotechnical Engineer shall review the predesign borings and, along with their field inspection, make a recommendation regarding additional underdrain requirements.
9. Site clearing shall be performed per the approved construction plans and in accordance with the Sarasota County Natural Resources regulations. Installation and maintenance of the required barricading and erosion control shall be the responsibility of the site development contractor unless otherwise designated.
10. Prior to beginning construction, Contractor shall expose all existing utility inverts to which a tie-in is proposed and have Engineer verify the elevation and adequacy of these inverts.
11. All subsurface construction shall comply with the "Trench Safety Act". The Contractor shall ensure that the method of trench protection and construction is in compliance with the Occupational Safety and Health Administration (OSHA) regulations.
12. Siltation accumulations greater than the lesser of 12 inches or one-half the depth of the siltation barrier shall be immediately removed and placed in upland areas.
13. During land alteration and construction activities, it shall be unlawful to remove vegetation by grubbing or to place soil deposits, debris, solvents, construction material, machinery or other equipment of any kind within the dripline of a tree to remain on the site unless otherwise approved by the County.
14. All erosion control installation and installation coordination shall be the responsibility of the Contractor. Clearview Land Design, if contracted by the Owner, will stake the alignment of the proposed erosion control and shall limit its responsibility and coordination at that point. Be advised that the construction approval and maintenance of the erosion control shall be the sole responsibility of the Site Contractor.

| | | |
|-------------------------|-------------|-----|
| 12-20-2019 PERMIT PLANS | | INI |
| DATE | DESCRIPTION | BY |
| REVISIONS | | |

Engineering Business C.A. No.: 28858
2010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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CHRISTOPHER M. FISHER, P.E. on the date adjacent to
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DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

| MASTER DRAINAGE PLAN | |
|-----------------------|---|
| JOB NO. NCI-CO-003 | FIORE (F.K.A. CIELO PH. 2) |
| DESIGN CMF | |
| DRAWN DVS | PREPARED FOR: NEAL COMMUNITIES |
| DATE 12-20-2019 | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet |
| FILE MD | SHEET 9 OF 39 SHEETS |

LAUREL ROAD EAST

16

TYPE "F" CURB

EXISTING POWER POLE TO BE REMOVED

EXIT ONLY GATE

N1

EXISTING GRAND TREE TO REMAIN

OPTIONAL COLUMN TYPICAL (7' HT x 3' W MAX)

LANDSCAPE BERM 30' TYPE C BUFFER

6' WALL OR FENCE

75 L.F. WALL

FF=17.90 LOT 1 - 6 PAD=17.2 TYPE B

9

FF=17.50 LOT 1 - 6 PAD=16.8 TYPE B

10

FF=17.70 LOT 1 - 6 PAD=17.0 TYPE B

11

FF=18.00 LOT 1 - 6 PAD=17.3 TYPE B

3

POND LL-8-1
DHW100=15.00
DHW25=14.52
DLW=13.03
DNW=12.83

FORSAÑO BOULEVARD

20' DRAINAGE EASEMENT

SEE PLANS BY CLEARVIEW LAND DESIGN FOR AMENITY CENTER

MAIL KIOSK

LEGEND

EXISTING

PROPOSED

10

12

62.9

65.00

63

65.00

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STORM DRAINAGE STRUCTURE & PIPE
PIPE SIZE IN INCHES
STRUCTURE NO.
SPOT ELEVATION
PROPOSED PROFILE GRADE ELEVATION
CONTOUR
DIRECTION OF SURFACE FLOW
STAKED EROSION CONTROL
FEMA FLOOD ZONE BOUNDARY
BASE FLOOD ELEVATION (FT)
SWFMD WETLAND LINE
15' WETLAND CONSERVATION AREA SETBACK
WETLAND CONSERVATION AREA
WETLAND HYDROPERIOD DATA
WETLAND HYDROPERIOD DATA
WETLAND AREAS
PROPOSED WETLAND IMPACTS
PROJECT BOUNDARY
OPTIONAL PEDESTRIAN PATH/BOARDWALK
MODEL LOT OR PARKING
ROAD AUGER LOCATION
POND BORING LOCATION
(MAX DEPTH OF SUITABLE FILL FROM EXISTING GRADE)
FINISHED FLOOR ELEV.
LOT NUMBER
PAD ELEVATION
LOT GRADING TYPE

WCA 108

10

SH=65.00
NP=63.50

WETLAND/HYDROPERIOD ID

WETLAND AREAS

PROPOSED WETLAND IMPACTS

PROJECT BOUNDARY

OPTIONAL PEDESTRIAN PATH/BOARDWALK

MODEL LOT OR PARKING

ROAD AUGER LOCATION

POND BORING LOCATION
(MAX DEPTH OF SUITABLE FILL FROM EXISTING GRADE)

FINISHED FLOOR ELEV.

LOT NUMBER

PAD ELEVATION

LOT GRADING TYPE

STEM WALL
REQUIRED
WHERE SHOWN
IN PLAN

FF=15.70
LOT 15
PAD=15.0
TYPE B

FF=15.70
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TYPE B

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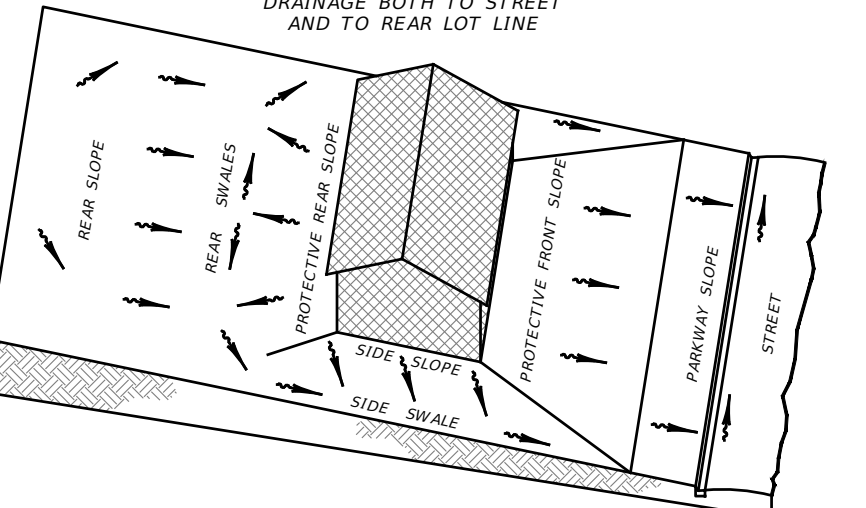
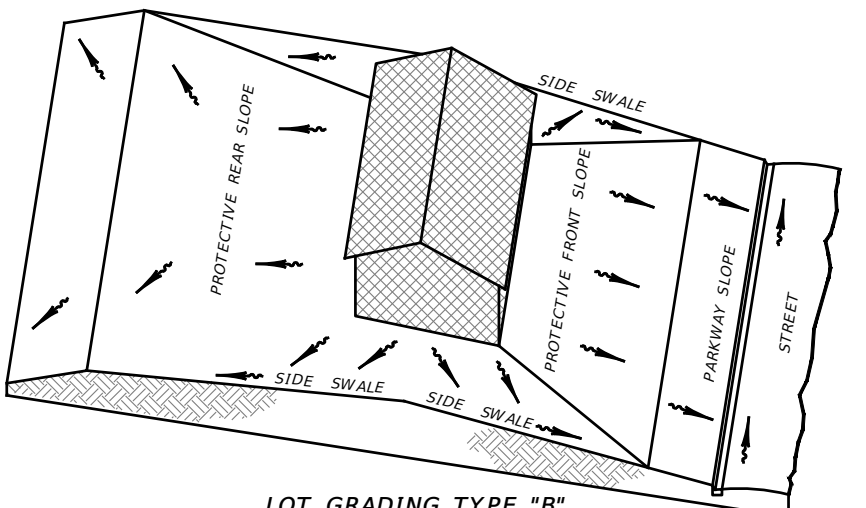
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PAD=15.0
TYPE B

FF=15.70
LOT 15
PAD=15.0
TYPE B

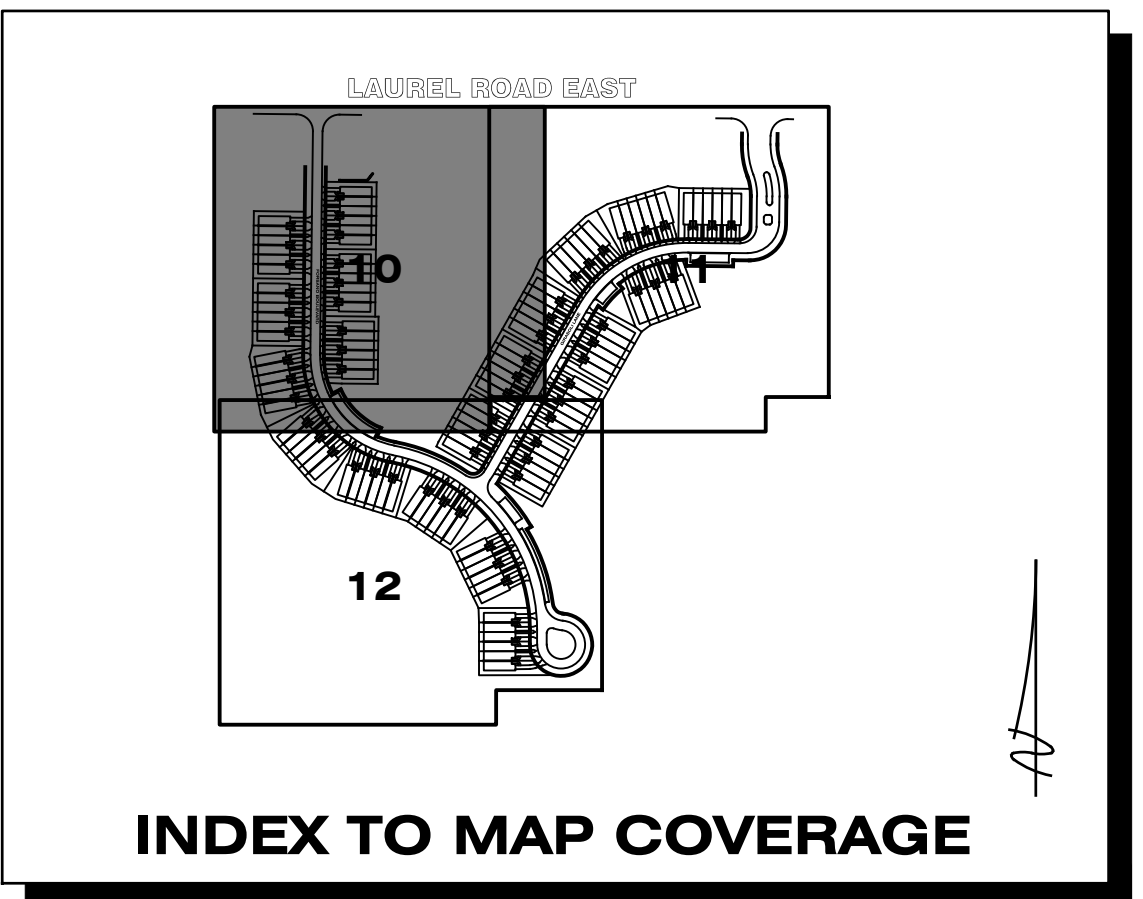
FF=15.70
LOT 15
PAD=15.0
TYPE B

FF=15.70
LOT 15
PAD=15.0
TYPE B

SCALE: 1" = 30'



- GRADING & DRAINAGE PLAN NOTES:
1. Pad grades shown are minimum grades. Elevations of adjoining lots, existing trees, and other field conditions may warrant leaving lots which are higher in their natural state. The Contractor should consult with the Developer/Builder and the Engineer prior to grading activities when these conditions exist.
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 4. For Type "A" lot grading receiving runoff from abutting Type "B" lots, all runoff shall be directed to side yard swales.
 5. For Type "B" lot grading not abutting detention facilities, the builder shall make every practical effort to direct roof runoff to the side yard swales unless otherwise directed by the Engineer of Record.
 6. For Type "A" lot grading, the builder shall make every practical effort to direct roof runoff to the side yard swales unless directed otherwise by the Engineer of Record.
 7. Minimum side yard swale slopes shall be 10%.
 8. The site appears to lie within Flood Zone "X" according to Federal Emergency Management Agency (FEMA) - Flood Insurance Rate Map (FIRM) Community-Panel No. 125144 0244 F (Map Number 1215C0244F).
 9. If prehistoric artifacts such as pottery or ceramics, stone tools or metal implements, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time, the project should cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The applicant, or designee, should contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section at 850.245.6333, as well as the appropriate funding agency office. Project activities should not resume without verbal and/or written authorization from the Division of Historical Resources.
 10. In the event that unmarked human remains are encountered during permitted activities, all work must stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statutes.



HIGH-PRESSURE GAS MAIN
IN CONSTRUCTION AREA

| | | | |
|---|--|---|--|
| Clearview LAND DESIGN, P.L. | | NEIGHBORHOOD GRADING PLAN | |
| Engineering Business C.A. No.: 28858 2010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | JOB NO. NCI-CO-003 | |
| DESIGN CMF | | DESIGN CMF | |
| DRAWN D/S | | PREPARED FOR NEAL COMMUNITIES | |
| DATE 12-20-2019 | | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | |
| FILE NG01 | | SHEET 10 OF 39 SHEETS | |

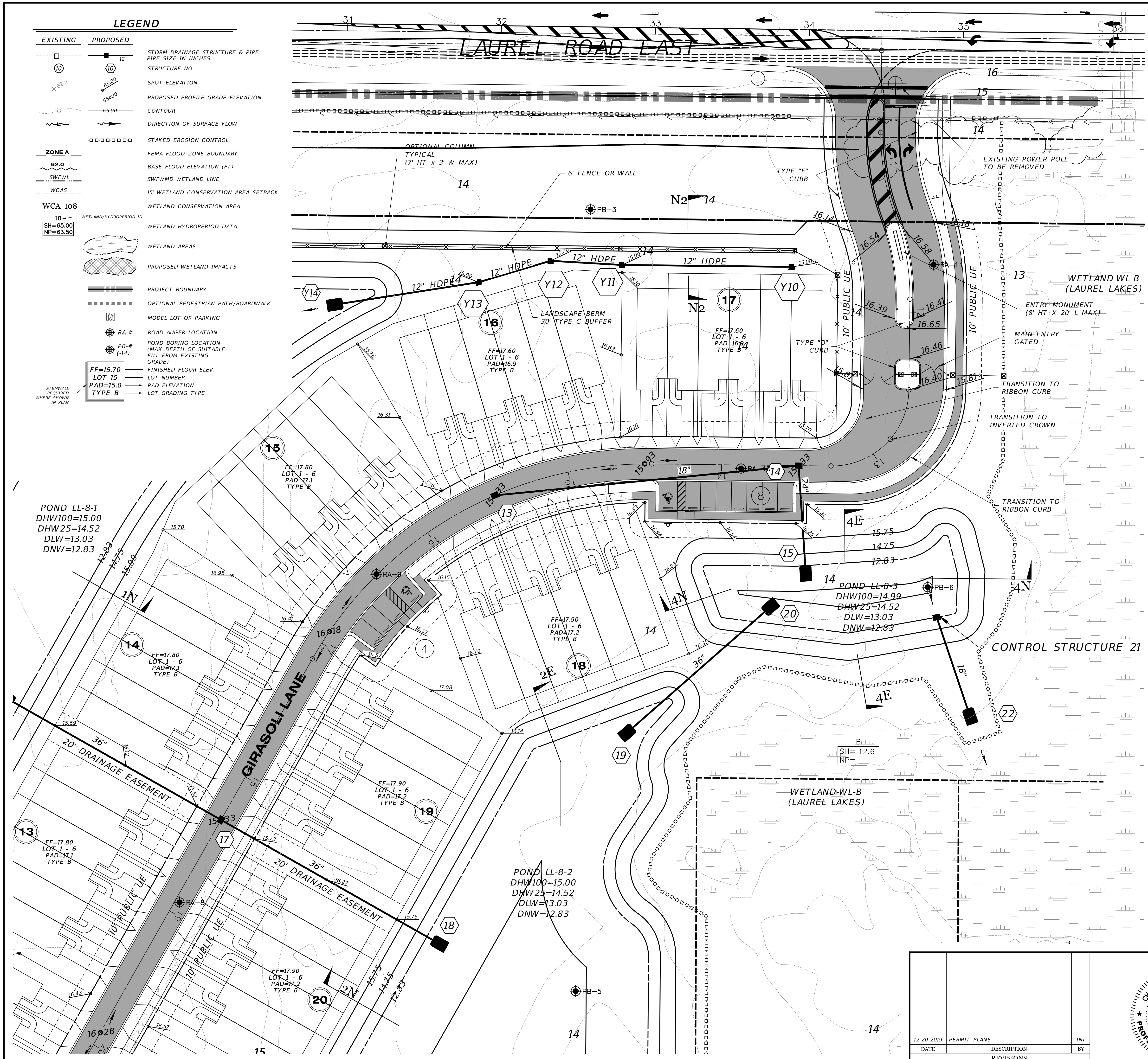
12-20-2019 PERMIT PLANS INI

| DATE | DESCRIPTION | BY |
|------|-------------|----|
| | REVISIONS | |

CHRISTOPHER M. FISHER
LICENSE
No. 85555
STATE OF FLORIDA
PROFESSIONAL ENGINEER

This item has been digitally signed and sealed by
CHRISTOPHER M. FISHER, P.E. on the date adjacent to
this seal. Printed copies of this document are not considered
valid and sealed and the signature must be verified on any
electronic copies.

DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER



60 30 0 30 60

SCALE: 1" = 30'

LOT GRADING TYPE "B"
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

LOT GRADING TYPE "A"
ALL DRAINAGE TO STREET

GRADING & DRAINAGE PLAN NOTES:

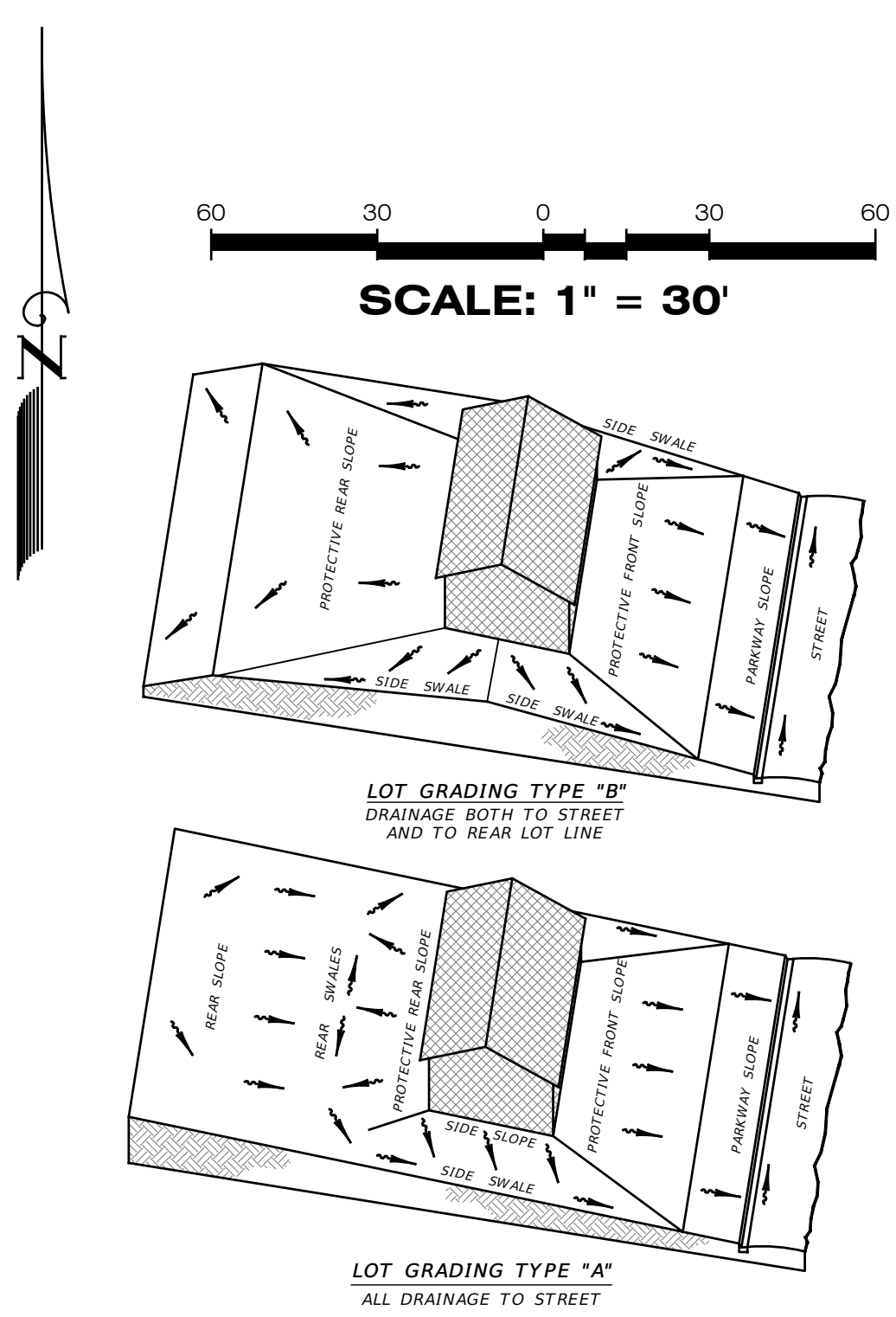
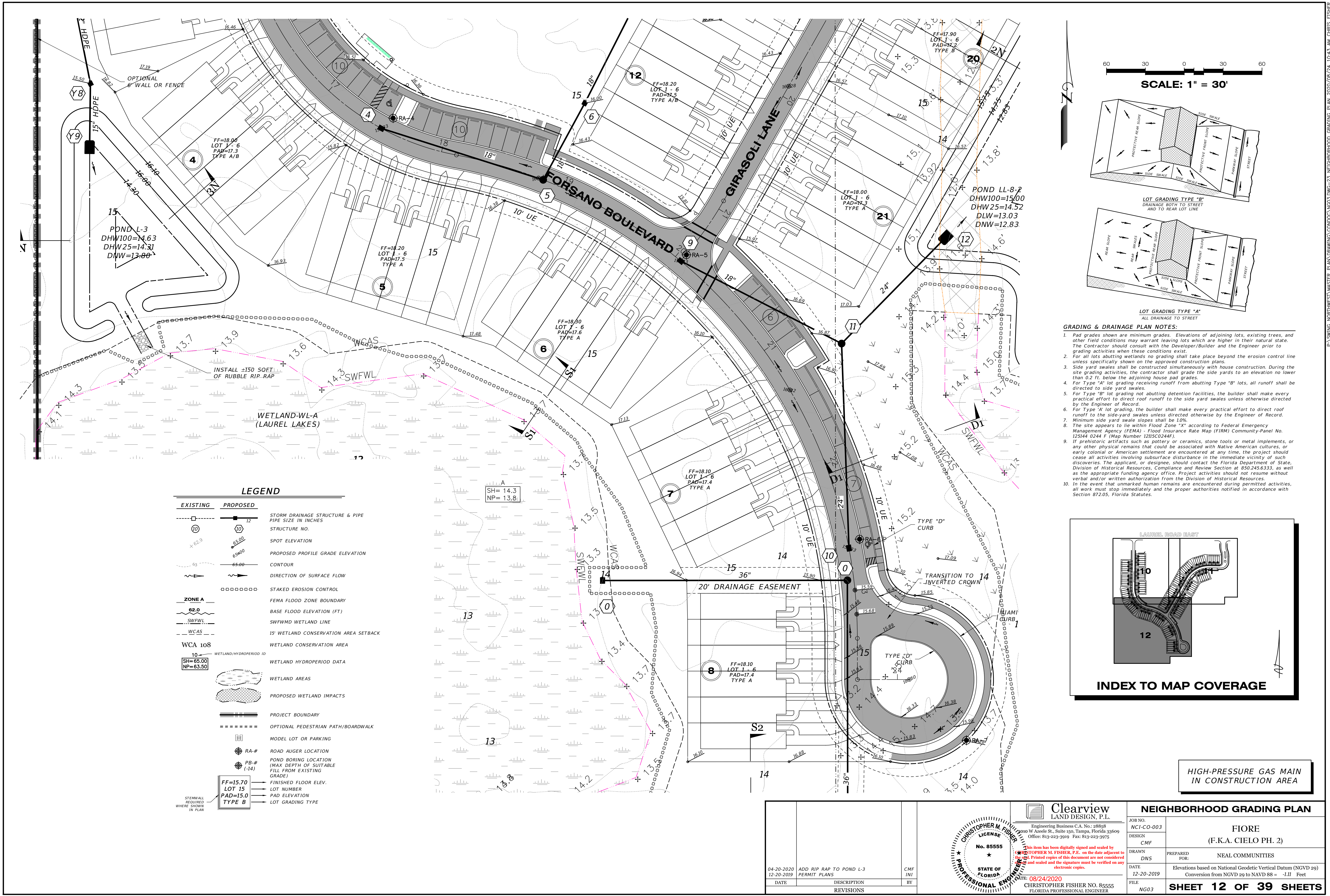
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INDEX TO MAP COVERAGE

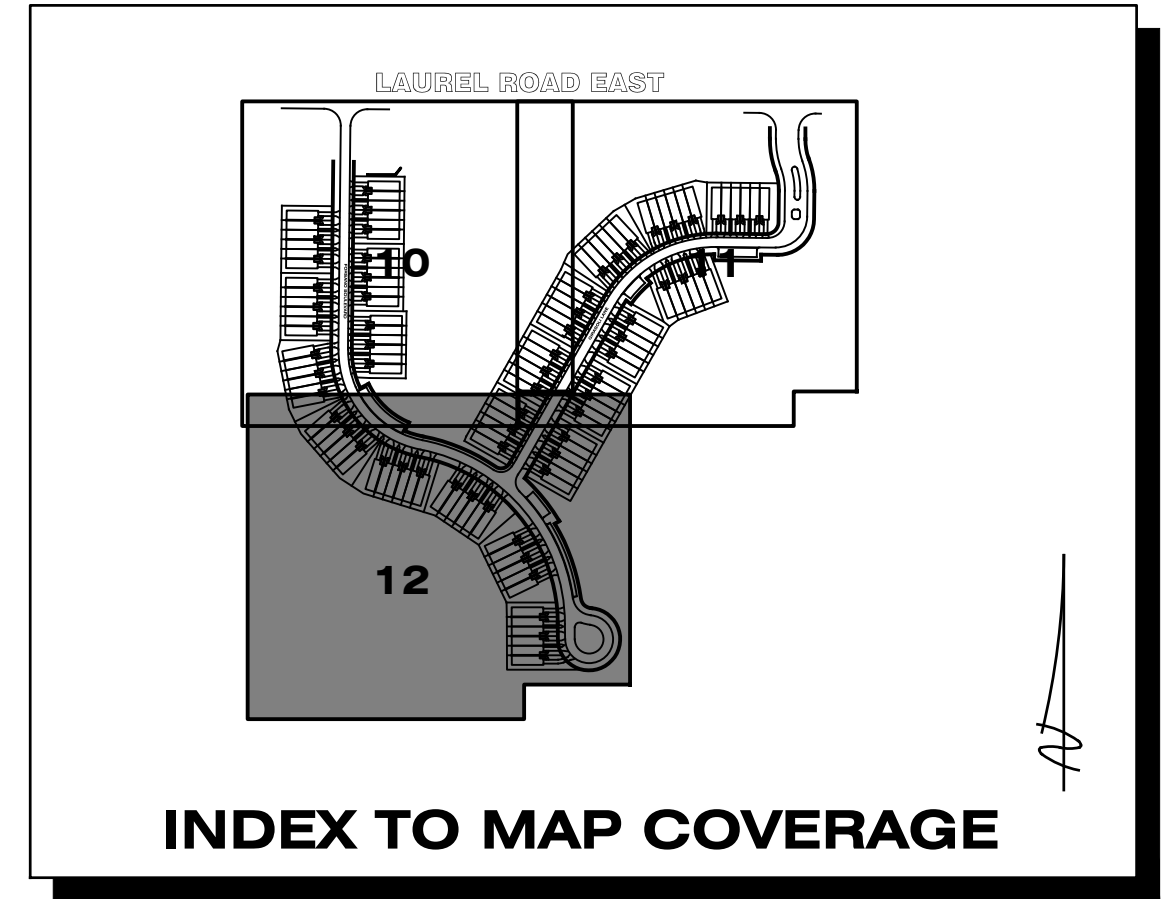
**HIGH-PRESSURE GAS MAIN
IN CONSTRUCTION AREA**

| | |
|--|--|
| Clearview LAND DESIGN, P.L. | |
| Engineering Business C.A. No.: 28858 2010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | |
| This item has been digitally signed and sealed by CHRISTOPHER M. FISHER, P.E. on the date adjacent to his signature. Printed copies of this document are not considered valid and sealed and the signature must be verified on any electronic copies. | |
| DATE: 06/24/2020 CHRISTOPHER FISHER NO. 85555 FLORIDA PROFESSIONAL ENGINEER | |



| | |
|----------------------------------|---|
| NEIGHBORHOOD GRADING PLAN | |
| JOB NO. NCI-CO-003 | FIORE (F.K.A. CIELO PH. 2) |
| DESIGN CMF | PREPARED FOR: NEAL COMMUNITIES |
| DRAWN DN/S | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet |
| DATE 12-20-2019 | |
| FILE NG02 | SHEET 11 OF 39 SHEETS |

