

CASSATA PLACE

DEVELOPER:

MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 SOUTH TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

LEGAL DESCRIPTION :

TRACT 4 OF THE UNRECORDED PLAT OF KENT ACRES, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 THE WEST 304 FEET OF THE EAST 1249 FEET OF THE NORTH 726 FEET OF THAT OF SECTION 9, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA, LYING SOUTH OF THE EXISTING RIGHT-OF-WAY OF VENICE AVENUE EAST, THE SOUTH 15 FEET THEREIN RESERVED FOR INGRESS AND EGRESS EASEMENT.

OWNER:

AQUEDUCT, LLC
7507 SOUTH TAMiami TRAIL
SARASOTA, FL. 34231

CIVIL ENGINEER

PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D
LARGO, FL. 33771 (727) 408-5207

SURVEYOR

BRITT SURVEYING, INC.
606 CYPRESS AVE.
VENICE, FL. 34285 (941) 493-1396

LANDSCAPE ARCHITECT

HAZELTINE NURSERIES, INC.
P.O. BOX 236
VENICE, FL. 34292 (941) 485-1272

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PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628
 THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, P.E. ON THE DATE ADJACENT TO THE SEAL USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-2-16.
APPROVED
 PAUL V. SHERMA, REG. NO. 35628

PARCEL ID NO. = 041-208-0004
 PROPERTY ADDRESS = 1755 EAST VENICE AVE., VENICE FL. 34292

SITE AREA

LOTS 1-14 = 5.07 AC±

PERCENT AND ACREAGE OF IMPERVIOUS/PERVIOUS AREA:

PERVIOUS = 2.43 ACRES 47.9%
 IMPERVIOUS = 2.64 ACRES 52.1%
 TOTAL = 5.07 ACRES 100%

INFRASTRUCTURE IMPROVEMENTS:

LINEAR FEET OF POTABLE WATER MAIN = 1,307 FT
 LINEAR FEET OF SANITARY SEWER LATERAL = 656 FT
 LINEAR FEET OF FORCE MAIN = 0 FT
 NUMBER OF MANHOLES = 5 UNITS

CITY OF VENICE TO PROVIDE WATER, SEWER AND SOLID WASTE SERVICES TO THE PROJECT.

NOTES:

1. ALL WORK CONDUCTED IN EAST VENICE AVE. RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW PERMIT FROM SARASOTA COUNTY AND A COPY OF PERMIT TO BE PROVIDED TO THE CITY OF VENICE.
2. TREE REMOVAL PERMIT MUST BE OBTAINED FROM SARASOTA COUNTY NATURAL RESOURCES DEPARTMENT. SITE CONTRACTOR TO APPLY FOR AND OBTAIN PERMIT.
3. *POST DEVELOPMENT 25 YR -24 HR RUNOFF VOLUME DOES NOT EXCEED PRE-DEVELOPMENT 25 YR RUNOFF VOLUME. POST-DEVELOPMENT 25 YR - 24 HR PEAK RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT 25 YR - 24 HR PEAK RUNOFF.
4. ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521
5. CONSTRUCTION SITE INFORMATION MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION
6. PUBLIC IMPROVEMENTS ARE THE 6" WATERMAIN, 12" WATERMAIN AND GRAVITY SANITARY SEWER MAIN.
7. PRIVATE IMPROVEMENTS ARE THE ON SITE DETENTION POND, STORM DRAINAGE PIPES, LANDSCAPE AREAS AND STORM DRAINAGE SYSTEM.
8. ALL ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET THE LATEST VERSION OF THE CITY OF VENICE STANDARD DETAILS.
9. ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC SURVEY, BENCHMARK J 699, HAVING A PUBLISHED ELEVATION OF 13.22' REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.



LOCATION MAP

SECTION 9 TOWNSHIP 39S RANGE 19E

CITY OF VENICE NOTES

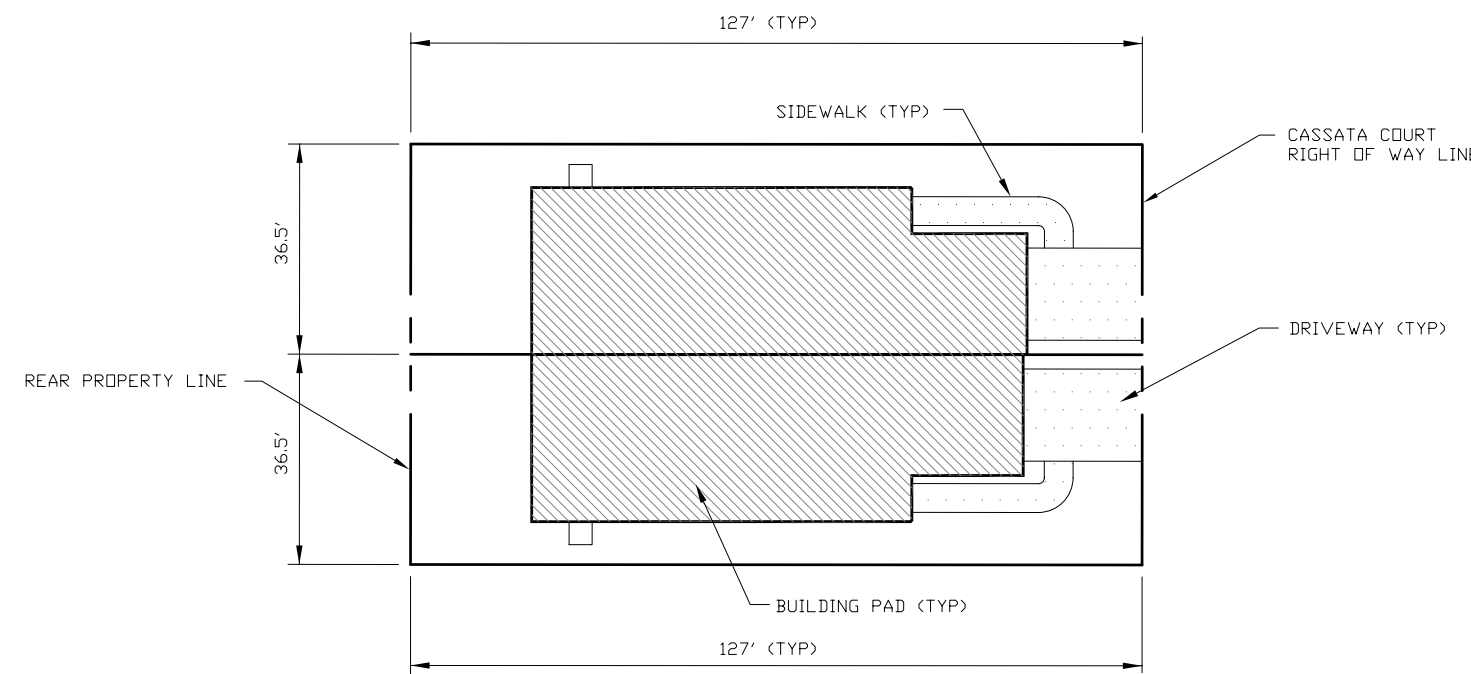
1. ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
2. CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.

UTILITIES

TECO PEOPLES GAS 702 NORTH FRANKLIN STREET P.O. BOX 2562 TAMPA, FL 33601-2562	FLORIDA POWER & LIGHT CONSTRUCTION SERVICES 5657 SOUTH MCINTOSH ROAD SARASOTA, FL 34230	WATER AND SEWER CITY OF VENICE 401 WEST VENICE AVE. VENICE, FL 34285
VERIZON ENGINEERING 1701 BINKING BOULEVARD SARASOTA, FL 34230	COMCAST CABLEVISION OF WEST FLORIDA, INC. 5205 FRUITVILLE ROAD SARASOTA, FL 34232	

NO. DATE BY REVISIONS

1	12-5-18	SAG	REVISE PLAN AS PER CITY COMMENTS
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BLDG PAD DETAIL
 N.T.S.

LOT IMPERVIOUS/PERVIOUS AREA TABLE

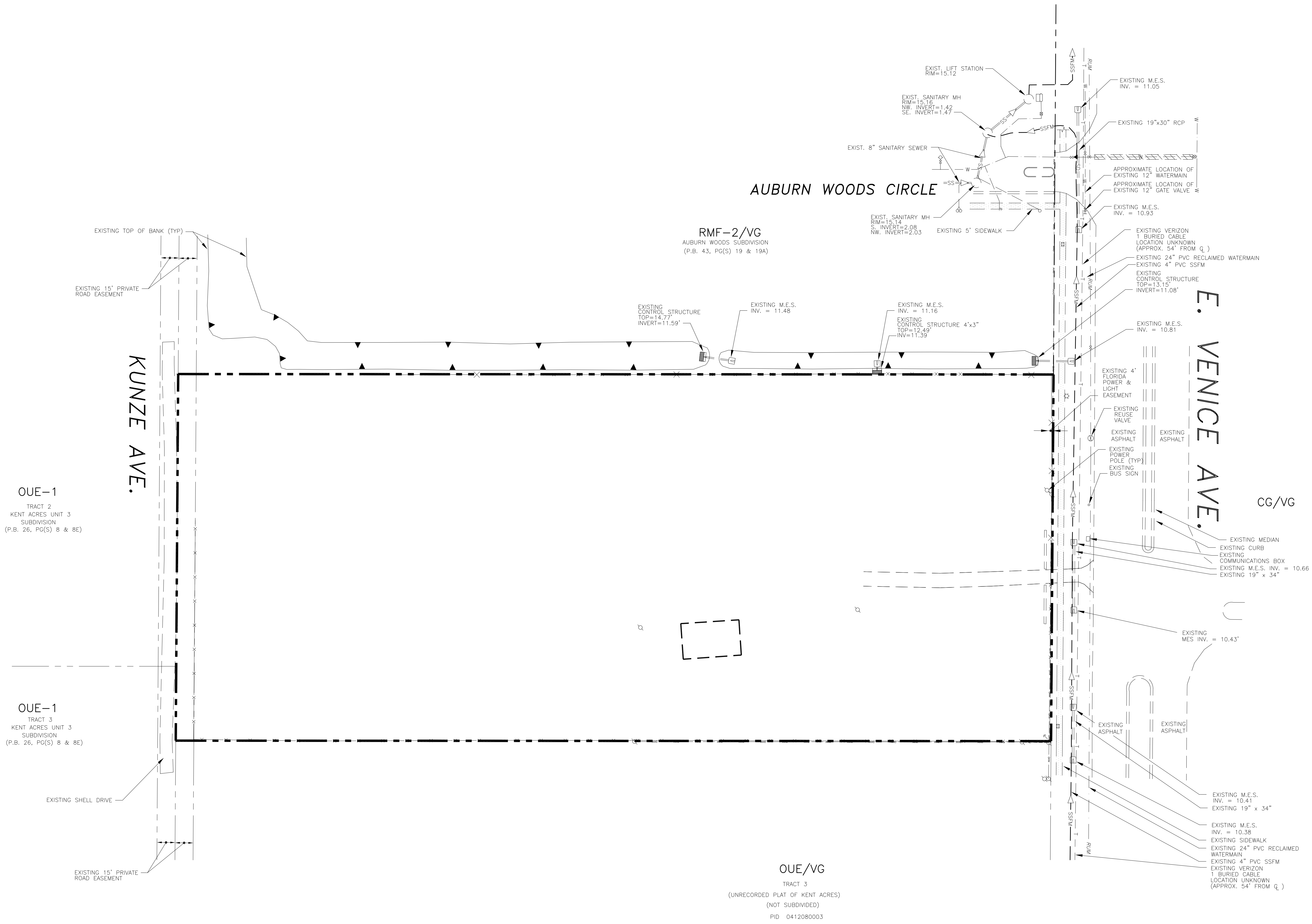
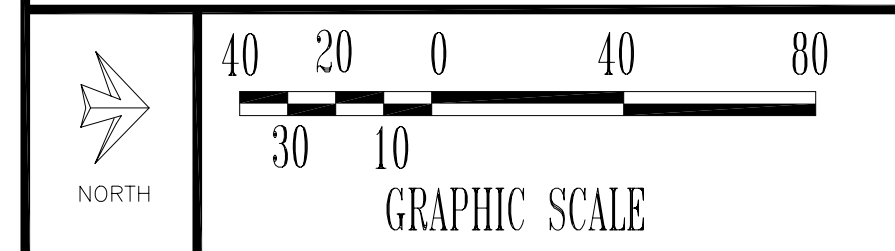
LOT NO.	LOT AREA	HOUSE PAD	SIDEWALK	DRIVEWAY	PERVIOUS	COVERAGE %
1	4,455.42 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,629.27 S.F.	52%
2	4,640.84 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,828.20 S.F.	50%
3	4,640.72 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,824.57 S.F.	50%
4	4,640.99 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.95 S.F.	50%
5	4,640.47 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,824.32 S.F.	50%
6	4,640.34 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.70 S.F.	50%
7	4,640.22 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,824.07 S.F.	50%
8	4,640.09 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.45 S.F.	50%
9	4,639.97 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,823.82 S.F.	50%
10	4,639.84 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.20 S.F.	50%
11	4,639.72 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,823.57 S.F.	50%
12	4,639.59 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,826.95 S.F.	50%
13	4,639.47 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,823.32 S.F.	50%
14	4,448.69 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,636.03 S.F.	50%
15	4,445.00 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,628.85 S.F.	53%
16	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
17	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
18	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
19	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
20	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
21	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
22	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
23	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
24	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
25	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
26	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
27	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
28	4,434.62 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,621.98 S.F.	52%

PEER
 PROFESSIONAL ENGINEERING RESOURCES, INC.
 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS
 CERTIFICATE OF AUTHORIZATION NUMBER: 4401

LEGEND

PROPOSED	EXISTING
— W — WATER MAIN	— F — FIRE MAIN
— R — RECLAIM WATER MAIN	— RW — RECLAIM WATER MAIN
— RUM — REDUCER	— RUM — REDUCER
— T — TEMPORARY BLOWOFF	— T — TEMPORARY BLOWOFF
— FH — FIRE HYDRANT	— FH — FIRE HYDRANT
— G — GATE VALVE (C.V. & BOX)	— G — GATE VALVE (C.V. & BOX)
— FFC — FIRE DEPARTMENT CONNECTION	— FFC — FIRE DEPARTMENT CONNECTION
— DCA — DOUBLE CHECK ASSEMBLY	— DCA — DOUBLE CHECK ASSEMBLY
— WM — WATER METER	— WM — WATER METER
— S — SANITARY SEWER LINE	— S — SANITARY SEWER LINE
— SFM — SANITARY SEWER FORCEMAIN	— SFM — SANITARY SEWER FORCEMAIN
— SM — SANITARY SEWER MANHOLE	— SM — SANITARY SEWER MANHOLE
— CO — CLEAN OUT	— CO — CLEAN OUT
— SD — STORM DRAIN	— SD — STORM DRAIN
— RD — ROOF DRAIN	— RD — ROOF DRAIN
— GI — GRATE INLET	— GI — GRATE INLET
— JB — JUNCTION BOX	— JB — JUNCTION BOX
— EC — EROSION CONTROL	— EC — EROSION CONTROL
— OS — OUTFALL STRUCTURE	— OS — OUTFALL STRUCTURE
— MES — MITERED END SECTION (M.E.S.)	— MES — MITERED END SECTION (M.E.S.)
— TB — TOP OF BANK	— TB — TOP OF BANK
— FW — FENCE OR WALL	— FW — FENCE OR WALL
— ES — EASEMENT OR SETBACK	— ES — EASEMENT OR SETBACK
— TFA — TRAFFIC FLOW ARROW	— TFA — TRAFFIC FLOW ARROW
— HPS — HANDICAP PARKING SPACE	— HPS — HANDICAP PARKING SPACE
— H/C — H.P. OR CHANGE IN GRADE	— H/C — H.P. OR CHANGE IN GRADE
— UG — UNDERGROUND	— UG — UNDERGROUND
— E — ELEVATION	— E — ELEVATION
— C — CONTOUR	— C — CONTOUR
— GTE — G.T.E.	— GTE — G.T.E.
— UGL — U.G. ELECTRICAL LINE	— UGL — U.G. ELECTRICAL LINE
— G — GAS MAIN	— G — GAS MAIN
— DW — DETECTABLE WARNING	— DW — DETECTABLE WARNING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
 333 S. TAMiami TRAIL, SUITE 205
 VENICE, FL. 34285

PROJECT NAME: **SEC. 9 TWP. 39S RNG. 19E**
CASSATA PLACE
 EXISTING UTILITY PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'	1	12-5-18	SAG	REVISE PLAN AS PER CITY COMMENTS.

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 PROFESSIONAL ENGINEERING RESOURCES, INC.
 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
 CERTIFICATE OF AUTHORIZATION NUMBER: 4401

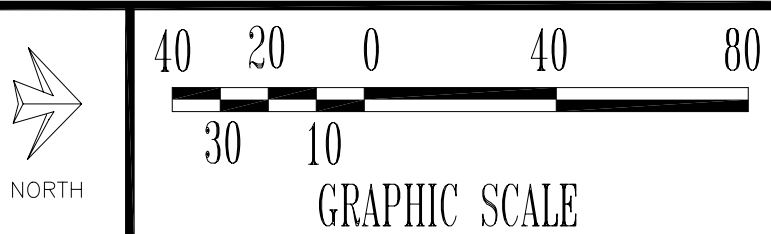
DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

DESIGNED BY: PVS	CHECKED BY: PVS	SHEET NUMBER
DRAWN BY: SAG	DATE: 8-3-18	2
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, P.E. ON THE DATE ADJACENT TO THE SEAL USING A SIGN AUTHORIZATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHORIZATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-25-18.		
APPROVED		
PAUL V. SHERMA, REG. NO. 35628		

LEGEND

PROPOSED	EXISTING
— W —	— W —
— F —	— F —
— RM —	— RM —
— T —	— T —
— G —	— G —
— S —	— S —
— SS —	— SS —
— C —	— C —
— J —	— J —
— E —	— E —
— O —	— O —
— M —	— M —
— R —	— R —
— U —	— U —
— P —	— P —
— G —	— G —

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.

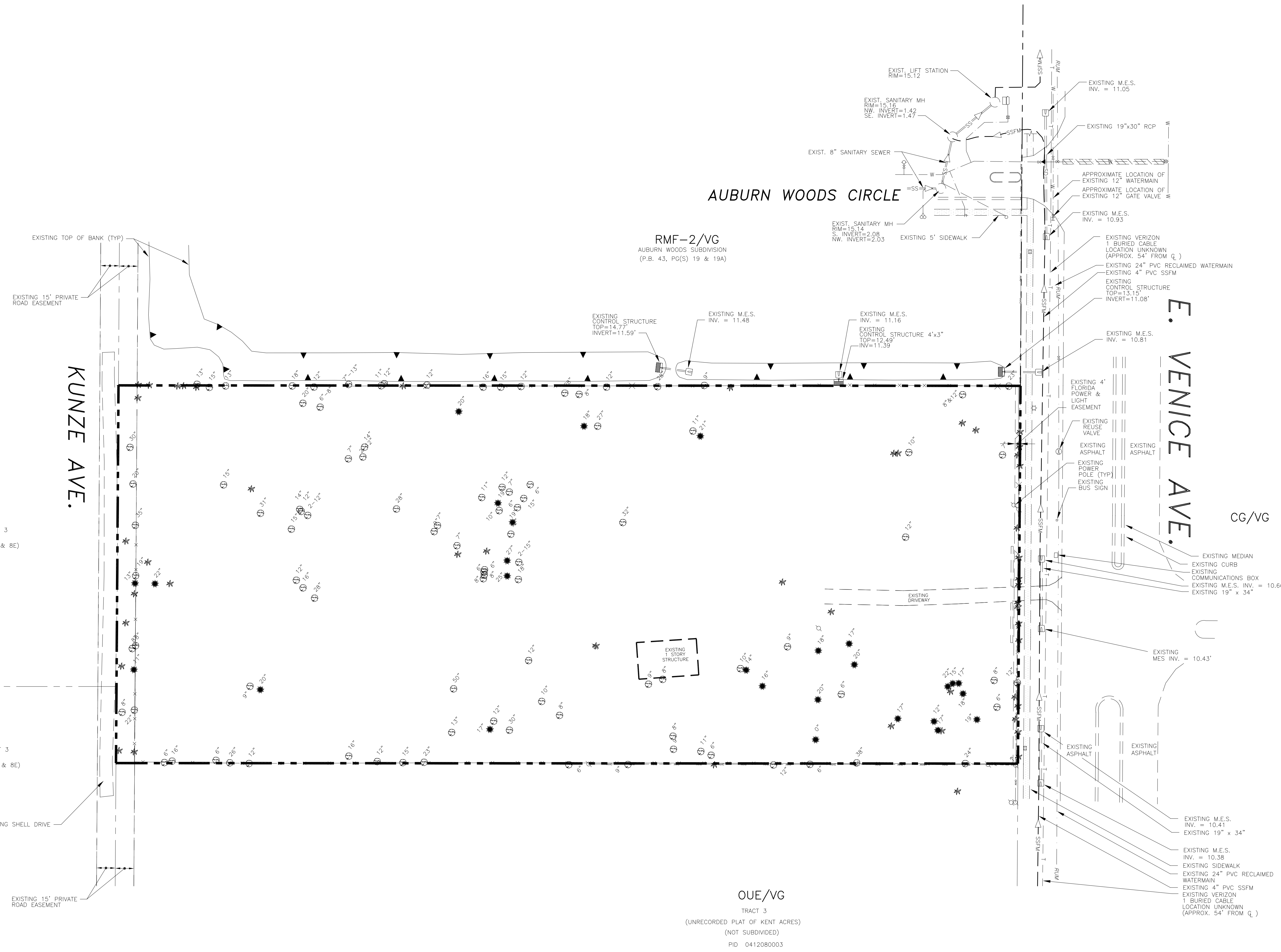


TREE LEGEND

★	✕
⊙	⊠
⊙	⊠

NOTES:

- A DEMOLITION PERMIT FROM THE CITY OF VENICE WILL BE REQUIRED FOR THE REMOVAL OF THE EXISTING STRUCTURE.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
EXISTING TREE PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'				

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DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

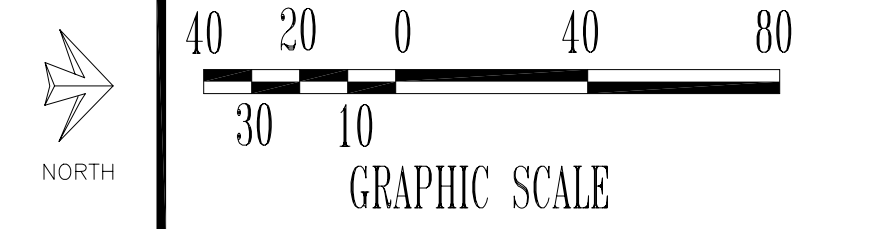
DESIGNED BY: PVS
DRAWN BY: SAG
CHECKED BY: PVS
DATE: 8-3-18
APPROVED
PAUL V. SHERMA, REG. NO. 35628