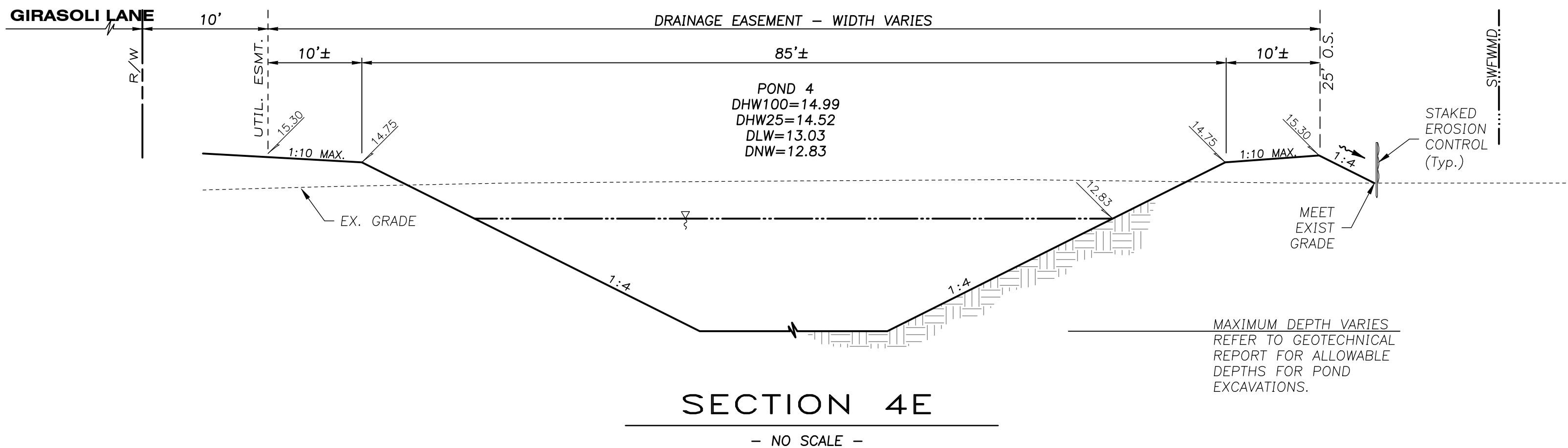
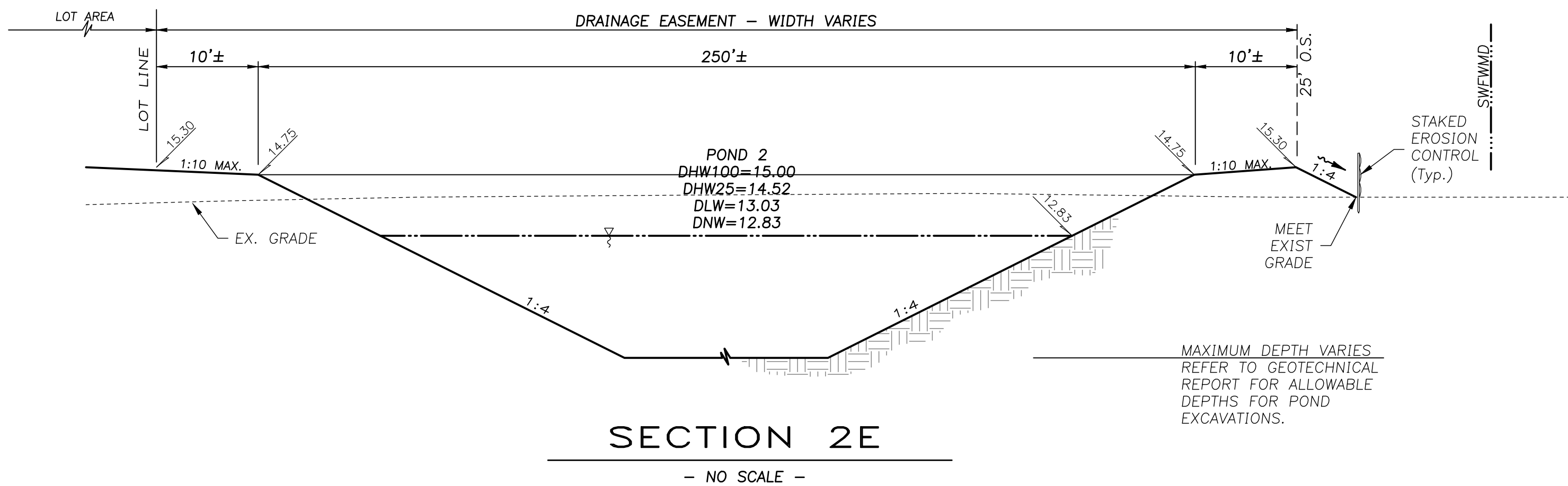
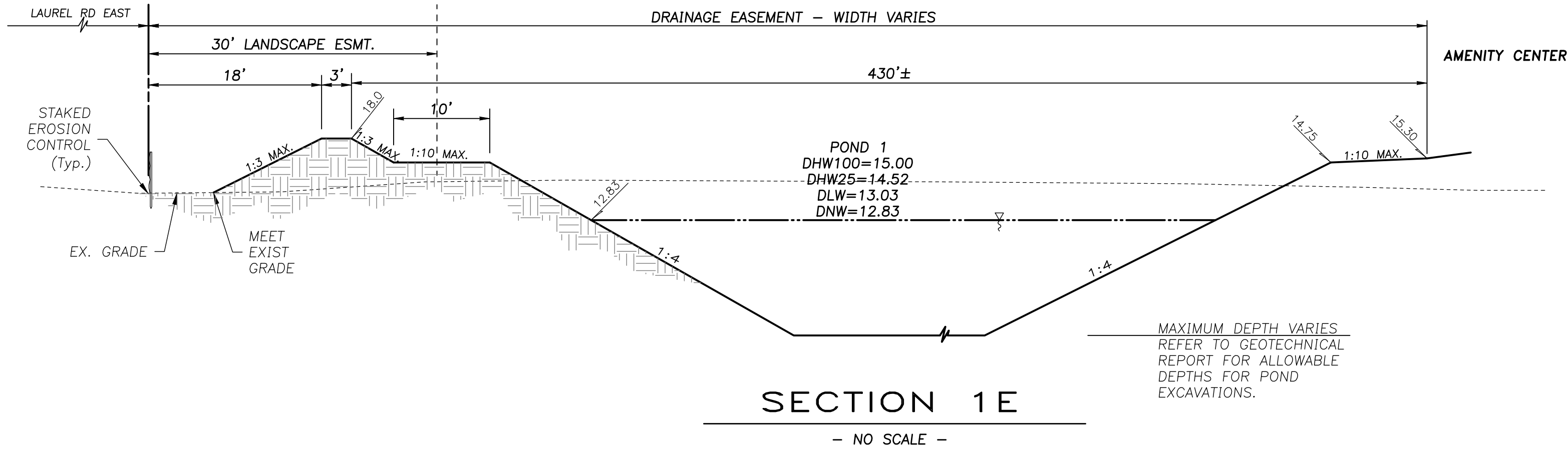


- GRADING & DRAINAGE PLAN NOTES:**
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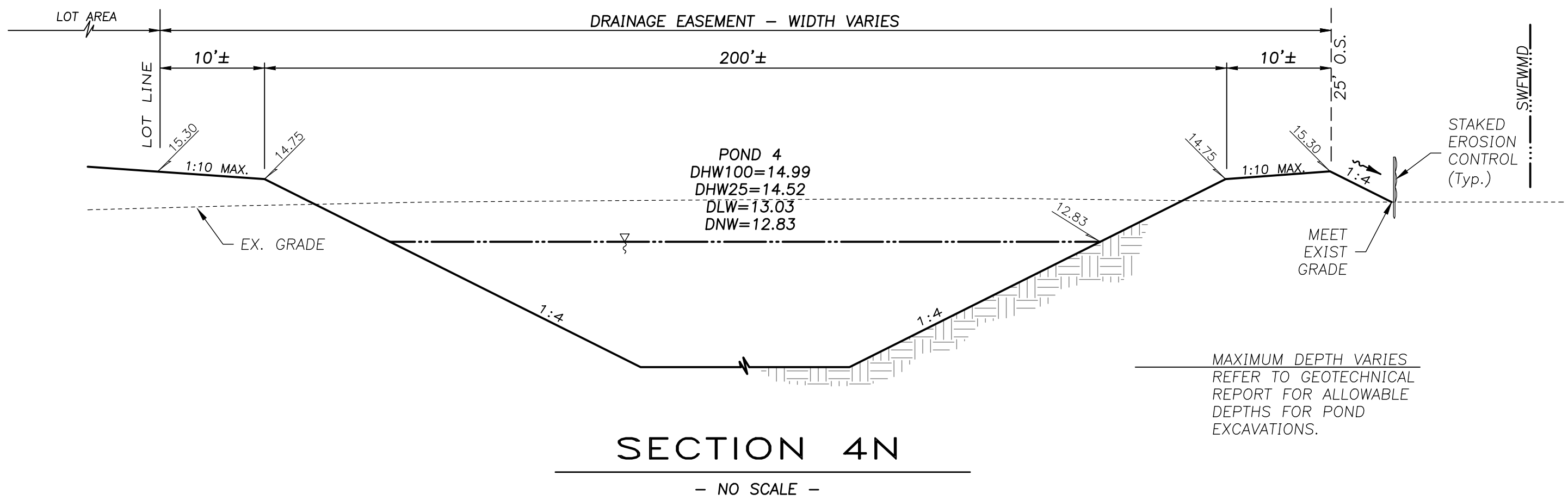
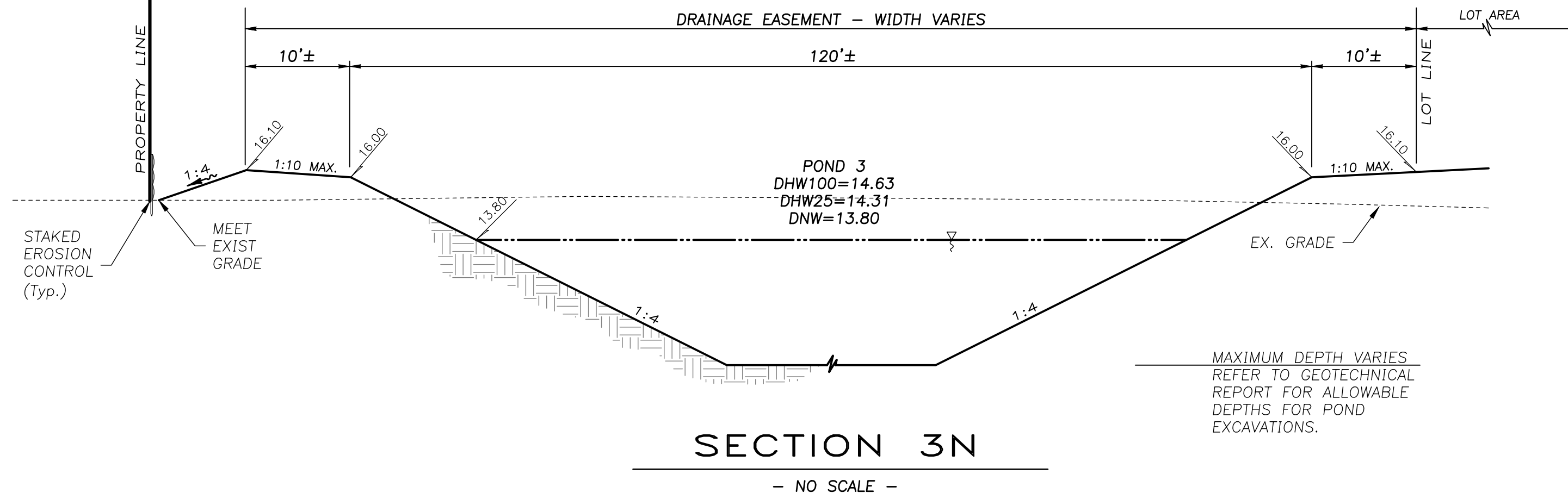
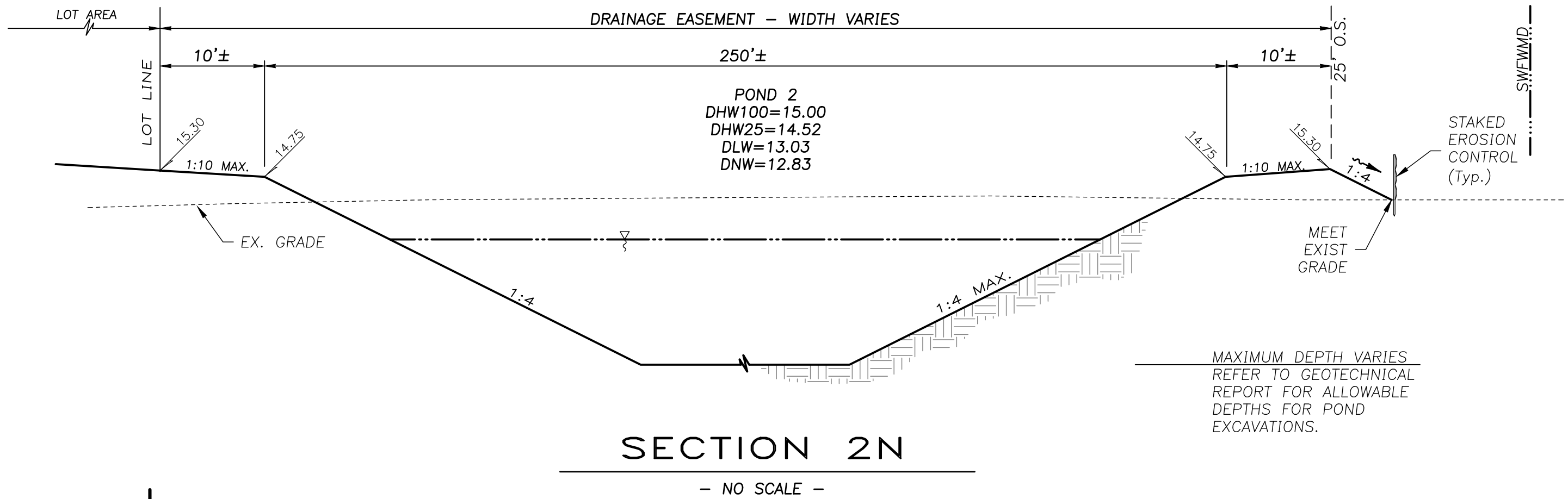
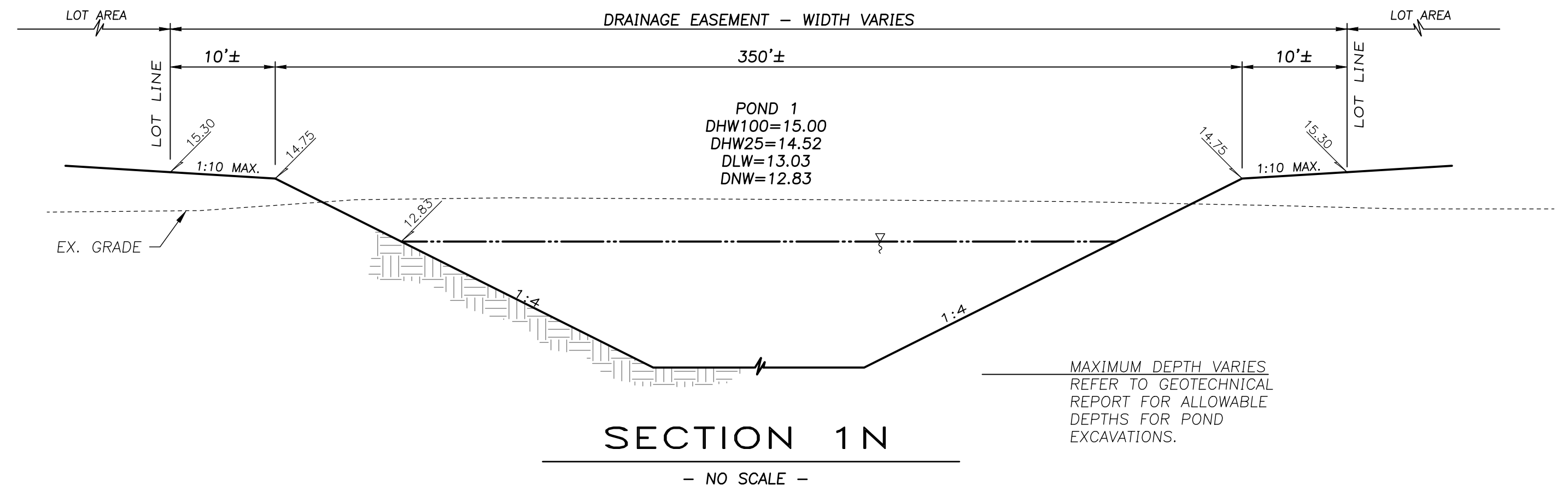
HIGH-PRESSURE GAS MAIN
IN CONSTRUCTION AREA

| | | | | | | | | |
|--------------------------|--|---|------------|---|--|----------------------------------|--|--|
| 04-20-2020 12-20-2019 | | ADD RIP RAP TO POND L-3 PERMIT PLANS | CMF INI |  |  Clearview LAND DESIGN, P.L. Engineering Business C.A. No.: 28825 2010 W Azeele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | NEIGHBORHOOD GRADING PLAN | | |
| DATE | | DESCRIPTION | BY | | JOB NO. NCI-CO-003 | FIORE (F.K.A. CIELO PH. 2) | | |
| DATE | | DESCRIPTION | BY | | DESIGN CMF | NEAL COMMUNITIES | | |
| DATE | | DESCRIPTION | BY | DATE: 08/24/2020 | DRAWN DNS | PREPARED FOR: | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAD 88 = -1.11 Feet | |
| DATE | | DESCRIPTION | BY | CHRISTOPHER FISHER NO. 85555 FLORIDA PROFESSIONAL ENGINEER | FILE NG03 | SHEET 12 OF 39 SHEETS | | |



POND GRASSING NOTE
For pond side slopes of 1:4 seed down to existing water level at time of construction. For 1:2 pond slopes install staked sod down to existing water level at time of construction.

POND EXCAVATION NOTE
No pond excavation (for any purpose) shall extend beyond or below the permitted design depths/elevations shown on the drawings unless additional testing supports otherwise and such operation is consistent with permit requirements. No deeper semi-confining unit clayey materials and no weathered limestone materials shall be excavated, even if these materials are encountered within the permitted excavation depths/elevations shown on the drawings. Temporary dewatering ditches or sumps (for pond excavation) shall not extend below the permitted design depths/elevations shown on the drawings. If any deeper semi-confining unit clayey materials or weathered limestone materials are encountered above the permitted excavation depths/elevations, then excavation operations in that pond area shall cease immediately in the general area, the geotechnical consultant shall be notified to provide subsequent evaluations/recommendations as appropriate, and the contractor shall implement the recommendations.

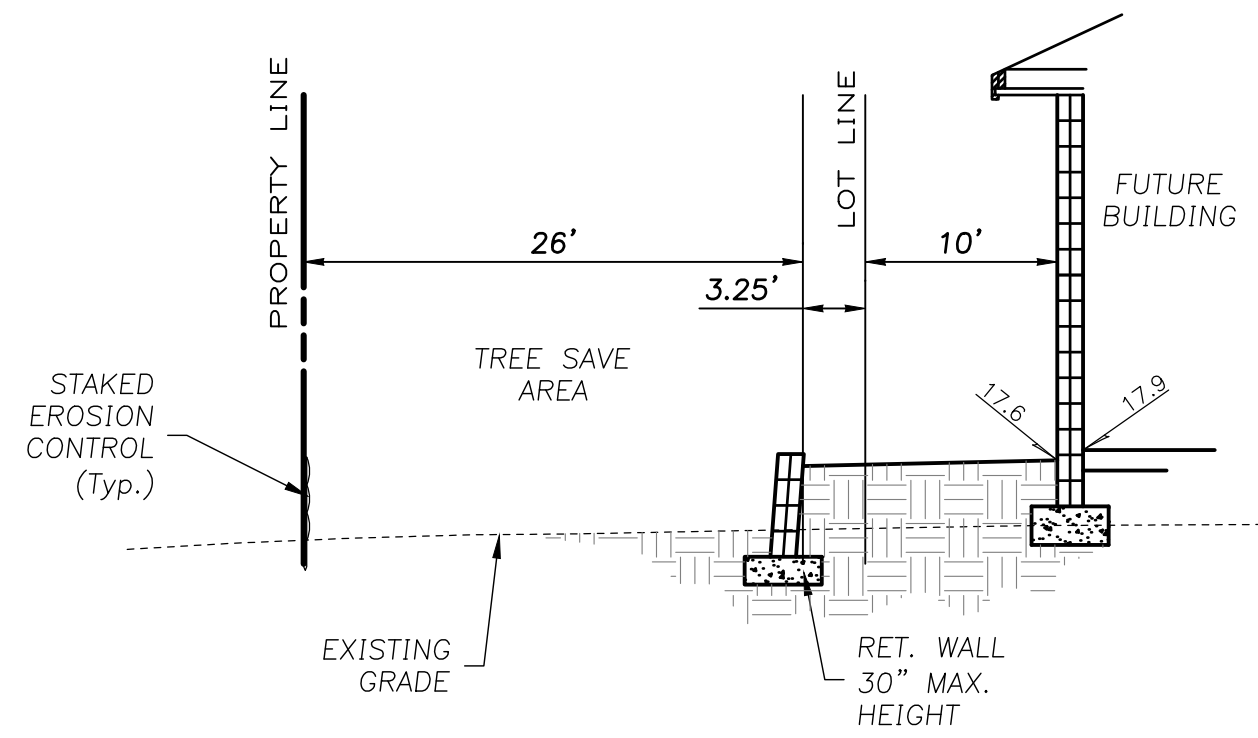


Clearview
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
2010 W Azeele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

CHRISTOPHER M. FISHER, P.E.
No. 85555
STATE OF FLORIDA
PROFESSIONAL ENGINEER

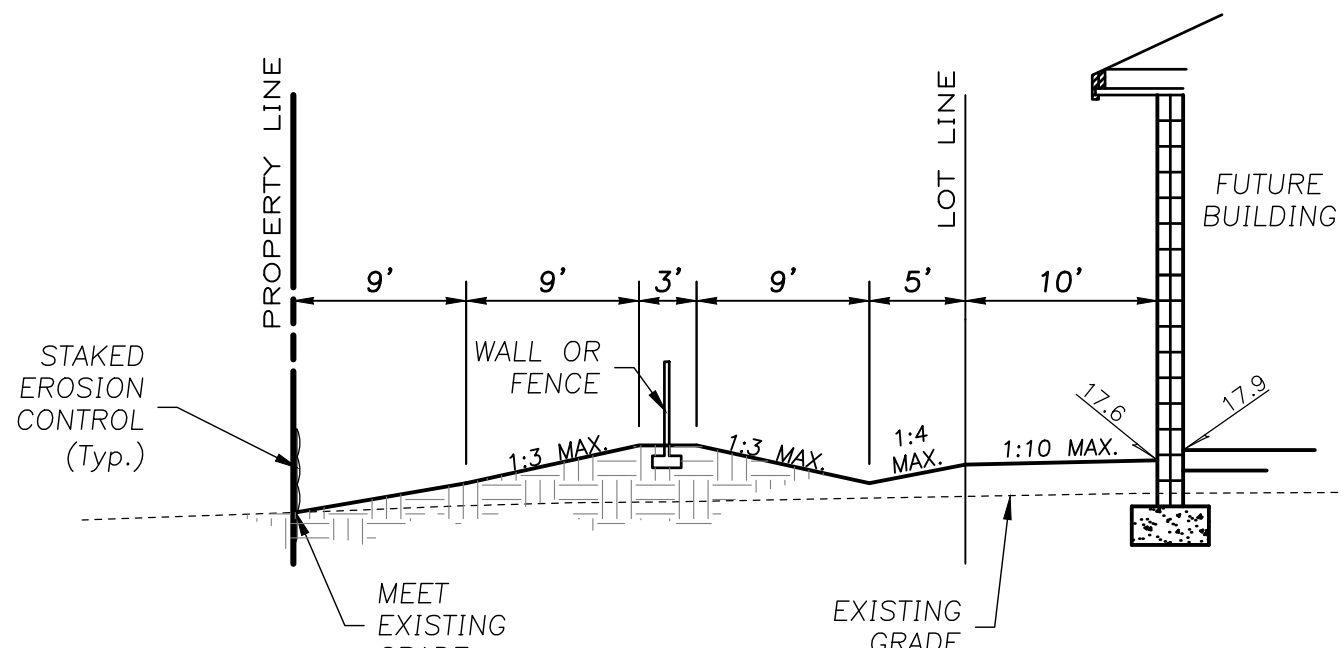
DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

| CROSS SECTIONS | | | |
|----------------|---|--|--|
| JOB NO. | FIORE (F.K.A. CIELO PH. 2) | | |
| DESIGN | NEAL COMMUNITIES | | |
| DRAWN | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | | |
| DATE | 12-20-2019 | | |
| FILE | SEC | | |
| SEC | SHEET 13 OF 39 SHEETS | | |



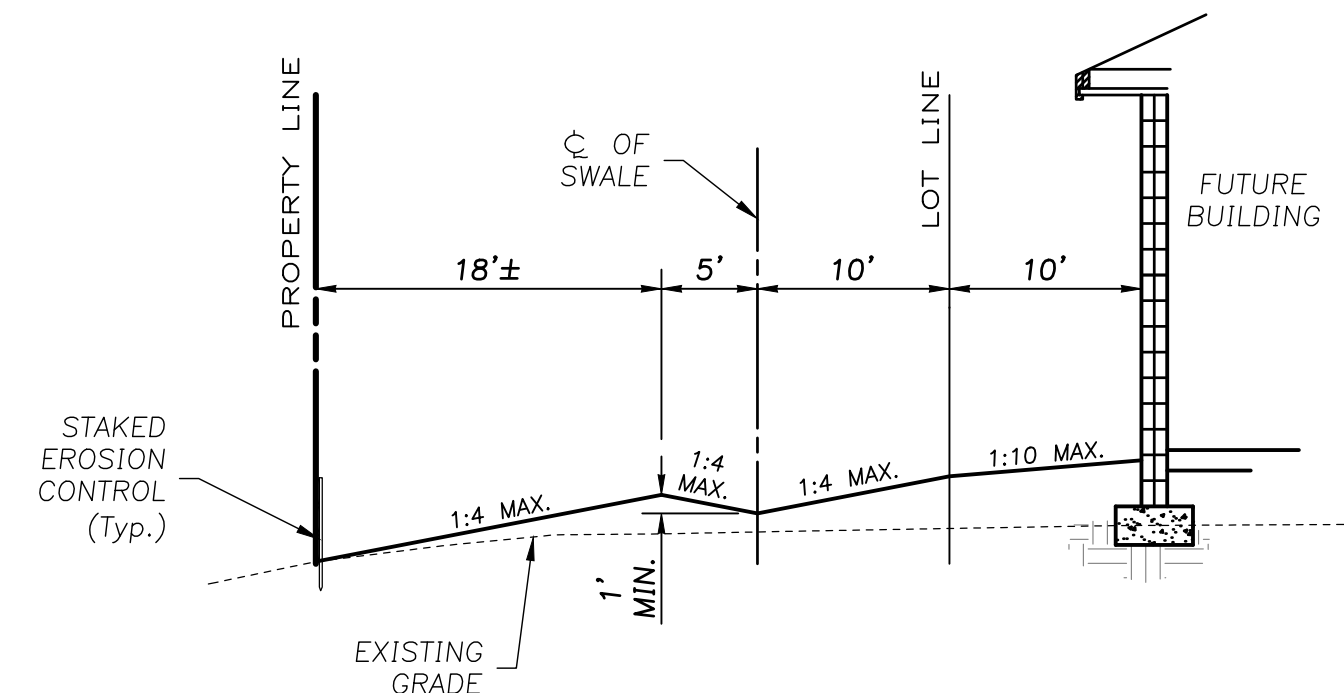
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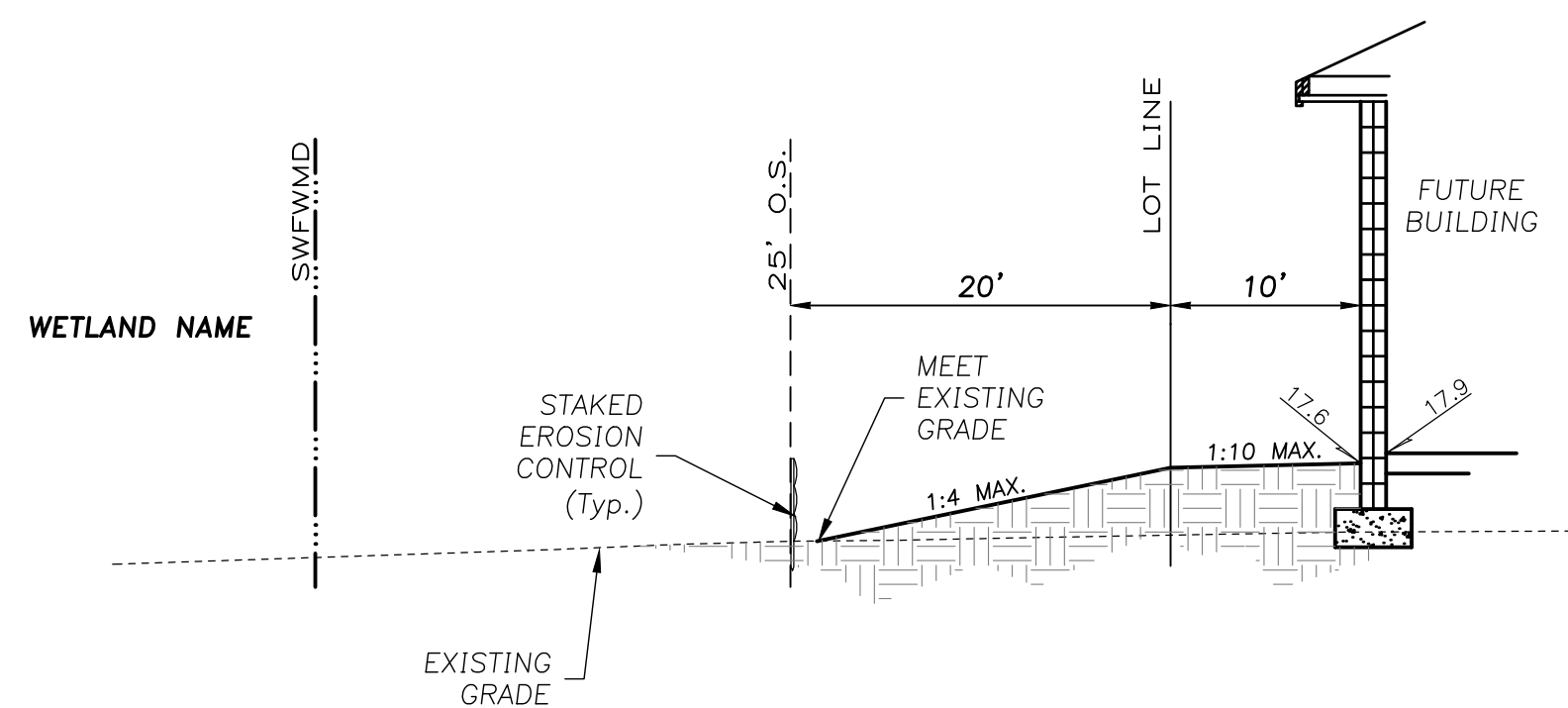
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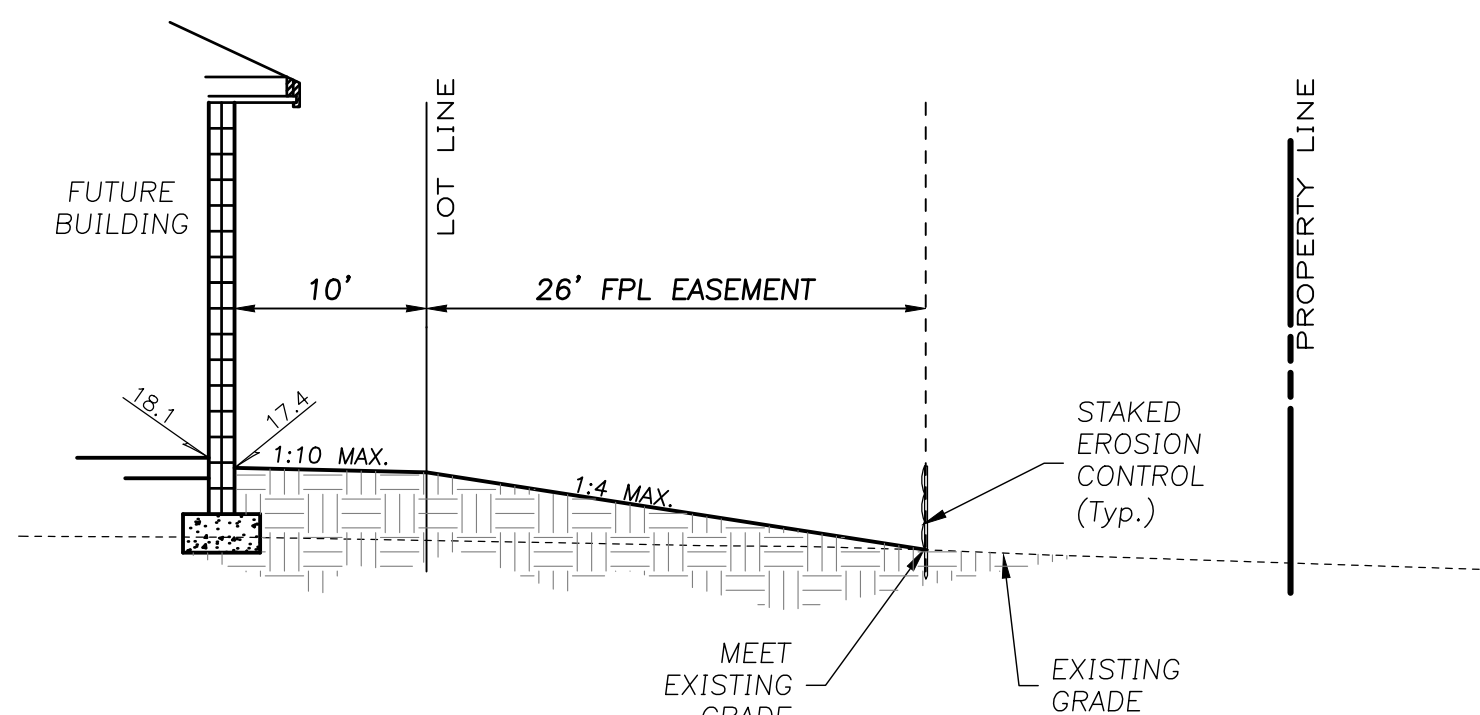
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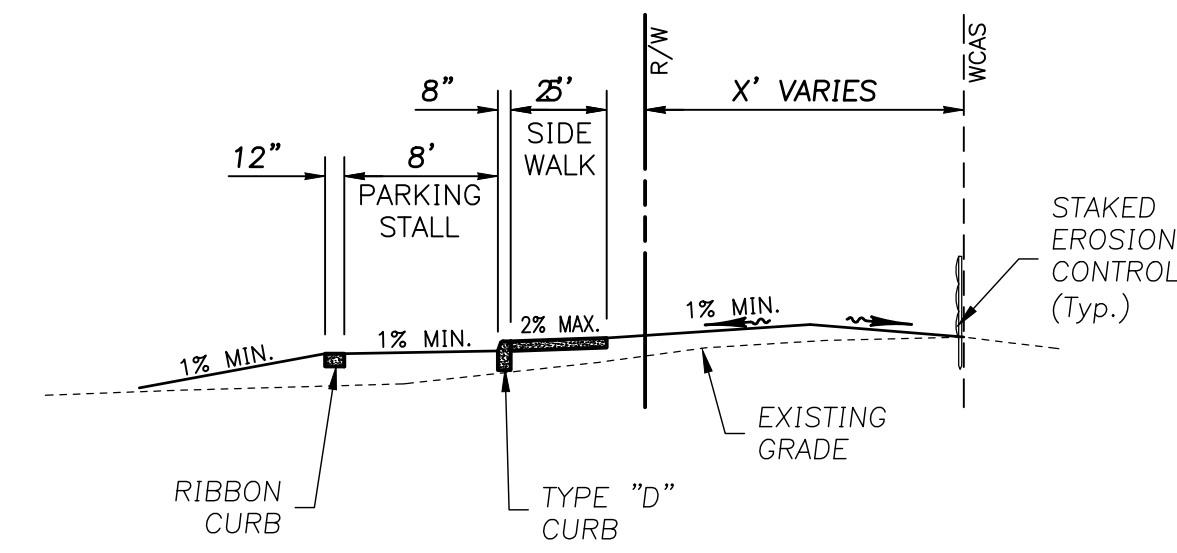
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SECTION N2

- NO SCALE -



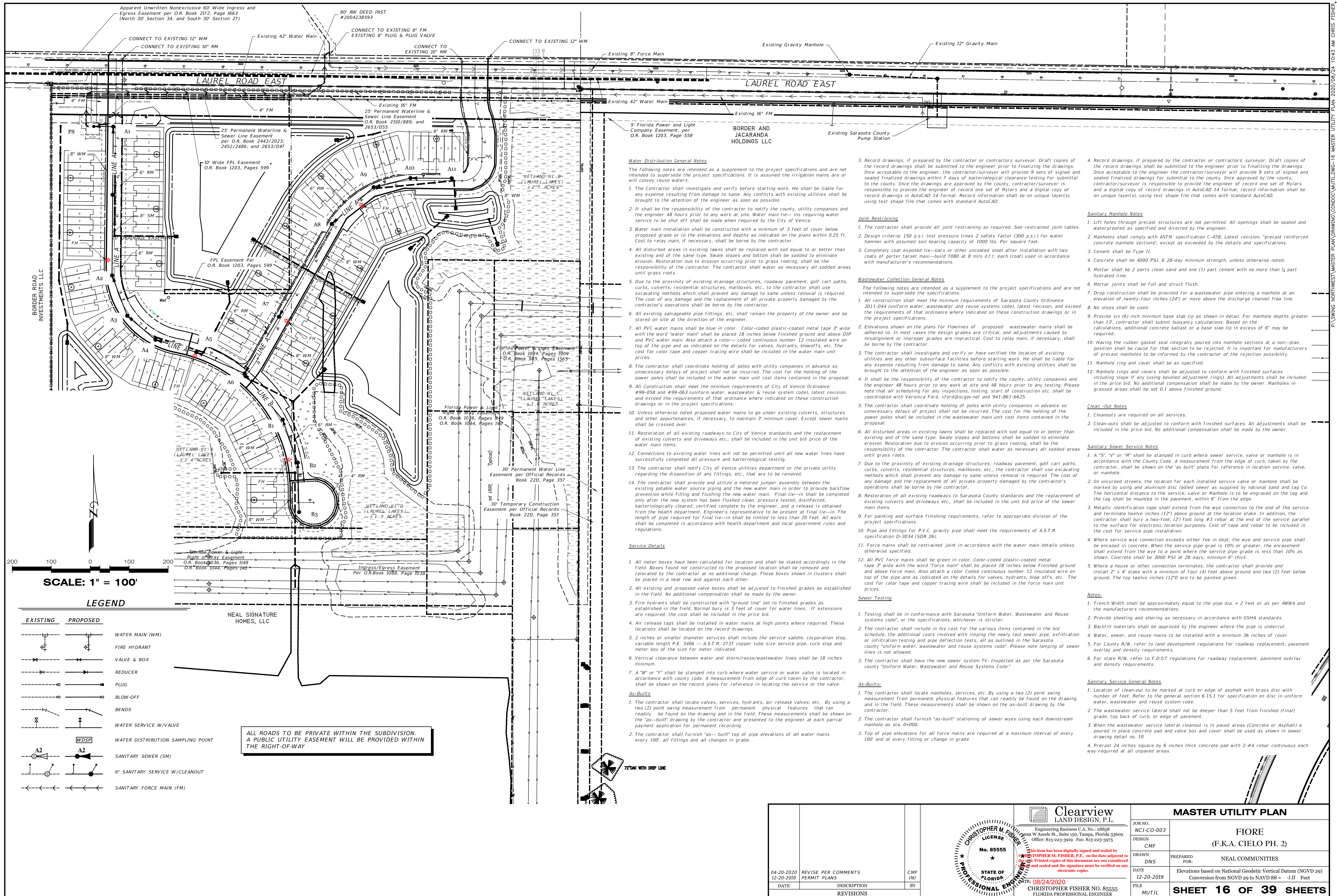
SECTION D1

- NO SCALE -

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| CROSS SECTIONS | | |
|--|--|--|
| JOB NO. NC1-CO-003 | | |
| DESIGN CMF | | |
| DRAWN DNS | | |
| DATE 12-20-2019 | | |
| FILE SEC | | |
| FIORE (F.K.A. CIELO PH. 2) | | |
| PREPARED FOR: NEAL COMMUNITIES | | |
| Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | | |
| SHEET 14 OF 39 SHEETS | | |



WILLOW CHASE COMMUNITY

LAUREL ROAD EAST

19A

18

19

FORSAÑO BOULEVARD

GRASOLI LANE

19A

CIELO PHASE 1

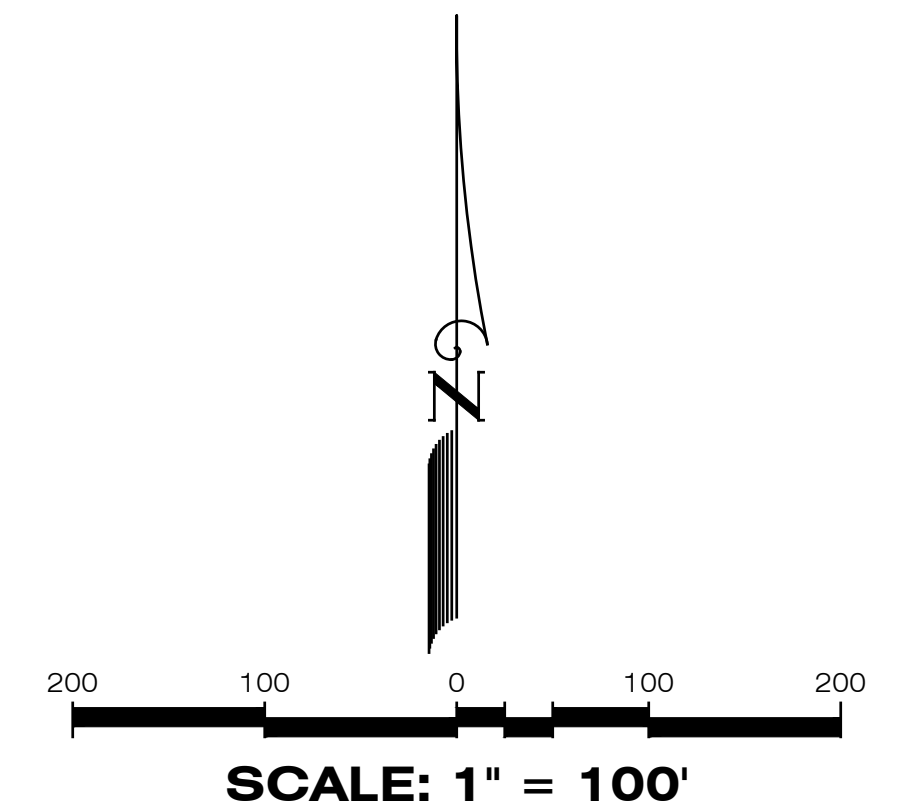
19A

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18


19A

CIELO PHASE 1



| | | | |
|------------|-------------|--------------|-----|
| 12-20-2019 | | PERMIT PLANS | INI |
| DATE | DESCRIPTION | BY | |
| REVISIONS | | | |





Clearview
LAND DESIGN, P.L.

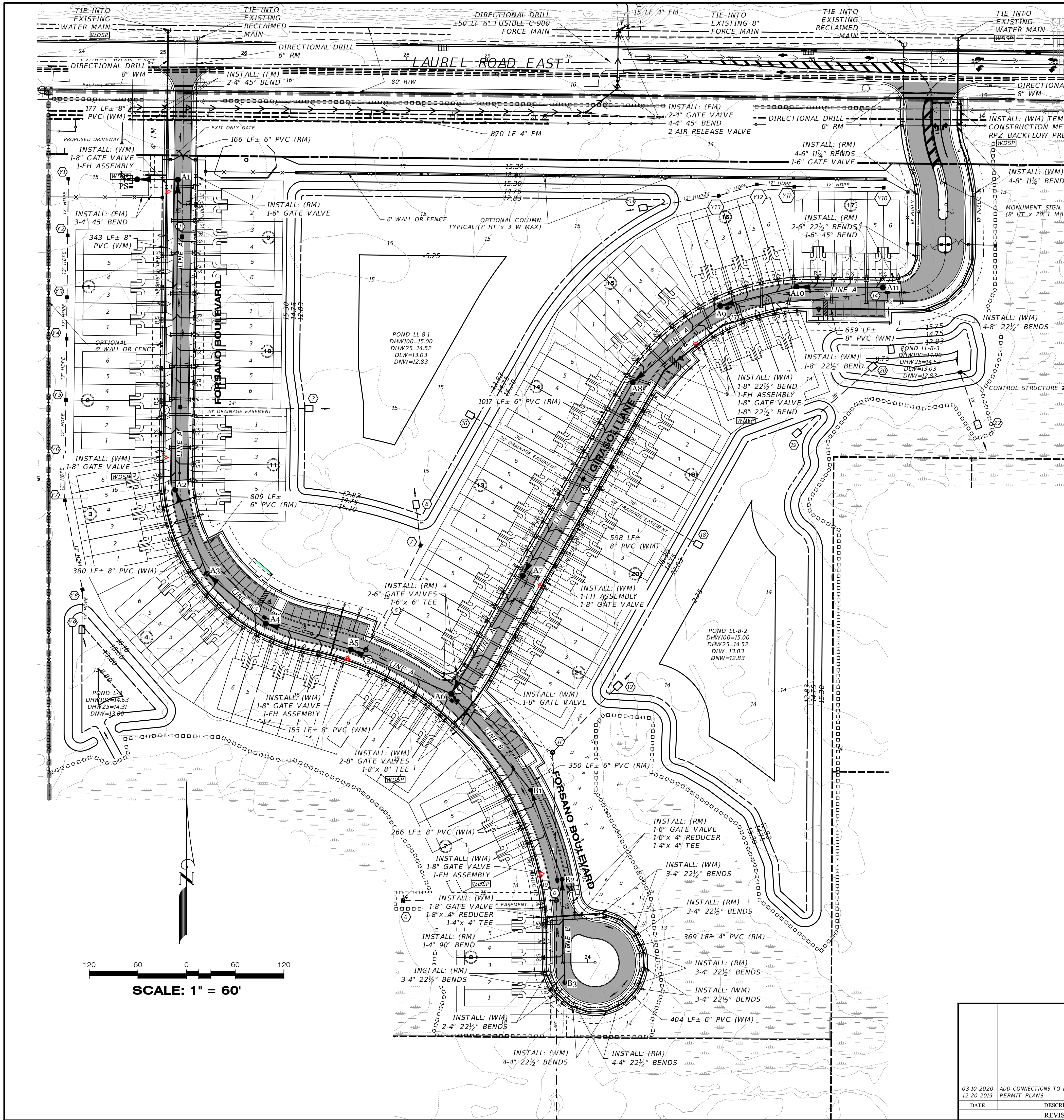
Engineering Business C.A. No.: 28858
3916 W Azalea St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

This item has been digitally signed and sealed by
CHRISTOPHER M. FISHER, P.E., on the date adjacent to
this seal. Printed copies of this document are not considered
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DATE: **08/24/2020**
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

| WATER SEWER KEY MAP | | | |
|------------------------------|--|--------------------------------------|--|
| JOB NO. NC1-CO-003 | | FIORE (F.K.A. CIELO PH. 2) | |
| DESIGN CMF | | | |
| DRAWN DWS | PREPARED FOR: | NEAL COMMUNITIES | |
| DATE 12-20-2019 | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | | |
| FILE WS-KEY | SHEET 3 OF 39 SHEETS | | |

P:\SWING NORTHWEST\MASTER PLAN\DRAWING\CONDOC\WS-KEY.DWG-3 WATER SEWER KEY MAP 2020/08/24 10:44 AM CHRIS FISHER*



- WATER AND SEWER CONSTRUCTION NOTES:**
1. Prior to construction, the Contractor shall obtain from the Engineer or Owner a copy of all pertinent permits related to this project. It is the Contractor's responsibility to assure that all construction activities are in compliance with the conditions of all permits and approvals.
 2. All construction, materials and workmanship are to be in accordance with City of Venice Standard Details and Sarasota County, General Notes and Testing Requirements Dated January 2018.
 3. Grass and mulch, or solid soil, all areas in existing rights-of-way disturbed by construction.
 4. In accordance with the Underground Facility Damage Prevention and Safety Act (Chapter 556, F.S.) the Contractor shall call the Sunshine State One Call of Florida (SSCOP) at 811 forty eight (48) hours in advance of any excavation.
 5. Contractor shall contact the engineer and/or the owner prior to any construction that may damage trees.
 6. Contractor shall verify locations and depths of existing water and sewer lines prior to beginning construction.
 7. Contractor shall be responsible for obtaining any and all road crossing and/or utility permits.
 8. The field-surveyed or reported locations of all existing underground and above-ground utilities known to exist at the time of plans production have been depicted hereon, however conflicts between existing and proposed utilities shall be brought to the attention of the Engineer of Record immediately.
 9. Adjusting manhole tops to match grade and slope of the finish paving shall be included in the respective contract unit price for manholes, payment of which will constitute full compensation for the construction and completion of the manhole, and no additional payment will be allowed or made for adjusting manhole tops.
 10. All Sanitary Sewer Manholes to be constructed in unpaved areas shall have water tight ring and cover.
 11. The locations and elevation of all service lines are to be determined in the field by owner and/or contractor prior to construction of same.
 12. All sanitary sewer laterals shall be marked with an electronic 4" diameter ball marker compatible with the Water Resource Services Department's electronic locator and left in place after the connection is made to the building.
 13. All sanitary sewer gravity main pipe and fittings shall be PVC SDR-26, and shall comply with ASTM D 3034.
 14. All 6" sanitary sewer pipe shall be constructed at a 1.0% minimum slope.
 15. All 4" sanitary sewer pipe shall be constructed at a 1.2% minimum slope.
 16. All water main pressure pipe shall have a minimum 36" cover.
 17. All PVC water main pressure pipe shall conform to the requirements found in AWWA C-900, Class 200, DR-18 (latest edition at the time of plan approval). All fittings and required appurtenances shall meet the requirements of the Standard Details, General Notes and Testing Requirements Dated January 2018.
 18. All DIP water main pressure pipe shall be Class 50 and conform to the requirements found in ANSI/AWWA C151/A 21.51.
 19. All water main pipe and fittings installed under this project shall be color coded or marked in accordance with subparagraph 62-555.320(2)(b)3, Florida Administrative Codes, using blue as the predominant color.
 20. Sanitary sewers, force and reclaimed mains and storm sewers should cross under water mains. Sanitary sewers, force and reclaimed mains and storm sewers crossing water mains shall be laid to provide a minimum vertical distance of 18 inches between the invert of the upper pipe and the crown of the lower pipe whenever possible.
 21. When sanitary sewers, force and reclaimed mains and storm sewers must cross a water main with less than 18 inches vertical distance, the water main shall be constructed of ductile iron pipe (DIP) at the crossing. Sufficient lengths of DIP must be used to provide a minimum separation of 10 feet between any two joints. All joints on the water main within 20 feet of the crossing must be leak free and mechanically restrained. A minimum vertical clearance of 6 inches must be maintained at the crossing.
 22. Where there is no alternative to sewer and reclaimed pipes crossing over a water main, the criteria for minimum separation of 18 inches between lines and 10 feet between joints shall be required.
 23. All crossings shall be arranged so that the sewer and reclaimed pipes joints and the water main pipe joints are equidistant from the point of crossing (pipes centered on the crossing).
 24. Where a new pipe conflicts with an existing pipe, the new pipe shall be constructed of DIP and the crossing shall be arranged to meet the requirements above.
 25. A minimum 10-foot horizontal separation shall be maintained between any type of sewer and water main in parallel installations whenever possible. A minimum 5-foot horizontal separation shall be maintained between reclaimed water mains and water mains in parallel installation whenever possible.
 26. In cases where it is not possible to maintain a 10-foot horizontal separation between any type of parallel sewer and water main, the water main must be laid in a separate trench or on an undisturbed earth shelf located on one side of the sewer or force main at such an elevation that the bottom of the water main is at least 18 inches above the top of the sewer.
 27. Where it is not possible to maintain a vertical distance of 18 inches or a horizontal distance of 10 feet in parallel installations, the water main shall be constructed of DIP and the sewer or the force main shall be constructed of DIP (if available in the size proposed) with a minimum vertical distance of 6 inches. The water main should always be above the sewer. Joints on the water main shall be located as far apart as possible from joints on the sewer or force main (staggered joints).
 28. All DIP shall be class 50 or higher. Adequate protective measures against corrosion shall be used.
 29. Water main shall be located 5' off right-of-way line unless otherwise noted.
 30. All PVC force main pressure pipe sizes 4" - 12" shall be AWWA C900 DR 18 PVC; sizes 16" and greater shall be AWWA C905 SDR 18 PVC.
 31. Force main shall be located 5' off right-of-way line unless otherwise noted.
 32. Force main depth of cover shall not be less than 48".
 33. Bends shall be installed in force main and/or water main to avoid unforeseen conflicts in existing or proposed structures.
 34. The joint deflection method shall be used where practical in lieu of installing bends.
 35. Fire hydrant, gate valve and blow-off valve assemblies shall consist of all pipe, valves, tees, fittings, and any and all other appurtenances comprising a complete, working unit.
 36. The location of new fire hydrants shall be identified with a blue reflective pavement marker installed on the roadway. The reflective marker shall be located perpendicular to the hydrant, in the center of the lane closest to the hydrant.
 37. The Engineer of Record and/or Contractor shall be responsible for the flow testing and color coding of all newly installed fire hydrants in the existing or proposed City of Venice right-of-way and utility easements that are to be dedicated to City of Venice prior to the final inspection of the project. The Engineer of Record and/or Contractor shall refer to NFPA Standard 291 for flow testing and color coding methods and procedures.
 38. On both water and sewer taps, contractor to provide and install tapping sleeve and valve and all appurtenances for City of Venice or Sarasota County to make tap.
 39. All valve box assemblies located within roadways or parking areas shall be protected from truck traffic by use of 6" thick reinforced concrete pads poured around valve boxes (see detail).

- TRENCH NOTES**
1. Where water, reuse and/or sewer mains cross with less than eighteen inches (18") vertical clearance, one of the following methods of protection shall be utilized:
A. Should a conflict arise with an existing sewer or reuse main the proposed water main shall be minimum of twenty feet (20') of AWWA C-900 DR-14 PVC or CL-51 D.I.P. centered on the point of crossing.
B. Where a conflict arises with an existing water or reuse main, the proposed sewer main shall be a minimum of twenty feet (20') of AWWA C-900 DR-14 PVC, centered on the point of crossing.
C. Where a conflict arises with proposed water, reuse and/or sewer mains, the water and reuse main shall be a minimum of twenty feet (20') of AWWA C-900, DR-14 PVC, or CL-51 D.I.P., while the sewer main shall be a minimum of twenty feet (20') of AWWA C-900 DR-14 PVC, centered on the point of crossing.
 2. When a water main parallels a wastewater line, a horizontal separation of at least ten feet (10') from outside edge to outside edge, should be maintained. When separated by less than 10 feet (10') horizontally the water main shall be AWWA C-900 DR-14 PVC, or Class -51 D.I.P., and sewer lines shall be AWWA C-900 DR-14 PVC. Joints shall be staggered to maximize joint separation.
 3. When a water main or wastewater line parallels a reuse main, a horizontal separation of at least five feet (5') center of pipe to center of pipe, should be maintained. In no case shall the horizontal separation be less than three feet (3') from outside edge of pipe to outside edge of pipe.
 4. Trench shall be braced or shored in accordance with the "Florida Trench & Safety Act".
 5. Width of trench bottom shall be outside diameter of pipe plus twelve inches (12") Each side, maximum.