SHEET NUMBER
3

LEGEND

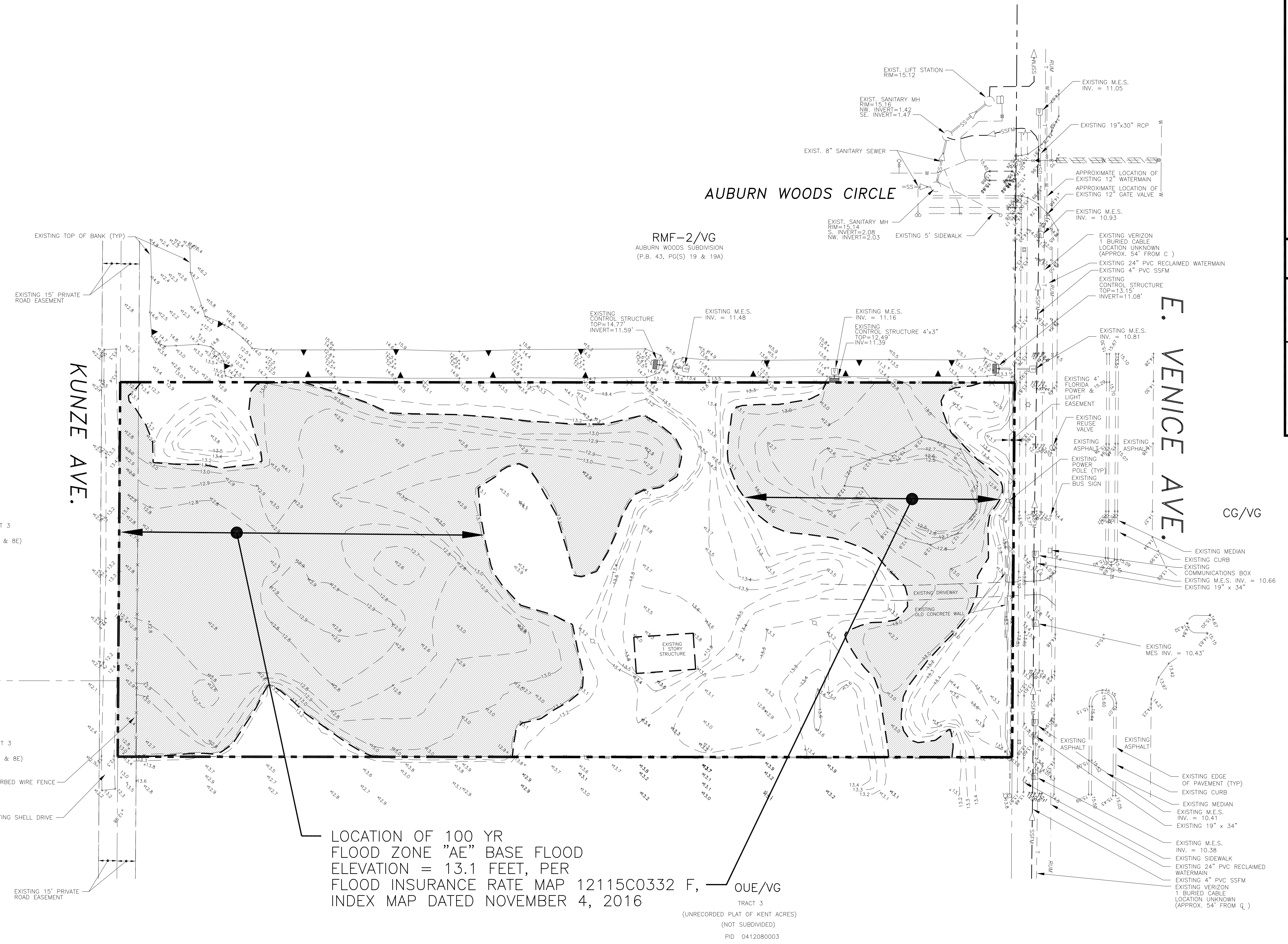
PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770,
48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION
FOR EXISTING UTILITY LOCATIONS.



NOTES:

- EXISTING INFORMATION TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY POINT BREAK SURVEYING, LLC, DATED 11/30/17.
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC SURVEY, BENCHMARK J 699, HAVING A PUBLISHED ELEVATION OF 13.22' REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.



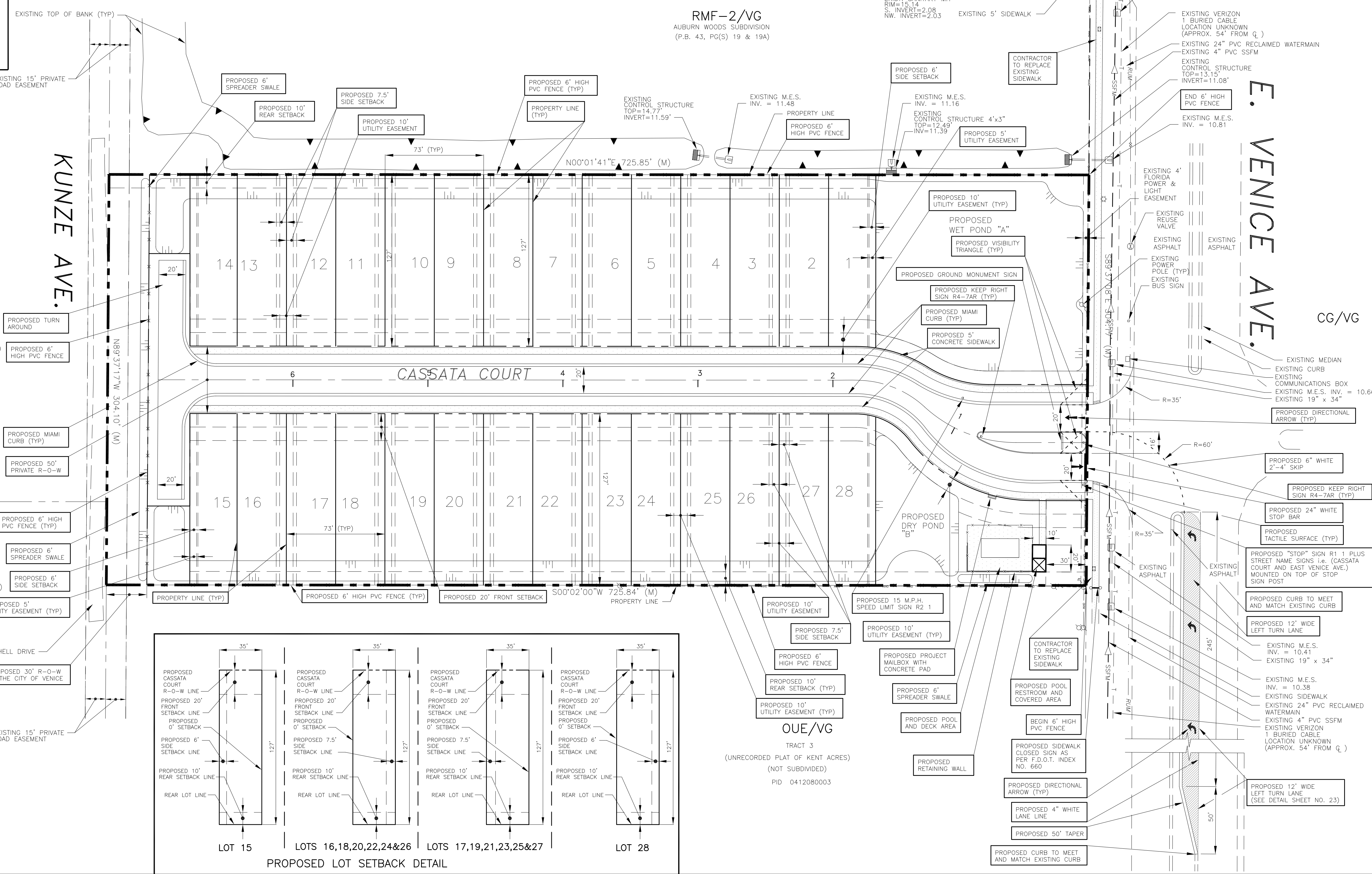
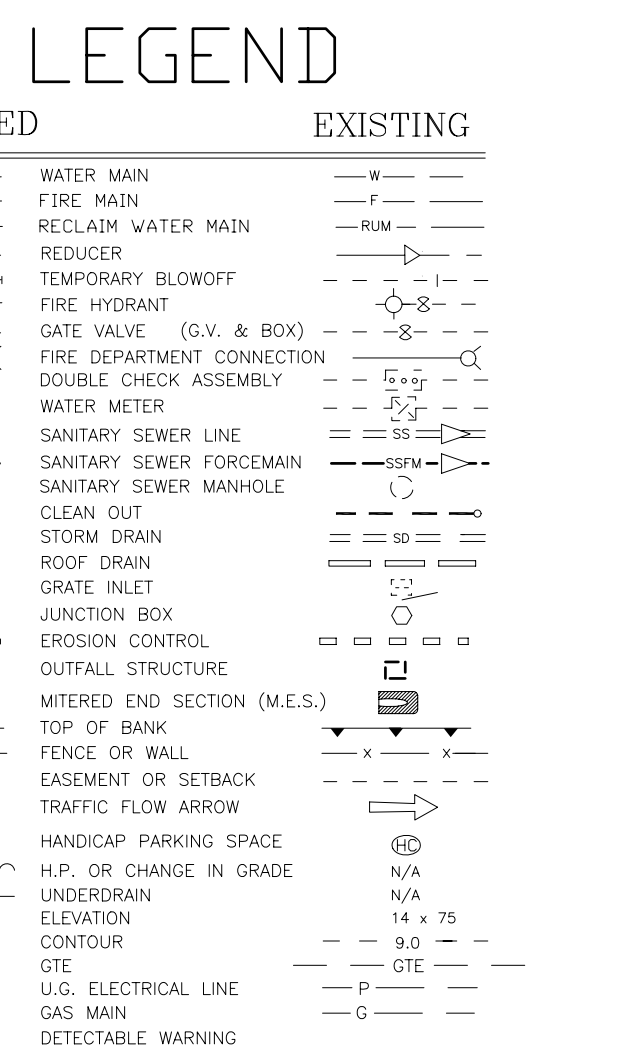
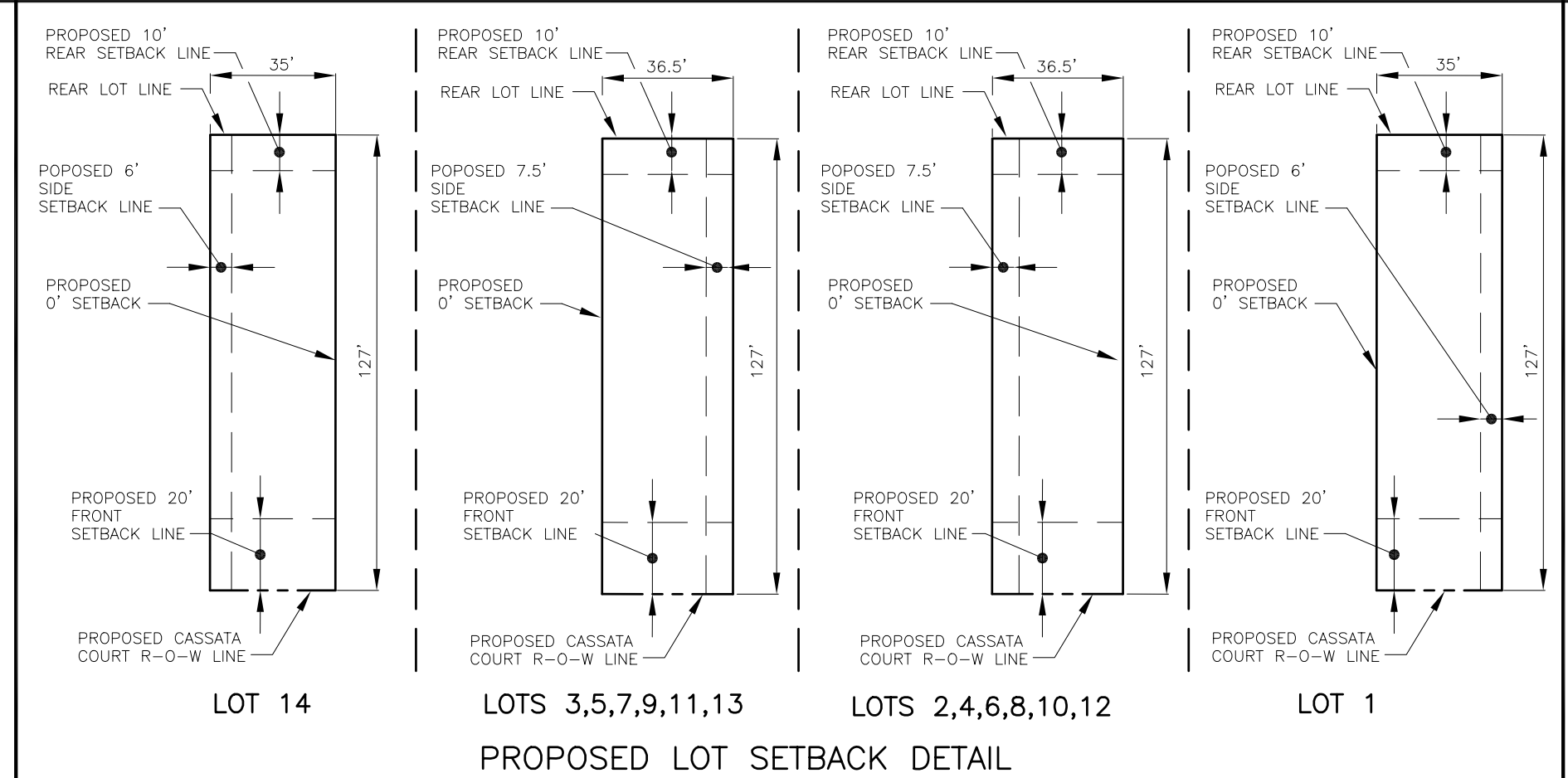
CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	PROJECT NAME: CASSATA PLACE EXISTING TOPOGRAPHY PLAN	PROJECT NUMBER: 18-2352 SCALE: 1"=40'	NO. DATE BY REVISIONS: 1 12-5-18 SAG REVISE PLAN AS PER CITY COMMENTS.	DESIGNED BY: PVS CHECKED BY: PVS DRAWN BY: SAG DATE: 8-3-18 PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628	DRAWING TYPE: <input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD	SHEET NUMBER: 4
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PEER
PROFESSIONAL ENGINEERING RESOURCES, INC.
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CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

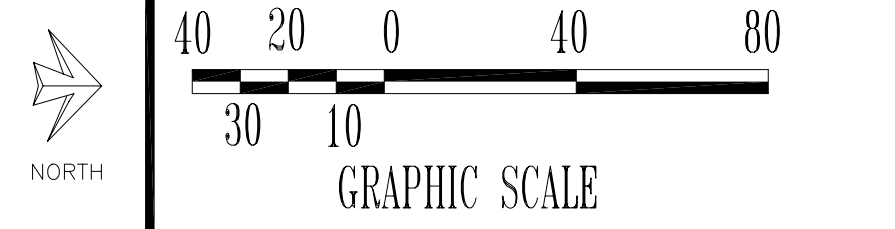
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APPROVED
PAUL V. SHERMA, REG. NO. 35628

- NOTES:**
- A SWF/WMD PERMIT WILL BE OBTAINED.
 - THE POST DEVELOPMENT RUNOFF WILL NOT EXCEED THE PRE-DEVELOPMENT RUNOFF FOR THE 25 YEAR 24 HOUR STORM EVENT AND THE POST DEVELOPMENT 25 YR VOLUME WILL NOT EXCEED THE PRE-DEVELOPMENT 25 YR VOLUME.
 - THE HOME OWNER'S ASSOCIATION WILL MAINTAIN THE ON SITE DRAINAGE, SIGNAGE, AND OPEN SPACE. CITY OF VENICE TO MAINTAIN ON-SITE AND OFF-SITE WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS IN PUBLIC R-O-W AND UTILITY EASEMENTS.
 - PROPOSED LANDSCAPING SHALL BE IRRIGATED BY EXISTING RECLAIM WATER IN VENICE AVE. R-O-W.
 - ALL DISTURBED OPEN SPACE TO BE SOODED.
 - A COPY OF THE SWF/WMD & EPA PERMIT WILL BE SUBMITTED TO THE CITY OF VENICE WITH THE CONSTRUCTION DRAWINGS.
 - WATER CLOSETS AND SHOWERS TO USE LOW VOLUME WATER USAGE.
 - BEST MANAGEMENT PRACTICES WILL BE MAINTAINED AND WILL COMPLY WITH ORDINANCE NO. 90-12.
 - DIMENSIONS ALONG CURVES ARE ARC DISTANCES.
 - RAMPS AND APPROACHES TO COMPLY WITH FACBC 1994 EDITION.
 - TREES WILL BE PLANTED AS PER ORD. NO. 83-44. (TREE SPECIES WILL BE ACCORDING TO SECTION 7(B)).
 - PROPERTY IS LOCATED IN FLOOD ZONE "X" AND "AE". COMMUNITY PANEL NO. 1211503327 EFFECTIVE DATE NOVEMBER 4, 2016.
 - ALL FINISHED FLOOR ELEVATIONS WILL MEET OR EXCEED THE REQUIREMENTS OF F.E.M.A.
 - ON-SITE HANDICAP RAMPS TO COMPLY WITH THE CITY OF VENICE REQUIREMENTS.
 - ON SITE CROSS-WALKS TO BE STRIPED AS PER CITY OF VENICE REQUIREMENTS.
 - HANDICAP RAMPS WITHIN E. VENICE AVE. TO COMPLY WITH SARASOTA COUNTY REQUIREMENTS.
 - SOLID WASTE WILL BE CURB SIDE PICK UP BY THE CITY OF VENICE.
 - PARKING SPACES AND INTERNAL DRAINAGE SYSTEM SHALL BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION.
 - NO PERMIT WILL BE ISSUED IF WATER TAPS TWO (2) INCHES AND LARGER AND FIRE TAPS FOUR (4) INCHES AND LARGER DO NOT HAVE A TAP AUTHORIZATION FROM THE VENICE DEPARTMENT OF UTILITIES.
 - OWNER/DEVELOPER TO COORDINATE WITH FPL ON POWER AND CONDUIT LOCATION FOR LIGHTING.
 - PROPOSED GROUND MONUMENT SIGN SHALL MEET VENETIAN GATEWAY DESIGN STANDARDS AND OBTAIN A SIGN PERMIT FROM THE CITY OF VENICE.
 - THE PROJECT WILL BE CONSTRUCTED IN ONE (1) PHASE.
 - STREET LIGHTING TO BE PROVIDED BY YARD LIGHTING.
 - EXISTING CITY OF VENICE WELLS ALONG EAST VENICE AVE. ARE TO REMAIN.
 - THERE IS TO BE NO CONSTRUCTION TRAFFIC ON KUNZE AVE.



CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 HRS. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



SITE DATA

USE = SINGLE AND TWO FAMILY SUBDIVISION
ZONING = RMF-2 / VENETIAN GATEWAY DISTRICT OVERLAY

PROPERTY ADDRESS = SEE COVER PAGE
PARCEL ID = 041-208-0004
SITE AREA = 5.07 AC.±

PERVIOUS AREA = 1.462 AC.±
IMPERVIOUS AREA = 2.640 AC.±
POND AREA "A" = 0.662 AC.±
POND AREA "B" = 0.306 AC.±

IMPERVIOUS AREA CALCULATION
2.640 AC. / 4.97 AC. = 53.12%

PROPOSED DENSITY
28 UNITS / 4.97 AC. = 5.63 UNITS / ACRE

PROPOSED USE = 1 UNIT / LOT
PROPOSED LOTS = 28

OPEN SPACE:
REQUIRED OPEN SPACE = 30%
PROPOSED OPEN SPACE = 19.09%

TRACT IMPERVIOUS / PERVIOUS AREA TABLE:
SEE SHEET 9

LOT IMPERVIOUS / PERVIOUS AREA TABLE:
SEE COVER PAGE AND SHEET 9

CITY OF VENICE REQUIRED RMF SETBACKS:
FRONT SETBACK = 20'
REAR SETBACK = 10'
SIDE SETBACK = 6' MIN.
SIDE SETBACK = 15' COMBINED

PROPOSED SETBACKS: (SEE DETAILS THIS SHEET)
LOTS 1 & 28
FRONT SETBACK = 20'
REAR SETBACK = 10'
SIDE SETBACK (NORTH) = 6'
SIDE SETBACK (SOUTH) = 0'
LOTS 14 & 15
FRONT SETBACK = 20'
REAR SETBACK = 10'
SIDE SETBACK (NORTH) = 0'
SIDE SETBACK (SOUTH) = 6.0'
LOTS 2-13, 16-27
FRONT SETBACK = 20'
REAR SETBACK = 10'
SIDE SETBACK = 0' OR 7.5'

CITY OF VENICE REQUIRED LOT COVERAGE:
ALLOWABLE LOT COVERAGE = 30%

PROPOSED LOT COVERAGE:
SEE LOT COVERAGE DETAIL ON SHEET NO. 11

PROPOSED BUILDING HEIGHT = MAX HEIGHT = 30'
PROPOSED POOL CAGE MAX HEIGHT = MAX HEIGHT = 20'

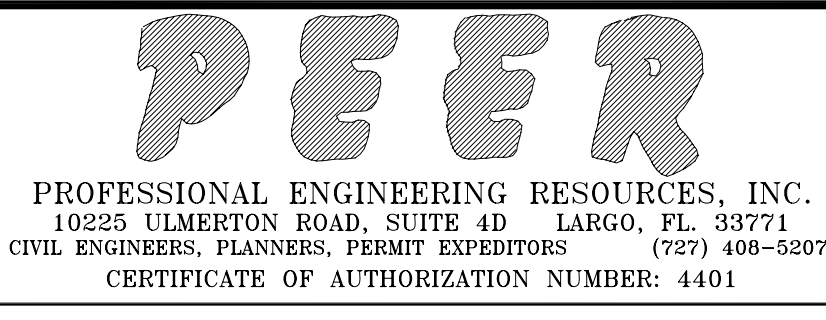
EACH LOT HAS A TWO (2) CAR GARAGE.

CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
SITE, SIGNAGE AND STRIPING PLAN

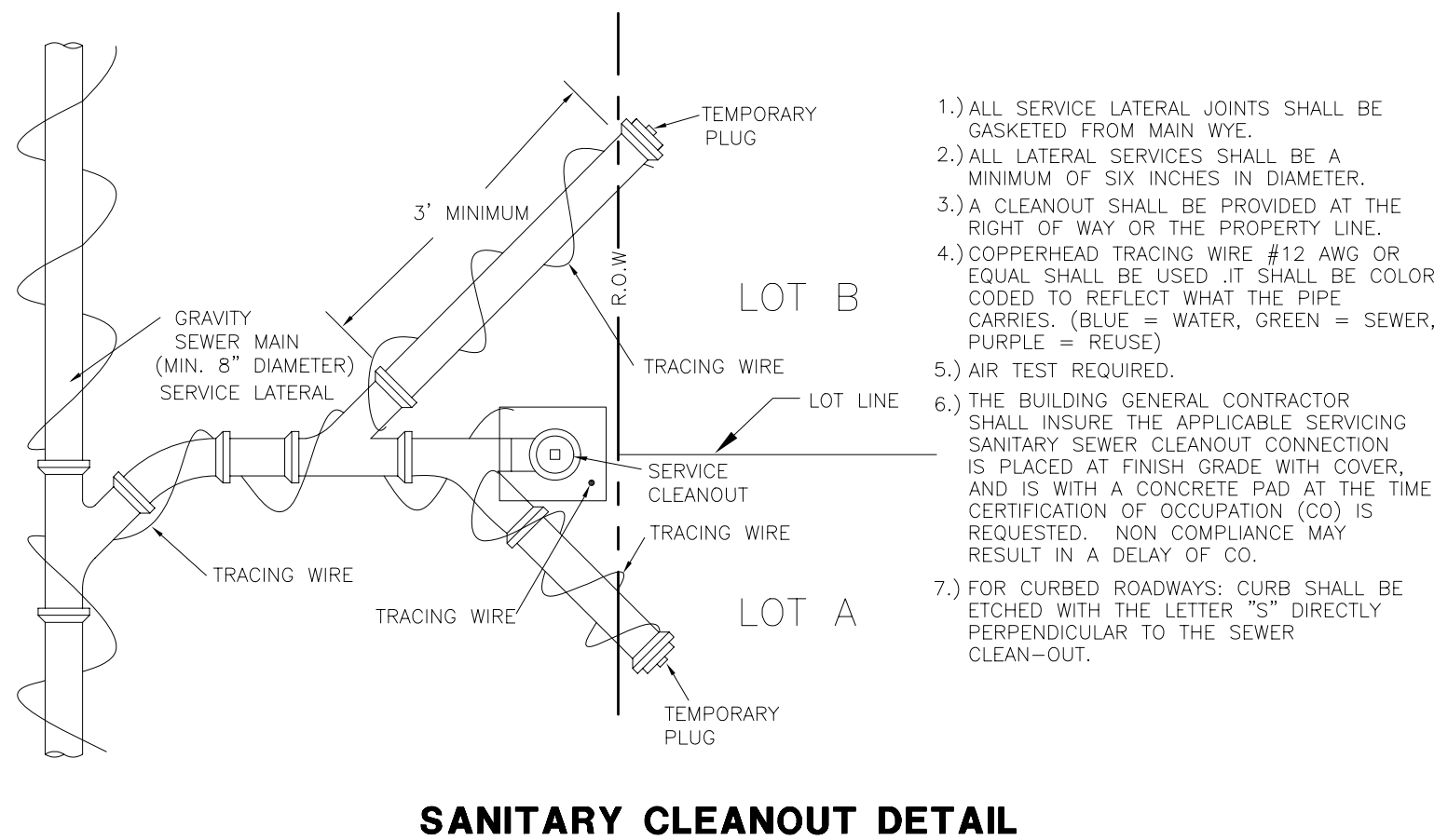
PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE	1"=40'			

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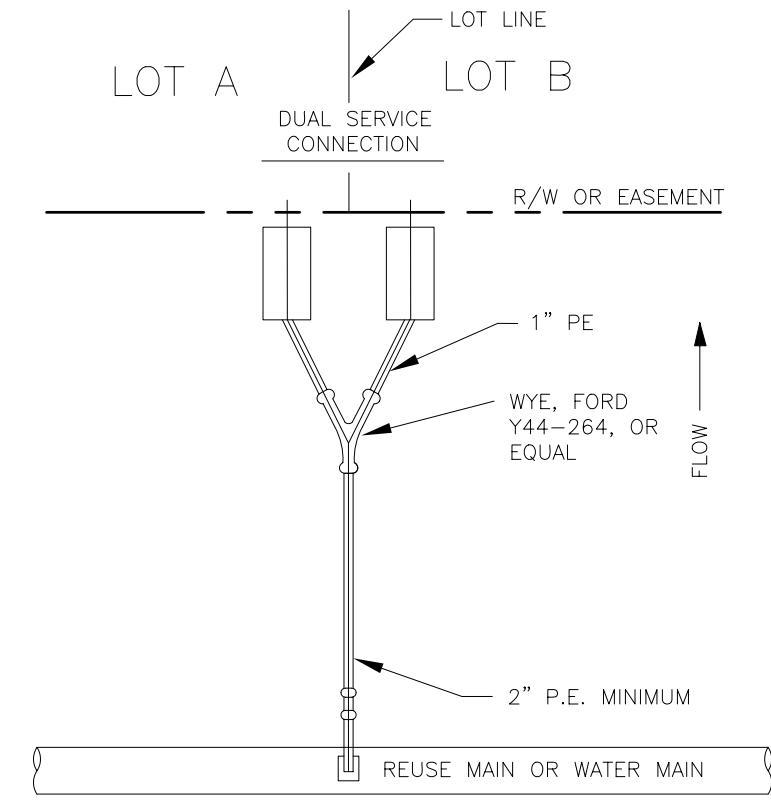
DRAWING TYPE
PRELIMINARY
CONSTRUCTION
RECORD

DESIGNED BY:	CHECKED BY:	SHEET NUMBER
PVS	PVS	5
DRAWN BY:	DATE:	
SAG	8-3-18	
PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628		
APPROVED		
PAUL V. SHERMA, REG. NO. 35628		



SANITARY CLEANOUT DETAIL

- 1) ALL SERVICE LATERAL JOINTS SHALL BE GASKETED FROM MAIN WYE.
- 2) ALL LATERAL SERVICES SHALL BE A MINIMUM OF SIX INCHES IN DIAMETER.
- 3) A CLEANOUT SHALL BE PROVIDED AT THE RIGHT OF WAY OR THE PROPERTY LINE.
- 4) COPPERHEAD TRACING WIRE #12 AWG OR EQUAL SHALL BE USED. IT SHALL BE COLOR CODED TO REFLECT WHAT THE PIPE CARRIES. (BLUE = WATER, GREEN = SEWER, PURPLE = REUSE).
- 5) AIR TEST REQUIRED.
- 6) THE BUILDING GENERAL CONTRACTOR SHALL INSURE THE APPLICABLE SERVICING SANITARY SEWER CLEANOUT CONNECTION IS PLACED AT FINISH GRADE WITH COVER, AND IS WITH A CONCRETE PAD AT THE TIME CERTIFICATION OF OCCUPATION (CO) IS REQUESTED. NON COMPLIANCE MAY RESULT IN A DELAY OF CO.
- 7) FOR CURBED ROADWAYS, CURB SHALL BE ETCHED WITH THE LETTER "S" DIRECTLY PERPENDICULAR TO THE SEWER CLEAN-OUT.

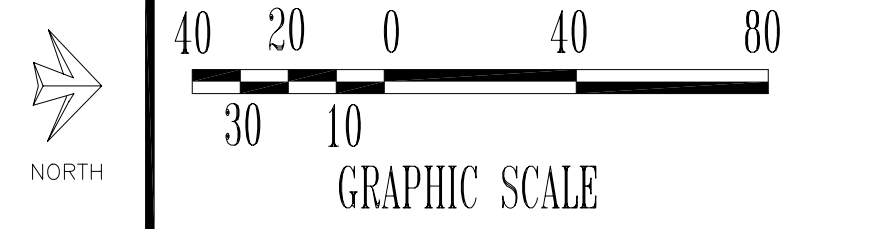


METER CONNECTION DETAIL

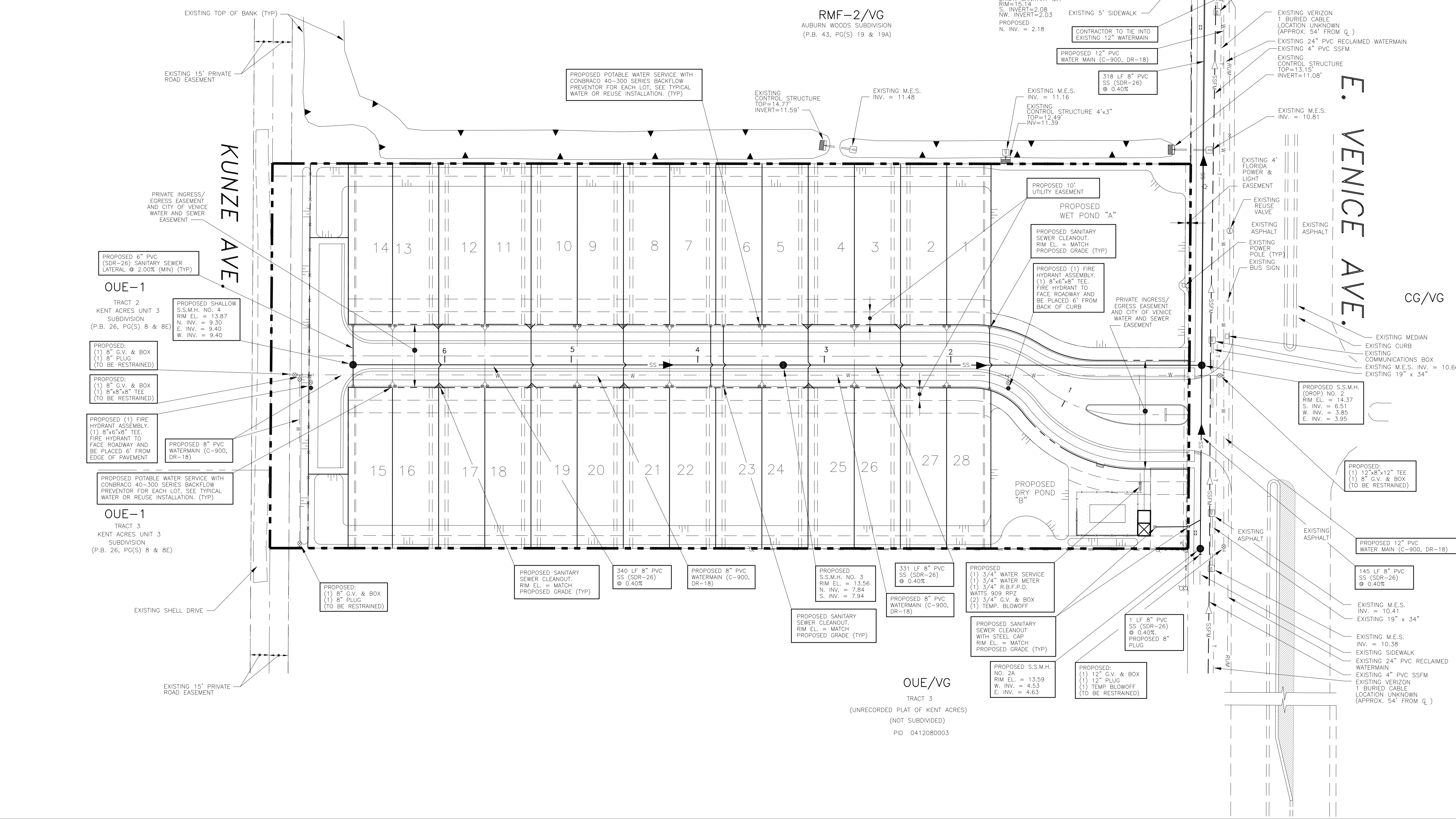
LEGEND

PROPOSED	EXISTING
— W —	— W —
— F —	— F —
— RM —	— RM —
— T —	— T —
— S —	— S —
— SS —	— SS —
— SSM —	— SSM —
— SSMF —	— SSMF —
— SSMR —	— SSMR —
— SSMV —	— SSMV —
— SSMW —	— SSMW —
— SSMX —	— SSMX —
— SSMY —	— SSMY —
— SSMZ —	— SSMZ —
— SSM1 —	— SSM1 —
— SSM2 —	— SSM2 —
— SSM3 —	— SSM3 —
— SSM4 —	— SSM4 —
— SSM5 —	— SSM5 —
— SSM6 —	— SSM6 —
— SSM7 —	— SSM7 —
— SSM8 —	— SSM8 —
— SSM9 —	— SSM9 —
— SSM10 —	— SSM10 —
— SSM11 —	— SSM11 —
— SSM12 —	— SSM12 —
— SSM13 —	— SSM13 —
— SSM14 —	— SSM14 —
— SSM15 —	— SSM15 —
— SSM16 —	— SSM16 —
— SSM17 —	— SSM17 —
— SSM18 —	— SSM18 —
— SSM19 —	— SSM19 —
— SSM20 —	— SSM20 —
— SSM21 —	— SSM21 —
— SSM22 —	— SSM22 —
— SSM23 —	— SSM23 —
— SSM24 —	— SSM24 —
— SSM25 —	— SSM25 —
— SSM26 —	— SSM26 —
— SSM27 —	— SSM27 —
— SSM28 —	— SSM28 —
— SSM29 —	— SSM29 —
— SSM30 —	— SSM30 —
— SSM31 —	— SSM31 —
— SSM32 —	— SSM32 —
— SSM33 —	— SSM33 —
— SSM34 —	— SSM34 —
— SSM35 —	— SSM35 —
— SSM36 —	— SSM36 —
— SSM37 —	— SSM37 —
— SSM38 —	— SSM38 —
— SSM39 —	— SSM39 —
— SSM40 —	— SSM40 —
— SSM41 —	— SSM41 —
— SSM42 —	— SSM42 —
— SSM43 —	— SSM43 —
— SSM44 —	— SSM44 —
— SSM45 —	— SSM45 —
— SSM46 —	— SSM46 —
— SSM47 —	— SSM47 —
— SSM48 —	— SSM48 —
— SSM49 —	— SSM49 —
— SSM50 —	— SSM50 —

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 HRS. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



- NOTES:**
1. CONTRACTOR TO PROVIDE SLEEVE ON WATER SERVICE FROM WATERMAIN TO 1" PAST EDGE OF SIDEWALK OR PAVEMENT.
 2. SANITARY SEWER CLEANOUTS TO BE PLACED AS SHOWN ON THE ENGINEERING PLANS.
 3. WATER METER BOXES TO BE PLACED AS PER CITY OF VENICE DETAIL W-8. NO METER BOXES TO BE PLACED IN SIDEWALK OR DRIVEWAYS.
 4. ALL FITTINGS TO BE RESTRAINED.
 5. ALL DISTURBED AREAS TO BE SODDED.
 6. FIRE HYDRANTS MAY BE UTILIZED TO BLOW-OFF AND FLUSH THE MAINS. HOWEVER, SAMPLE POINTS MUST BE TAKEN UPSTREAM OF FIRE HYDRANTS.
 7. FIRE HYDRANTS MAY NOT BE USED AS SAMPLE POINTS.
 8. CONTRACTOR TO SUPPLY AND INSTALL NECESSARY BENDS/FITTINGS TO ALLOW DEFLECTION OF PROPOSED DOMESTIC WATERMAIN AROUND SANITARY SEWER MAINS AND LATERALS. CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION AT CROSSINGS.
 9. CONTRACTOR TO SUPPLY AND INSTALL NECESSARY BENDS/FITTINGS TO ALLOW DEFLECTION OF PROPOSED WATERMAIN AROUND PROPOSED STORM SEWER MAINS. CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION AT CROSSINGS.
 10. ALL FIRE HYDRANTS TO BE PLACED 6' FROM EDGE OF PAVEMENT.
 11. CONNECTION TO THE CITY OF VENICE WATERMAIN WILL BE BY THE CONTRACTOR AND REQUIRE THE CITY OF VENICE STAFF PRESENT.
 12. CITY OF VENICE TO OPERATE POTABLE WATER VALVE AT ALL TIE IN LOCATIONS. ANY REQUEST FOR WATER TO BE TURNED ON OR OFF MUST BE COORDINATED THROUGH THE CITY OF VENICE DISTRIBUTION/COLLECTION OFFICE WHICH CAN BE REACHED BY CALLING (941) 480-3333 BETWEEN THE HOURS OF 7:30 AM AND 4:00 P.M.
 13. COPY OF HRS PERMIT WILL BE PROVIDED TO THE CITY OF VENICE UPON RECEIPT.
 14. CONTRACTOR TO PROVIDE 12 GAUGE TRACING WIRE ON ALL WATER AND SEWER MAINS AND SERVICES.
 15. CONTRACTOR TO COMPLY WITH CITY OF VENICE ORDINANCES 95-12 AND 96-09 FOR STORM WATER POLLUTION PREVENTION AND BEST MANAGEMENT PRACTICES.
 16. CONTRACTOR TO CONSTRUCT CONCRETE PAD UNDER REDUCED PRESSURE BACKFLOW PREVENTER.
 17. ALL SANITARY SEWER CLEANOUTS IN PAVEMENT AREAS TO BE CAST IRON.
 18. ALL SANITARY SEWER CLEANOUT PLUGS TO HAVE FLUSH TOPS. (RECESSED)
 19. ALL SANITARY SEWER LATERALS TO BE PVC SDR-26.
 20. ALL FIRE HYDRANT ASSEMBLIES TO BE RESTRAINED.
 21. ALL WATER SERVICE TAPS AND SERVICE LINES MUST BE 1" OR GREATER. REDUCER CAN BE UTILIZED FOR A SMALLER METER IF DESIRED.
 22. DETAILS AND CONSTRUCTION PLANS MUST MATCH CITY OF VENICE STANDARDS DETAILS.
 23. TAPS MUST MAINTAIN PROPER SEPARATION DISTANCE.
 24. SANITARY CLEANOUT FOR POOL BUILDING WILL BE REQUIRED AT THE R-0-W/EASEMENT LINE.
 25. NO TEMPORARY BLOW OFFS, AUTO FLUSHES REQUIRED.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
WATER AND SANITARY SEWER PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE	1"=40'			

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PEER
PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 34771
CIVIL ENGINEERS, PLANNERS, PERMIT EXHIBITORS (727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DRAWING TYPE: PRELIMINARY, CONSTRUCTION, RECORD

DESIGNED BY: PVS
CHECKED BY: PVS
DATE: 8-3-18

PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628

APPROVED

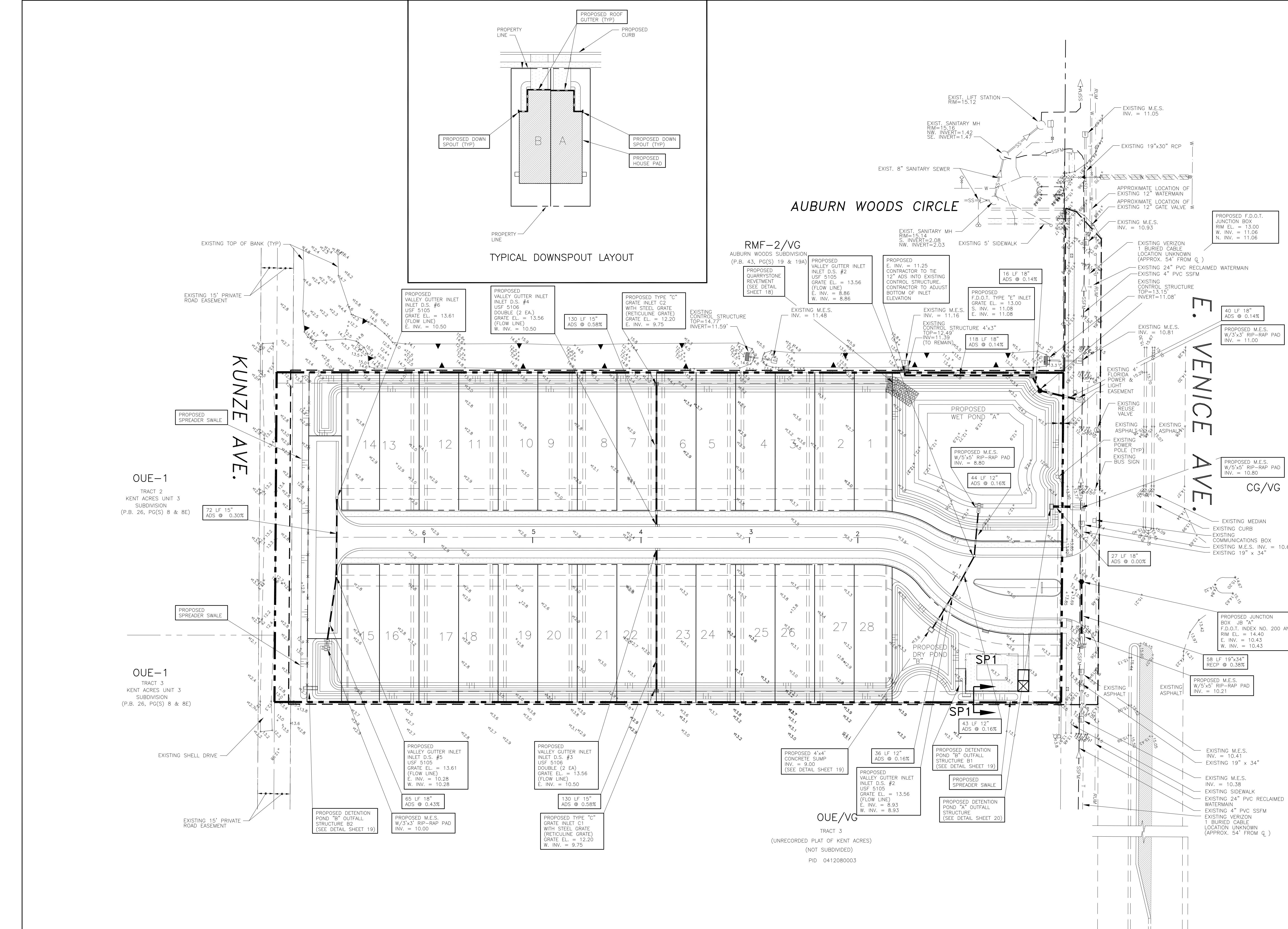
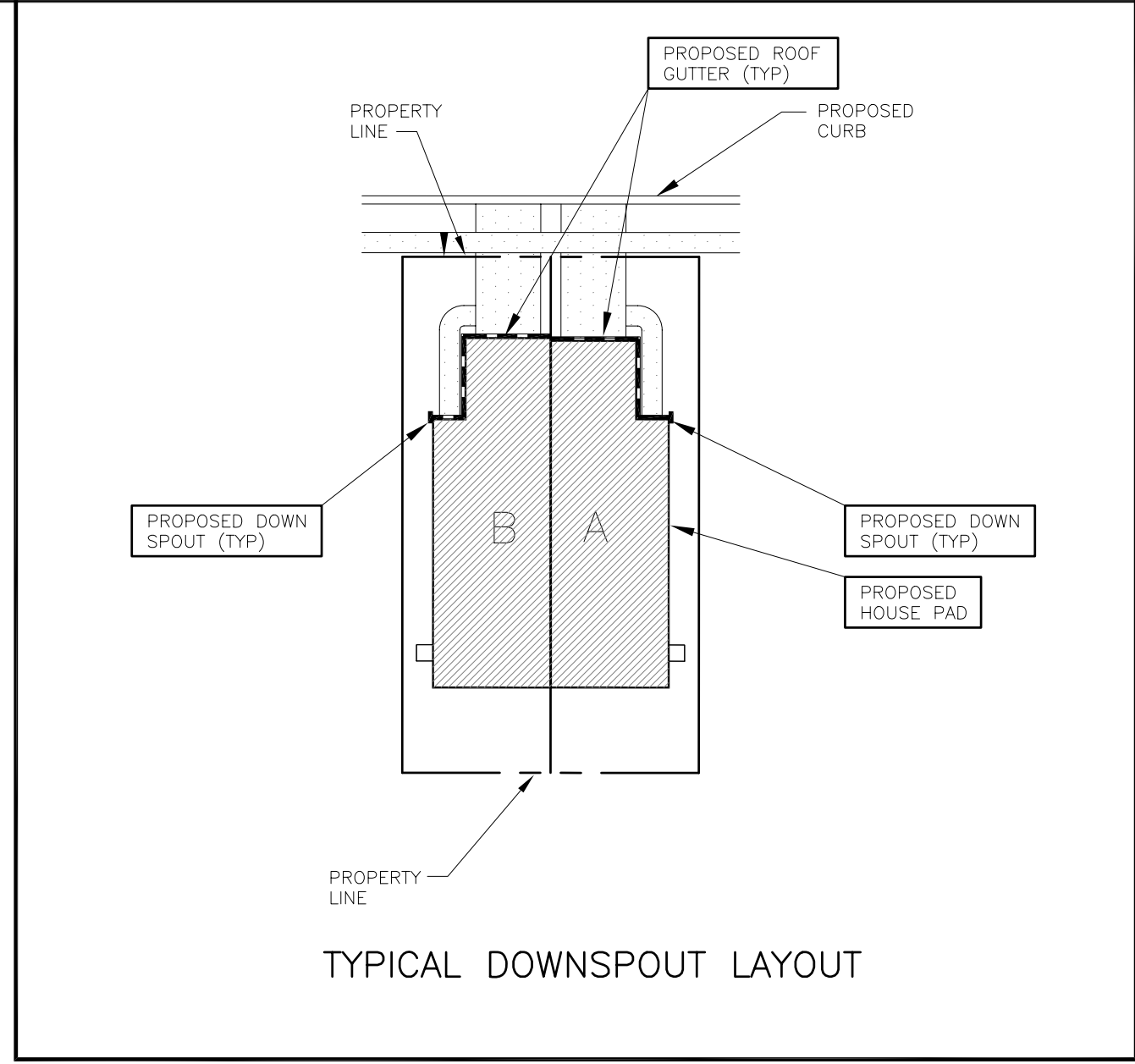
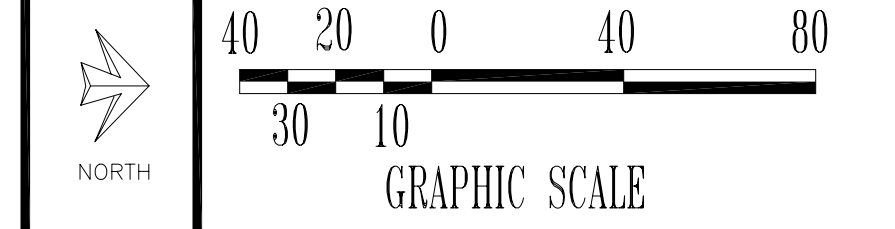
PAUL V. SHERMA, REG. NO. 35628