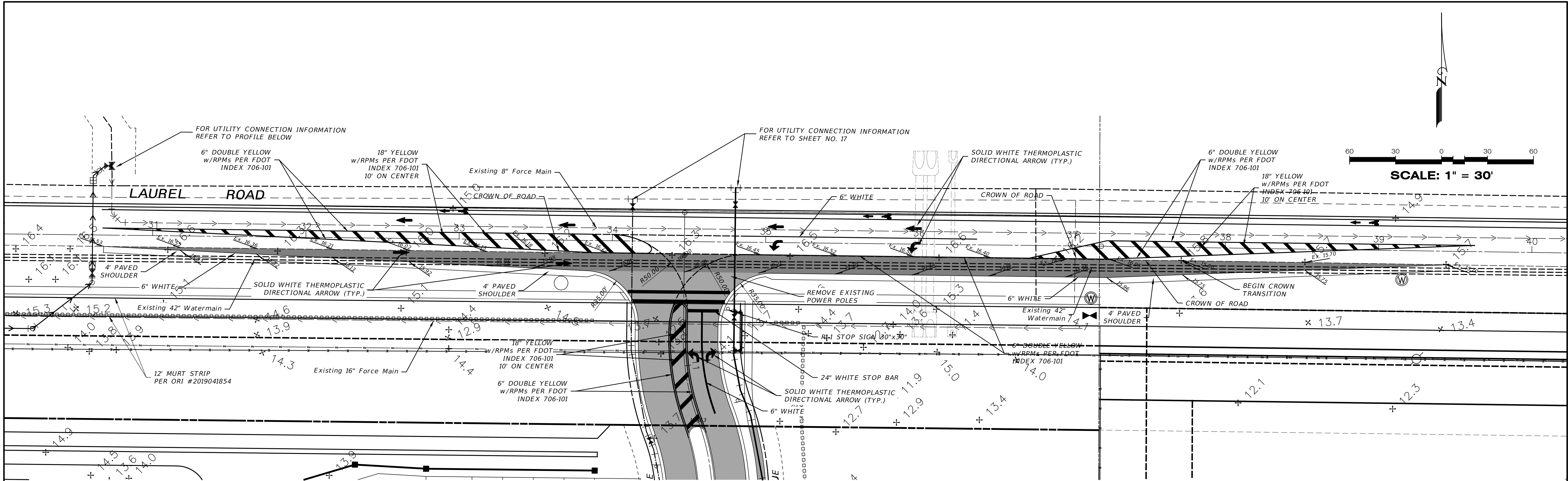
| LEGEND | | |
|----------|----------|--------------------------------------|
| EXISTING | PROPOSED | |
| | | WATER MAIN (WM) |
| | | FIRE HYDRANT |
| | | VALVE & BOX |
| | | REDUCER |
| | | PLUG |
| | | BLOW-OFF |
| | | BENDS |
| | | DUAL SERVICE (WM) NEAR SIDE |
| | | SINGLE SERVICE (WM) NEAR SIDE |
| | | (2 LOTS) |
| | | SINGLE SERVICE (WM) FAR SIDE |
| | | DUAL SERVICE (WM) FAR SIDE |
| | | W/SERVICE SLEEVE |
| | | DUAL SERVICE (WM) FAR SIDE |
| | | W/SERVICE SLEEVE |
| | | WATER SERVICE W/VALVE |
| | | WATER DISTRIBUTION SAMPLING POINT |
| | | SANITARY SEWER (SM) |
| | | SINGLE SANITARY SERVICE |
| | | DOUBLE SANITARY SERVICE |
| | | SANITARY FORCE MAIN (FM) |
| | | RECLAIMED MAIN (RM) |
| | | DUAL SERVICE (RM) NEAR SIDE |
| | | SINGLE SERVICE (RM) NEAR SIDE |
| | | SINGLE SERVICE (RM) FAR SIDE |
| | | DUAL SERVICE (RM) FAR SIDE |
| | | W/SERVICE SLEEVE |
| | | DUAL SERVICE (RM) FAR SIDE |
| | | W/SERVICE SLEEVE |

HIGH-PRESSURE GAS MAIN IN CONSTRUCTION AREA

| | | | |
|---|--|---|--|
| Engineering Business C.A. No.: 28858 2010 W. Azeele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | WATER & SEWER PLAN | |
| JOB NO. NC1-CO-003 | | FIORE (F.K.A. CIELO PH. 2) | |
| DESIGN CMF | | DRAWN D/NS | |
| DATE 12-20-2019 | | PREPARED FOR NEAL COMMUNITIES | |
| FILE W/5 | | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | |
| SHEET 17 OF 39 SHEETS | | | |

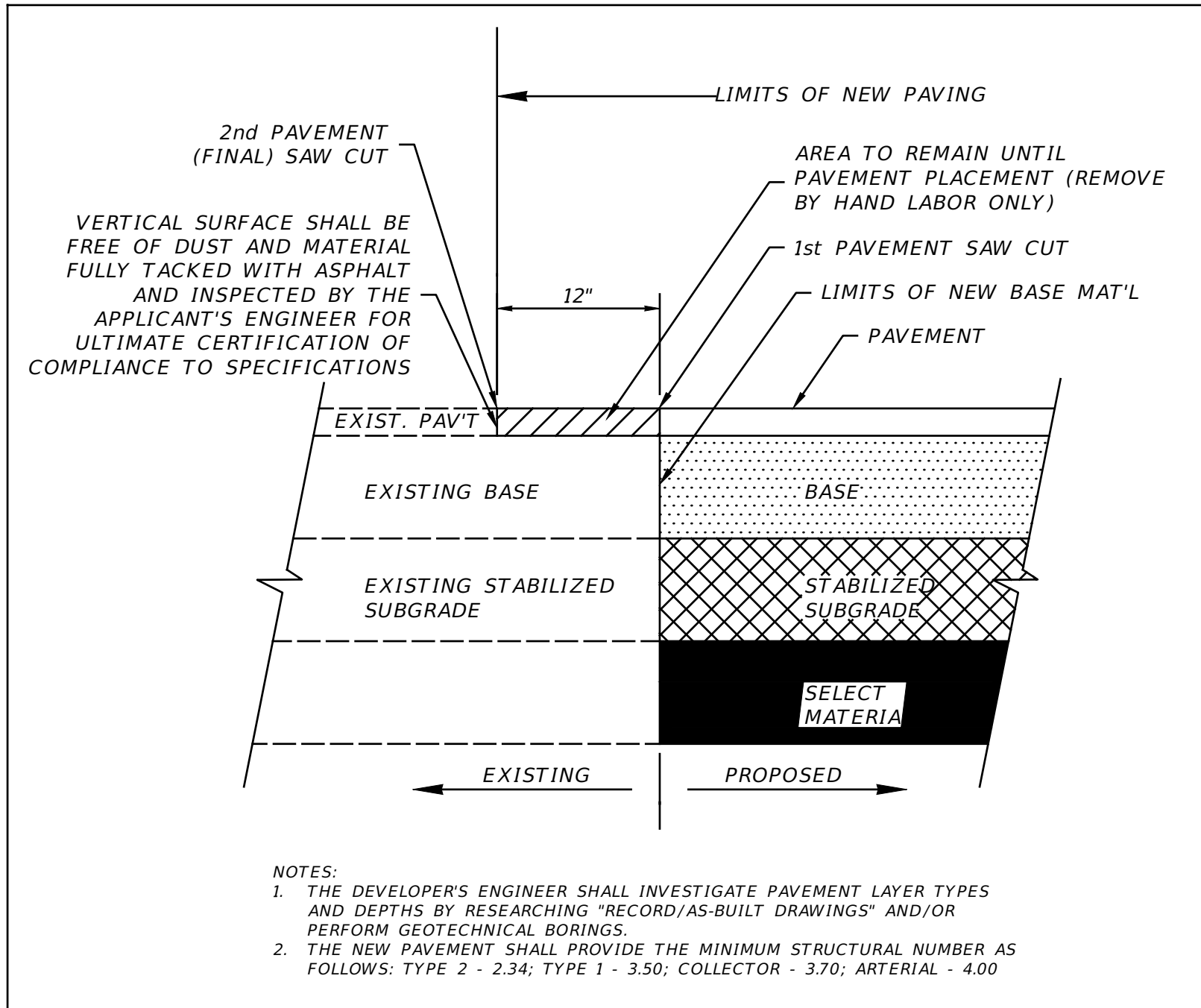
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DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER



HIGH-PRESSURE GAS MAIN
IN CONSTRUCTION AREA

TURN LANES TO BE ADDED
WITHIN R/W LAUREL ROAD



PAVEMENT TIE-IN SAW CUT DETAIL
N.T.S.

PAVEMENT STRUCTURE FOR TURN LANE ON LAUREL ROAD

| Layer Coefficients | Thickness |
|---|-----------|
| 0.22 - Type FC-3 Asphalt Surface | 1" |
| 0.44 - Type SP-3 Asphalt Surface | 2" |
| 0.15 - Crushed Concrete Base (LBR 150 min.) | 10" |
| 0.08 - Stabilized Subgrade (LBR 40 min) | 12" |
| SN = (0.44) ($\frac{1}{12}$) + (0.44) ($\frac{2}{12}$) + (0.15) ($\frac{10}{12}$) + (0.08) ($\frac{12}{12}$) = 3.78 | |

SPECIFICATIONS FOR DESIGN AND INSTALLATION
OF TRAFFIC CONTROL DEVICES ON COUNTY ROADS

- Purpose:
These specifications have been developed to provide developers with a uniform system for installation of traffic control devices on the County road system. A uniform system provides for reduced maintenance costs and a high standard of visibility for drivers. All required traffic control devices shall be installed by the developer of the project.
- Florida State Statute 316.0745:
 - Any and all traffic control devices installed on the County road system shall conform to Florida State Statute 316.0745, Uniform Signals and Devices.
 - This statute requires that all devices conform to Florida Department of Transportation (FDOT) Specifications. The FDOT has adopted the Federal Manual on Uniform Traffic Control Devices as the standards to be used in the State of Florida.
- Pavement Markings:
 - All pavement markings shall be thermoplastic or preformed tapes; raised pavement markers shall be class "B".
 - Pavement markings and raised pavement markers shall be installed on all roads classified other than residential with an ADT greater than 500 vehicles, or if other conditions exist that require pavement markings, (see M.U.T.C.D. Section 3B-1).
- Traffic Control Signs:
 - All sign blanks shall be of a type currently certified by the FDOT for use in the State of Florida.
 - All sign faces shall be High Intensity grade and of a type currently certified by the FDOT for use in the State of Florida.
 - All signs shall be no less than the standard size as specified by the Federal Manual on Uniform Traffic Control Devices. No minimum size signing shall be accepted. Larger signs shall be used when required by design speed, etc.
 - Street name signs shall be 8" on local roads, and 9" on collector and arterial roads. Six inch signs shall have 4" series C letters and 9" signs shall have 6" series B letters. All street name signs on private roads shall be standard D3 street name signs with the colors reversed. White background with green letters and border. At intersections with county maintained roads, the county maintained road shall be green background with white letters and border. Street name sign brackets for 6" signs 30" long or less, or 9" signs 24" long or less, shall have a 5 inch blade or cross. All other street name signs shall be mounted with brackets with a 12 inch blade or 8 inch cross. All street name sign brackets shall be supplied with bolts, set screws will not be accepted.
 - On roads to be maintained by Pasco County, all signs other than street names shall be date coded with a yellow reflective label affixed to the back of the sign. It will be punched to show month, day and year of installation (See Sample Label). Alternate label designs providing the date code information may be used if a sample is submitted and approved by Pasco County prior to installation.

Sample Label: size 2" x 4"

WARNING

REMOVAL OF, OR DEFACING ANY TRAFFIC CONTROL
DEVICE IS PUNISHABLE BY FINE AND/OR IMPRISONMENT
REPORT DAMAGE BY CALLING (727) 847-2411

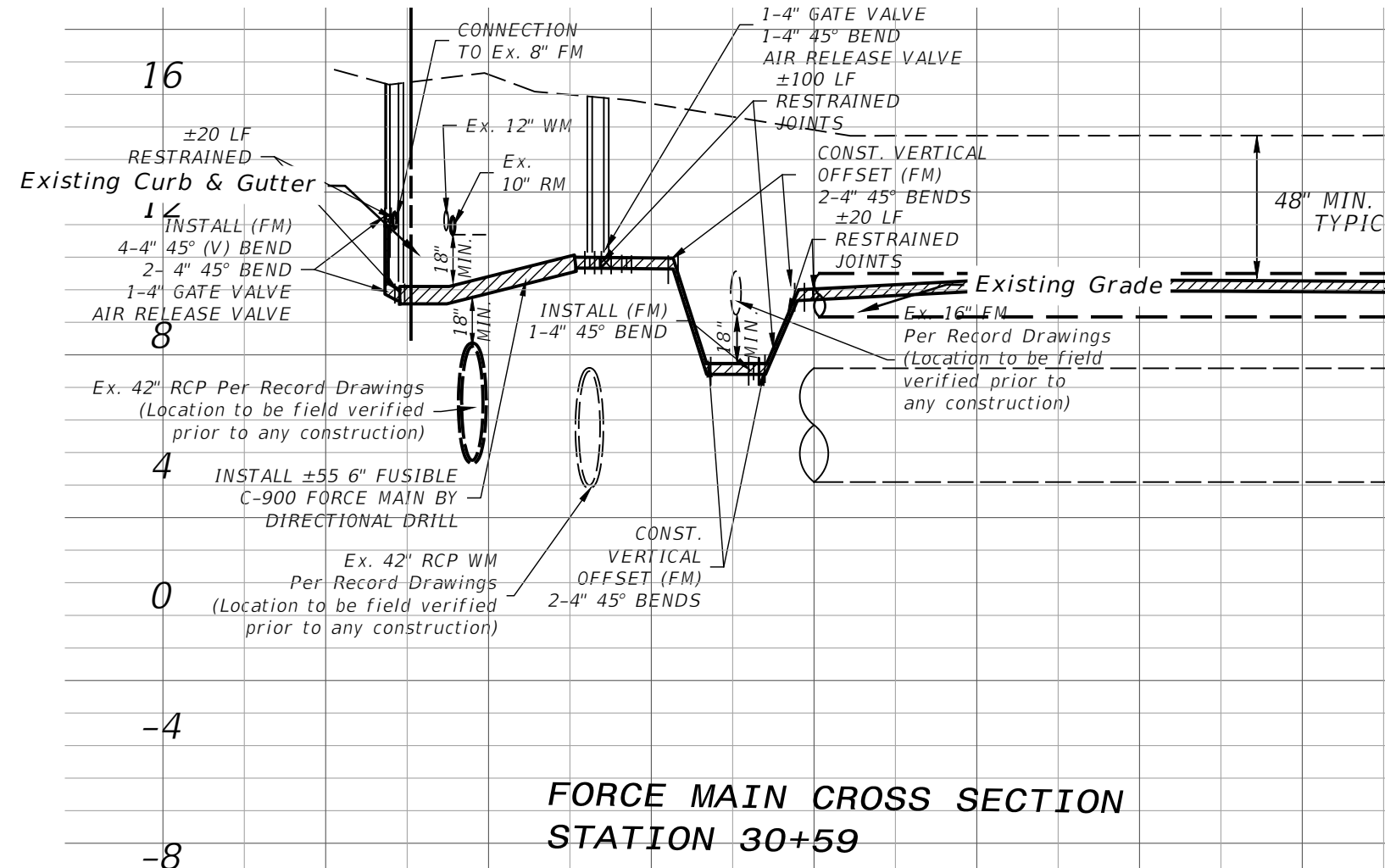
| INSTALLED | | | | | | | | | | | |
|-----------|------|------|----|----|----|----|----|----|---|---|---|
| J | F | M | A | M | J | J | A | S | O | N | D |
| 10's | 20's | 30's | - | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | | | |

CALL 48 HOURS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



| | | | |
|------------|-------------|--------------|-----|
| 12-20-2019 | | PERMIT PLANS | INI |
| DATE | DESCRIPTION | BY | |
| REVISIONS | | | |

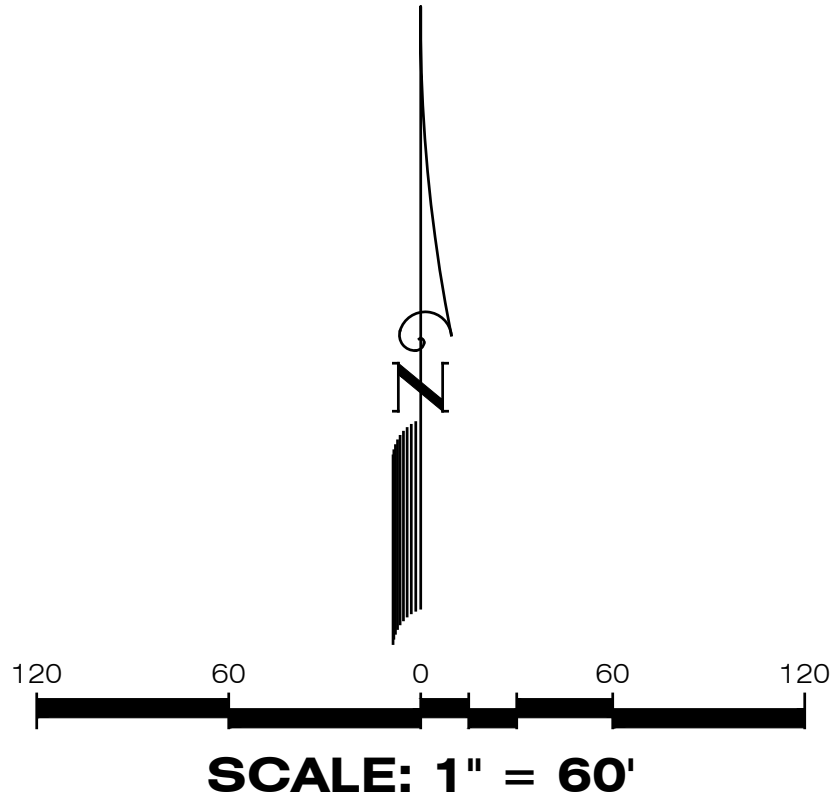
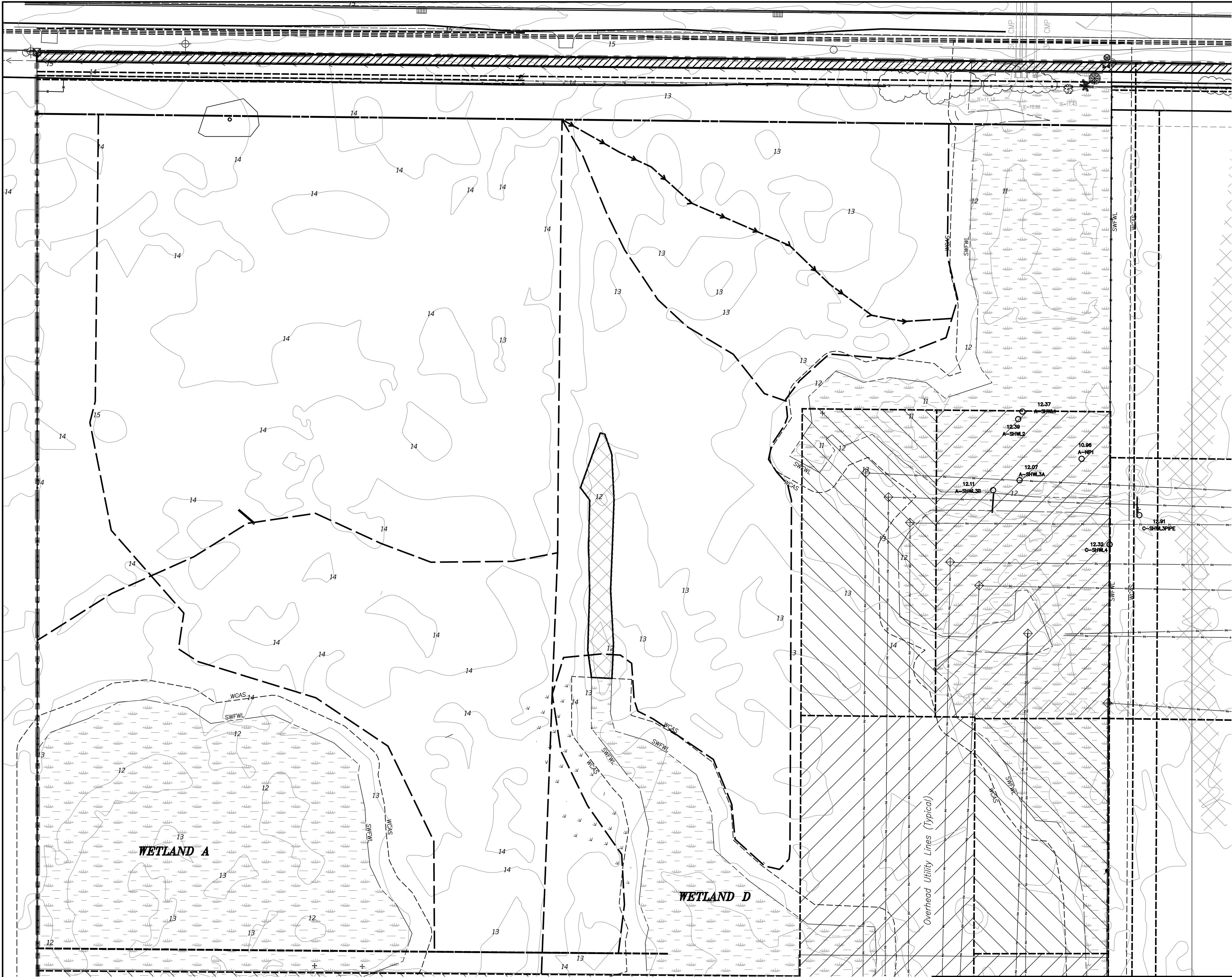
Clearview
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
2010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

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CHRISTOPHER M. FISHER, P.E. on the date adjacent to
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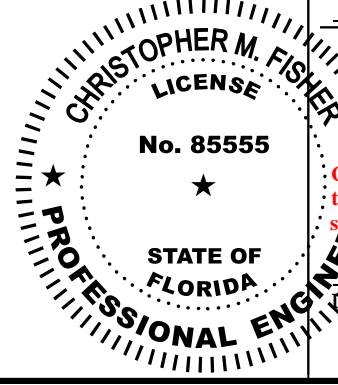
DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

| INTERSECTION IMPROVEMENTS | |
|---------------------------|---|
| JOB NO. NCI-CO-003 | FIORE (F.K.A. CIELLO PH. 2) |
| DESIGN CMF | |
| DRAWN DNS | PREPARED FOR: NEAL COMMUNITIES |
| DATE 12-20-2019 | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet |
| FILE INT | SHEET 34 OF 39 SHEETS |



| LEGEND | | |
|----------|----------|---------------------------------------|
| EXISTING | PROPOSED | |
| | | CONTOUR |
| | | DIRECTION OF SURFACE FLOW |
| | | FEMA FLOOD ZONE BOUNDARY |
| | | BASE FLOOD ELEVATION (FT) |
| | | SWFWMD WETLAND LINE |
| | | 15' WETLAND CONSERVATION AREA SETBACK |
| | | WETLAND CONSERVATION AREA |
| | | WETLAND/HYDROPERIOD ID |
| | | WETLAND HYDROPERIOD DATA |
| | | WETLAND AREAS |
| | | PROPOSED WETLAND IMPACTS |
| | | PROJECT BOUNDARY |
| | | 0.10 AC. MINOR DRAINAGE AREA ACREAGE |
| | | DRAINAGE AREA |
| | | 100 YEAR BASE FLOOD ELEVATION |
| | | 100 YEAR FLOODLINE DETAILED STUDY |

| | | |
|------------|--------------|-----|
| 12-20-2019 | PERMIT PLANS | INI |
| DATE | DESCRIPTION | BY |
| | REVISIONS | |



Clearview
LAND DESIGN, P.L.L.C.
Engineering Business C.A. No.: 28858
2010 W Azele St., Suite 150, Tampa, Florida 33609
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DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

| PRE-DEVELOPMENT DRAINAGE AREA MAP | |
|-----------------------------------|---|
| JOB NO. NCI-CO-003 | FIORE (F.K.A. CIELO PH. 2) |
| DESIGN CMF | NEAL COMMUNITIES |
| DRAWN DNS | PREPARED FOR: |
| DATE 12-20-2019 | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet |
| FILE DRA-PRE | SHEET 35 OF 39 SHEETS |

STORM WATER POLLUTION PREVENTION PLAN

Contained on these plans and within the following notes is a Storm Water Pollution Prevention Plan (SWPPP) which has been developed by Clearview Land Design, the Developer as identified in the title box of these plans, and the site contractor and his sub-contractors. Each team member has specific responsibilities and obligations. In general, all team members, with regard to their involvement and responsibilities on the project, are to implement all necessary storm water management controls to assure compliance with the NPDES Generic Permit for Storm Water Discharges from Construction Activities, the Southwest Florida Water Management District Permit, the applicable local governing agency (i.e. Hillsborough County, Pasco County, etc.) and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows:

CLEARVIEW LAND DESIGN, P.L.

- A. Develop SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria. This design is included within these construction plans and the following notes and instructions.
- B. Submit and obtain the necessary design related storm water permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governmental bodies.
- C. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the FDEP on behalf of the developer and copy the contractor including SWPPP certification and copy of the permit.
- D. Submit to SWFWMD and the operator of the municipal separate storm water system, if applicable, a letter of construction commencement.
- E. Complete and submit a Notice of Termination and certification for developer. The NOI's shall be submitted no more than 30 days after (a) completion of the project and final stabilization of the site or (b) when responsibility for the site has ended. Final stabilization as defined by EPA is when all soil disturbing activities at the site have been completed and a uniform (e.g. evenly distributed, without large bare areas) perennial vegetative cover with a density of 70% of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures. As an alternative, equivalent permanent stabilization measures (such as silt riprap, gabions, or geotextiles) may be employed. The client shall notify Clearview Land Design when one of these criteria has been met.

CONTRACTOR

- A. Sign and return to Clearview a Contractors Certification Form certifying your understanding of and willingness to comply with the Storm Water Pollution Prevention Plan no later than 48 hours prior to commencement of construction. Also, each subcontractor affected by the SWPPP must certify to the contractor that they understand and shall comply with the NPDES permit and SWPPP. A record of these certifications shall be maintained by the contractor on site.
- B. During construction, assure compliance with the designed Storm Water Pollution Prevention Plans prepared by Clearview Land Design and the NPDES Generic Permit for Storm Water Discharges from Large and Small Construction Activities.
- C. Maintain a copy of the construction plans, which include the Storm Water Pollution Prevention Plan, the NOI, and all inspection reports and certifications on site.
- D. Undertake all reasonable Best Management Practices (BMP's) to assure that silted or otherwise polluted storm water is not allowed to discharge from the site during all phases of construction. Stabilization BMP's that may be used include: temporary or permanent seeding, mulching, geotextiles, sodding, vegetative buffer strips, protection of trees and preservation of mature vegetation. Structural erosion and sediment control BMP's that may be used include: straw bale dikes, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface drain, pipe slope drain, level spreaders, storm drain inlet protection, outlet protection, sediment traps, and temporary sediment basins. Detention ponds may also be used as temporary sediment basins. Additional BMP's that may need to be implemented include: providing protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials. Providing waste receptacles at convenient locations and providing regular collection of wastes, including building material wastes. Minimizing off-site tracking of sediments. Making adequate preparations, including training and equipment to contain spills of oil and hazardous materials. Complying with applicable state or local waste disposal, sanitary sewer or septic system regulations and the use of appropriate pollution prevention measures for allowable non-storm water components of discharge.
- E. Notify Clearview Land Design and the developer in writing of any non-storm water pollution sources which are being stored, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. This notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.
- F. Develop a maintenance and inspection plan which includes, but is not limited to the following:

- A. The specific areas to be inspected and maintained that includes all the disturbed areas and material storage areas of the site.
- B. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls that the contractor deems necessary.
- C. Maintenance procedures.
- D. The procedure to follow if additional work is required or whom to call.
- E. Inspections and maintenance forms.
- F. The personnel assigned to each task.

The following shall be inspected a minimum of once a week or within 24 hours after 0.50 inches of rainfall:

- Stabilization measures (once a month if fully stabilized).
- Structural controls.
- Discharge points.
- Construction entrances and exits.
- Areas used for storage of exposed materials.

- An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures shall be taken no later than 7 days after the inspection occurred. If revisions to the SWPPP are needed, a report form for changes in the SWPPP shall be completed and a copy sent to Clearview Land Design, P.L. The original shall be kept on-site as documentation of the change. If the inspection passes, a certification that the facility is in compliance with the SWPPP and the NPDES permit must be signed by a duly authorized representative of the principal executive official of the operator of the SWPPP with one of the following qualifications:

- Has successfully completed the Florida Stormwater, Erosion and Sediment Control Inspector Training Program.
 - Successfully completed a similar training program.
 - Has enough practical on the job training to be qualified to perform the inspections.
- Retain inspection reports and certifications for at least three years.
- G. Site stabilization measures shall be initiated as soon as practical but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.

H. Releases in Excess of Reportable Quantities.

- The discharge of hazardous substances or oil in the stormwater discharge(s) from a facility or activity shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or activity. This permit does not relieve the operator of the reporting requirements of 40 CFR part 117 and 40 CFR part 302. Where a release containing a hazardous substance in an amount equal to or in excess of a reporting quantity established under either 40 CFR 117 or 40 CFR 302, occurs during a 24 hour period:
 - The operator is required to notify the State Warning Point (800-210-0519 or 850-413-9901) as soon as he or she has knowledge of the discharge;
 - The operator shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and the remedial steps to be taken to the Florida Department of Environmental Protection, NPDES Stormwater Section, Mail Station 2500, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and
 - The stormwater pollution prevention plan required under Part V of this permit must be modified within 14 calendar days of knowledge of the release to: provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the recurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.
- This permit does not authorize the discharge of hazardous substances or oil resulting from an on-site spill.

DEVELOPER

- A. Notify Clearview of your intent to commence construction. Sign the Notice of Intent form as operator of the storm water discharge facility and permittee and return to Clearview Land Design, P.L.
- B. Sign a Certification of Storm Water Pollution Prevention Plan and return to Clearview Land Design, P.L.
- C. Notify Clearview when it is time to submit a Notice of Termination as defined under Part E of the Clearview Land Design section of the SWPPP. Sign and return to Clearview Land Design, P.L. for submittal to FDEP a Notice of Termination form and certification.

PRE-DEVELOPED SITE INFORMATION:

- Total site acreage: 35.52
- Land use: PASTURE
- Vegetation: SCATTERED OAKS, PINES, PALMETTOS
- Receiving waters or municipal separate storm water system: CURRY CREEK
- 2 Year/24 Hour rainfall depth: 4.5"
- Soil types: PINEDA, HOLOPAW

PROJECT INFORMATION:

- Project type: Residential
- Anticipated construction sequence is as follows:
 - Complete erosion control installation
 - Cleaning and grubbing
 - Earthwork activities
 - Storm water system construction
 - Utility construction
 - Base and pavement construction
 - Final stabilization
- The BMP's listed in Part D of the Contractor section of the SWPPP shall be considered during all phases of construction.
- Anticipated start date: SEPTEMBER 2020
- Anticipated completion date: SEPTEMBER 2021
- Total acres disturbed: 19.33 Ac. ± (SILT FENCE LIMITS)
- Pre-developed "C" factor: 0.20
- Post-developed "C" factor: 0.45
- The storm water management system, upon completion of construction and appropriate certification and as-built submittals will be operated and maintained by CDD (UNLESS OTHERWISE NOTED)
- The potential source of pollution from this project is on-site development and construction activity.

OWNER'S INSTRUCTIONS FOR MAINTENANCE AND INSPECTION OF STORMWATER FACILITIES

The entire stormwater system should be inspected on at least a semi-annual basis. This should include a visual inspection of the pond, pond banks, bleed-down orifices, other control structures, and discharge pipes. These should be kept free of debris and cleaned on a frequency as required to keep them functional, as designed. Mowing/clearing around the structures may be required to prevent vegetation from clogging them.

Wetland plants, if intentionally installed, should be monitored and maintained as required on the approved construction plans. Areas of littoral shelving, which are required to be vegetated but not intentionally planted, should not be cleared of the wetland plants. These areas should have as high a plant coverage as possible, for maximum water filtration.

Sediment sumps, if designed and installed, should have sediment removed as necessary to allow them to efficiently remove suspended particles. They should be re-dug to the original design specifications, if silted in.

For percolation treatment ponds/swales, the owner of the facility shall inspect the pond bottom periodically after heavy rain/fall events to check for persistent ponding or pooling of water. All large debris shall be removed and disposed of elsewhere. If prolonged ponding persists, i.e., in excess of 72 hours, the owner shall rake or scarify the surface. If, in the event, the soil in the area of ponding shall be removed and replaced with clean sandy, non-cohesive soils.

Please check the construction plans to see if written reports on monitoring or plant survival rates are required to be sent to any reviewing agencies. Written notes should always be kept which describe maintenance activities undertaken during each inspection.

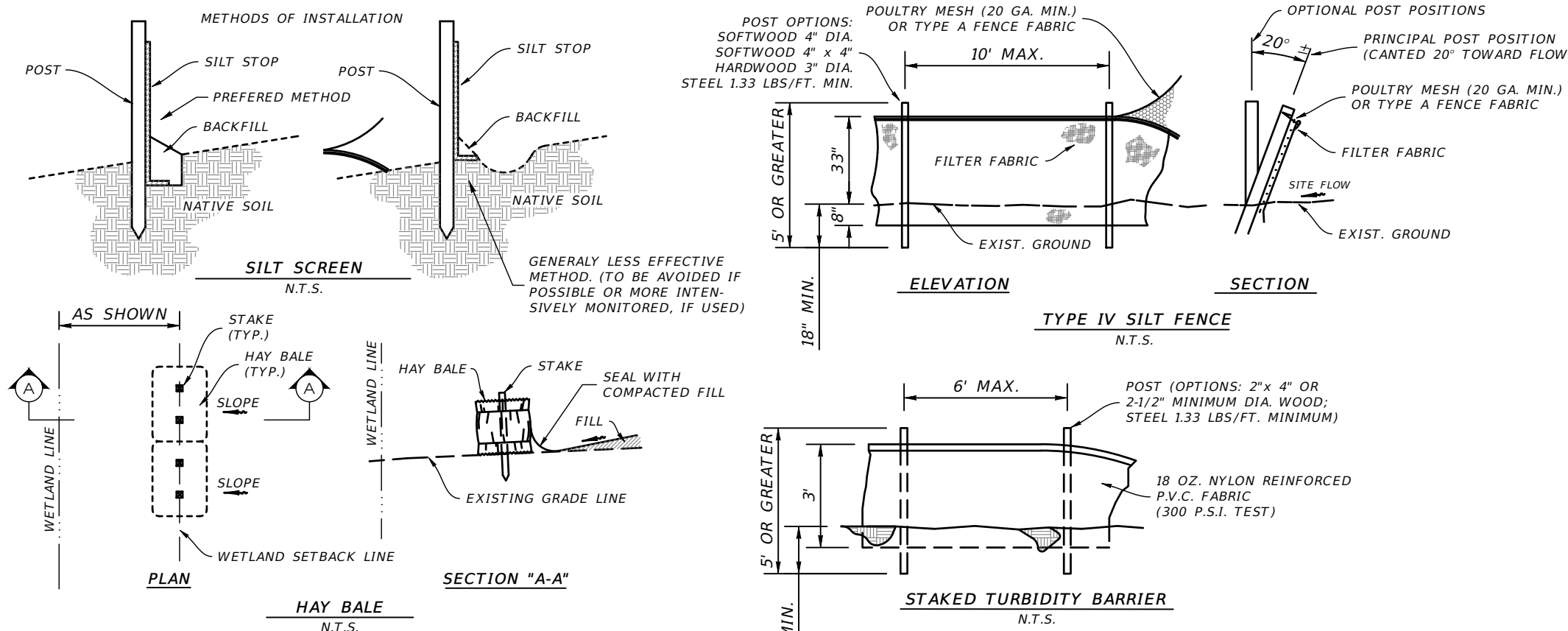
Specific conditions of all permits may require additional maintenance activities above and beyond those outlined above. Please be aware of all permit conditions as issued by regulatory agencies to ensure permit compliance.

NOTE: CONTRACTOR SHALL INSPECT EROSION CONTROL DAILY (INCLUDING BUT NOT LIMITED TO TYPICAL OUTFALLS TO OFF-SITE). CORRECTIVE ACTION SHALL BE TAKEN IMMEDIATELY TO REPAIR OR REPLACE AS NEEDED.

EROSION CONTROL DETAILS

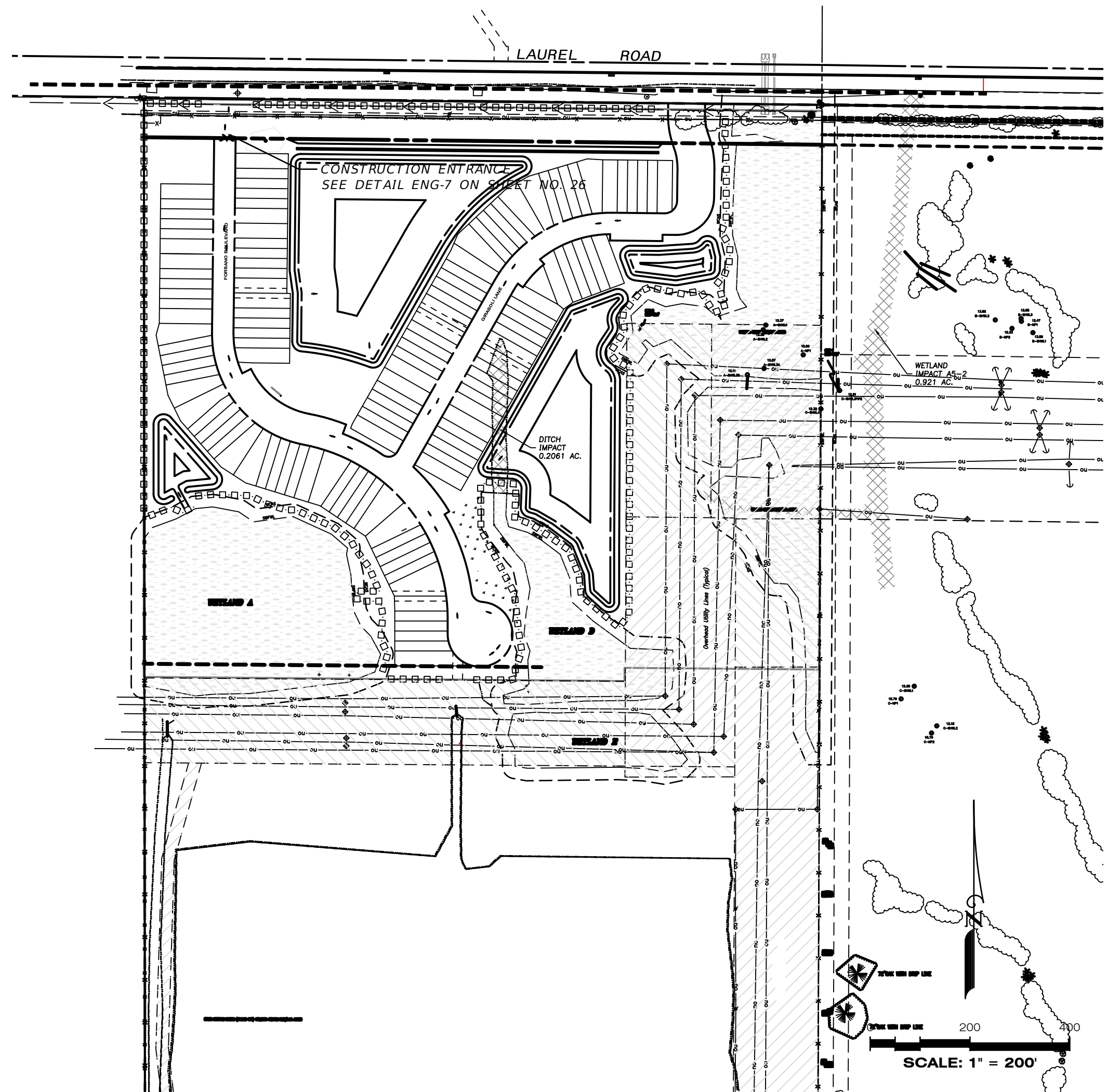
EITHER METHOD OR A COMBINATION OF BOTH IS ACCEPTABLE

NOTE: THE EROSION BARRIERS, AS SHOWN, ARE NOT TO BE CONSTRUED TO MEAN THAT THEY ARE ALL THAT MAY BE REQUIRED. THE CONTRACTOR IS TO TAKE WHATEVER MEASURES NECESSARY TO CONTROL EROSION THROUGHOUT THE PROJECT.



GENERAL EROSION AND TURBIDITY CONTROL NOTES

- The Site Subcontractor shall be responsible for installation and maintenance of all erosion and sediment controls and the quality and quantity of offsite or wetland discharges.
- Prior to construction, the Site Subcontractor is responsible for having his dewatering plan and turbidity control plan approved by the applicable reviewing agencies. Refer to the project's permit approvals and permit conditions for agencies requiring such review and approval. Questions concerning appropriate techniques should be addressed to those agencies and/or discussed with the project engineer and owner.
- The appropriate turbidity and erosion control methodologies selected by the Site Subcontractor for this project should be made following assessment of the plans and project site specific factors and after consultations as needed with the project engineer and appropriate agencies.
 - Clay content in excavated materials and/or permeabilities rates
 - Depth of cut in ponds, trenches, or utility lines
 - Ambient ground water levels
 - Actual rainfall amounts and time of year relative to normal rainy season
 - Proximity to wetlands, water bodies or offsite properties
 - 'Class' designation of receiving water bodies (i.e., Outstanding Florida Waters, shellfish harvesting areas, etc.)
 - Density, type, and proximity of upland vegetation to be retained during construction (for use as possible filtration areas)
 - Fill height relative to natural grade and length and steepness of the proposed slopes
 - Existing topography and directions of surface flow
 - Type of equipment used
 - Project type
 - Duration of construction activities
 - Separation distance of onsite ponds
 - Ambient quality of surface and groundwater
 - Temporary stockpile locations and heights
- At the onset of construction, the Site Subcontractor, as the party responsible for implementation of the erosion and sediment control plan, shall assess the above described conditions and factors with respect to relative cost effectiveness and select the appropriate methods of protection. A fairly extensive list of techniques are presented below but it must be stressed that any or all of the following may be necessary to maintain water quality and quantity standards.
 - Discharges of water quantities which affect offsite properties or may damage wetlands are also prohibited by regulating agencies.
 - Discharges which exceed 29 NTU's over the background levels are in violation of state water quality standards.
- The erosion and turbidity control measures shown herein are the minimum required for agency approval. Additional control and measures may be required due to the Site Subcontractor's construction sequence & unforeseen weather conditions. Any additional measures deemed necessary by the Site Subcontractor shall be included in the lump sum bid with no extras for materials and labor allowed.
- Hay bales or silt screens shall be installed prior to land clearing to protect water quality and to identify areas to be protected from clearing activities and maintained for the duration of the project until all soil is stabilized.
- Floating turbidity barriers shall be in place in flowing systems or in open water lake edges prior to initiation of earthwork and maintained for the duration of the project until all soil is stabilized.
- No clay material shall be left exposed in any stormwater storage facility.
 - If clay or sandy-clays are encountered during stormwater storage excavation, the Site Subcontractor shall notify the Engineer immediately before proceeding with further excavation.
 - If the Engineer of Record has determined that such soils are non-confining and must be excavated to meet permit and design conditions, excavation may proceed after obtaining written authorization from the appropriate governing agency.
 - If said soils are left exposed at the permitted and designed depth, the Site Subcontractor shall over-excavate the pond's bottom and side slopes by a minimum of twenty-four (24") inches and backfill with clean sands to help prevent suspension of fine particles in the water column.
- The installation of temporary erosion control barriers shall be coordinated with the construction of the permanent erosion control features to the extent necessary to assure effective and continuous control of erosion and water pollution throughout the life of the construction phase.
- The type of erosion control barriers used shall be governed by the nature of the construction operation and soil type that will be exposed. Silty and clayey material may require solid silt fences or hay bales to prevent turbid water discharge, while sandy material may need only silt screens or hay bales to prevent erosion. Floating turbidity curtains should generally be used in open water situations. Diversion ditches or swales may be required to prevent turbid stormwater runoff from being discharged to wetlands or other water bodies. It may be necessary to employ a combination of barriers, ditches, and other erosion/turbidity control measures if conditions warrant.
- Where pumps are to be used to remove turbid waters from construction areas, the water shall be treated prior to discharge to the wetlands. Treatment methods include, for example, turbid water being pumped into grassed swales or appropriate upland vegetated areas (other than upland preservation areas and wetland buffers), sediment basins, or confined by an appropriate enclosure such as turbidity barriers or low berms, and kept confined until turbidity levels meet State Water Quality Standards.
- The Permittee shall schedule his operations such that the area of unprotected erodible earth exposed at any one time is not larger than the minimum area necessary for efficient construction operation, and the duration of exposed, uncompleted construction to the elements shall be as short as practicable. Clearing and grubbing shall be so scheduled and performed such that grading operations can follow immediately thereafter. Grading operations shall be so scheduled and performed that permanent erosion control features can follow immediately thereafter if conditions on the project permit.
- Water derived from various dewatering methods should be passed through sufficiently low velocity of existing upland vegetation to filter out excess turbidity. If this is not sufficient, the water shall be retained in previously constructed permanent stormwater ponds or else retained in temporary sedimentation basins until the clarity is suitable to allow for its discharge. Plugging the outfalls from completed stormwater ponds may be needed to avoid discharge. However, such situations should be monitored closely to preclude berm failure if water levels rise too high.
- Water can be transported around the site by the use of internal swales or by pumps and pipes.
- Sheet flow of newly filled or scraped areas may be controlled or contained by the use of brush barriers, diversion swales, interceptor ditches or low berms. Flow should be directed toward areas where sediments can sufficiently settle out.
- Exposed soils shall be stabilized as soon as possible, especially slopes leading to wetlands. Stabilization methods include solid sod, seeding and mulching or hydromulching to provide a temporary or permanent grass cover. Blankets, filter fabrics, etc., can be employed to provide vegetative cover.
- Energy dissipaters (such as rip rap, a gravel bed, hay bales, etc.) shall be installed at the discharge point of pipes or swales if scouring is observed.
- Attempt to install roadway curb and gutters as soon as possible to reduce the surface area for erosion to occur.
- Implement storm drain inlet protection (hay bales or gravel) to limit sedimentation within the stormwater system. Perform inspections and periodic cleaning of sediments which wash out into the streets until all soil is stabilized.
- Water discharge velocities from impounded areas and temporary sedimentation basins shall be restricted to avoid scouring in receiving areas.
- If water clarity does not reduce to state standards rapidly enough in holding ponds, it may be possible to use chemical agents such as alum to flocculate or coagulate the sediment particles.
- Hay bales, silt screens, or gravel beds can be added around the pipe or swale discharge points to help clarify discharges. Spreader swales may help dissipate cloudy water prior to contact with wetlands.
- All fuel storage areas or other hazardous storage areas shall conform to accepted state or federal criteria for such containment areas.
- Vehicle or equipment washdown areas will be sufficiently removed from wetlands or offsite areas.
- Fugitive dust controls (primarily by using water spray trucks) shall be employed as needed to control windborn emissions.
- If the above controls remain ineffective in precluding release of turbid water, especially during pond or utility line dewatering, then the contractor may be compelled to use a vertical dewatering system such as well points or sock drains to withdraw groundwater which may already be clear enough to allow for direct discharge to wetlands.
- Ongoing inspections and periodic maintenance by the Site Subcontractor shall occur daily (at a minimum) to insure the above methods are working suitably. Corrective action must be taken immediately to repair or replace any damaged BMP's to ensure the above methods are working properly.
- Site Subcontractors are required to obtain and thoroughly review The Florida Development Manual: A Guide to Sound Land and Water Management, which was developed by the State of Florida Department of Environmental Protection in 1988. This provides fairly in-depth discussions of recommended techniques and also provides specific design and technical standards. A copy of this document is available for review at Clearview Land Design, P.L.

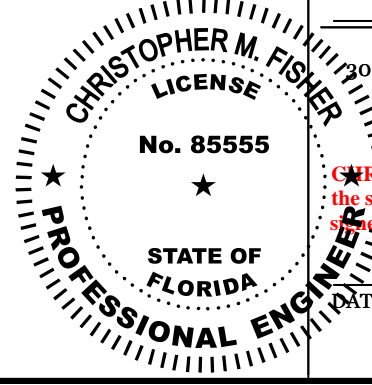


Applicant Name: JAMES SCHIER
VICE PRESIDENT
NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC

Applicant Signature: _____

Clearview
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
2010 W Azele St., Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975



This item has been digitally signed and sealed by CHRISTOPHER M. FISHER, P.E. on the date adjacent to the seal. Printed copies of this document are not considered valid and sealed signatures must be verified on any electronic copies.

DATE: 08/24/2020
CHRISTOPHER FISHER NO. 85555
FLORIDA PROFESSIONAL ENGINEER

SURFACE WATER MANAGEMENT PLAN

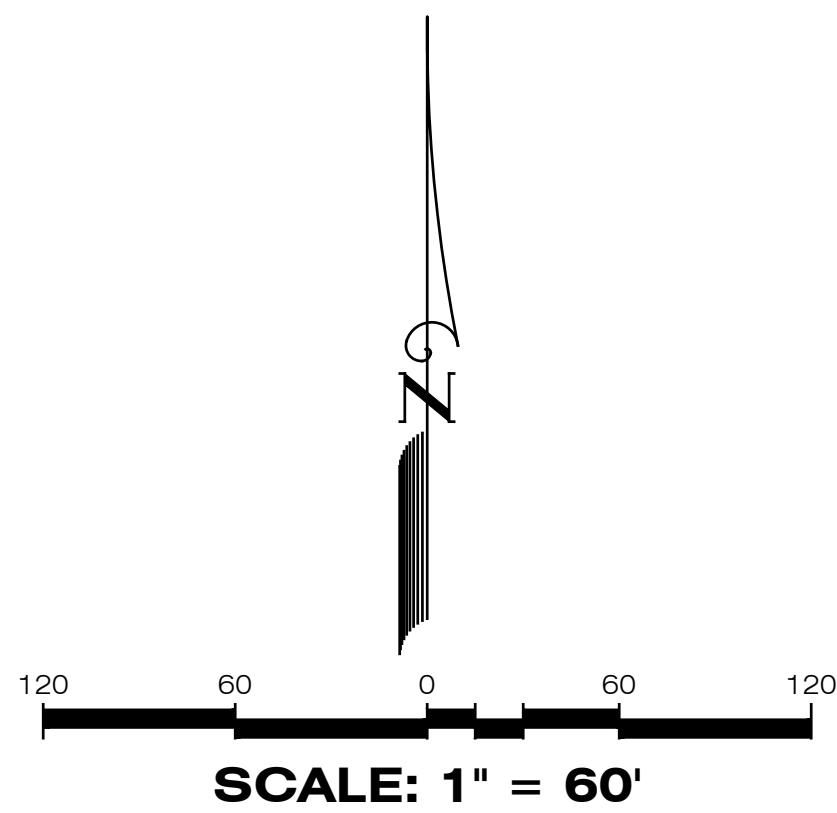
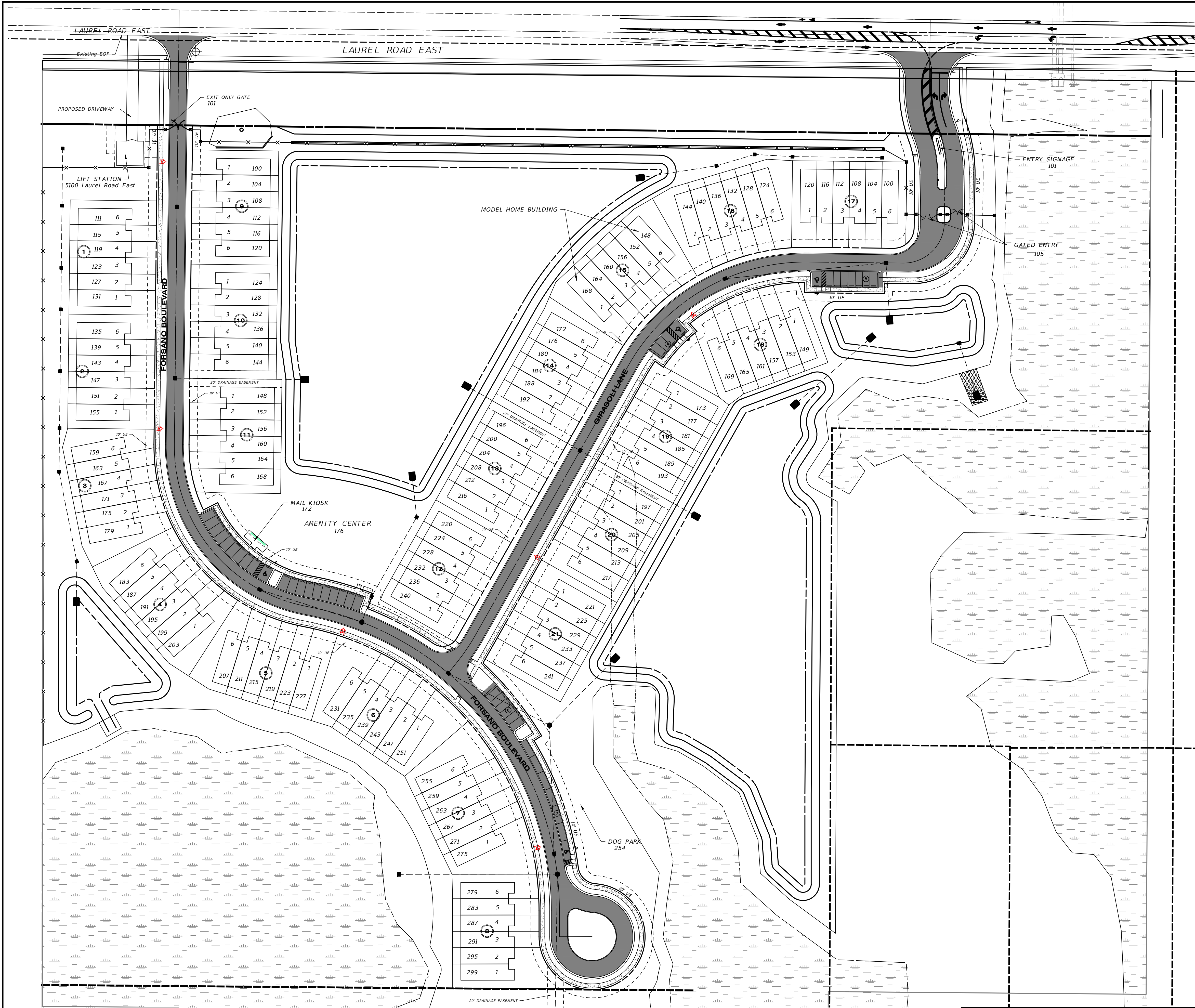
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| DATE 12-20-2019 | Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet | | |
| FILE CSWP | | | |

FIORÉ
(F.K.A. CIELLO PH. 2)