SHEET NUMBER: 6

LEGEND

PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
 333 S. TAMiami TRAIL, SUITE 205
 VENICE, FL. 34285

PROJECT NAME: **CASSATA PLACE DRAINAGE PLAN**
 SEC. 9 TWP. 39S RNG. 19E

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'				

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PEER
 PROFESSIONAL ENGINEERING RESOURCES, INC.
 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
 CERTIFICATE OF AUTHORIZATION NUMBER: 4401

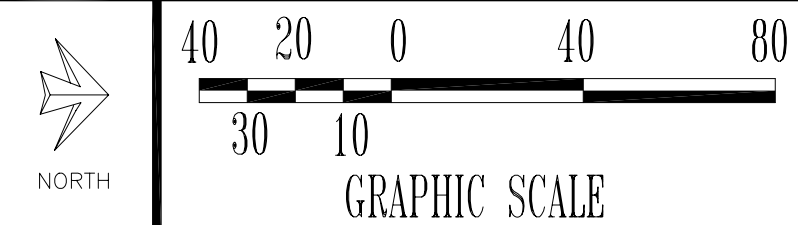
DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

DESIGNED BY: PVS	CHECKED BY: PVS	SHEET NUMBER
DRAWN BY: SAG	DATE: 8-3-18	7
PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628		
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, P.E. ON THE DATE ADJACENT TO THE SEAL USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-25-18.		
APPROVED		
PAUL V. SHERMA, REG. NO. 35628		

LEGEND

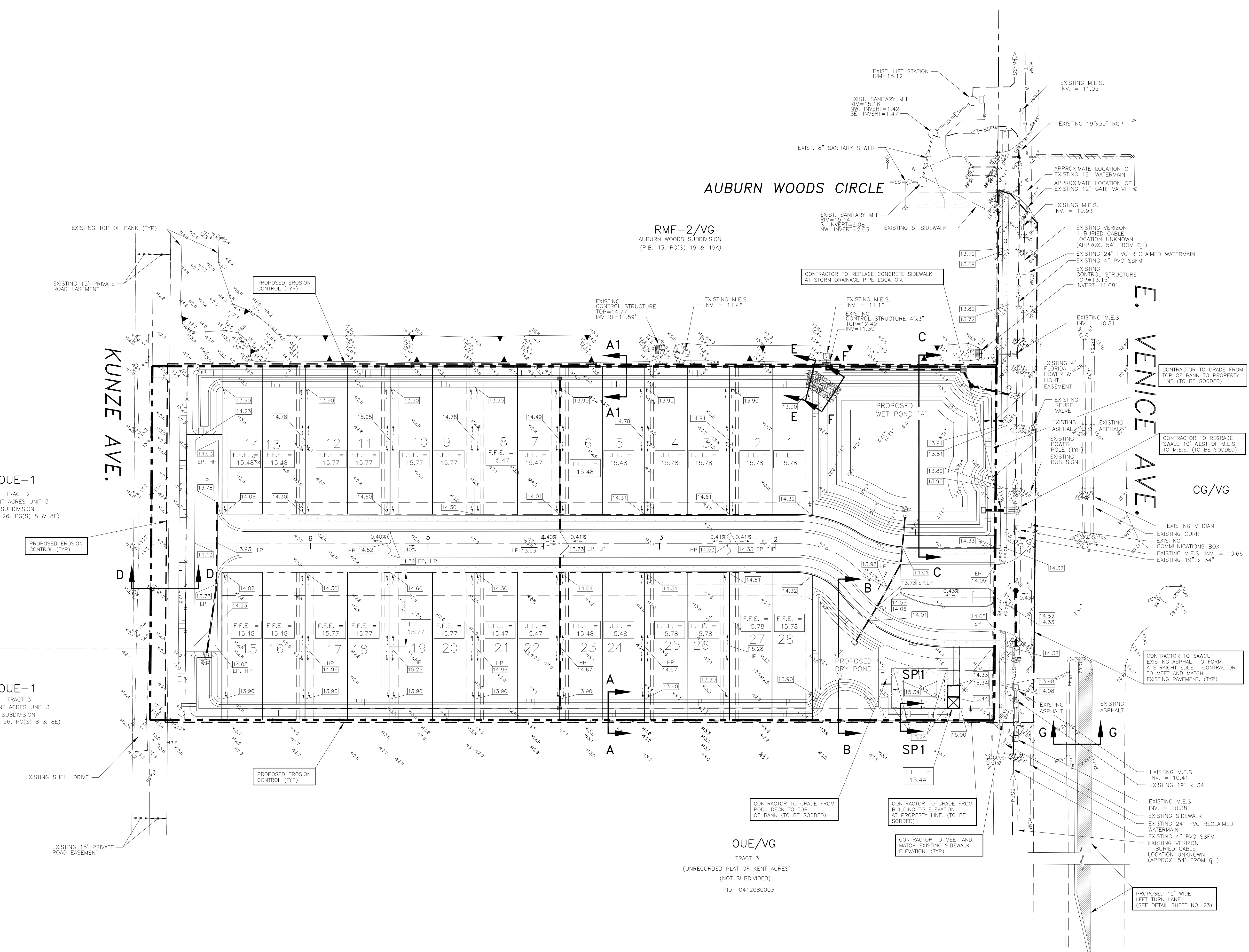
PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 HRS. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



NOTES:

- CONTRACTOR TO MAINTAIN DETENTION PONDS UNTIL ACCEPTED BY OWNER AND ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC ON EAST VENICE AVE. AS PER F.D.O.T. INDEX (SEE DETAIL).
- ALL ISLANDS TO BE FILLED TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SIDEWALKS TO BE 5' WIDE AND 6" THICK WITH W/M OR FIBERMESH AT DRIVEWAY LOCATION AND HAVE A 2% CROSS SLOPE WITH 3,000 PSI @ 7 DAYS. SIDEWALK INSTALLED OUTSIDE OF DRIVEWAY LOCATION CAN BE 4" THICK.
- CONTRACTOR TO REMOVE EROSION CONTROL UPON COMPLETION OF PROJECT AS DIRECTED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE F.D.O.T. TYPE "P" OR "J" STRUCTURE BOTTOM FOR ALL DRAINAGE INLETS TO ACCOMMODATE STORM DRAINAGE PIPE.
- SINGLE FAMILY LOT GRADING TO COMPLY WITH GRADING TYPE "B".
- ALL F.E.S. TO HAVE TOE WALL AS PER F.D.O.T. INDEX NO. 270.
- CONTRACTOR TO ADJUST EXISTING GATE VALVE AND BOX TO MATCH PROPOSED DITCH GRADE.
- ALL PAVEMENT MARKINGS, EXCEPT PARKING STALLS, SHALL BE "ALKYD" THERMOPLASTICS 90 MIL. IN THICKNESS. ALL STOP BARS, PAVEMENT MARKINGS, ARROWS, PARKING STALLS ARE TO BE WHITE. ALL HANDICAP PARKING SPACES SHALL BE MARKED ACCORDING TO CITY OF VENICE REQUIREMENTS.
- ALL HANDICAP RAMP ARE TO BE EMBOSSED PER F.D.O.T. INDEX NO. 304, PAGE 1. SAW CUTTING GROOVES IS NON-CONFORMING.
- WHEN NECESSARY, PROPERTY OWNER TO INSTALL TREE WELLS IN ORDER TO SAVE EXISTING TREES.
- THERE ARE TO BE NO FENCES INSTALLED WITHIN THE 20' AND 30' DRAINAGE EASEMENT.
- EXISTING WETLAND ORGANIC AND/OR MUCK MATERIAL FROM WETLAND ENCROACHMENT AREAS TO BE RELOCATED TO MITIGATION AREAS.
- THERE IS TO BE NO CONSTRUCTION TRAFFIC ON KUNZE ROAD.
- CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY CONTROL DEVICES TO PROTECT THE PROPOSED WORK UNTIL ACCEPTED BY THE CITY OF VENICE. PROPERTY OWNER AND PROFESSIONAL ENGINEERING RESOURCES, INC. CONTRACTOR TO MAKE ANY NECESSARY REPAIRS TO PROPOSED WORK IF DAMAGED PRIOR TO ACCEPTANCE BY THE CITY OF VENICE. PROPERTY OWNER OR PROFESSIONAL ENGINEERING RESOURCES, INC. SAID REPAIRS SHALL BE THE COST OF THE CONTRACTOR AND NOT THE PROPERTY OWNER.



CLIENT:
MPS DEVELOPMENT AND
CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
GRADING PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE	1"=40'			

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PEER
PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 34771
(727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DESIGNED BY:	CHECKED BY:	SHEET NUMBER
PVS	PVS	8
DRAWN BY:	DATE:	
SAG	8-3-18	
DRAWING TYPE		
<input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD		
APPROVED		
PAUL V. SHERMA, REG. NO. 35628		

EASEMENT AREA TABLE			
EASEMENT NUMBER	USE	MAINTAINED BY	BENEFIT TO
1	DRAINAGE/LANDSCAPE EASEMENT	HOA, PUC	HOA, PUC
2	DRAINAGE/LANDSCAPE EASEMENT	HOA, PUC	HOA, PUC
3	DRAINAGE/LANDSCAPE EASEMENT	HOA, PUC	HOA, PUC
4	DRAINAGE EASEMENT	HOA, PUC	HOA, PUC
5	10' UTILITY EASEMENT (TYPICAL ALONG FRONT OF LOT)	HOA, PUC	HOA, PUC
6	5' UTILITY EASEMENT (TYPICAL ALONG SIDE LOT LINE)	HOA, PUC	HOA, PUC
7	EXISTING 4" FLORIDA POWER AND LIGHT EASEMENT	PUC	PUC
8	PRIVATE INGRESS/EGRESS EASEMENT	HOA	HOA
9	CITY OF VENICE WATER AND SEWER EASEMENT	COV-U	COV-U

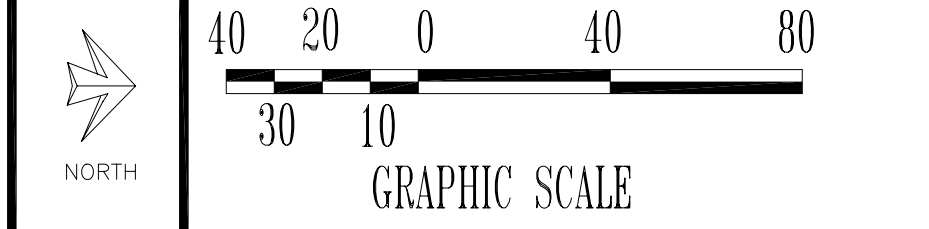
COMMON AREA TRACT TABLE			
TRACT NAME	USE	MAINTAINED BY	BENEFIT TO
A	POND/LANDSCAPING	HOA	HOA
B	POND	HOA	HOA
B1	POND	HOA	HOA
C	POND/LANDSCAPING	HOA	HOA
D	COMMON TRACT/LANDSCAPING/POOL/CABANA/DRAINAGE/ RESTROOM BLDG	HOA	HOA
E	PRIVATE R-O-W/LANDSCAPING/SIGN/UTILITY	HOA, PUC, COV-U	HOA, PUC, COV-U
F	R-O-W	COV	COV

PRELIMINARY PLAT GENERAL NOTES:

- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) b HAS BEEN SHOWN ON THE EXISTING UTILITY PLAN SHEET NO. 2.
- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) c HAS BEEN SHOWN ON SITE, SIGNAGE AND STRIPING PLAN SHEET NO. 5.
- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) d HAS BEEN SHOWN ON EXISTING TOPOGRAPHIC PLAN SHEET NO. 4.
- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) e HAS BEEN SHOWN ON EXISTING TOPOGRAPHIC PLAN SHEET NO. 4.
- THE TITLE OF THE PLAT IS "CASSATA PLACE" AND THE ENTITY PLACING "CASSATA PLACE" IS: CASSATA PLACE DEVELOPMENT CO., LLC.
- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) i HAS BEEN SHOWN ON GRADING PLAN SHEET NO. 7 AND DRAINAGE PLAN SHEET NO. 8.
- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) j HAS BEEN SHOWN ON EXISTING TOPOGRAPHIC PLAN SHEET NO. 4.
- CITY OF VENICE LAND DEVELOPMENT CODE, SECTION 86-231 (c) (1) k ARE ATTACHED TO THE SUBMITTAL PACKAGE.

LEGEND	
PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 HRS. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



ENGINEER OF RECORD:
PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D
LARGO, FL. 33771 (727) 408-5207

SURVEYOR OF RECORD:
BRITT SURVEYING, INC.
606 CYPRESS AVE.
VENICE, FL. 34285 (941) 493-1396

UTILITIES

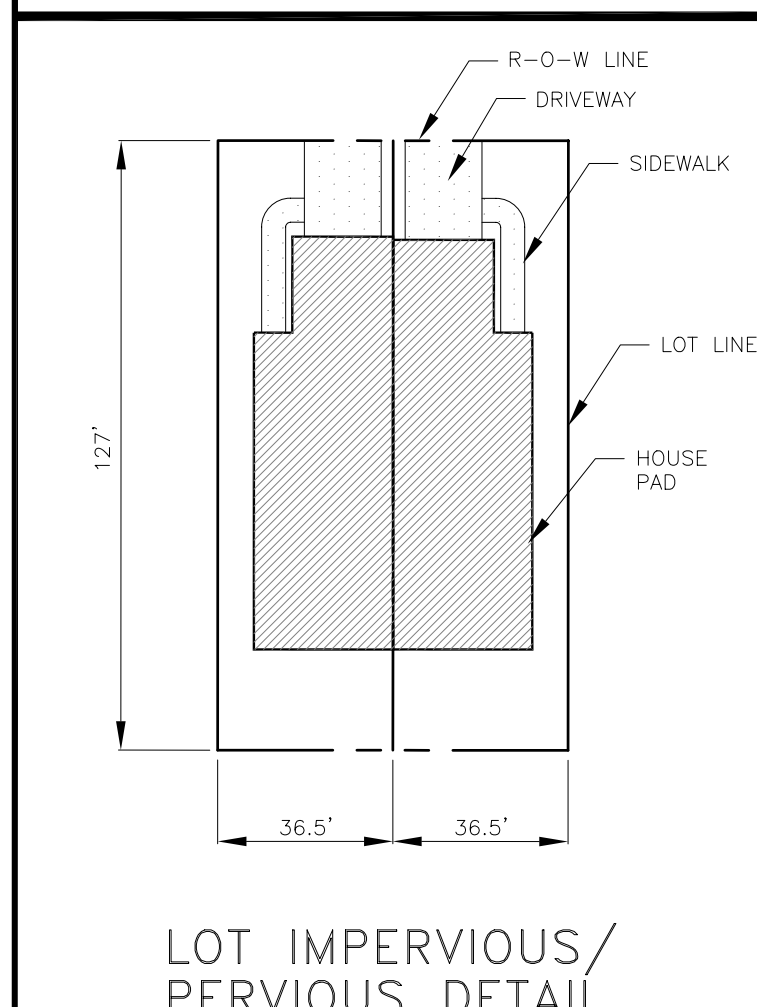
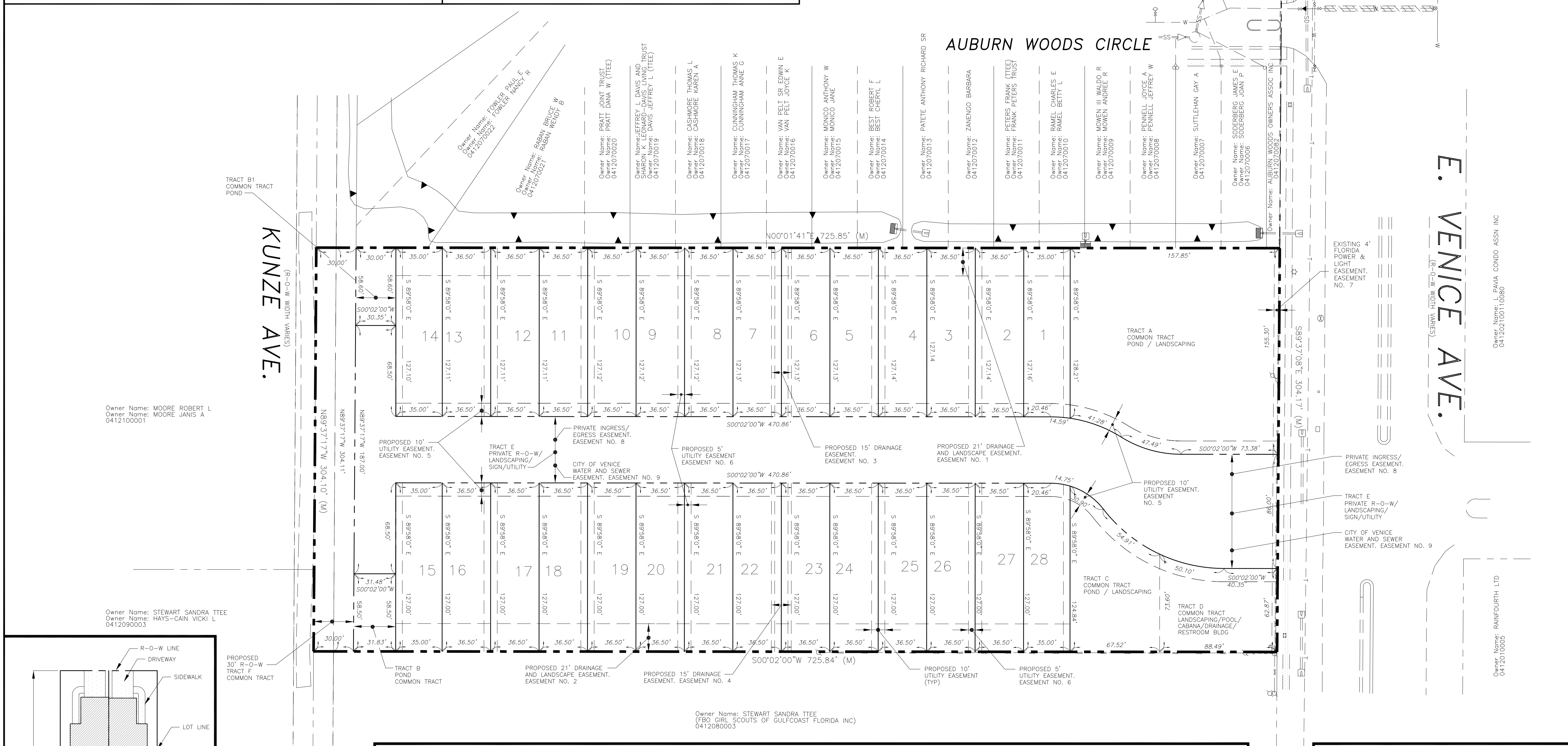
TECO PEOPLES GAS
702 NORTH FRANKLIN STREET
P.O. BOX 2562
TAMPA, FL.
33601-2562

VERIZON ENGINEERING
1701 RINGLING BOULEVARD
SARASOTA, FL 34230

FLORIDA POWER & LIGHT
CONSTRUCTION SERVICES
5657 SOUTH MCINTOSH ROAD
SARASOTA, FL 34230

COMCAST CABLEVISION OF WEST FLORIDA, INC.
5205 FRUITVILLE ROAD
SARASOTA, FL 34232

WATER AND SEWER
CITY OF VENICE
401 WEST VENICE AVE.
VENICE, FL. 34285



LOT IMPERVIOUS/PERVIOUS AREA TABLE													
LOT NO.	LOT AREA	HOUSE PAD	SIDEWALK	DRIVEWAY	PERVIOUS	COVERAGE %	LOT NO.	LOT AREA	HOUSE PAD	SIDEWALK	DRIVEWAY	PERVIOUS	COVERAGE %
1	4,455.42 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,629.27 S.F.	52%	15	4,445.00 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,628.85 S.F.	53%
2	4,640.84 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,828.20 S.F.	50%	16	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
3	4,640.72 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,824.57 S.F.	50%	17	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
4	4,640.59 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.95 S.F.	50%	18	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
5	4,640.47 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,824.32 S.F.	50%	19	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
6	4,640.34 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.70 S.F.	50%	20	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
7	4,640.22 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,824.07 S.F.	50%	21	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
8	4,640.09 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.45 S.F.	50%	22	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
9	4,639.97 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,823.82 S.F.	50%	23	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
10	4,639.84 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,827.20 S.F.	50%	24	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
11	4,639.72 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,823.57 S.F.	50%	25	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
12	4,639.59 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,826.95 S.F.	50%	26	4,635.50 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,822.86 S.F.	50%
13	4,639.47 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,823.32 S.F.	50%	27	4,635.50 S.F.	2,334.00 S.F.	167.99 S.F.	314.16 S.F.	1,819.35 S.F.	50%
14	4,448.69 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,636.05 S.F.	52%	28	4,434.62 S.F.	2,319.93 S.F.	167.84 S.F.	324.87 S.F.	1,621.98 S.F.	52%

TRACT IMPERVIOUS/PERVIOUS AREA TABLE									
TRACT	AREA	BUILDING	POOL/DECK	SIDEWALK	ROADWAY/CURB	PERVIOUS	DRIVEWAY		
A	23,424.88 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	23,424.88 S.F.	0.00 S.F.		
B	1,851.85 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	1,851.85 S.F.	0.00 S.F.		
B1	1,768.40 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	1,768.40 S.F.	0.00 S.F.		
C	6,686.74 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	6,686.74 S.F.	0.00 S.F.		
D	5,745.39 S.F.	200.00 S.F.	1,676.76 S.F.	177.38 S.F.	0.00 S.F.	3,891.25 S.F.	0.00 S.F.		
E	43,061.16 S.F.	0.00 S.F.	0.00 S.F.	6,775.05 S.F.	23,160.34 S.F.	9,542.15 S.F.	3,583.62 S.F.		
F	9,123.15 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	0.00 S.F.	9,123.15 S.F.	0.00 S.F.		