NEAL COMMUNITIES

12-20-2019

SHEET 37 OF 39 SHEETS



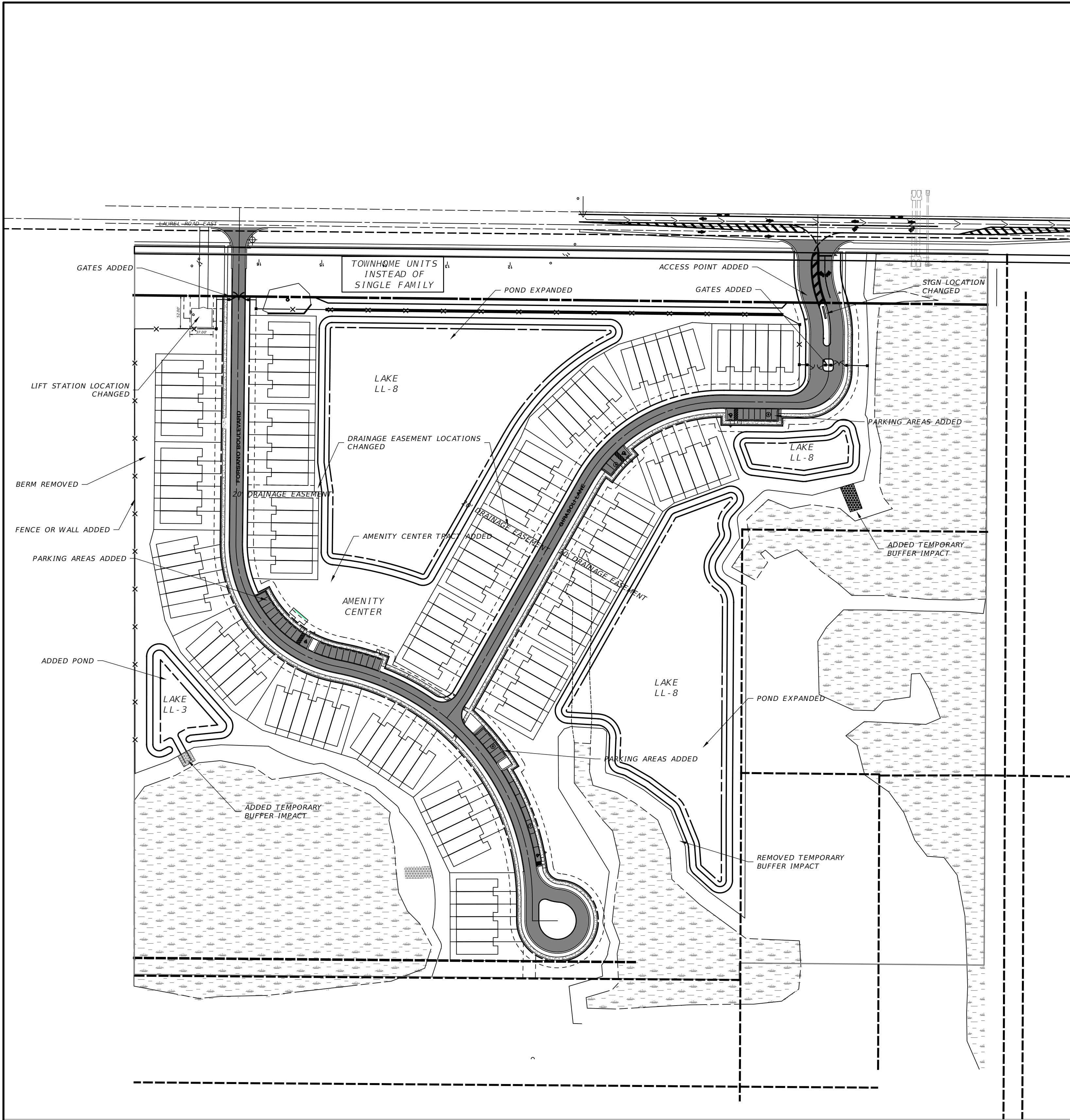
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A PARCEL OF LAND BEING A PORTION OF THAT CERTAIN PROPERTY DESCRIBED IN OFFICIAL RECORDS INSTRUMENT # 2014028405 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING IN SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

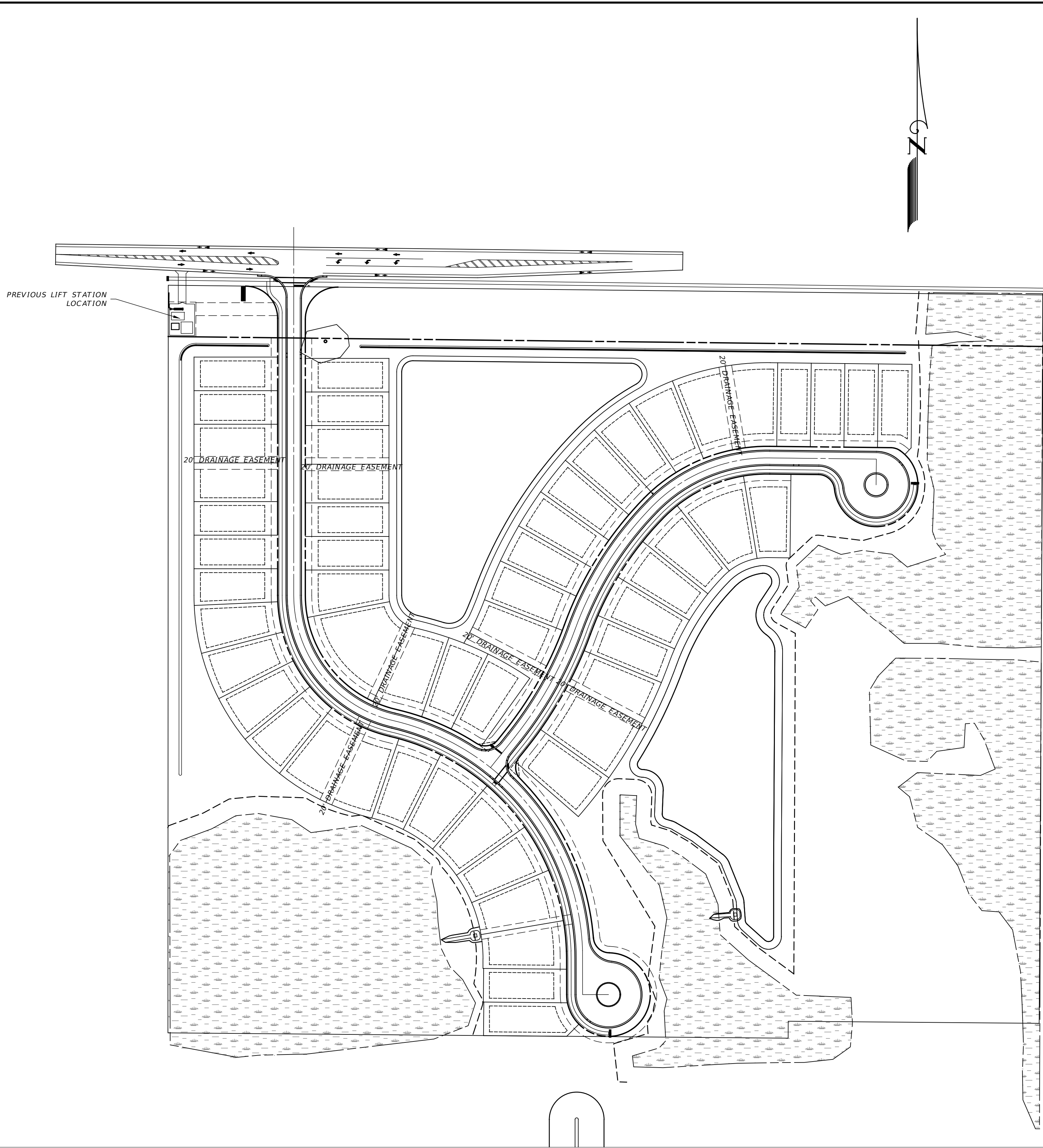
COMMENCING AT THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 38 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA; THENCE SOUTH 00°19'26" WEST, ALONG THE EAST LINE OF SAID SECTION 34, A DISTANCE OF 12.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY OF LAUREL ROAD ACCORDING TO OFFICIAL RECORDS INSTRUMENT # 2019041854 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, SAME BEING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST LINE, SOUTH 00°19'26" WEST, A DISTANCE OF 1,120.11 FEET TO THE NORTH LINE OF ARIA ACCORDING TO PLAT BOOK 52, PAGE 428 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG SAID NORTH LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 89°30'30" WEST, A DISTANCE OF 389.84 FEET; (2) SOUTH 00°08'44" WEST, A DISTANCE OF 26.40 FEET; (3) NORTH 89°30'15" WEST, A DISTANCE OF 963.59 FEET TO THE WEST LINE OF THE EAST 1/2 OF SAID SECTION 34; THENCE NORTH 00°01'38" EAST, ALONG SAID WEST LINE, A DISTANCE OF 1,150.18 FEET TO AFORESAID SOUTH RIGHT-OF-WAY OF LAUREL ROAD; THENCE SOUTH 89°21'08" EAST, ALONG SAID SOUTH RIGHT-OF-WAY, SAME BEING A LINE 12.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 34, A DISTANCE OF 1,359.32 FEET TO THE POINT OF BEGINNING.

CONTAINING 35.519 ACRES.

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| | | | | <div><div><div><div><div></div><div>Clearview</div><div>LAND DESIGN, P.L.</div></div><div>Engineering Business C.A. No.: 28858 2010 W Azele St., Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975</div></div></div><div><div><div><div><div></div><div>06-24-2020</div><div>12-20-2019</div></div><div>REVISE ADDRESSES ALONG GIRASOLI PERMIT PLANS</div></div><div>CMF INI</div></div></div></div> | | <div><div><div><div><div></div><div>CHRISTOPHER M. FISHER</div><div>ENGINEER</div><div>No. 85555</div><div>STATE OF FLORIDA</div><div>PROFESSIONAL ENGINEER</div></div></div><div><div>This item has been digitally signed and sealed by CHRISTOPHER M. FISHER, P.E. on the date adjacent to the signature. Printed copies of this document are not considered sealed and the signature must be verified on any electronic copies.</div><div>DATE: 08/24/2020 CHRISTOPHER FISHER NO. 85555 FLORIDA PROFESSIONAL ENGINEER</div></div></div></div> | | <div><div>ADDRESS PLAN</div></div> | |
| | | | | <div><div><div><div><div>JOB NO. NCI-CO-003</div><div>DESIGN CMF</div><div>DRAWN DNS</div><div>DATE 12-20-2019</div><div>FILE ADDRESS PLAN</div></div></div><div><div>PREPARED FOR: NEAL COMMUNITIES</div><div>Elevations based on National Geodetic Vertical Datum (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -1.11 Feet</div></div></div></div> | | <div><div><div><div><div></div><div>FIORE</div><div>(F.K.A. CIELO PH. 2)</div></div><div>NEAL COMMUNITIES</div><div>SHEET 38 OF 39 SHEETS</div></div></div></div> | | | |
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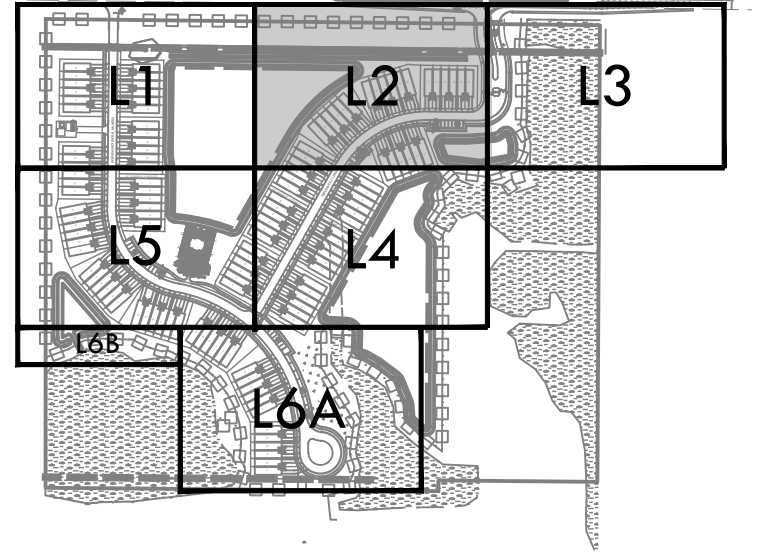
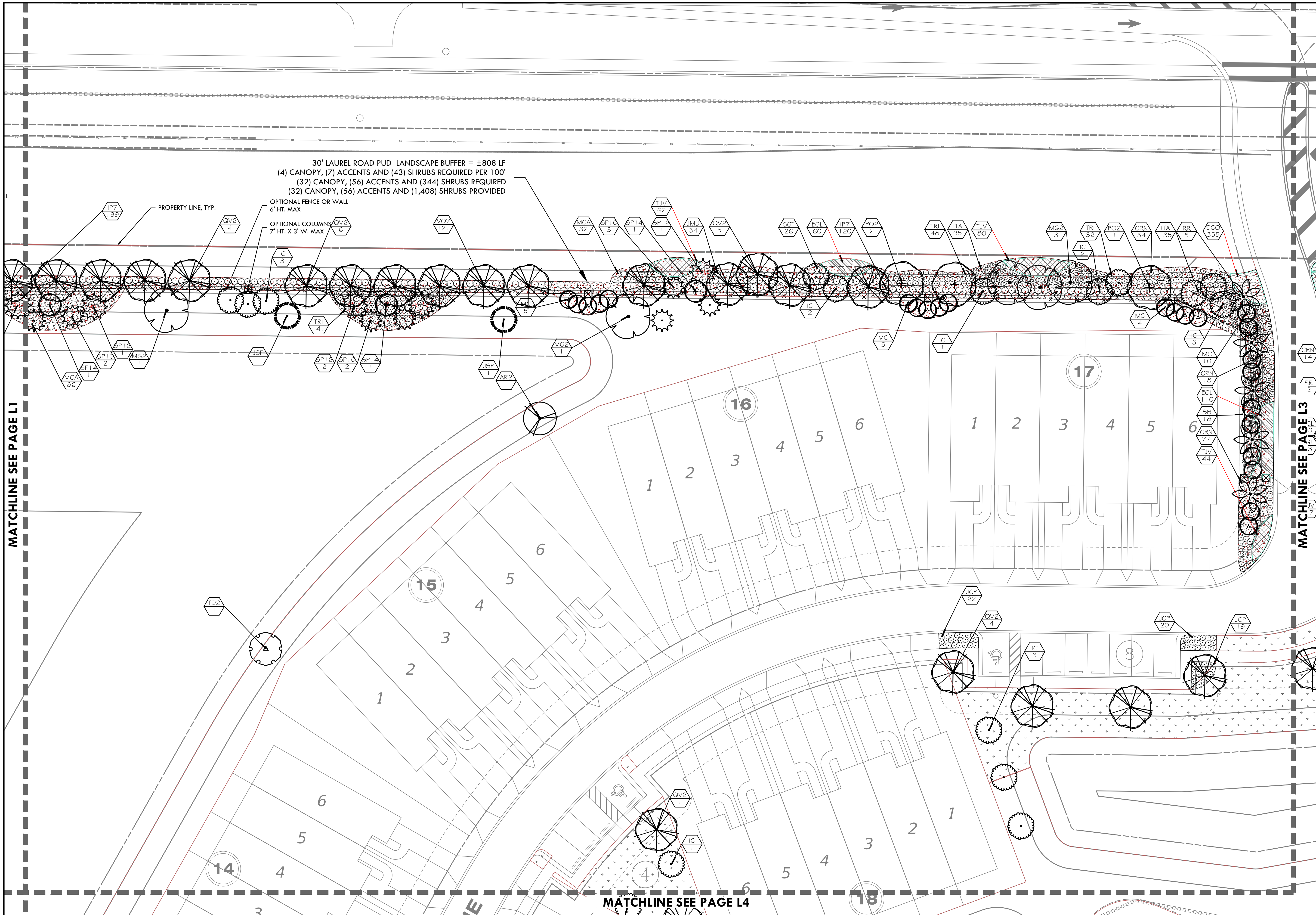


PROPOSED PRELIMINARY PLAT AMENDMENT CHANGES
-NOT TO SCALE-



PREVIOUSLY APPROVED CIELO PRELIMINARY PLAT SITE PLAN
-NOT TO SCALE-

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| DESIGN CMF | | | | | | | | | | | | | | | | | |
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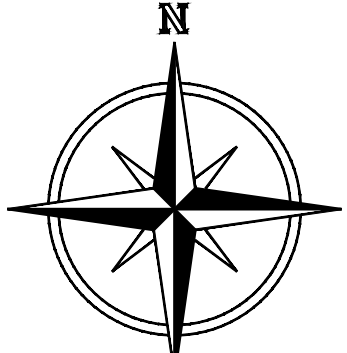
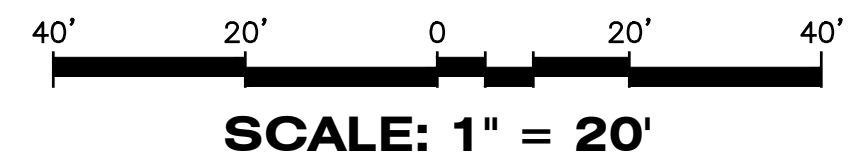
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- WETLAND LINE
- WETLAND BUFFER
- PROPERTY (PARCEL) BOUNDARY

MATCHLINE SEE PAGE L1

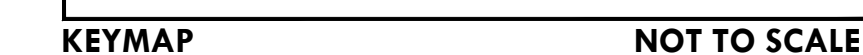
MATCHLINE SEE PAGE L3

MATCHLINE SEE PAGE L4



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

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| Clearview LAND DESIGN, P.L. Engineering Business C.A. No.: 28858 3010 W. Azule Street, Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | | PERMIT LANDSCAPE PLAN | |
| 06-24-2020 | REV. LANDSCAPE; REMOVED TREES | GN | JOB NO. | NCI-CO-010 |
| 12-20-2019 | PERMIT PLANS | GN | DESIGN | GN |
| DATE | DESCRIPTION | BY | DRAWN | GN |
| | REVISIONS | | PREPARED FOR: | NEAL COMMUNITIES |
| | | | DATE | 12-20-2019 |
| | | | FILE | PLP |
| DATE: 08/24/2020 JOHN DEL VITTO RLA# 6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT | | | SHEET L2 OF L9 SHEETS | |



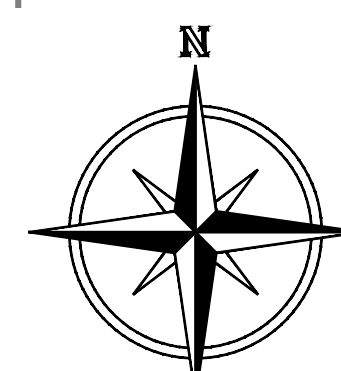
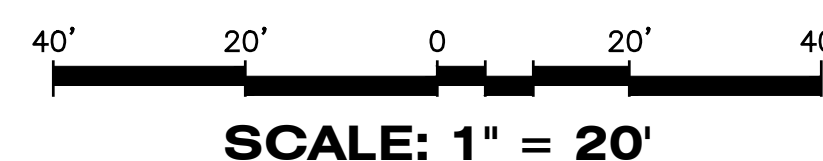
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WETLAND CONSERVATION AREA



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

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| <div>06-24-2020</div> <div>12-20-2019</div> <div>DATE</div> | <div>REV. LANDSCAPE; REMOVED TREES</div> <div>PERMIT PLANS</div> | <div>GN</div> <div>GN</div> |
| | <div>REVISIONS</div> | <div>BY</div> |
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Clearview

LAND DESIGN, P.L.L.C.

Engineering Business C.A. No.: 28858

3010 W. Azalee Street, Suite 150, Tampa, Florida 33609

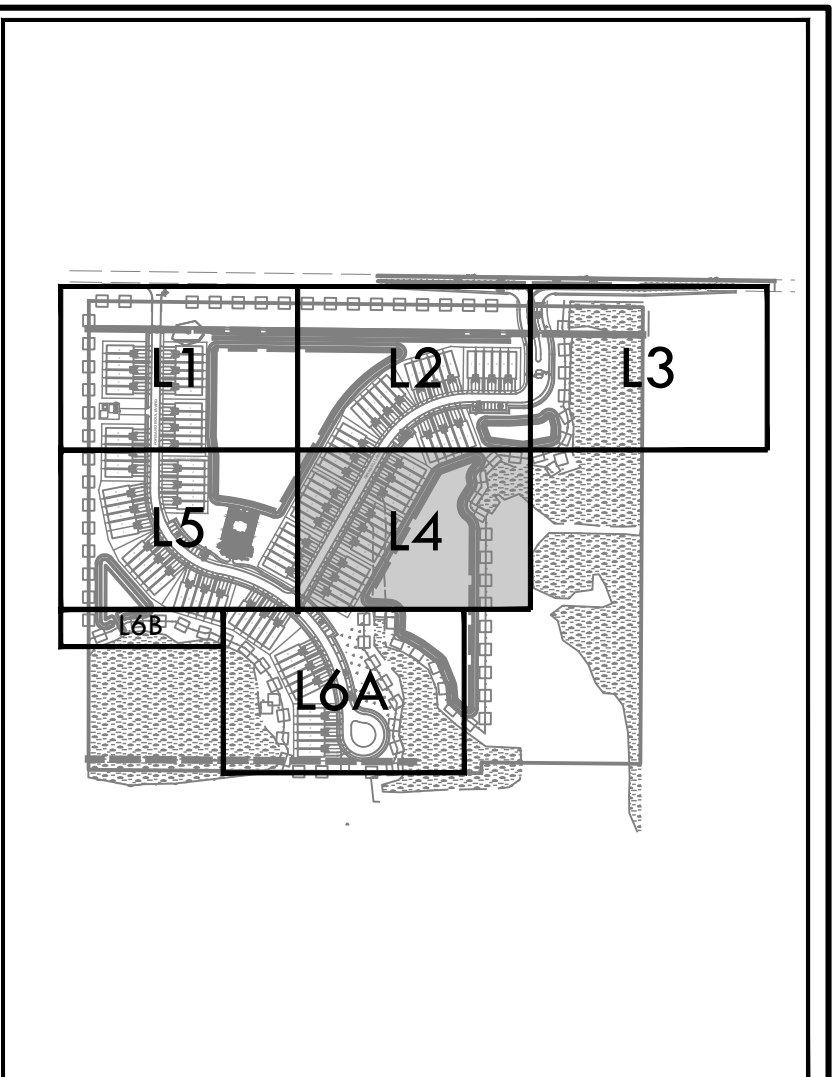
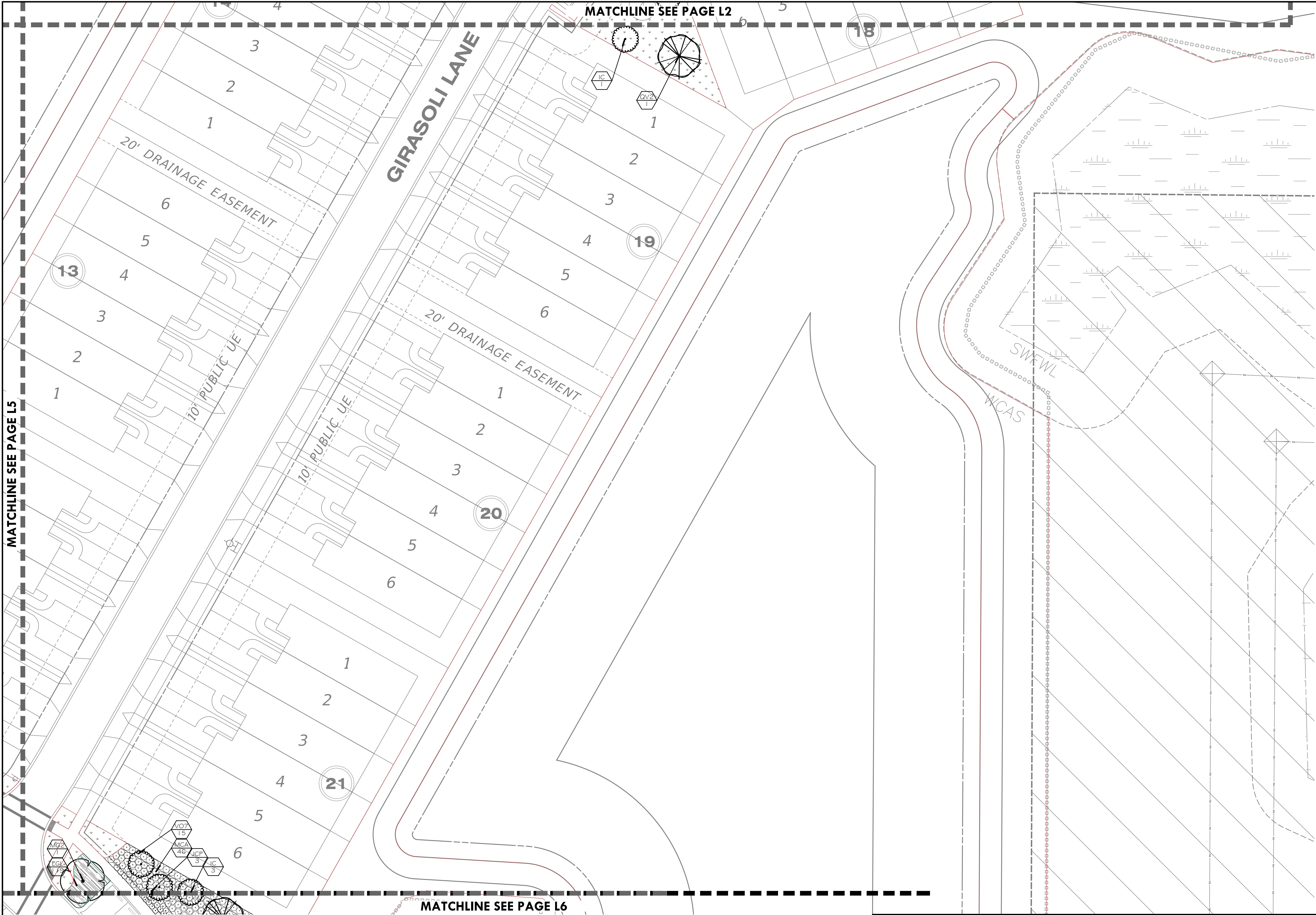
Office: 813-223-3919 Fax: 813-223-3975

DATE: 08/24/2020

JOHN DEL VITTO RLA# 6667327

FLORIDA REGISTERED LANDSCAPE ARCHITECT

| PERMIT LANDSCAPE PLAN | |
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| <div>JOB NO.</div> <div>NCI-CO-010</div> | <div>FIGURE</div> <div>FIGURE</div> |
| <div>DESIGN</div> <div>GN</div> | |
| <div>DRAWN</div> <div>GN</div> | <div>PREPARED FOR:</div> <div>NEAL COMMUNITIES</div> |
| <div>DATE</div> <div>12-20-2019</div> | |
| <div>FILE</div> <div>PLP</div> | <div>SHEET L3 OF L9 SHEETS</div> |



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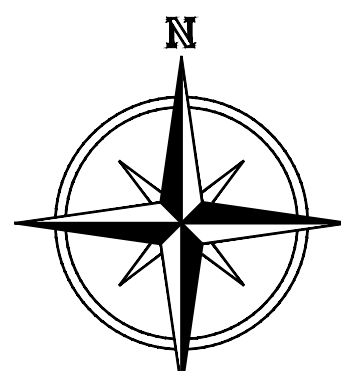
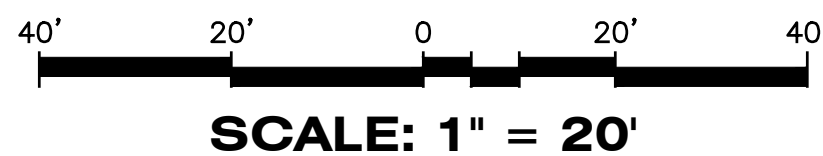
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- WETLAND LINE
- WETLAND BUFFER
- PROPERTY (PARCEL) BOUNDARY