CLIENT:
MPS DEVELOPMENT AND
CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
PRELIMINARY PLAT

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE	1"=40'			
	1	12-5-18	SAG	REVISE PLAN AS PER CITY COMMENTS.

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PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
(727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

DESIGNED BY: PVS
DRAWN BY: SAG
CHECKED BY: PVS
DATE: 8-3-18
PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628

SHEET NUMBER
9

PAUL V. SHERMA, REG. NO. 35628

NOTES:

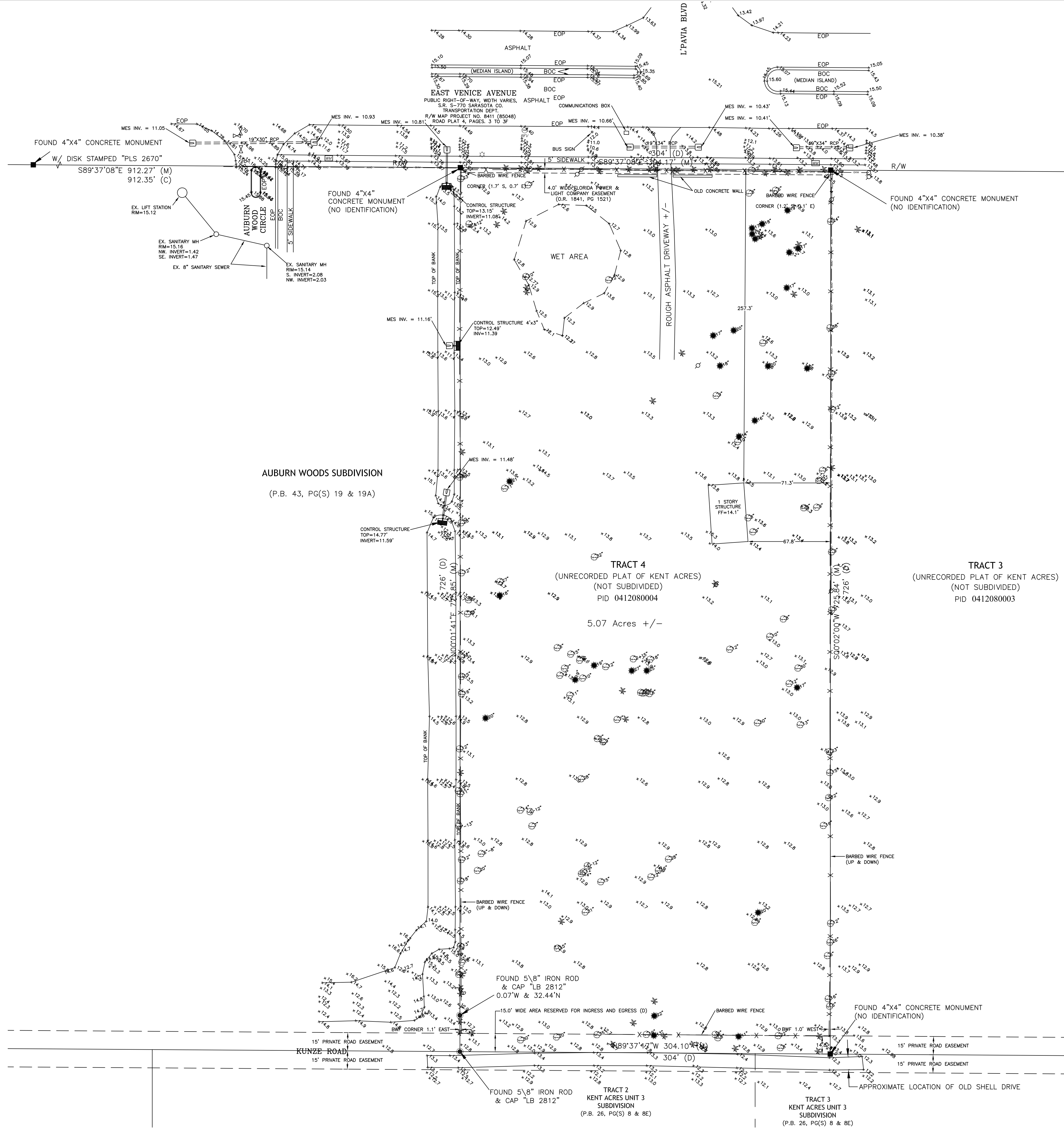
- DATE OF LAST FIELD WORK: NOVEMBER 30, 2017.
- BEARING BASIS: FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT OF 1990, DERIVING A BEARING OF S.89°21'39"E, ALONG THE CENTERLINE OF EAST VENICE AVENUE. CONTROL POINT BASIS: FLORIDA DEPARTMENT OF TRANSPORTATION SURVEY DISK STAMPED T 75 B3 A29; NORTHING: 1009866.580', EASTING: 531025.761'
- THE RELATIVE ERROR OF CLOSURE OF THIS SURVEY IS WITHIN THE ACCURACY ALLOWED FOR THIS TYPE OF SURVEY.
- THE SURVEY DEPICTED HEREON IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY WETLAND OR JURISDICTIONAL AREAS.
- RE-USE OF THIS SURVEY FOR THE PURPOSES OTHER THAN WHICH IT WAS INTENDED WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR, NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "AE", AS SCALED FROM FLOOD INSURANCE RATE MAP PANEL NO. 125144 0332 F, REVISED NOVEMBER 4, 2016 (TO BE VERIFIED BY LOCAL FEMA OFFICIAL).
- THIS SURVEY IS SUBJECT TO FACTS DISCLOSED IN POLICY OF TITLE INSURANCE NO. 7130609-212788093, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED NOVEMBER 16, 2017 AT 9:50 PM. ENCUMBRANCES OTHER THAN SHOWN HEREON MAY EXIST.
- THIS SURVEY IS SUBJECT TO PERTINENT EASEMENTS, RIGHT-OF-WAYS AND RESTRICTIONS OF RECORD, IF ANY.
- NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR EXCAVATION OR CRITICAL DESIGN FUNCTIONS WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN THOSE SHOWN HEREON MAY EXIST.
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC SURVEY. BENCHMARK J 699, HAVING A PUBLISHED ELEVATION OF 13.22' REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- A MEAN HIGH WATER SURVEY WAS NOT PERFORMED FOR THE PURPOSE OF THIS SURVEY.
- OWNERSHIP OF FENCES, IF ANY, WERE NOT DETERMINED AS A PART OF THIS SURVEY.
- BUILDING TIES TO THE PROPERTY LINE SHOWN HEREON HAVE BEEN FIELD VERIFIED. BUILDING SETBACK INFORMATION REQUIRED BY SUBJECT COUNTY LAND DEVELOPMENT CODE WAS PROVIDED BY CLIENT AND HAS NOT BEEN CONFIRMED OR VERIFIED BY THIS OFFICE.
- THE CLIENT AGREES TO LIMIT THE SURVEYOR'S LIABILITY TO THE CLIENT ON THE PROJECT DUE TO ANY CLAIM OF ANY NATURE WHATSOEVER ARISING OUT OF OR RELATING TO THIS SURVEY, SUCH AS THE TOTAL AGGREGATE LIABILITY OF THE SURVEYOR TO ALL THOSE NAMED SHALL NOT EXCEED THE SURVEYOR'S TOTAL FEE FOR SERVICES RENDERED.
- SURVEYED PARCEL(S) CONTAIN 5.07 ACRES (220,753.2 SQUARE FEET), MORE OR LESS.

GENERAL LEGEND

NAVD 1988 = NORTH AMERICAN VERTICAL DATUM OF 1988	TWP. = TOWNSHIP
P.B. = PLAT BOOK	RGE. = RANGE
C.B. = CONDOMINIUM BOOK	OHW = OVERHEAD WIRES
PG = PAGE	R/W = RIGHT-OF-WAY
O.R. = OFFICIAL RECORDS	BOC = BACK OF CURB
O.R.B. = OFFICIAL RECORDS BOOK	? = CENTERLINE
O.R.I. = OFFICIAL RECORDS INSTRUMENT	— = GUY ANCHOR
PID = PARCEL IDENTIFICATION NO.	⊙ = UTILITY POLE
FF = FINISHED FLOOR	⊙ = LIGHT POLE
M.H. = MANUFACTURED HOME	☐ = TELEPHONE BOX
EL = ELEVATION	☐ = MAILBOX
R/W = RIGHT-OF-WAY	☐ = CLEAN OUT
EOP = EDGE OF PAVEMENT	⊙ = REUSE VALVE
CONC. = CONCRETE	NO. = NUMBER
NO. = NUMBER	W/ = WITH
W/ = WITH	(M) = FIELD MEASURED
(M) = FIELD MEASURED	(P) = PLAT DATA
(P) = PLAT DATA	(C) = CALCULATED DATA
(C) = CALCULATED DATA	(D) = DEED DATA
(D) = DEED DATA	SEC. = SECTION
SEC. = SECTION	BLVD = BOULEVARD
BLVD = BOULEVARD	S.R. = STATE ROAD
S.R. = STATE ROAD	BWF = BARBED WIRE FENCE
BWF = BARBED WIRE FENCE	INV. = INVERT
INV. = INVERT	MES = CONCRETE MITERED-END
MES = CONCRETE MITERED-END	☐ = CONCRETE MITERED-END
☐ = CONCRETE MITERED-END	
	TWP. = TOWNSHIP
	RGE. = RANGE
	OHW = OVERHEAD WIRES
	R/W = RIGHT-OF-WAY
	BOC = BACK OF CURB
	? = CENTERLINE
	— = GUY ANCHOR
	⊙ = UTILITY POLE
	⊙ = LIGHT POLE
	☐ = TELEPHONE BOX
	☐ = MAILBOX
	☐ = CLEAN OUT
	⊙ = REUSE VALVE
	NO. = NUMBER
	W/ = WITH
	(M) = FIELD MEASURED
	(P) = PLAT DATA
	(C) = CALCULATED DATA
	(D) = DEED DATA
	SEC. = SECTION
	BLVD = BOULEVARD
	S.R. = STATE ROAD
	BWF = BARBED WIRE FENCE
	INV. = INVERT
	MES = CONCRETE MITERED-END
	☐ = CONCRETE MITERED-END
	⊙ = EXISTING ELEVATION
	RCP = REINFORCED CONCRETE PIPE
	CCR = CERTIFIED CORNER RECORD
	POC = POINT OF COMMENCEMENT
	POB = POINT OF BEGINNING
	☒ = WATER GATE VALVE
	⊙ = PALM TREE
	⊙ = OAK TREE W/ SIZE
	⊙ = PINE TREE W/ SIZE

DESCRIPTION

TRACT 4 OF THE UNRECORDED PLAT OF KENT ACRES, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 THE WEST 304 FEET OF THE EAST 1249 FEET OF THE NORTH 726 FEET OF THAT OF SECTION 9, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA, LYING SOUTH OF THE EXISTING RIGHT-OF-WAY OF VENICE AVENUE EAST, THE SOUTH 15 FEET THEREIN RESERVED FOR INGRESS AND EGRESS EASEMENT.



Not used without the signature and the official seal and stamp of a Florida Licensed Surveyor and Mapper. This certification is to the date of last field work on this project.

PROJECT NAME: 1755 E VENICE AVE
 DESCRIPTION: BOUNDARY AND TOPOGRAPHIC SURVEY
 SURVEYOR: JEFFERY B. MORROW P.S.M.
 FLA. CERT. NO. #6296
 DATE:

PINT BREAK SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION LB 0007264
 6100 W. VENICE AVENUE
 SARASOTA, FL 34240
 Phone: (813) 376-4787
 Fax: (813) 376-0556

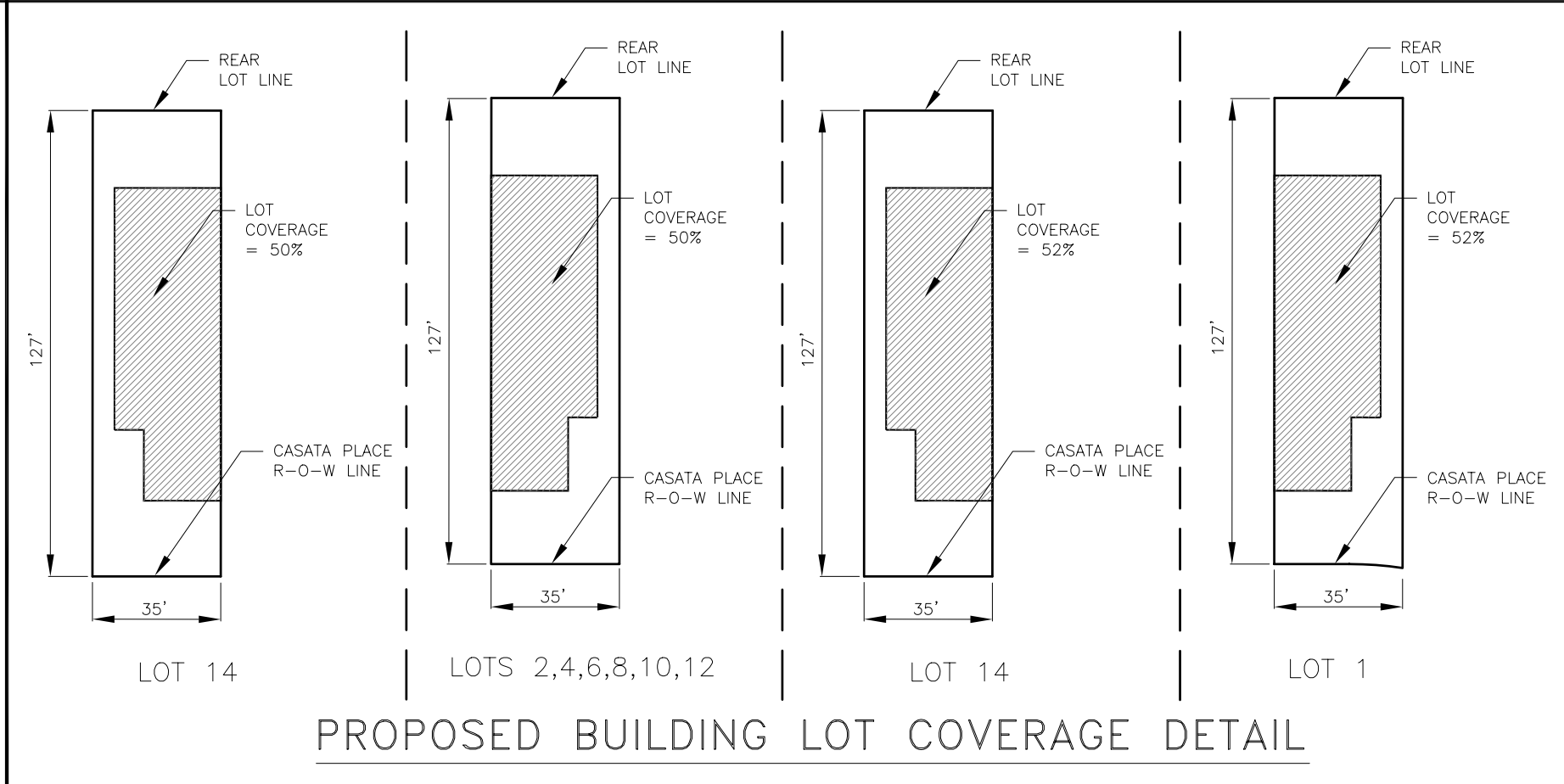
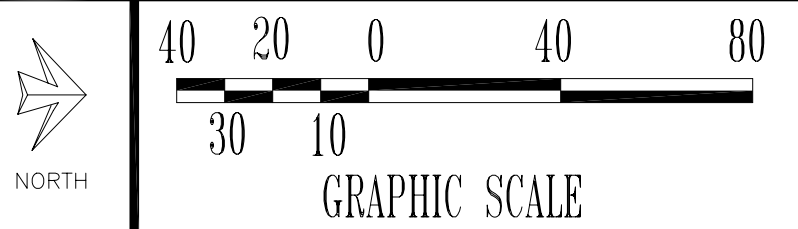
Drawn By: JBM	Date: 11/30/17
Checked By: JBM	
Sec. 9 Twp. 39 S Rge. 19 E	Horizontal Scale: 1" = 40'
County: SARASOTA	Project No: 17048

NO.	REVISION	DATE	BY

LEGEND

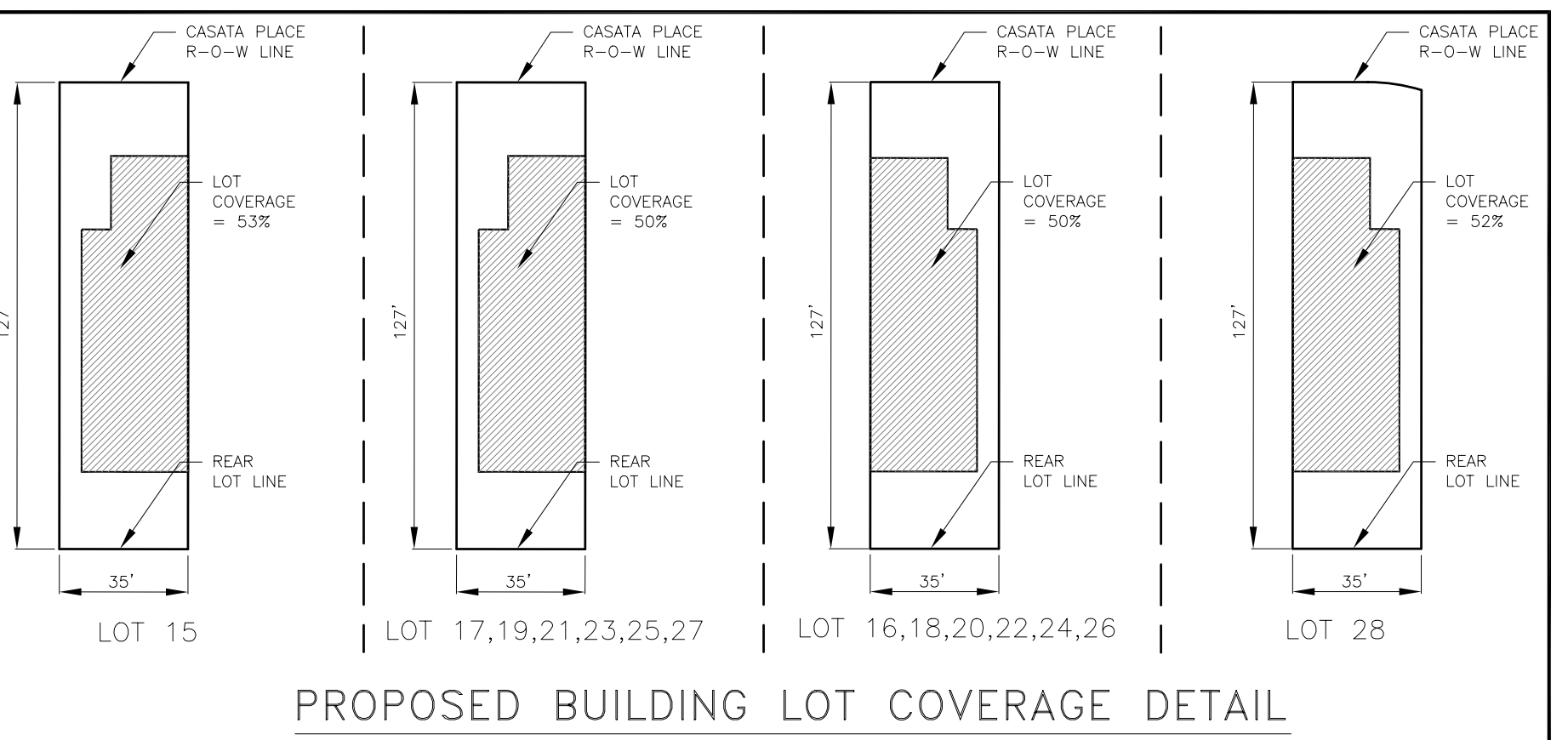
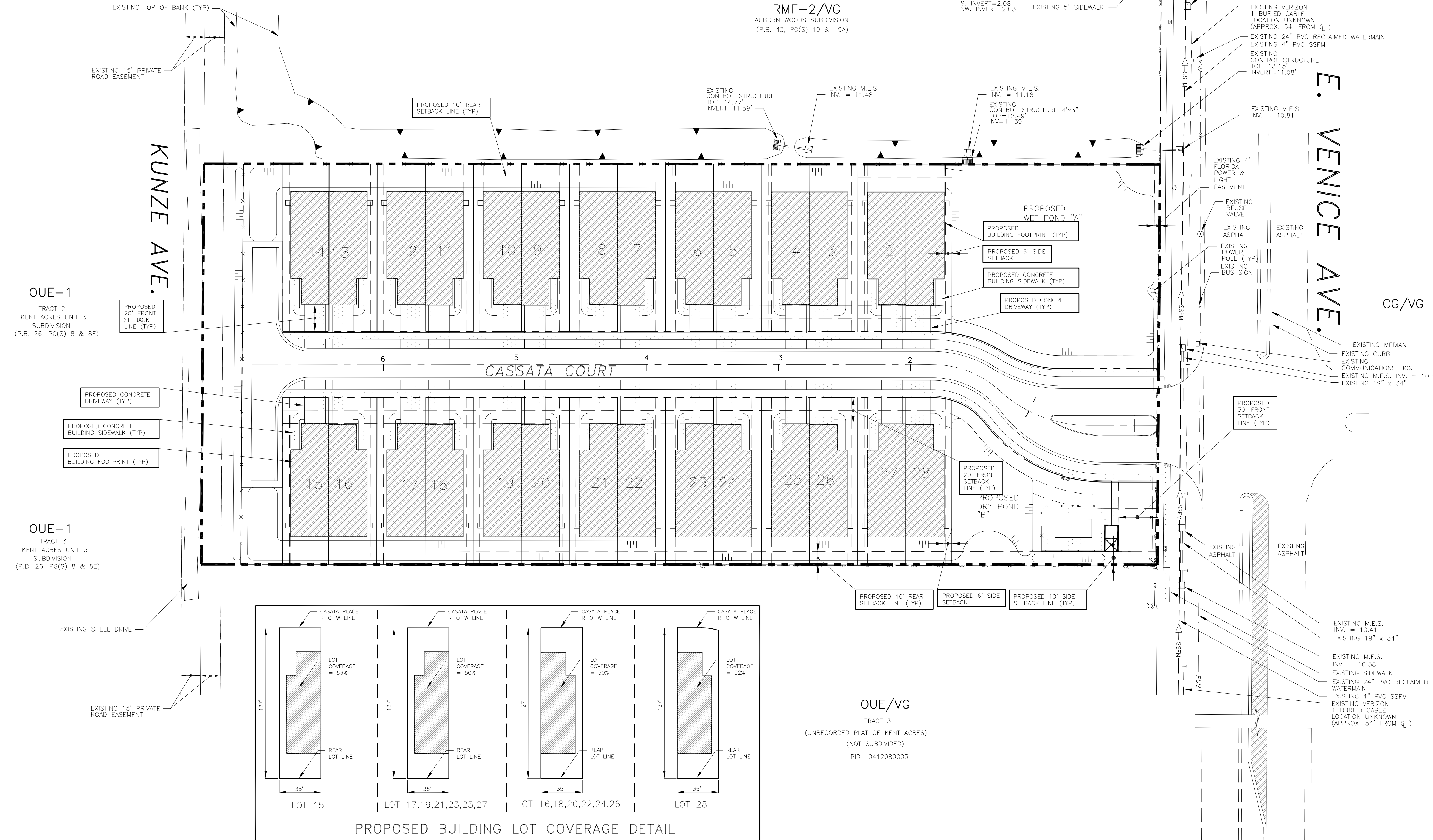
PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



AUBURN WOODS CIRCLE

RMF-2/VG
AUBURN WOODS SUBDIVISION
(P.B. 43, PG(S) 19 & 19A)



OUE/VG

TRACT 3
(UNRECORDED PLAT OF KENT ACRES)
(NOT SUBDIVIDED)
PID 0412080003

CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
BUILDING FOOTPRINT PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'				

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PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

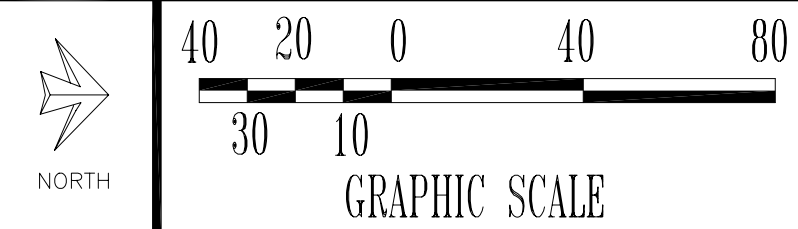
DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

DESIGNED BY: PVS	CHECKED BY: PVS	SHEET NUMBER
DRAWN BY: SAG	DATE: 8-3-18	11
PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628		
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, P.E. ON THE DATE ADJACENT TO THE SEAL USING A SIGN AUTHORIZATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHORIZATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-25-18		
APPROVED		
PAUL V. SHERMA, REG. NO. 35628		

LEGEND

PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.

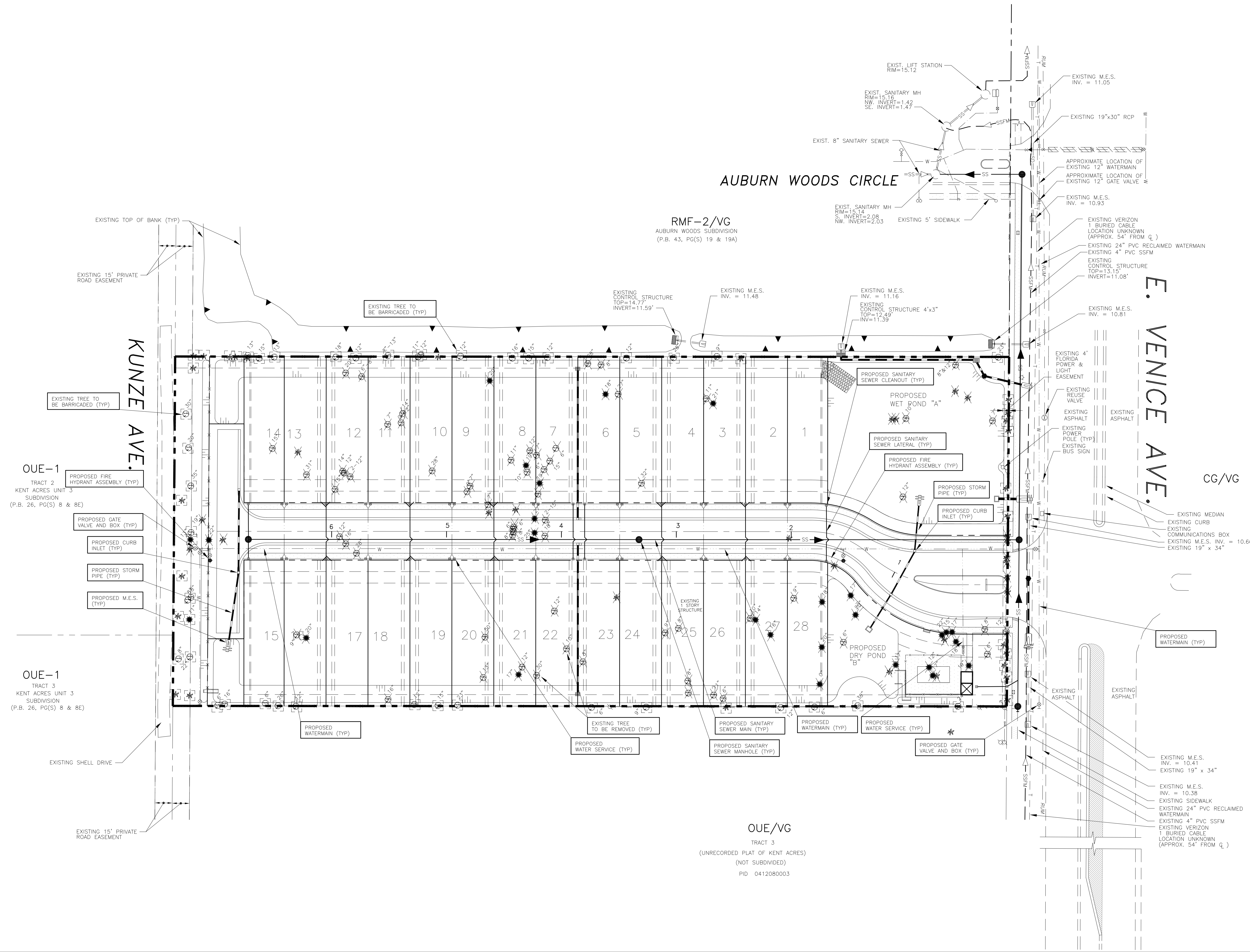


TREE LEGEND

EXISTING	TO BE REMOVED	TO BE BARRICADED

NOTES:

- CONTRACTOR TO PROVIDE SLEEVE ON WATER SERVICE FROM WATERMAIN TO 1" PAST EDGE OF SIDEWALK.
- WATER METER BOXES TO BE PLACED AT RIGHT OF WAY LINE. NO WATER METER BOXES TO BE PLACED IN SIDEWALK OR DRIVEWAYS.
- CONNECTION TO THE CITY OF VENICE WATERMAIN AND SANITARY SYSTEM WILL REQUIRE A CITY OF VENICE STAFF TO BE PRESENT.
- CITY OF VENICE TO OPERATE POTABLE WATER VALVE AT TAPPING VALVE AND SLEEVE. ANY REQUEST FOR WATER TO BE TURNED ON OR OFF MUST BE COORDINATED THROUGH THE CITY OF VENICE DISTRIBUTION/COLLECTION OFFICE WHICH CAN BE REACHED BY CALLING (941) 485-2083 EXT. 225 OR 226 BETWEEN THE HOURS OF 8:00 A.M. AND 4:00 P.M.
- COPY OF HRS PERMIT WILL BE PROVIDED TO THE CITY OF VENICE UPON RECEIPT.
- CONTRACTOR TO MAKE TAP ON EXISTING WATERMAIN CONNECTION TO THE CITY OF VENICE WATERMAIN WILL REQUIRE THE CITY OF VENICE STAFF PRESENT.
- CONTRACTOR TO COMPLY WITH CITY OF VENICE ORDINANCES 95-12 AND 96-09 FOR STORM WATER POLLUTION PREVENTION AND BEST MANAGEMENT PRACTICES.



CLIENT:
MPS DEVELOPMENT AND
CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E
CASSATA PLACE
MASTER UTILITY AND TREE REMOVAL PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'				

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PEER
PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

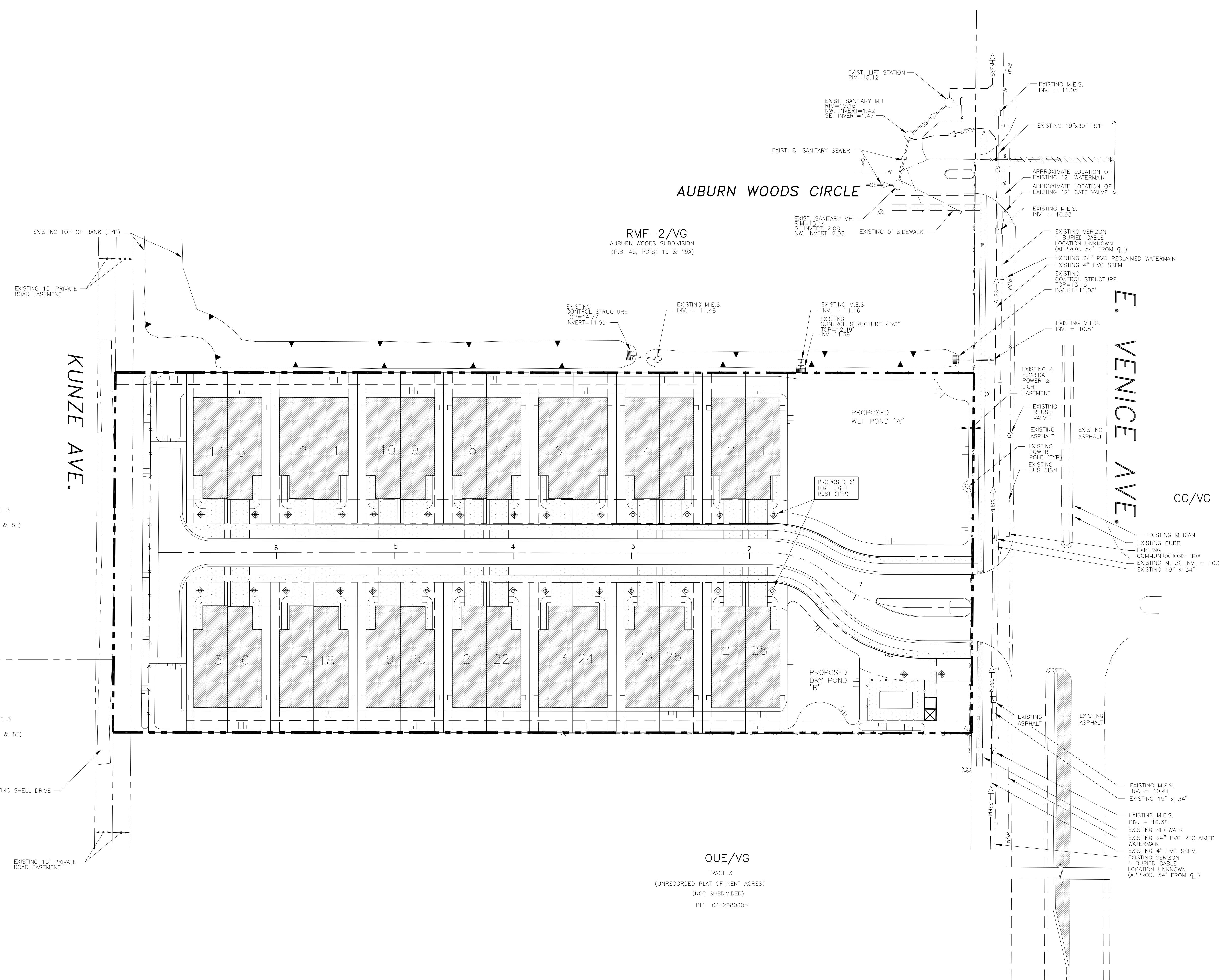
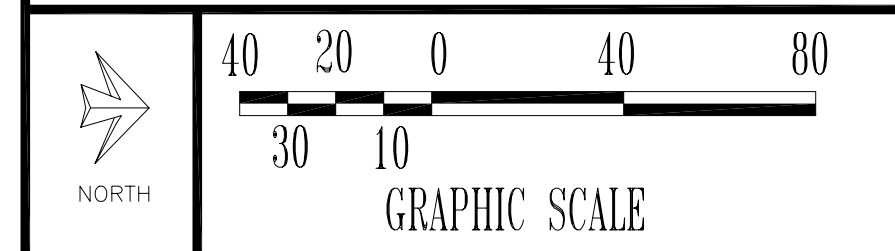
DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

DESIGNED BY: PVS	CHECKED BY: PVS	SHEET NUMBER
DRAWN BY: SAG	DATE: 8-3-18	12
PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628		
APPROVED		
PAUL V. SHERMA, REG. NO. 35628		

LEGEND

PROPOSED	EXISTING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: **SEC. 9 TWP. 39S RNG. 19E**
CASSATA PLACE
LIGHTING PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'				

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PEER
PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

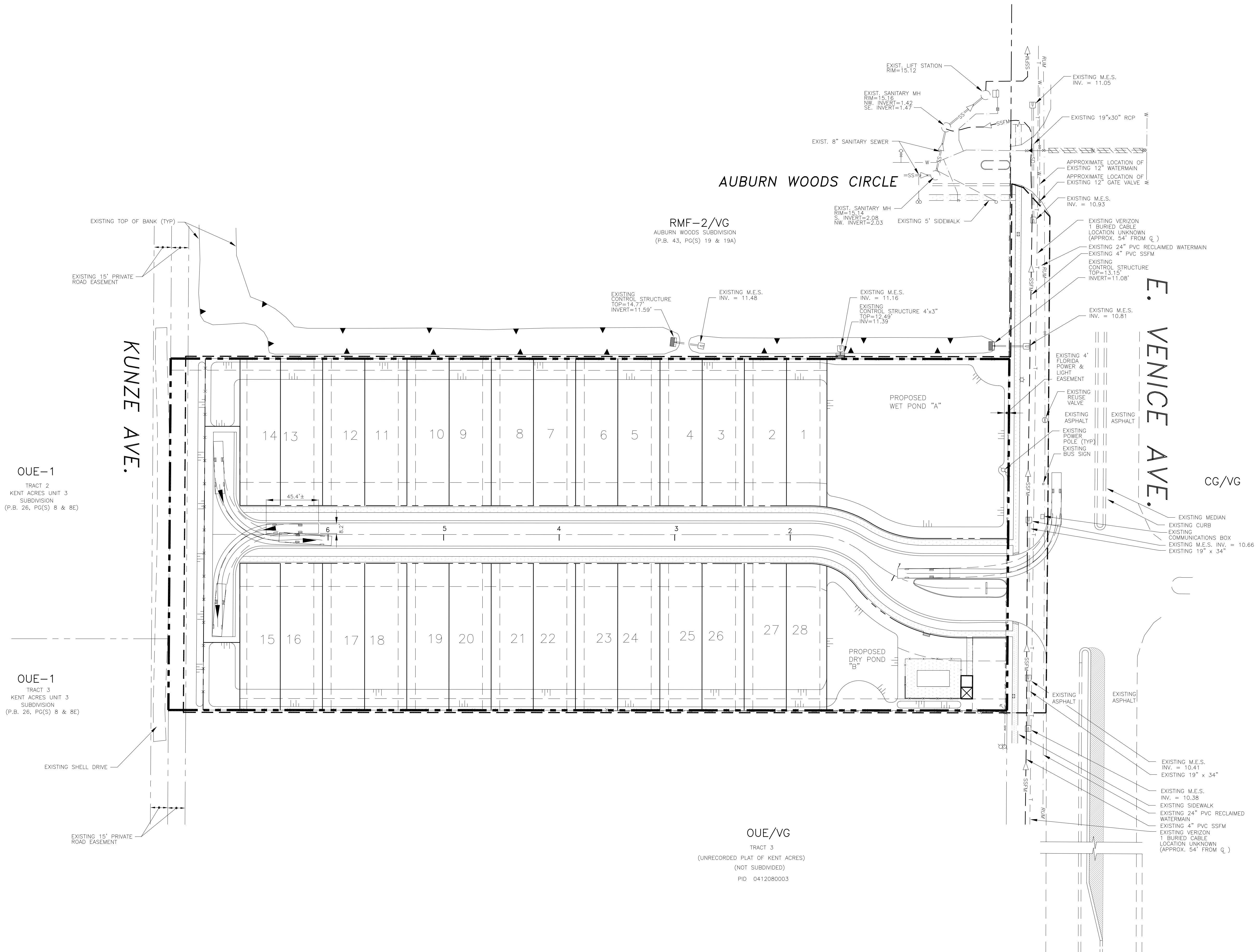
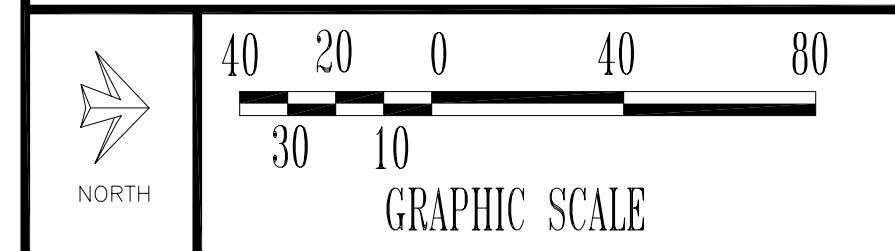
DESIGNED BY: PVS
DRAWN BY: SAG
CHECKED BY: PVS
DATE: 8-3-18
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, P.E. ON THE DATE ADJACENT TO THE SEAL USING A SIGN AUTHORIZATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHORIZATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-25-18.
APPROVED
PAUL V. SHERMA, REG. NO. 35628

SHEET NUMBER
13

LEGEND

PROPOSED	EXISTING
— W — WATER MAIN	— F — FIRE MAIN
— R — RECLAIM WATER MAIN	— RW — RECLAIM WATER MAIN
— RUM — REDUCER	— RUM — REDUCER
— T — TEMPORARY BLOWOFF	— T — TEMPORARY BLOWOFF
— FH — FIRE HYDRANT	— FH — FIRE HYDRANT
— G — GATE VALVE (C.V. & BOX)	— G — GATE VALVE (C.V. & BOX)
— FFC — FIRE DEPARTMENT CONNECTION	— FFC — FIRE DEPARTMENT CONNECTION
— DCA — DOUBLE CHECK ASSEMBLY	— DCA — DOUBLE CHECK ASSEMBLY
— WM — WATER METER	— WM — WATER METER
— SSL — SANITARY SEWER LINE	— SSL — SANITARY SEWER LINE
— SSM — SANITARY SEWER FORCEMAIN	— SSM — SANITARY SEWER FORCEMAIN
— SMH — SANITARY SEWER MANHOLE	— SMH — SANITARY SEWER MANHOLE
— CO — CLEAN OUT	— CO — CLEAN OUT
— SD — STORM DRAIN	— SD — STORM DRAIN
— RD — ROOF DRAIN	— RD — ROOF DRAIN
— GI — GRATE INLET	— GI — GRATE INLET
— JB — JUNCTION BOX	— JB — JUNCTION BOX
— EC — EROSION CONTROL	— EC — EROSION CONTROL
— OS — OUTFALL STRUCTURE	— OS — OUTFALL STRUCTURE
— MES — MITERED END SECTION (M.E.S.)	— MES — MITERED END SECTION (M.E.S.)
— TB — TOP OF BANK	— TB — TOP OF BANK
— UG — UNDERDRAIN	— UG — UNDERDRAIN
— F — FENCE OR WALL	— F — FENCE OR WALL
— ES — EASEMENT OR SETBACK	— ES — EASEMENT OR SETBACK
— TFA — TRAFFIC FLOW ARROW	— TFA — TRAFFIC FLOW ARROW
— HPS — HANDICAP PARKING SPACE	— HPS — HANDICAP PARKING SPACE
— H.P. — H.P. OR CHANGE IN GRADE	— H.P. — H.P. OR CHANGE IN GRADE
— N/A — N/A	— N/A — N/A
— E — ELEVATION	— E — ELEVATION
— C — CONTOUR	— C — CONTOUR
— GTE — GTE	— GTE — GTE
— P — U.G. ELECTRICAL LINE	— P — U.G. ELECTRICAL LINE
— G — GAS MAIN	— G — GAS MAIN
— DW — DETECTABLE WARNING	— DW — DETECTABLE WARNING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
 333 S. TAMiami TRAIL, SUITE 205
 VENICE, FL. 34285

PROJECT NAME: **SEC. 9 TWP. 39S RNG. 19E**
CASSATA PLACE
 FIRE TRUCK TURNING MOVEMENT PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'	1	12-5-18	SAG	REVISE PLAN AS PER CITY COMMENTS.