MATCHLINE SEE PAGE L5

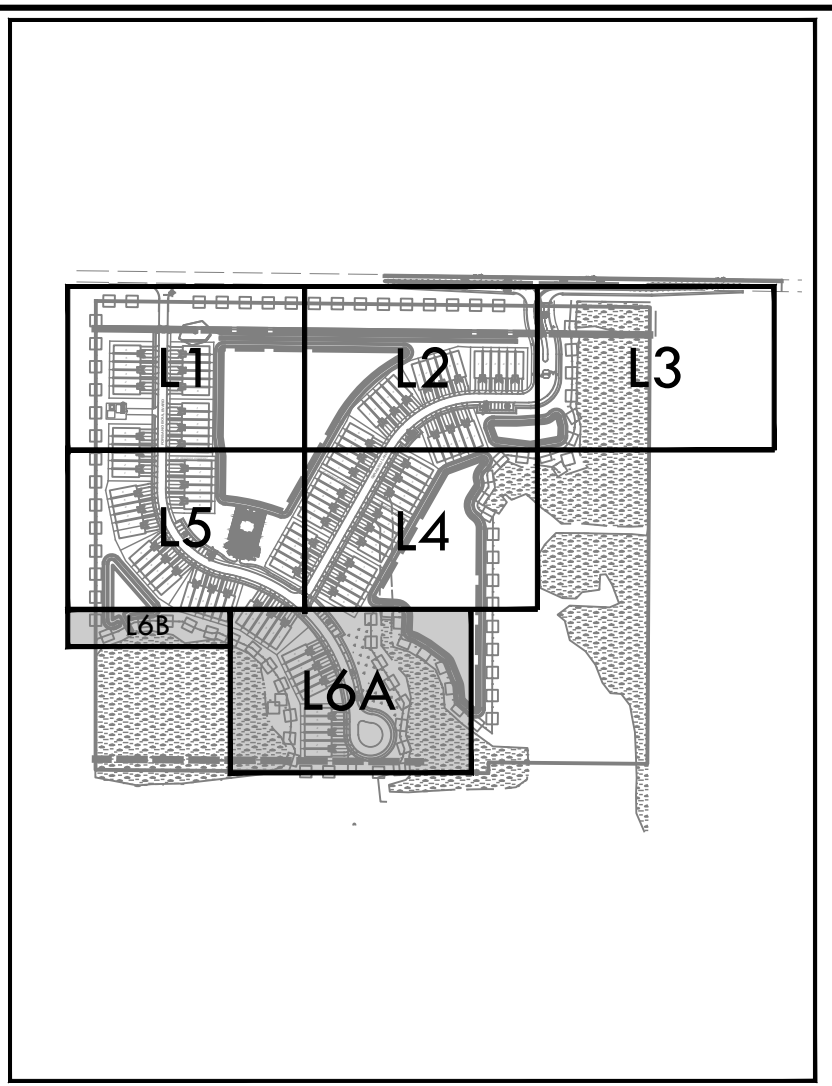
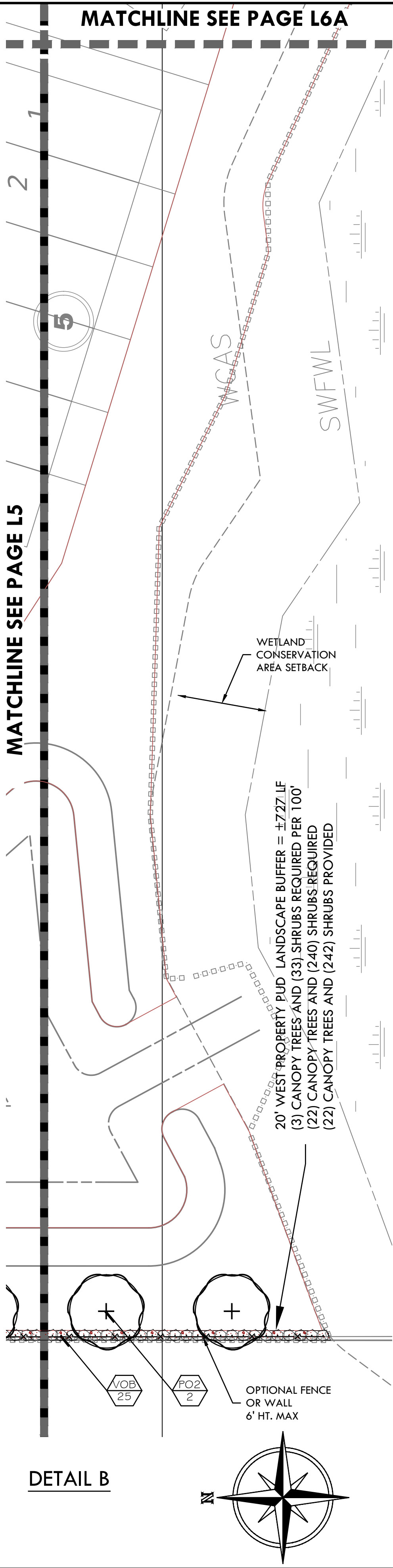
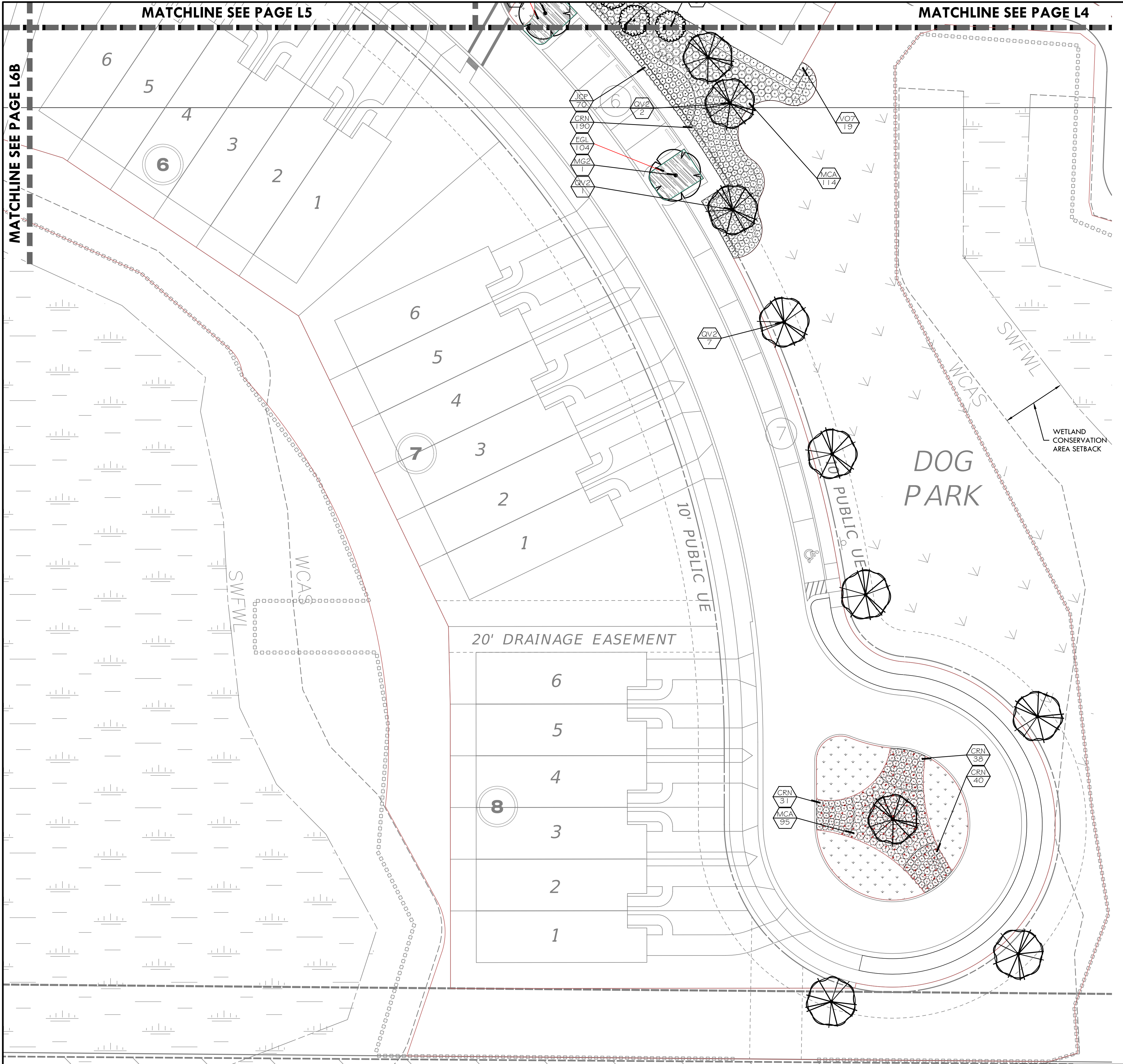
MATCHLINE SEE PAGE L2

MATCHLINE SEE PAGE L6



NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

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| <div><div><div><div><div></div><div>Clearview</div><div>LAND DESIGN, P.L.</div></div><div><div>Engineering Business C.A. No.: 28858</div><div>3010 W. Azule Street, Suite 150, Tampa, Florida 33609</div><div>Office: 813-223-3919 Fax: 813-223-3975</div></div></div></div><div><div>DATE: 08/24/2020</div><div>JOHN DEL VITTO RLA# 6667327</div><div>FLORIDA REGISTERED LANDSCAPE ARCHITECT</div></div></div> | | | PERMIT LANDSCAPE PLAN | |
| JOB NO. NCI-CO-010 | | DESIGN GN | | FIORE |
| DRAWN GN | | PREPARED FOR: NEAL COMMUNITIES | | |
| DATE 12-20-2019 | | FILE PLP | | |
| 06-24-2020 12-20-2019 | | REMOVED TREES PERMIT PLANS | | |
| DATE | | DESCRIPTION REVISIONS | | BY |

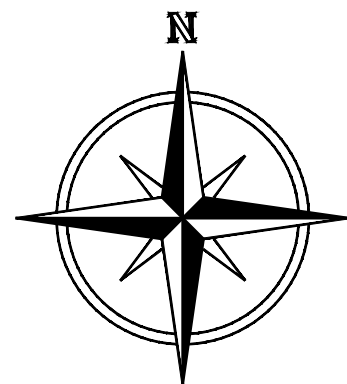


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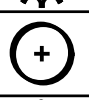
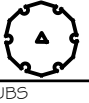
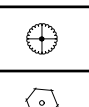
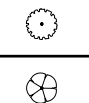
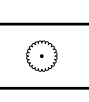
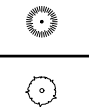

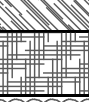

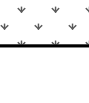
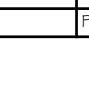


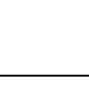
- WETLAND LINE
- WETLAND BUFFER
- PROPERTY (PARCEL) BOUNDARY

DETAIL A

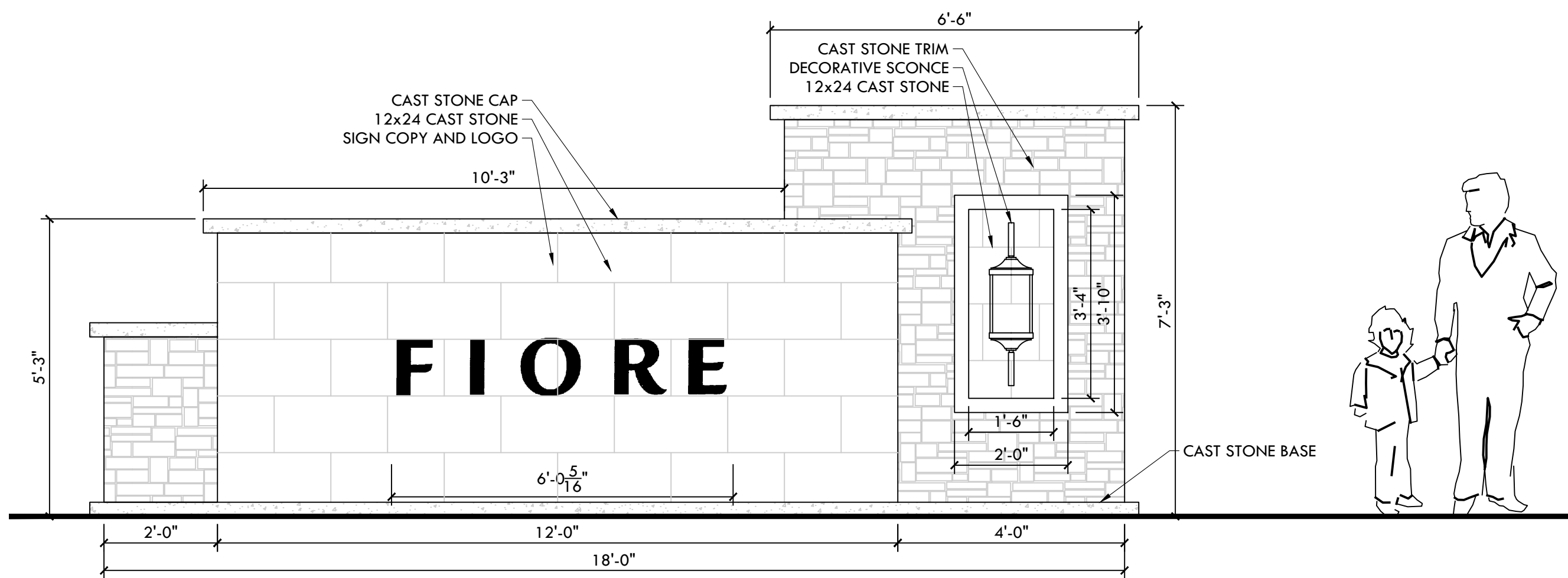


NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

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| 06-24-2020 12-20-2019 | | | REMOVED TREES PERMIT PLANS | | | GN GN | | |
| DATE | | | DESCRIPTION | | | BY | | |
| | | | REVISIONS | | | | | |
| DATE: 08/24/2020 | | | JOHN DEL VITTO RLA# 6667327 | | | FLORIDA REGISTERED LANDSCAPE ARCHITECT | | |
| JOB NO. NCI-CO-010 | | | DESIGN | | | GN | | |
| DRAWN GN | | | PREPARED FOR: | | | NEAL COMMUNITIES | | |
| DATE 12-20-2019 | | | FILE | | | PLP | | |
| Clearview LAND DESIGN, P.L.L. | | | PERMIT LANDSCAPE PLAN | | | FIORE | | |
| Engineering Business C.A. No.: 28858 3010 W. Azalea Street, Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | | | | | | | |
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| PLANT SCHEDULE | | | | | | | | | | |
|---|------|------------|--|-------------------------------------|--------|-------------------------|-----------------------|------------|----------|--|
| TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | REMARKS |
|  | AR2 | 3 | Acer rubrum | Red Maple | 65 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | Medium | Single straight central leader. Even branching distributed throughout canopy. Dense foliage. |
|  | CB | 1 | Cassia incapsulata | Cassia | 30 gal | 3" Cal | 10" HT x 3-4" SPR | Non-Native | Medium | Straight single trunk with symmetrical head. Dense canopy with no gaps. |
|  | IC | 34 | Ilex cassine | Dahoon Holly | 45 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | High | Straight trunk with symmetrical head. Dense canopy with no large gaps. Full to ground. |
|  | JB* | 5 | Juniperus silicola | Southern Red Cedar | 45 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | High | Straight trunk with symmetrical head. Full to ground. Dense canopy with no gaps. |
|  | MG2 | 13 | Magnolia grandiflora 'D.D. Blanchard' TM | Southern Magnolia | 65 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | Medium | Single, straight central leader. Full to ground. Dense canopy with no gaps. |
|  | MC | 37 | Myrica cerifera | Wax Myrtle | 30 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | High | Florida #1. Dense canopy with no gaps. Diverly sized trunks with full canopy, even branching. |
|  | PD2 | 26 | Platanus occidentalis | American Sycamore | 65 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | Medium | Single, straight central leader. Full canopy with even branching distributed throughout the height and circumference of tree. |
|  | QV2 | 45 | Quercus virginiana | Southern Live Oak | 65 gal | 3" Cal | 10'-12" HT x 4-5" SPR | Native | High | Single, straight central leader. Even branching distributed throughout canopy. Well-spaced limbs around entire circumference of tree. |
|  | RR | 12 | Roystonea regia | Royal Palm | 5 # B | 20' CT | | Native | Medium | Specimen. Single, straight, trunk. Full head with well-formed, evenly spaced fronds. 75% excellent fronds. Heavy trunks. 0' SW Min. LK to approve prior to planting. |
|  | SP10 | 9 | Sabal palmetto | Sabal Palm | FG | N/A | 10' CT | Native | High | Regenerated roots # fronds. Single, straight, slick trunk. |
|  | SP12 | 7 | Sabal palmetto | Sabal Palm | FG | N/A | 12' CT | Native | High | Regenerated roots # fronds. Single, straight, slick trunk. |
|  | SP14 | 4 | Sabal palmetto | Sabal Palm | FG | N/A | 14' CT | Native | High | Regenerated roots # fronds. Single, straight, slick trunk. |
|  | TD2 | 2 | Taxodium distichum | Bald Cypress | 45 gal | 3" Cal | 10'-12" HT x 4-6" SPR | Native | High | Single, straight central leader with branching distributed evenly throughout the height and circumference of tree. |
| SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE | NATIVE | DROUGHT | SPACING | REMARKS |
|  | BHJ | 26 | Bougainvillea x 'Helen Johnson' | Dwarf Bougainvillea 'Helen Johnson' | 3 gal | 18-24" HT x 12-14" SPR | Non-Native | High | 30" o.c. | Full in pot with dense foliage. Flowering. |
|  | CRN | 568 | Celastrus rosea 'nana' | Dwarf Pritchapple | 3 gal | 16-18" HT x 16-18" SPR | Non-Native | Medium | 30" o.c. | Full in pot with dense foliage. |
|  | GG1 | 115 | Galphimia gracilis | Thyrallis | 3 gal | 16-18" HT x 12-16" SPR | Non-Native | Medium | 36" o.c. | Full in pot with dense foliage. Flowering. |
|  | JP7 | 357 | Illicium parviflorum | Yellow Anise | 7 gal | 24" HT x 24" SPR | Native | Medium | 36" o.c. | Full in pot with dense foliage. |
|  | ITA | 393 | Icra tawananensis 'Dwarf Red' | Dwarf Red Icra | 3 gal | 12-15" x 12-15" SPR | Non-Native | High | 30" o.c. | Full in pot with dense foliage and evenly dispersed foliage. |
|  | JAU | 71 | Jasminum multiflorum | Dorsey Jasmine | 3 gal | 14-16" HT x 14-16" SPR | Non-Native | Medium | 36" o.c. | Full in pot with dense foliage. |
|  | JCP | 249 | Juniperus chinensis 'Parson' | Parson's Juniper | 3 gal | 18-24" HT x 16-20" SPR | Non-Native | High | 30" o.c. | Full in pot with dense foliage. No bare branches. |
|  | MCA | 606 | Muhlenbergia capillaris | Mulley Grass | 3 gal | 18-22" HT x 16-18" SPR | Native | High | 36" o.c. | Full in pot with dense foliage. Measured to bulk of plant, not to extreme tips or where blades droop. Free of dead growth or thatch at base. |
|  | PM7 | 92 | Podocarpus macrophyllus | Podocarpus | 7 gal | 30-36" HT x 24-36" SPR | Non-Native | High | 36" o.c. | Full in pot with dense foliage. |
|  | SB | 18 | Spartina bakeri | Sand Cordgrass | 3 gal | 18-24" HT | Native | High | 36" o.c. | Full in pot. Erect blades. Measured to bulk of plant, not to extreme tips or where blades droop. |
|  | TR | 670 | Tripsacum dactyloides 'nana' | Dwarf Flaxlitcher Grass | 3 gal | 20-24" HT x 12-18" SPR | Native | Medium | 30" o.c. | Full in pot with dense foliage. Erect blades. Measured to bulk of plant, not to extreme tips or where blades droop. |
|  | VCB | 242 | Viburnum coccineum | Walter's Viburnum | 7 gal | 24-28" HT x 20-24" SPR | Native | High | 36" o.c. | Full in pot with dense foliage. |
|  | VD7 | 262 | Viburnum odoratissimum | Sweet Viburnum | 7 gal | 26-30" HT x 24-28" SPR | Native | Low | 36" o.c. | Full in pot with dense foliage. |
| SHRUB AREAS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE | NATIVE | DROUGHT | SPACING | REMARKS |
|  | CG | 820 | Convolvulaceae 'Blue My Mind' | 'Blue My Mind' Blue Daisy | 1 gal | 10'-12" HT x 16-18" SPR | Non-Native | Medium | 18" o.c. | Full in pot with balanced appearance. Flowering. |
|  | JCB | 113 | Juniperus conferta 'Blue Pacific' | Blue Pacific Juniper | 3 gal | 6-8" HT x 14-16" SPR | Non-Native | High | 24" o.c. | Full in pot with dense foliage and even spread. |
|  | SCO | 429 | Seasonal Color | Seasonal Color | 4" pot | N/A | N/A | N/A | 6" o.c. | Contractor to recommend best variety for season when planting occurs. Single species preferred in shades of pink or red. LK to approve. |
|  | TJV | 541 | Trachelospermum jasminoides 'Vinegatum' | Vinegated Confederate Jasmine | 1 gal | 8" HT x 12-14" SPR | Non-Native | Medium | 18" o.c. | Full in pot with dense foliage. 6 nonans minimum. |
| GROUND COVERS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE | NATIVE | DROUGHT | SPACING | REMARKS |
|  | FN | 141,297 sf | Paspalum notatum | Bahia Grass | soil | | | | | Smooth grade with no low spots or bumps. Full coverage. No discoloration between pieces. Fully rolled and no visible gaps between pieces. |
|  | SG | 29,176 sf | Stenotaphrum secundatum | St. Augustine Grass | soil | | | | | Smooth grade with no low spots or bumps. Full coverage. No discoloration between pieces. Fully rolled and no visible gaps between pieces. |

| REFERENCE NOTES SCHEDULE | | | |
|--------------------------|-----------------|-----------|--------|
| SYMBOL | DESCRIPTION | QTY | DETAIL |
| | PINE BARK MULCH | 204.42 cy | |



A ENTRY SIGN - ELEVATION A
SCALE: 1/2" = 1'

TREE REPLACEMENT CALCULATIONS: DEVELOPABLE SITE AREA = 896,122 SF = 20.6 AC

REQUIRED:

40 INCHES/ACRE TREE REPLACEMENT

40 x 20.6 AC = 824 INCHES OF TREE REPLACEMENT

PROVIDED:

(167) 3" TREES TO BE PLANTED IN COMMON AREAS IN PHASE 1. (SEE PLANT SCHEDULE; CASSIA EXCLUDED) = 501 INCHES

(18) SABAL PALMS & (12) ROYALS @ 3:1 RATIO = (10) 2.5" TREES = 25 INCHES

(126) 3" TREES (*1 3" TREE TO BE PLANTED ADJACENT TO THE RIGHT OF WAY ON EACH OF THE LOTS) = 378 INCHES

841" TREE REPLACEMENT PROVIDED

*ONE MINIMUM 3" CALIPER TREE PER LOT WILL BE PLACED WITHIN OR ADJACENT TO THE RIGHT OF WAY ON EACH OF THE LOTS, CONSISTENT WITH THE P.U.D. ROADWAY DESIGN STANDARD. TREES SHALL BE CHOSEN FROM THE CITY OF VENICE MASTER TREE SPECIES LIST.

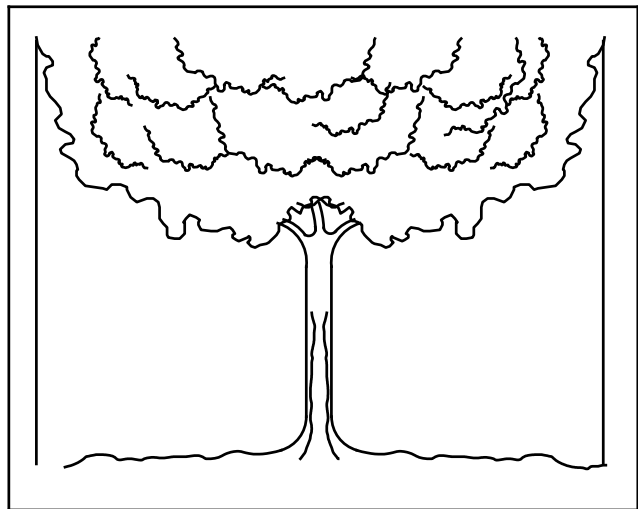


Fig. A

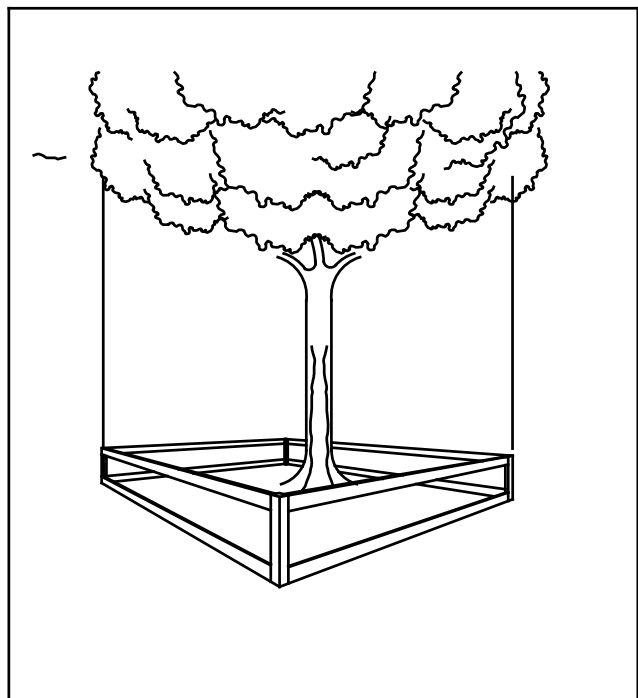


Fig. B

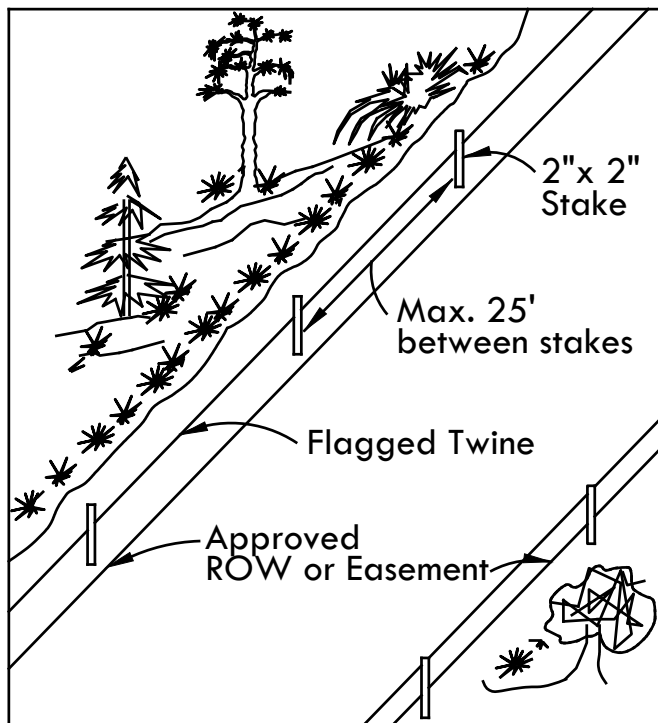


Fig. C

TREE PROTECTION GENERAL NOTES:

- NO CONSTRUCTION ENCROACHMENT ALLOWED WITHIN TREE BARRICADE OR EROSION CONTROL AREAS.
- ALL TREES SHOULD BE BARRICADED MEETING THE SPECIFICATIONS AS ILLUSTRATED ON THE ATTACHED DIAGRAM.
- PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.
- PROTECTIVE BARRIERS MUST BE ERRECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION AND CONSTRUCTION ACTIVITIES.
- A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.

TREES:

- TO RESTRICT ACCESS INTO THE AREA WITHIN THE DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, IS PLACED AROUND THE TREE AT THE DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE. THE DRIPLINE OF A TREE IS THE IMAGINARY, VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND. FIG. A.

NATURAL AREAS:

- TO RESTRICT ACCESS INTO AREAS WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT IS PLACED ALONG THE PERIMETER OF SUCH AREAS.

BARRIER SPECIFICATIONS:

TREES:

FOUR CORNER UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER CONNECTED BY HORIZONTAL MEMBERS OF NO LESS THAN 1" X 4" LUMBER; OR UPRIGHT STAKES SPACED AT 5' INTERVALS OF NO LESS 2" X 2" LUMBER CONNECTED BY SILT SCREEN FABRIC OR MATERIAL OF COMPARABLE DURABILITY. FIG. B.

NATURAL AREAS:
UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS OF 5-10'. FIG. C. OTHER METHODS OF DEMARCATION WILL BE CONSIDERED DEPENDING UPON THE CHARACTERISTICS OF THE SITE.

WHY A BARRIER

- TO PROTECT ALL ABOVE GROUND PORTIONS OF TREES AND OTHER SIGNIFICANT VEGETATION FROM MECHANICAL DAMAGE.
- TO PROTECT ROOT SYSTEMS FROM COMPACTION.
- TO PROVIDE AWARENESS OF PROTECTED AREAS TO EQUIPMENT OPERATORS.

WHY IT WORKS

A TREE'S CHANCE OF SURVIVAL IS GREATLY ENHANCED IF NO CONSTRUCTION MATERIAL, HEAVY EQUIPMENT OR STOCKPILING OF SOIL IS ALLOWED INSIDE THE BARRIER; ONLY HAND LABOR.