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PEER
 PROFESSIONAL ENGINEERING RESOURCES, INC.
 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
 CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

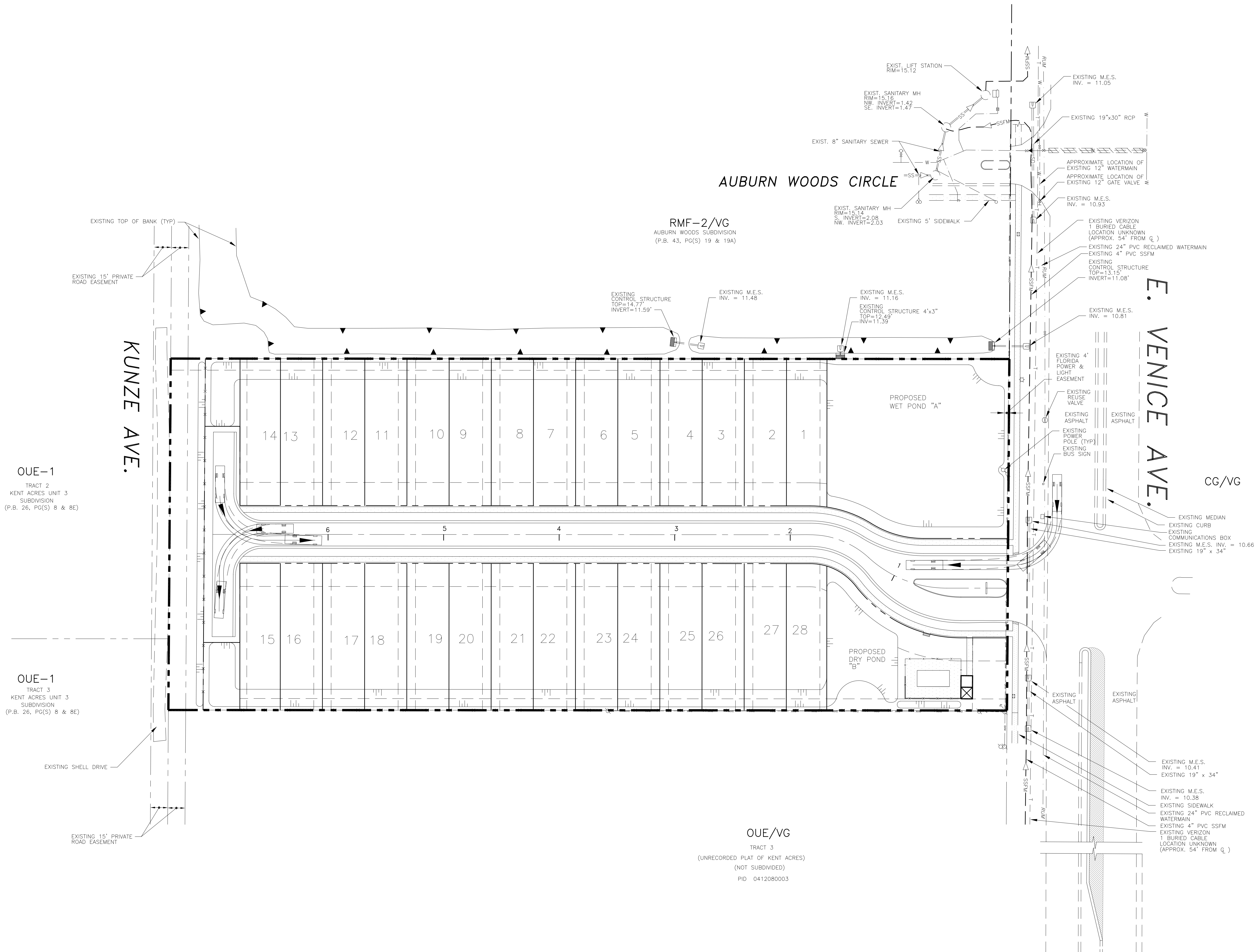
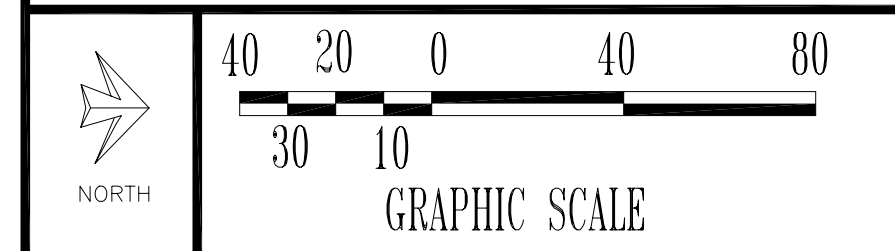
DESIGNED BY: PVS
 DRAWN BY: SAG
 CHECKED BY: PVS
 DATE: 8-3-18
 PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628
 APPROVED
 PAUL V. SHERMA, REG. NO. 35628

SHEET NUMBER
14

LEGEND

PROPOSED	EXISTING
— W — WATER MAIN	— F — FIRE MAIN
— R — RECLAIM WATER MAIN	— RW — RECLAIM WATER MAIN
— R — REDUCER	— R — REDUCER
— T — TEMPORARY BLOWOFF	— T — TEMPORARY BLOWOFF
— G — GATE VALVE (C.V. & BOX)	— G — GATE VALVE (C.V. & BOX)
— F — FIRE DEPARTMENT CONNECTION	— F — FIRE DEPARTMENT CONNECTION
— D — DOUBLE CHECK ASSEMBLY	— D — DOUBLE CHECK ASSEMBLY
— W — WATER METER	— W — WATER METER
— S — SANITARY SEWER LINE	— S — SANITARY SEWER LINE
— F — SANITARY SEWER FORCEMAIN	— F — SANITARY SEWER FORCEMAIN
— M — SANITARY SEWER MANHOLE	— M — SANITARY SEWER MANHOLE
— C — CLEAN OUT	— C — CLEAN OUT
— S — STORM DRAIN	— S — STORM DRAIN
— R — ROOF DRAIN	— R — ROOF DRAIN
— G — GRATE INLET	— G — GRATE INLET
— J — JUNCTION BOX	— J — JUNCTION BOX
— E — EROSION CONTROL	— E — EROSION CONTROL
— O — OUTFALL STRUCTURE	— O — OUTFALL STRUCTURE
— M — MITERED END SECTION (M.E.S.)	— M — MITERED END SECTION (M.E.S.)
— T — TOP OF BANK	— T — TOP OF BANK
— F — FENCE OR WALL	— F — FENCE OR WALL
— E — EASEMENT OR SETBACK	— E — EASEMENT OR SETBACK
— A — TRAFFIC FLOW ARROW	— A — TRAFFIC FLOW ARROW
— H — HANDICAP PARKING SPACE	— H — HANDICAP PARKING SPACE
— H.P. — H.P. OR CHANGE IN GRADE	— H.P. — H.P. OR CHANGE IN GRADE
— U — UNDERDRAIN	— U — UNDERDRAIN
— E — ELEVATION	— E — ELEVATION
— C — CONTOUR	— C — CONTOUR
— G — G.T.E.	— G — G.T.E.
— P — U.G. ELECTRICAL LINE	— P — U.G. ELECTRICAL LINE
— G — GAS MAIN	— G — GAS MAIN
— W — DETECTABLE WARNING	— W — DETECTABLE WARNING

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
 333 S. TAMiami TRAIL, SUITE 205
 VENICE, FL. 34285

PROJECT NAME: **SEC. 9 TWP. 39S RNG. 19E**
CASSATA PLACE
 REFUSE TRUCK TURNING MOVEMENT PLAN

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE				
1"=40'	1	12-5-18	SAG	REVISE PLAN AS PER CITY COMMENTS.

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PEER
 PROFESSIONAL ENGINEERING RESOURCES, INC.
 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207
 CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DRAWING TYPE
 PRELIMINARY
 CONSTRUCTION
 RECORD

DESIGNED BY: PVS
 DRAWN BY: SAG
 CHECKED BY: PVS
 DATE: 8-3-18
 PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628
 THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, PE, ON THE DATE ADJACENT TO THE SEAL USING A SIGN AUTHORIZATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHORIZATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-25-18.
APPROVED
 PAUL V. SHERMA, REG. NO. 35628

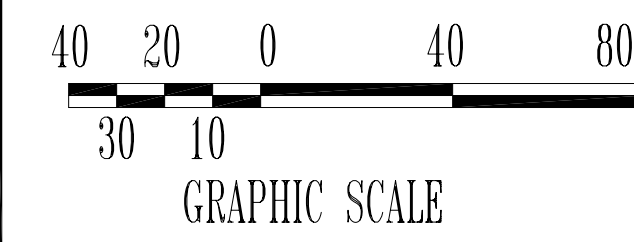
SHEET NUMBER
15

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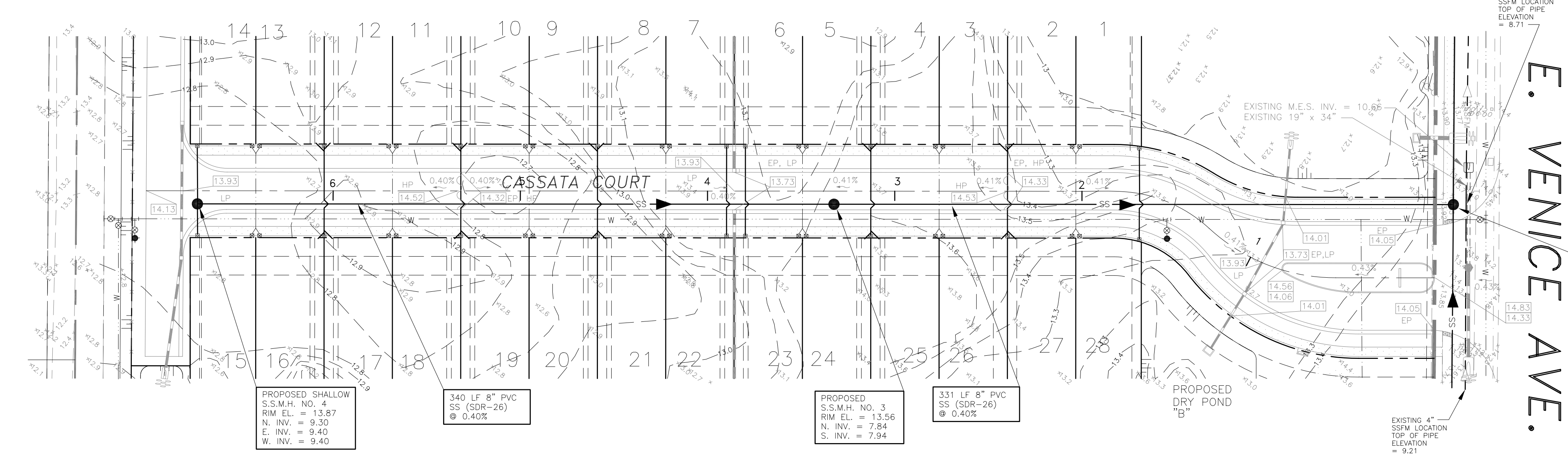
- COPY OF HRS PERMIT WILL BE PROVIDED TO THE CITY OF VENICE UPON RECEIPT.
- CONTRACTOR TO MAKE TAPS ON EXISTING WATERMAIN.
- CONTRACTOR TO COMPLY WITH CITY OF VENICE ORDINANCES 95-12 AND 96-09 FOR STORM WATER POLLUTION PREVENTION AND BEST MANAGEMENT PRACTICES.
- ALL FITTINGS TO BE RESTRAINED.
- ALL DISTURBED AREAS TO BE SODED.
- FIRE HYDRANTS MAY BE UTILIZED TO BLOW-OFF AND FLUSH THE MAINS. HOWEVER, SAMPLE POINTS MUST BE TAKEN UPSTREAM OF FIRE HYDRANTS.
- FIRE HYDRANTS MAY NOT BE USED AS SAMPLE POINTS.
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- CONTRACTOR TO SUPPLY AND INSTALL NECESSARY BENDS/FITTINGS TO ALLOW DEFLECTION OF PROPOSED STORM PIPES AROUND SANITARY SEWER MAINS AND LATERALS.



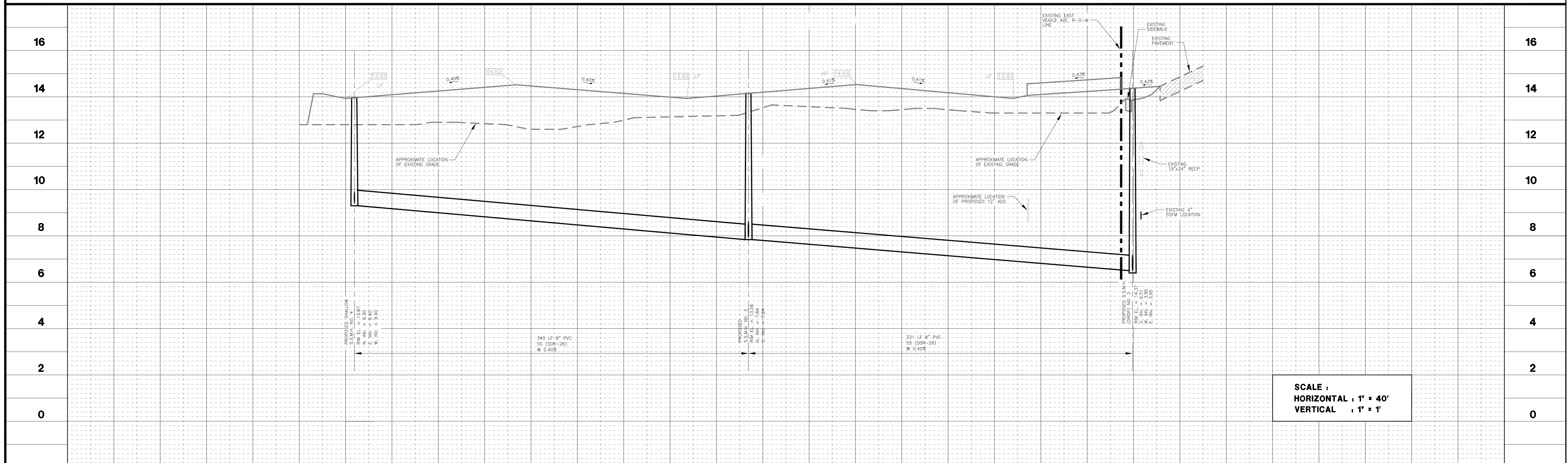
CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 HRS. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



LEGEND		LEGEND	
PROPOSED	EXISTING	PROPOSED	EXISTING
STORM DRAIN	STORM DRAIN	WATER MAIN	WATER MAIN
ROOF DRAIN	ROOF DRAIN	FIRE MAIN	FIRE MAIN
GRATE INLET	GRATE INLET	RECLAIMED WATER FORCEMAIN	RECLAIMED WATER FORCEMAIN
JUNCTION BOX	JUNCTION BOX	REDUCER	REDUCER
EROSION CONTROL	EROSION CONTROL	TEMPORARY BLOWOFF	TEMPORARY BLOWOFF
OUTFALL STRUCTURE	OUTFALL STRUCTURE	FIRE HYDRANT	FIRE HYDRANT
MITERED END SECTION (M.E.S.)	MITERED END SECTION (M.E.S.)	GATE VALVE (GV & BOX)	GATE VALVE (GV & BOX)
TOP OF BANK	TOP OF BANK	SHOWER CONNECTION	SHOWER CONNECTION
FENCE	FENCE	DOUBLE CHECK ASSEMBLY	DOUBLE CHECK ASSEMBLY
EASEMENT OR SETBACK	EASEMENT OR SETBACK	WATER METER	WATER METER
TRAFFIC FLOW ARROW	TRAFFIC FLOW ARROW	SANITARY SEWER LINE	SANITARY SEWER LINE
HANDICAP PARKING SPACE	HANDICAP PARKING SPACE	SANITARY SEWER FORCEMAIN	SANITARY SEWER FORCEMAIN
H.P. OR CHANGE IN SLOPE ELEVATION	H.P. OR CHANGE IN SLOPE ELEVATION	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
		CLEAN OUT	CLEAN OUT



PLAN VIEW
SCALE : 1" = 40'

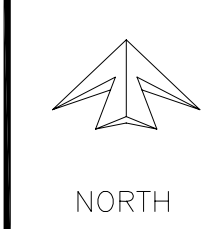


SCALE :
HORIZONTAL : 1" = 40'
VERTICAL : 1" = 1'

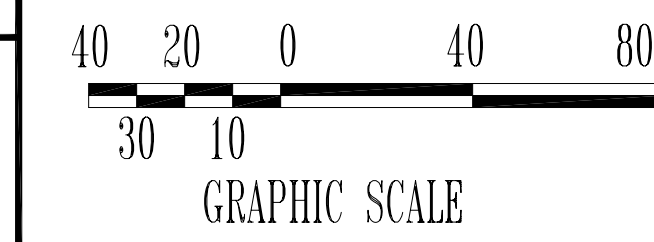
CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	PROJECT NAME: SEC. 9 TWP. 39S RING. 19E CASSATA PLACE SANITARY SEWER PLAN AND PROFILE	PROJECT NUMBER 18-2352	NO. DATE BY REVISIONS 1 12-5-18 SAG REVISE PLAN AS PER CITY COMMENTS.	©2018 by Professional Engineering Resources, Inc. All Rights Reserved. The arrangements depicted herein are the sole property of Professional Engineering Resources, Inc. and may not be reproduced in any form without its written permission.	PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-9207 CERTIFICATE OF AUTHORIZATION NUMBER: 4401	DRAWING TYPE <input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD	DESIGNED BY: PVS DRAWN BY: SAG DATE: 8-3-18 PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628 APPROVED PAUL V. SHERMA, REG. NO. 35628	SHEET NUMBER 16
		SCALE 1"=40'	THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, PE ON THE DATE ADJACENT TO THE SEAL USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES, 10-25-18.					

NOTES:

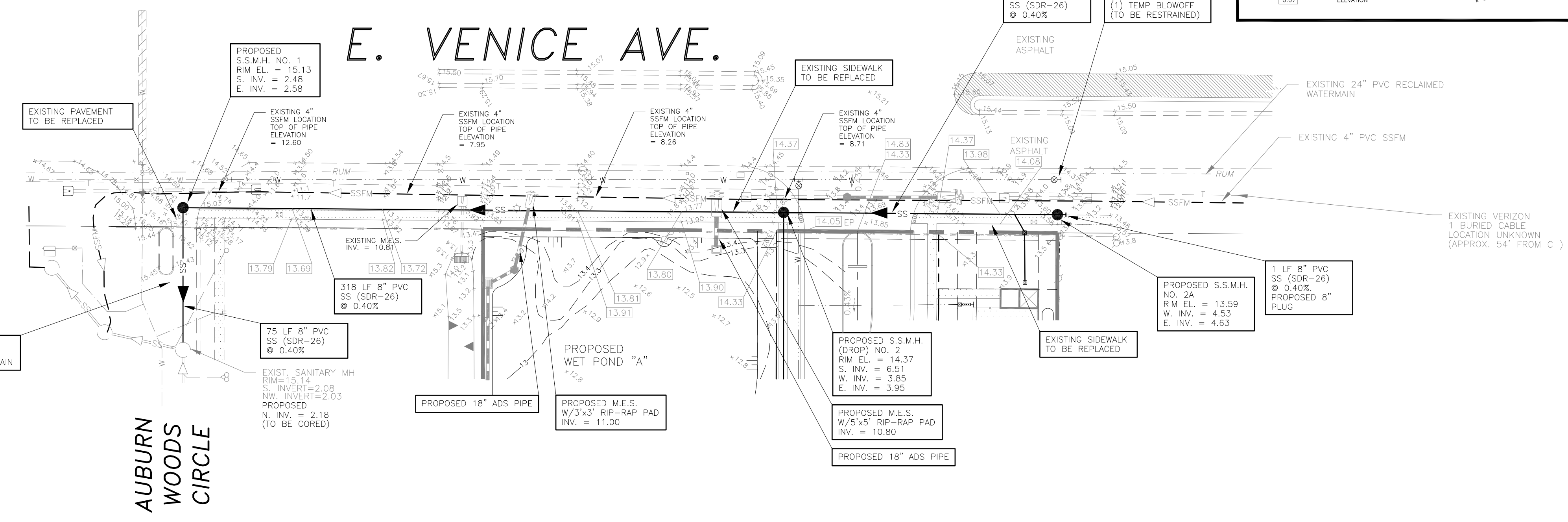
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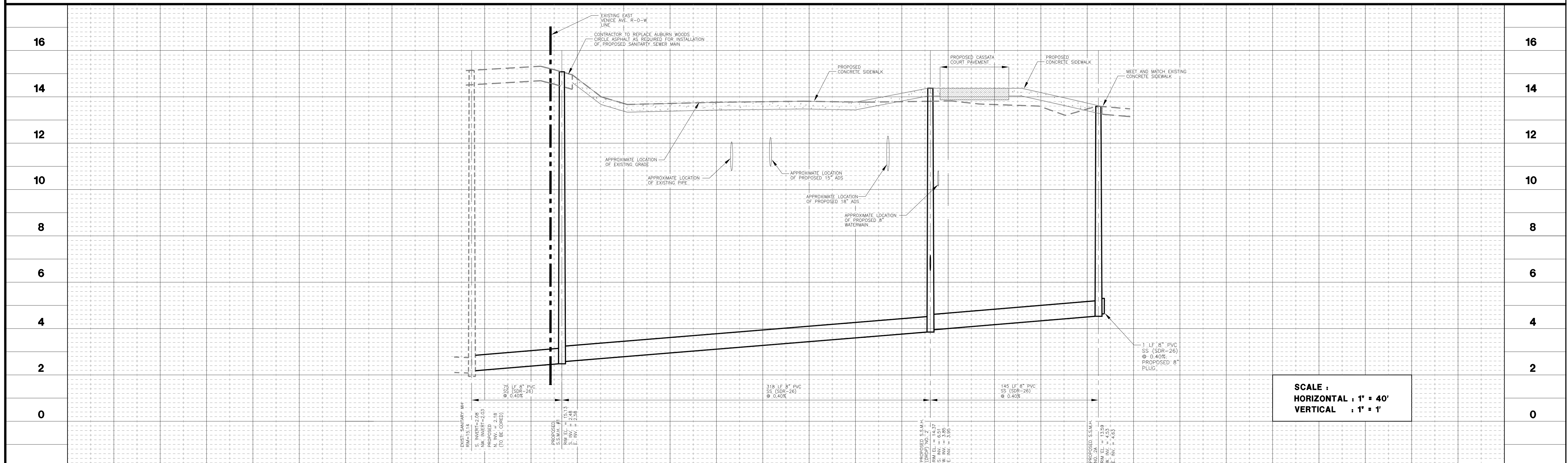
CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 hrs. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



LEGEND		LEGEND	
PROPOSED	EXISTING	PROPOSED	EXISTING
STORM DRAIN	STORM DRAIN	WATER MAIN	WATER MAIN
ROOF DRAIN	ROOF DRAIN	FIRE MAIN	FIRE MAIN
GRATE INLET	GRATE INLET	RECLAIMED WATER FORCEMAIN	RECLAIMED WATER FORCEMAIN
JUNCTION BOX	JUNCTION BOX	REDUCER	REDUCER
EROSION CONTROL	EROSION CONTROL	TEMPORARY BLOWOFF	TEMPORARY BLOWOFF
OUTFALL STRUCTURE	OUTFALL STRUCTURE	FIRE HYDRANT	FIRE HYDRANT
MITERED END SECTION (M.E.S.)	MITERED END SECTION (M.E.S.)	GATE VALVE (G.V. & BOX)	GATE VALVE (G.V. & BOX)
TOP OF BANK	TOP OF BANK	SHOWER CONNECTION	SHOWER CONNECTION
FENCE	FENCE	DOUBLE CHECK ASSEMBLY	DOUBLE CHECK ASSEMBLY
EASEMENT OR SETBACK	EASEMENT OR SETBACK	WATER METER	WATER METER
TRAFFIC FLOW ARROW	TRAFFIC FLOW ARROW	SANITARY SEWER LINE	SANITARY SEWER LINE
HANDICAP PARKING SPACE	HANDICAP PARKING SPACE	SANITARY SEWER FORCEMAIN	SANITARY SEWER FORCEMAIN
H.P. OR CHANGE IN SLOPE	H.P. OR CHANGE IN SLOPE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
ELEVATION	ELEVATION	CLEAN OUT	CLEAN OUT



PLAN VIEW
SCALE : 1" = 40'



SCALE :
HORIZONTAL : 1" = 40'
VERTICAL : 1" = 1'

CLIENT:
MPS DEVELOPMENT AND CONSTRUCTION, LLC
333 S. TAMiami TRAIL, SUITE 205
VENICE, FL. 34285

PROJECT NAME: **SEC. 9 TWP. 39S RING. 19E**
CASSATA PLACE
SANITARY SEWER PLAN AND PROFILE

PROJECT NUMBER	NO.	DATE	BY	REVISIONS
18-2352				
SCALE	1"=40'			

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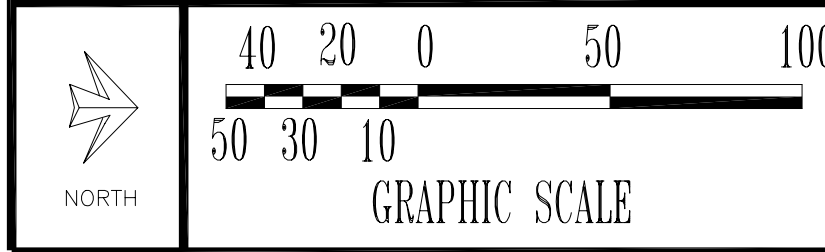
PEER
PROFESSIONAL ENGINEERING RESOURCES, INC.
10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771
CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-8207
CERTIFICATE OF AUTHORIZATION NUMBER: 4401

DRAWING TYPE	DESIGNED BY: PVS	CHECKED BY: PVS	SHEET NUMBER
<input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD	DRAWN BY: SAG	DATE: 8-3-18	17
APPROVED PAUL V. SHERMA, REG. NO. 35628			

NOTES

- 1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
- 2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- 3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENuded AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- 4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- 5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENuded AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
- 6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- 7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
- 8. SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- 9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT; CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
- 10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- 11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEETING AND TRANSPORTED TO A SEDIMENT DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
- 12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- 13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
- 14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
- 15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUNOFF OR DewaterING ACTIVITIES.
- 16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
- 17. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
- 18. NOI TO BE POSTED ON SITE.
- 19. Dewatering ACTIVITIES: A. DISCHARGE CANNOT EXCEED STATE WATER QUALITY STANDARDS. B. CONTRACTOR MUST HAVE A TRANSFERABLE CONSUMPTIVE USE PERMIT KNOWN AS A "NOTICED GENERAL PERMIT FOR SHORT TERM CONSTRUCTION DE-WATERING". C. NO HYDRAULIC PUMPS MAY BE USED FOR DewaterING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA. D. NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER.