NOTES:

- JOG FENCE AS NECESSARY TO MINIMIZE IMPACT TO PRESERVED TREES. AT ALL LOCATIONS WHERE IT IS LOCATED NEAR PRESERVED TREES, FLOAT FENCE OVER EXISTING TREE ROOTS. PLACE SO FACE OF FENCE IS MIN. 18" FROM TREE TRUNK. DO NOT LOCATE POSTS OR FOOTERS WITHIN CRITICAL ROOT ZONE.
- TREES BY NATURE ARE IRREGULAR IN BOTH SHAPE AND SIZE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE SIZE IS DETERMINED AT DIAMETER AT BREAST HEIGHT. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT LOCATION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN. SEE THE FIGURE 1 BELOW.
- DEAD AND/OR HAZARDOUS TREES REMAINING AFTER CLEARING WILL BE EVALUATED AND MAY BE REMOVED IF NECESSARY.

| | | | Clearview LAND DESIGN, P.L.L. | | PERMIT LANDSCAPE PLAN | |
|--|--|--|---|--|-----------------------|-----------------------------------|
| | | | Engineering Business C.A. No.: 28858 3010 W. Azule Street, Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | | JOB NO. NCI-CO-010 | FIORE |
| | | | | | DESIGN GN | |
| | | | | | DRAWN GN | PREPARED FOR: NEAL COMMUNITIES |
| | | | | | DATE 12-20-2019 | |
| | | | | | FILE PLP | |
| | | | | | SHEET L7 OF L9 SHEETS | |

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|------------|--|----|
| 08-04-2020 | REV. LOT TREE NOTE | GN |
| 06-24-2020 | REV. PLANT SCHEDULE, TREE CALCULATIONS | GN |
| 04-20-2020 | REV. PLANT SCHEDULE, TREE CALCULATIONS | GN |
| 12-20-2019 | PERMIT PLANS | GN |
| DATE | DESCRIPTION | BY |
| | REVISIONS | |

| | |
|--|-----------------------------|
| DATE: 08/24/2020 | JOHN DEL VITTO RLA# 6667327 |
| FLORIDA REGISTERED LANDSCAPE ARCHITECT | |

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

LANDSCAPE CONSTRUCTION / PERMITTING NOTES:

1. This Landscape Plan is for permitting purposes only. Additional trees, shrubs, groundcovers, and landscape materials may be added for aesthetic or environmental benefits. Additional landscape shall comply with City of Venice requirements and standards.
2. No reference to engineering or survey shall be made from this Landscape Plan.
3. All landscape shall be installed in accordance with Florida chapter, International Society of Arboriculture Standards for Planting and Florida Nursery Growers and Landscape Association.
4. Trees utilized to meet requirements of the code shall be chosen from the Master Tree Species List provided in Section 118-13 of the City of Venice Land Development Regulations.
5. At a minimum, 75 percent of replacement trees shall be large and medium sized canopy trees, unless canopy trees are not suitable, as reasonable determined by the director and/or director's designee in the area to be planted.
6. Where ten or more trees are to be planted, no single species shall constitute more than 50 percent of the total replacement planting.
7. All replacement canopy trees shall be a minimum of 2.5" caliper measured no closer than six inches from the ground.
8. All replacement understorey trees shall be a minimum of 1.5" caliper measured no closer than six inches from the ground, and be a minimum of eight feet in height from grade.
9. No more than 25 of the required tree plantings may be of the Pinus (commonly referred to as pine) species.
10. Replacement trees shall be Florida No. 1 or greater (Florida Grades and Standards for Nursery Plants, latest edition).
11. Sabal Palmetto (Cabbage palm) may be planted at a rate equivalent to three palms to one required tree ($\frac{2\frac{1}{2}}$ tree inches). Other Florida-Friendly palm species may be proposed at the same three to one ratio for approval of the city arborist. Palms shall not constitute more than 25 percent of the required tree inches. It is not the intent of this restriction to prevent the planting of additional palm trees in excess of the required tree inches.

TREE PROTECTION NOTES:

1. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
2. PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURES (I.E. HAY BALES, BARRIERS, SODDING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
3. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRILLPIE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE CITY.
4. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION. HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
5. INSTALL TREE BARRICADES TO THE FULLEST EXTENT OF THE DRILLPIE OF ALL TREES/PALMS AS POSSIBLE AND/OR TO THE MAXIMUM LIMIT OF IMPROVEMENT(S) AS POSSIBLE (OF COURSE REALIZING THAT THE TREE BARRICADES MAY HAVE TO BE "BACKED OFF" THE IMPROVEMENT(S) BY 1' TO 2' MAXIMUM TO INSTALL THE IMPROVEMENT(S)). DO NOT INSTALL TREE BARRICADES (SPECIFICALLY SILT FENCING MATERIAL) BY TRENCHING WITHIN THE DRILLPIE OF EXISTING TREES/PALMS.
6. LAND ALTERATION AND CONSTRUCTION ACTIVITIES SHALL BE APPROVED WITHIN THE DRILLPIE OF A TREE TO BE RETAINED ON THE SITE PROVIDED DESIGN TECHNIQUES ARE USED THAT MINIMIZE DAMAGE TO THE ROOT SYSTEM OF THE TREE (E.G. RETAINING WALLS, TREE WELLS, ROOT AERATION DEVICES, PERVIOUS PAVERS, PERVIOUS CONCRETE, GREEN SPACE, AS APPROPRIATE), WHERE IT IS NOT PRACTICAL FOR UNDERGROUND UTILITY LINES TO BE ROUTED AROUND THE DRILLPIE, TUNNELING SHALL BE EMPLOYED TO ROUTE THE LINES THROUGH THIS AREA.
7. PRUNING OF A GRAND OAK, WITH THE EXCEPTION OF MINOR PRUNING, IS PROHIBITED UNLESS CONDUCTED IN ACCORDANCE WITH THE ANSI A-300 PRUNING STANDARDS, AND PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA). MINOR PRUNING IS THE PRUNING OF A TREE BY THE REMOVAL OF BRANCHES NO GREATER THAN THREE (3) INCHES IN DIAMETER AT THE POINT OF CONNECTION TO A SUPPORTING BRANCH AND SHALL BE IN ACCORDANCE WITH THE ANSI A-300 PRUNING STANDARDS. A NOTARIZED AFFIDAVIT AFFIRMING AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE ON SITE SUPERVISION OF THE PRUNING SHALL BE SUBMITTED TO THE COUNTY PRIOR TO THE PRUNING OF A GRAND OAK. AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A GRAND OAK SHALL ASSUME FULL RESPONSIBILITY FOR ALL PRUNING ACTIVITIES DETERMINED IN NONCOMPLIANCE WITH STANDARDS SPECIFIED WITHIN THE LAND DEVELOPMENT CODE.

PERMIT IRRIGATION NOTES

1. Plants with similar water requirements shall be irrigated on the same zone. Installed trees and other vegetation shall be spaced and located to accommodate their mature size on the site and not interfere with irrigation spray patterns of coverage. No plants shall be planted under roof overhangs. When utilizing organic Mulch a minimum depth of three inches shall be applied in Plant Beds and around individual trees and palms.
2. Irrigation Systems shall be designed and installed for efficient and effective use of water for the Landscaped Area. Irrigation Systems shall have separate High and Low Water Use Zones for independent operation. Turfgrass areas, annual flowerbeds and vegetable gardens shall be irrigated on separate irrigation zones from tree, shrub, and groundcover beds. No water spray from Irrigation Systems shall be applied under roof overhangs.
3. Sprinklers and rotors for Turf areas shall be installed so as to minimize overspray onto paved surfaces, structures, and nonvegetated areas; minimize Runoff of irrigation water; and operate at their designed overlap pattern of 75 percent to 100 percent. (A pattern of 100 percent overlap would represent head-to-head coverage). Pop-up Sprinklers and rotors will not be mixed in the same zone.
4. Reclaimed or other nonpotable water source shall be used for irrigation if available. If the water supply for the Irrigation System is from a well, a Constant Pressure Flow Control device or Pressure Tank with adequate capacity shall be required to minimize pump "cycling".
5. Micro-irrigation systems that have low volume Emitters shall be required for tree, shrub and Ground Cover beds if permanent irrigation is provided for these areas. A "Y" type Filter shall be installed at the head end of such systems. In-line pressure regulators to reduce pressure to no more than 15 P.S.I. shall also be utilized.
6. A Rain Sensing Shutoff Device shall be required on automatic Irrigation Systems to avoid irrigation during periods of sufficient rainfall. Said equipment shall consist of an automatic sensing device or switch which will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred. It must be placed where it is exposed to unobstructed natural rainfall.
7. Whenever reuse water is Available from any source, the developer shall be required to install reuse lines throughout the development.
8. All new construction/new buildings shall connect to Available reuse lines prior to issuance of Temporary or permanent Certificate of Occupancy.

SIGHT VISIBILITY NOTES & HORIZONTAL CLEARANCE

1. Sight visibility triangles shall be maintained as shown per FDOT Index 546, Passenger Car.
2. All plant material, including sod, groundcovers, shrubs and trees shall be maintained to keep clear sight areas free from obstructions at all times. Maintain minimum and maximum plant heights and clear areas per Sight Window Detail, as shown in most recent FDOT Index 546.
3. No trees to be planted within horizontal clearance as defined by FDOT index 700.

CONSTRUCTION NOTES


1. No reference to engineering or survey shall be made from this landscape plan. Plans shall be made from the landscape reference only. Prior to commencement of work, the Contractor shall locate and verify all utilities, including but not limited to, water, irrigation, sewer, storm, soft utilities, above ground utilities, street lights and electrical supply. Contractor shall make necessary adjustments in field to relocate trees and plants to avoid conflict with any existing utilities.
2. The Contractor(s) shall bear sole responsibility for any and all damages that result from his activities due to improper verification of utilities and/or operator error during excavations. See related civil plans for additional information and coordinate work with the General Contractor and other trades prior to start of work.
3. Contractor shall notify the Owner's Representative in writing of unsatisfactory conditions prior to start of work. Commencement of work will indicate acceptance of conditions and full responsibility for completed work.
4. All work within the right of way shall conform with all applicable local and/or state highway jurisdictions and standards.
5. Contractor shall provide maintenance of traffic in work zones per FDOT Index 613 during all applicable construction, installation, and maintenance.
6. Plants shall be measured when branches, stems, and petioles are in their normal position. Heights and spread dimensions specified refer to the main body of the plant, and not to the extreme branch or tip to tip measurement. Measurements specified in this plan are the minimum size acceptable and represent the measurements after pruning, where pruning is required. When sizes are specified as a range, the plant shall have the proper proportions as outlined in "Grades and Standards for Nursery Plants."
7. Balled and Burlapped (B&B) plants and Wire Balled and Burlapped (WB&B) plants: All ball sizes shall be of a diameter and depth to encompass the fibrous and feeding root system necessary for the full recovery of the plant after planting. All balls shall be firm, not broken or cracked and shall be wrapped and securely tied with heavy twine or wire. All trees shall be root pruned a minimum of six (6) weeks before delivery. During any pruning and thinning of the canopy that is required, care shall be taken to assure that the plant form will not be distorted and will remain typical of the species growth characteristics.
8. No substitutions in size or type of plant material shall be made without the explicit written permission of the Landscape Architect. Plants shall be bid as shown. Submit written verification of any plant material(s) that may be unavailable as specified, to the Landscape Architect, with suggestions based upon availability. Plants larger than specified may be used, if approved by the Landscape Architect, however use of larger plant material shall not increase the contract price.
9. Where trees are specified as container or field grown, they may be substituted for equal quality trees where market availability and pricing warrants using the other type than specified. Where substituted, it shall be noted in bid.
10. All trees planted using either a tree auger or tree spade are to be correctly water settled to ensure no future settling. All holes dug by either a spade or auger are to be scored along all sides to allow root growth to escape limits of excavation. All trees that settle crooked or low will be reset by Landscape Contractor.
11. Shrubs shall be planted in circular plant pits with a diameter of 6" greater than the rootball or container. Trees shall be planted in circular pits with a diameter of 12" greater than rootball or container and backfilled with mix of native soil and planting soil mix.
12. Landscape Contractor shall remove all plant labels, tags, flagging tape and ribbon and synthetic material from all trees, and shrubs upon final acceptance of the landscape.

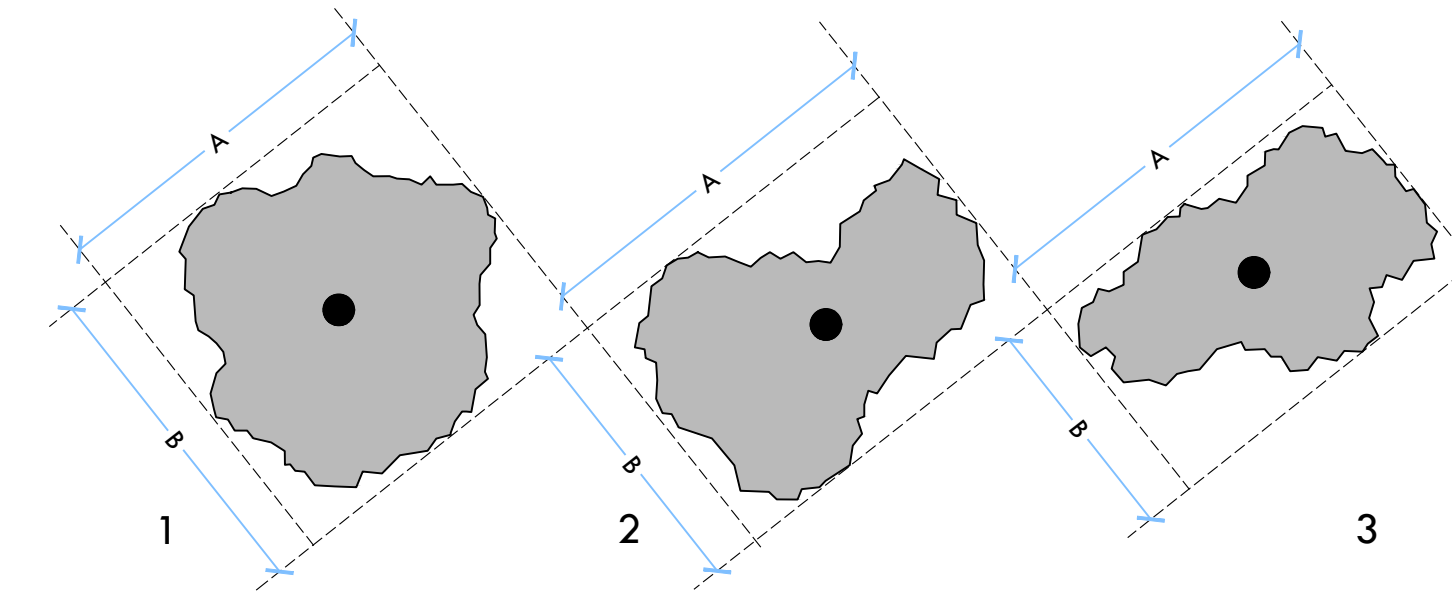
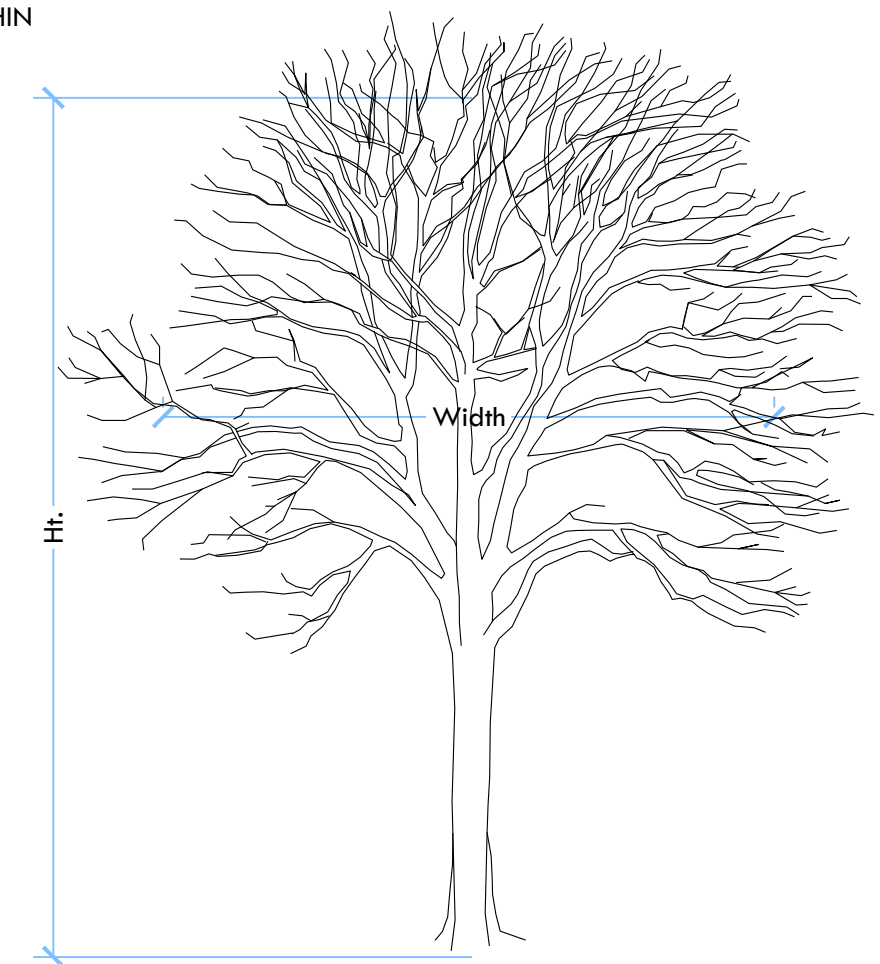
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|-------------------------------|----------------------------|
| Larger container plants/trees | = 1 tablet per gallon size |
| 5 gallon container | = 4 - 5 tablets per plant |
| 3 gallon container | = 3 - 4 tablets per plant |
| 1 gallon container | = 2 - 3 tablets per plant |
14. All trees shall be guaranteed for one (1) year after final acceptance. All shrubs and groundcovers shall be guaranteed for ninety (90) days after final acceptance. All trees, plants and/or grassing not found in a healthy growing condition at the end of the guarantee period shall be removed from the site and replaced within ten (10) days after written notice. All plant replacements shall be of the same type and size as specified in the plant list. The replacements shall be furnished, and installed as herein specified at no additional cost to the Owner.
15. At the time of final acceptance, the Landscape Contractor shall provide the Owner with a maintenance manual containing instructions for the proper care of all materials specific to the job. Landscape Contractor shall supply the Owner's Representative with a bid to provide yearly maintenance of all work contained in these plans.
16. The Owner shall be responsible for the proper maintenance and watering of the landscaping and turf after final acceptance, unless otherwise a maintenance agreement with the Contractor has been established.
17. The Landscape Contractor shall be responsible for properly securing trees, plans and large shrubs immediately after planting. All trees over six feet (6') in height and all palms shall be guyed and staked below grade as per the details of this plan. No deviations from staking methods illustrated in this plan shall be used without prior written consent of the Landscape Architect. In any instance where staking and guying crosses a walkway or pedestrian path between grade level and nine feet (9') height, bright colored tape shall be attached to the guy straps and/or stakes to serve as a visual signal. All stakes shall be driven flush with surrounding grade for public safety.
18. Trunks of all palms and all trees shall have no abrupt changes in caliper. No holes, cavities, gouges, or other defects shall be present in the trunks of palms and trees.
19. Each palm shall have a heavy, dense canopy with seventy-five percent (75%) excellent leaves as defined "Grades and Standards for Nursery Plants."
20. During all work and cleanup, it shall be the responsibility of the Landscape Contractor to protect all plant materials from damage due to landscape operations, operations by other contractors, other trades, and trespassers. Protection of plant material shall be maintained during installation and maintenance periods. Landscape Contractor shall treat, repair or replace damaged material from any such activity. Plant materials that die shall be replaced within thirty (30) days. Plant materials that are removed shall be replaced within fifteen (15) days.
21. All plant materials shall be the genus, species, and cultivars or varieties specified in this landscape plan. Plants shall show typical characteristics, including growth habitat, leaf arrangement, texture, and plant structure of the specified genus, species, and cultivars or varieties.
22. Trees with branches overhanging into vehicular or pedestrian use areas shall be maintained to provide safe usage of area. Trees overhanging sidewalks, trails, or other pedestrian zones shall be maintained to provide 8' clear height from the edge of pedestrian surface, as defined in the most current ADA Standards for Accessible Design. Overhanging branches in collector roadways shall be maintained to provide 16' clear height above pavement, as defined in the most current Florida Greenbook.
23. Provide full coverage in sod areas. Contractor to field verify limits with Owner. Where existing Bahia is used to meet full coverage, areas shall be modified with fertilization and/or weeding as necessary to meet industry and horticultural standards.
24. Turf areas shall be free of weeds, objectionable plants, and thorch. Sod sections shall be standard width and length according to industry standards for the type of sod. No broken pads or pads with torn or uneven ends will be accepted. Transition from turf areas to planting beds should have smooth round edges. No jagged edges will be allowed on sod margins. All turf shall be laid on smooth finish grade and rolled to provide even surface with no high and low points in turf areas, with exception of berming areas identified in plan.
25. Apply "Devrinol" selective herbicide (dry flowable) per manufacturer's directions to all plant bed areas prior to mulching. Use a properly calibrated granular applicator and do not apply chemical directly onto leaves of plants.
26. Groundcovers and shrub beds shall be planted on triangular spacing with plants installed and faced for optimum growth into the bed. Curvilinear bed lines shall be accurately scaled from plans and laid-out in the field. All planting beds and sod edges shall have consistent, smooth edges, free of any jags, bumps, jogs, or rough edges. If field conditions are different from plans, immediately notify the Landscape Architect for field adjustment of materials.
27. Plants and trees shall be set plumb, at the same grade at which they have been grown, best side facing prime visibility and thoroughly watered-in, to eliminate air pockets. Trees set too high or low will be rejected. Trees with large air pockets around rootballs will be rejected. Verify proposed finish grades and set trees accordingly.
28. Finish grade to be raked, level and free of weeds, rocks and debris prior to installation of sod. Landscape Contractor to notify Owner's Representative immediately if site conditions are not acceptable. Inconsistency in sod quality, grade and installation may warrant removal and reinstallation, with no additional compensation.
29. All landscape material shall be maintained and pruned in a manner that preserves its natural shape and growth habitat and characteristics. No plant material shall be manicured, shaped, or pruned in unnatural shapes, including but not limited to, circles, squares, ovals, or triangles. This does not prevent removal of limbs from throat of the trunk.
30. No more than 1/3 of tree canopy shall be trimmed or pruned in any one year, with exception to dead growth. This includes, but is not limited to, species such as crape myrtle and holly.
31. All topsoil brought on site shall be reasonably free of clay lumps, brush, weeds, and other debris, including litter, roots, stumps, and stones larger than one and one-half inches (1-1/2") in any dimension, and any other extraneous or toxic matter harmful to plant growth.
32. The work includes soil preparation, finish grading, supplying and planting of trees, shrubs, groundcovers, vines, and sod of the species, sizes and quality shown on the drawings and/or as specified herein. Further, the work shall include the maintenance of all landscape and sod/seed areas until final acceptance by the Landscape Architect and Owner's Representative.
33. The job site shall be kept orderly and reasonably clean on a daily basis during construction operations. Upon completion, the Landscape Contractor shall remove all debris and waste generated by his operations on-site, including the cleaning of walks and paving as necessary.
34. The use of mulch and bark ground cover adjacent to storm structures and curbs has a proven history to discharge into inlets and retention areas increasing maintenance costs and adverse impacts to county stormwater systems. Precautionary measures such as strips of sod, stone or manufactured borders to inhibit ground cover illicit discharge shall be

implemented if necessary.

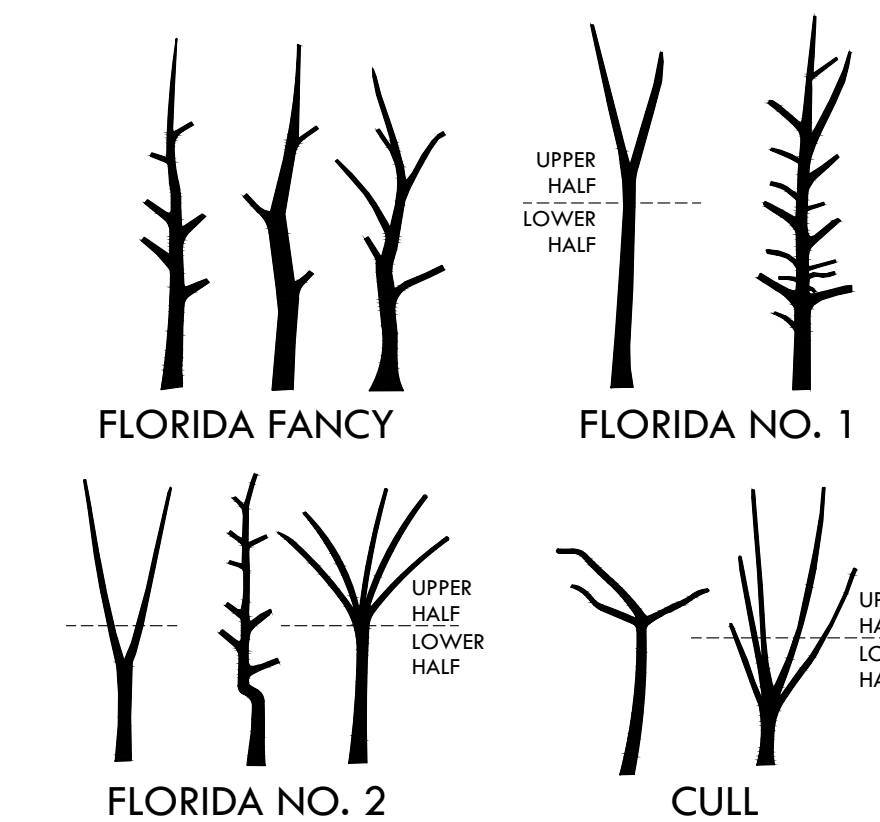
35. No track type equipment will be allowed on any asphaltic or concrete surfaces.
36. No illicit discharge shall occur as a result of activity performed pursuant to this permit.
37. No de-watering shall occur without written approval by the Public Works Director. Where dewatering in the Right Of Way is proposed, it must be accompanied by a plan to insure there is no sediment transfer, pumped water is uncontaminated.
38. NO OPEN CUTS without specific approval from the Public Works Director.
39. All traffic control devices, i.e.: Warning/Construction type signs will comply with F.D.O.T. 600 Standard Index during the construction phase.
40. All disturbed areas outside the 2:1 roadway control line (shoulder) shall be compacted to firmness equal to that of the soil adjacent to the trench and replaced with sod. Areas within three (3) feet of edge of pavement shall be compacted to City of Venice Testing Specifications.
41. All existing drainage to be maintained and restored to design flow lines.
42. No work, except for emergency type, will be performed after sundown and before sunrise.
43. At all times during construction apply perimeter control (BMP's) practices to protect the disturbed area from offsite runoff and to prevent sedimentation damage to areas below activity.
44. Minimize the extent of area exposed of natural vegetation at one time and the duration of exposure to elevate erosion potential.
45. Inlets to storm sewers shall be protected by suitable filtering devices during construction to keep pollutants from entering conveyance systems.
46. Required erosion and sediment control devices shall be in place at all times during construction and shall be removed only after stabilization has been established.
47. Prior to installation of irrigation and plant material, all utility lines within right-of-way shall be clearly identified at regular intervals.
48. A minimum twelve inch separation from any stormwater structure or pipe shall be required.
49. If required, all disturbed areas outside the 2:1 roadway control line (shoulder) shall be compacted to firmness equal to that of the soil adjacent to the trench and replaced with sod. Areas within three feet of edge of pavement shall be compacted to City of Venice Specifications.
50. If required, all backfill sub-base, base and asphalt surface restoration shall comply with the latest City of Venice Specifications.
51. If required, it will be the responsibility of the contractor to remove and relocate all traffic control devices during the construction phase. After the construction is complete, the devices will be reinstalled to the original location. Any damaged devices will be the responsibility of the contractor to replace.
52. In the event, sidewalk is removed, they shall be constructed within 3 days after removal and maintain safe pedestrian traffic at all times. If sidewalk is removed, it shall be removed at the nearest expansion joint and replaced per FDOT Index 310. Any sidewalk which becomes undermined must be removed and replaced. Roadway/Sidewalk connections replacements must meet current ADA Standards and FDOT Index 304. Replacement walks shall be natural colored concrete, 3000 PSI, fiber reinforced, 4" thick typ, with 6" thick at driveway approaches.

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

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|--------------------------|------------|----------|---|------------------------------|-----------------------------------|-----------------------|-------|
| 04-20-2020 12-20-2019 | REV. NOTES | GN GN |  Clearview LAND DESIGN, P.L.L.C. Engineering Business C.A. No.: 28658 3010 W. Azalea Street, Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975 | PERMIT LANDSCAPE PLAN | | | |
| | DATE | | | DESCRIPTION | BY | JOB NO. NCL-CO-010 | FIORE |
| | REVISIONS | | | DESIGN GN | | | |
| | | | DATE: 08/24/2020 JOHN DEL VITTO RLA# 6667327 FLORIDA REGISTERED LANDSCAPE ARCHITECT | DRAWN GN | PREPARED FOR: NEAL COMMUNITIES | | |
| | | | | DATE 12-20-2019 | | | |
| | | | | FILE PLP | SHEET L8 OF L9 SHEETS | | |



ABOVE: TREE MEASUREMENTS TO
BULK OF TREE (AFTER ANY NECESSARY PRUNING)
AND NOT TIP TO TIP OR EXTREME EXTENTS



ABOVE: BRANCHING STRUCTURE IS EXPECTED TO BE FLORIDA FANCY OR FLORIDA #1 AS DEPICTED ABOVE. ALL OTHER TREES WILL BE REJECTED.

NOTE: FOR REVIEW ONLY - NOT FOR CONSTRUCTION

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