CONTRACTOR TO CALL "SUNSHINE 811" AT 811 OR 1-800-432-4770, 48 HRS. PRIOR TO ANY CLEARING OR CONSTRUCTION FOR EXISTING UTILITY LOCATIONS.



LEGEND table with columns for PROPOSED and EXISTING symbols and their descriptions (e.g., WATER MAIN, FIRE MAIN, RECLAIM WATER MAIN, etc.)

AUBURN WOODS CIRCLE

E. VENICE AVE.

KUNZE AVE.

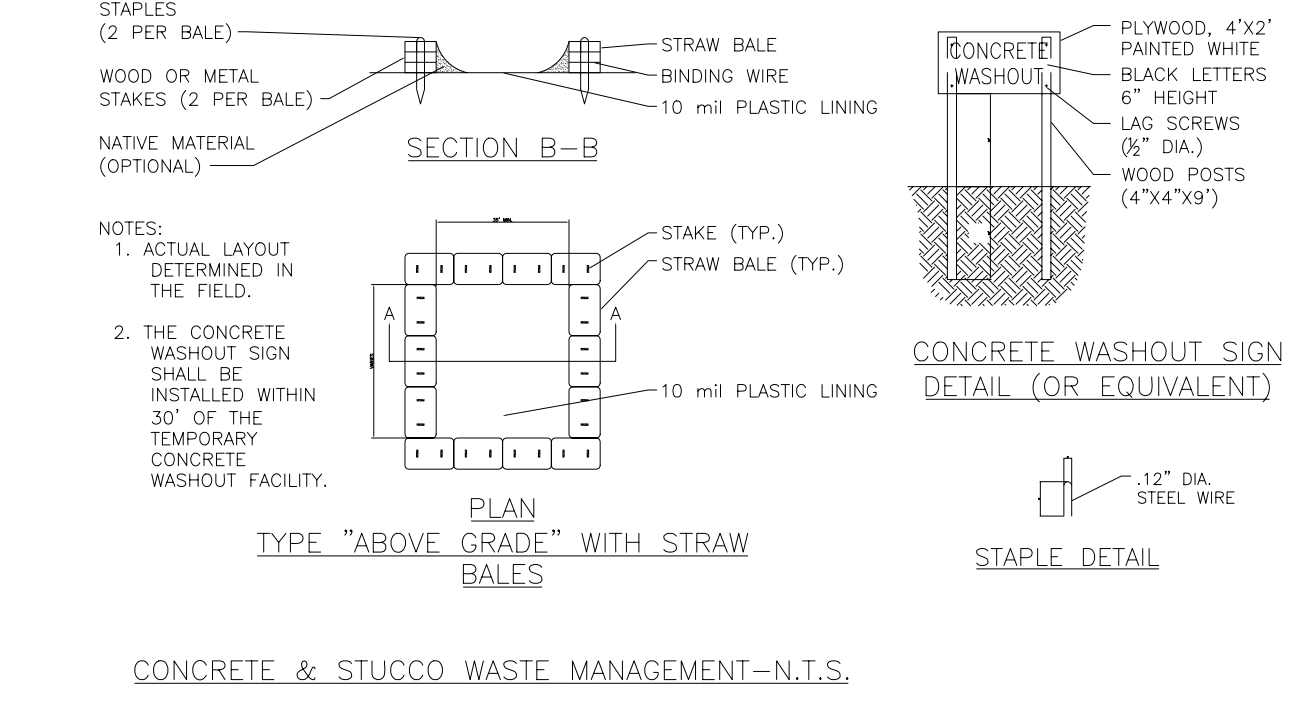
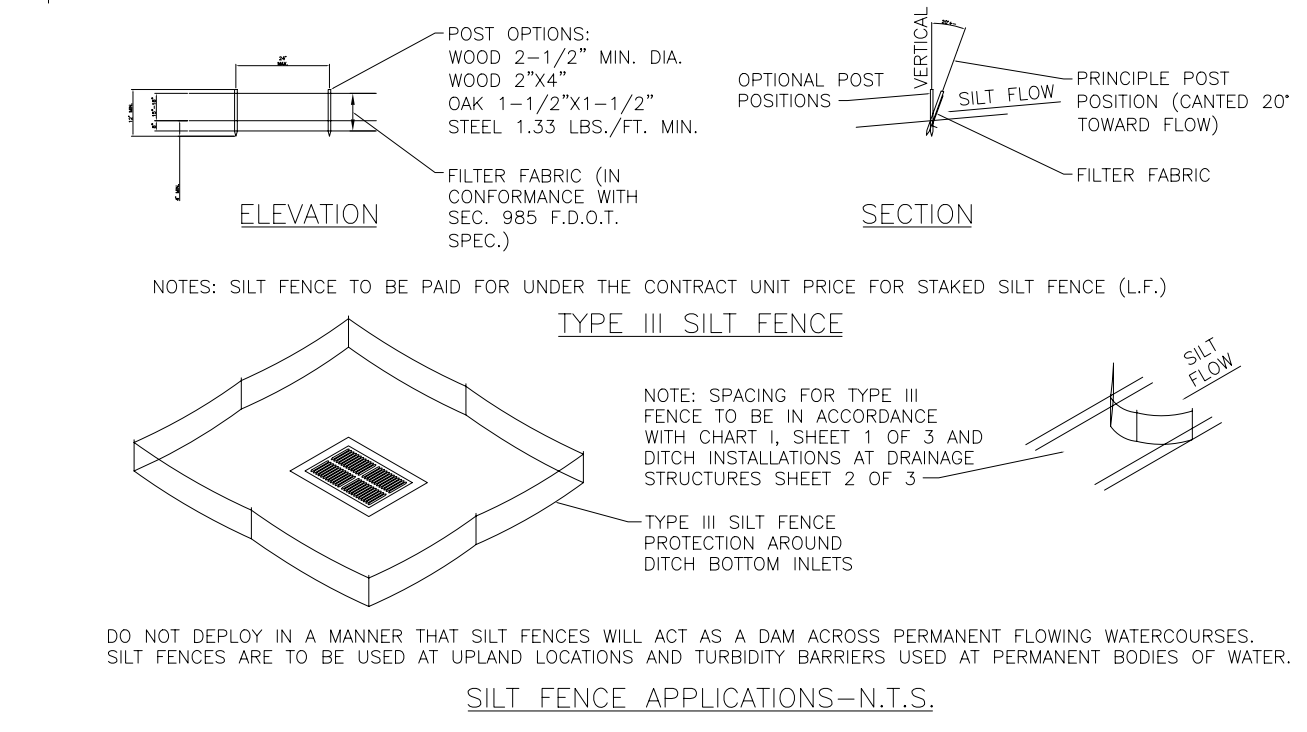
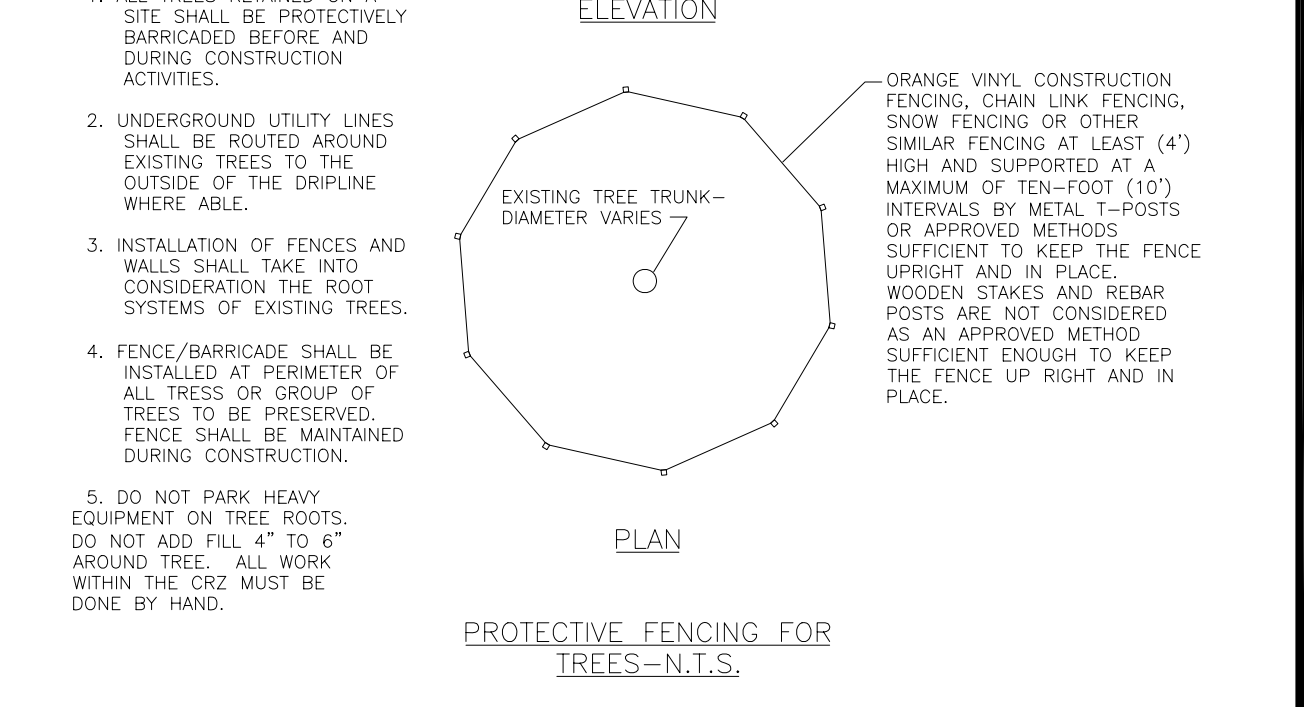
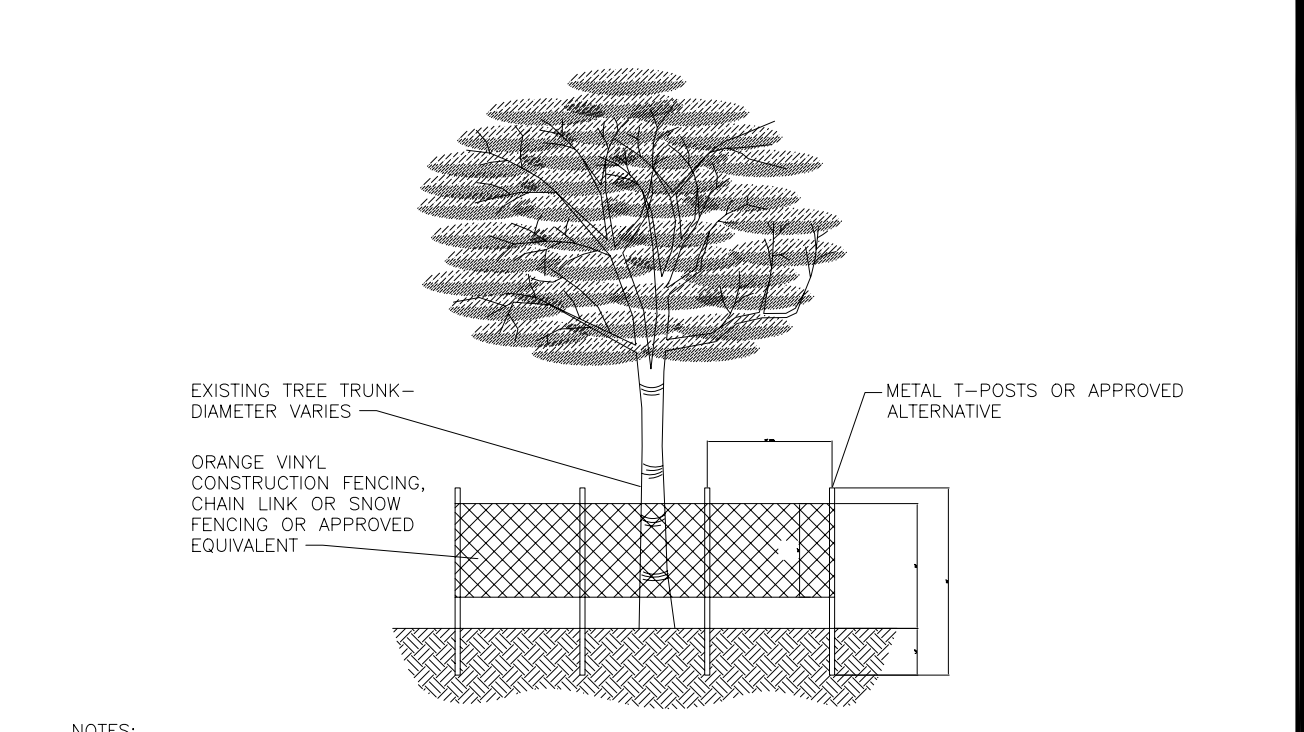
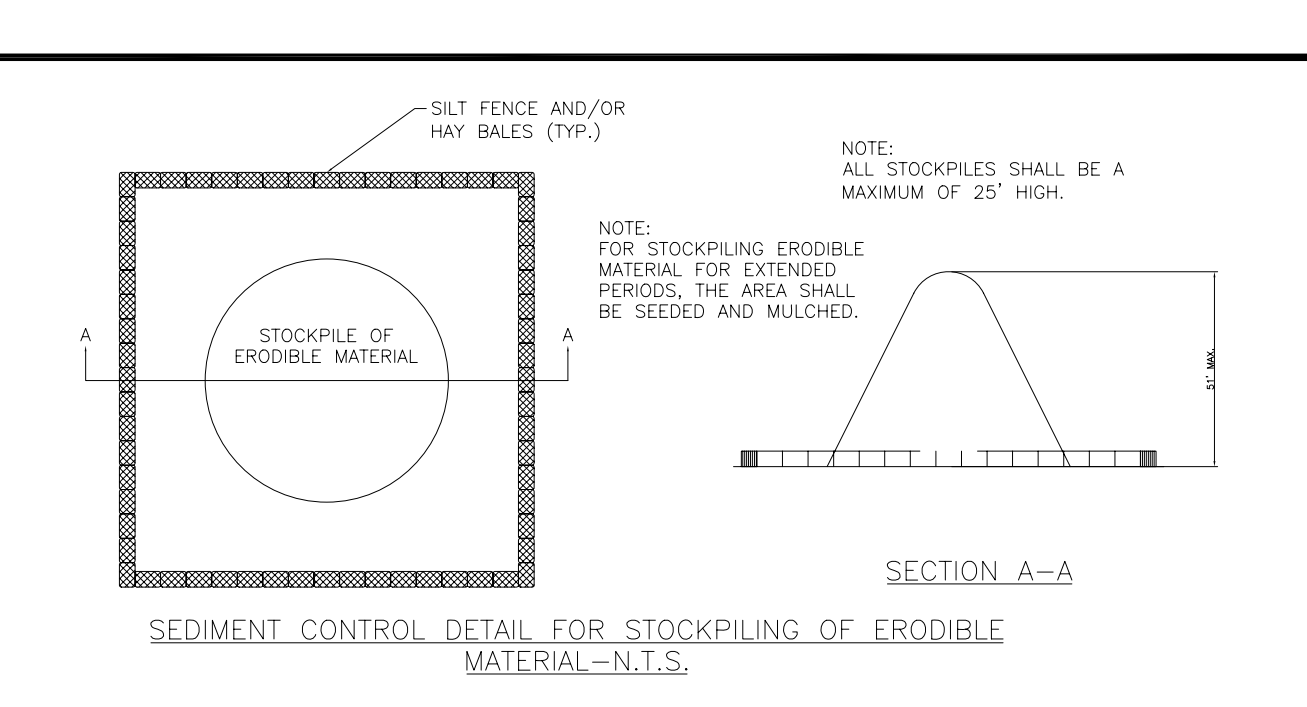
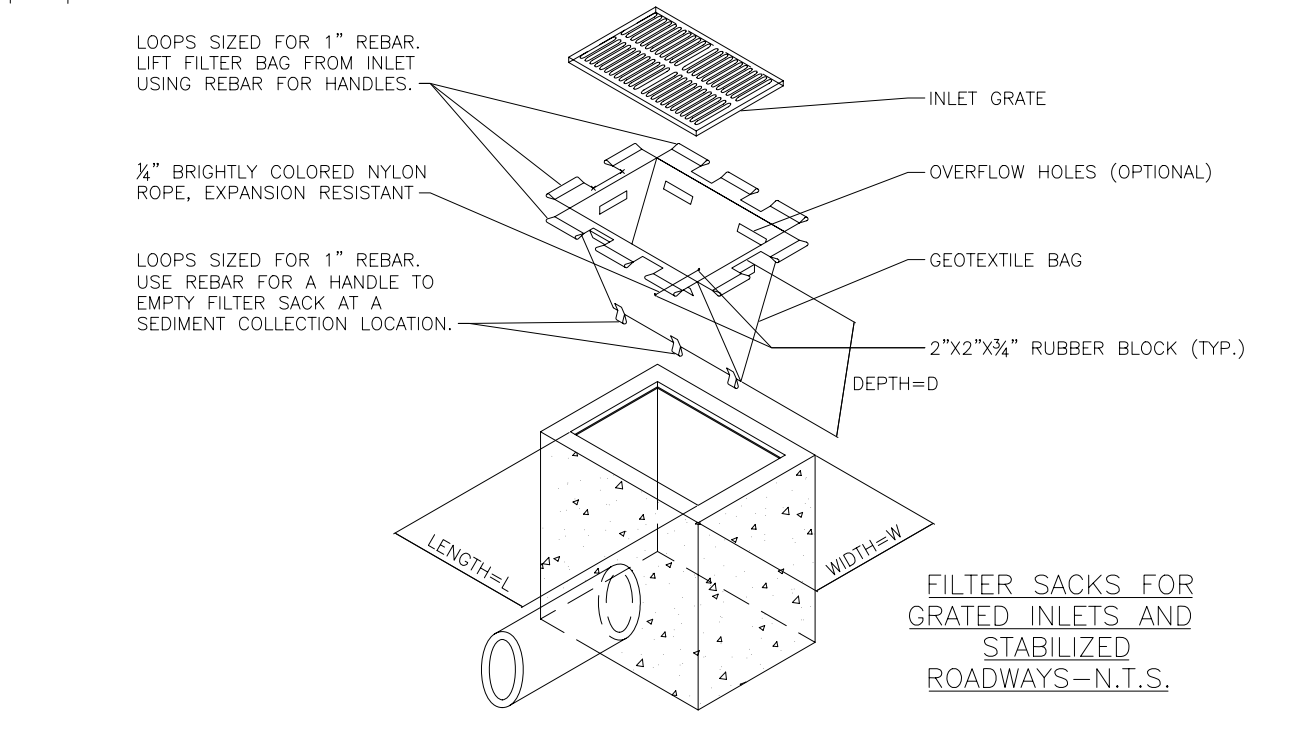
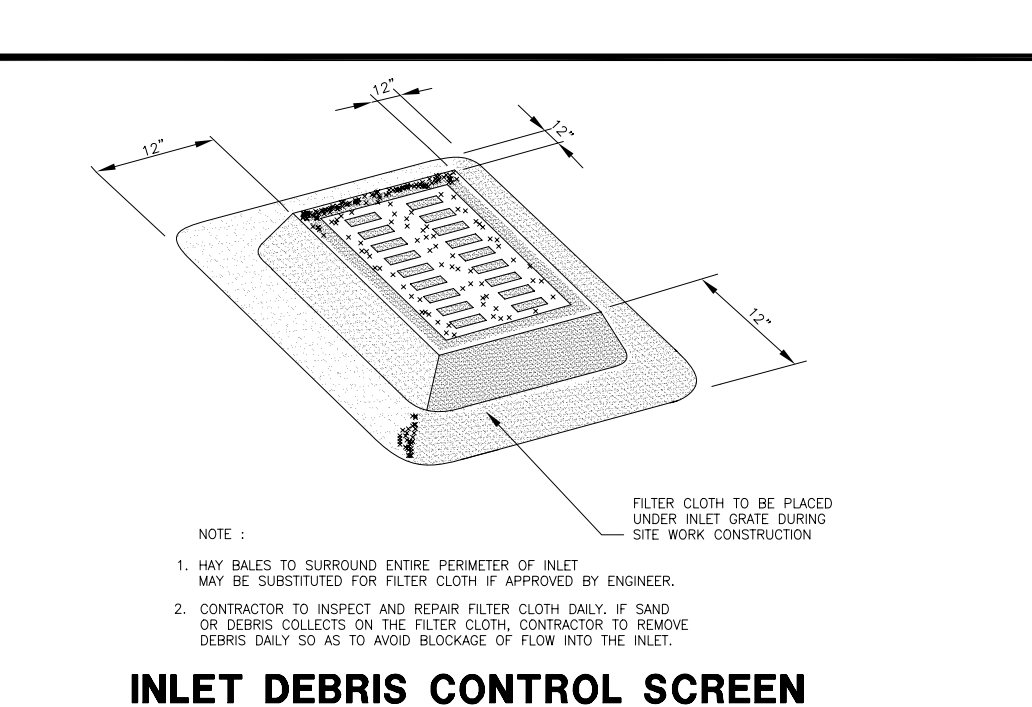
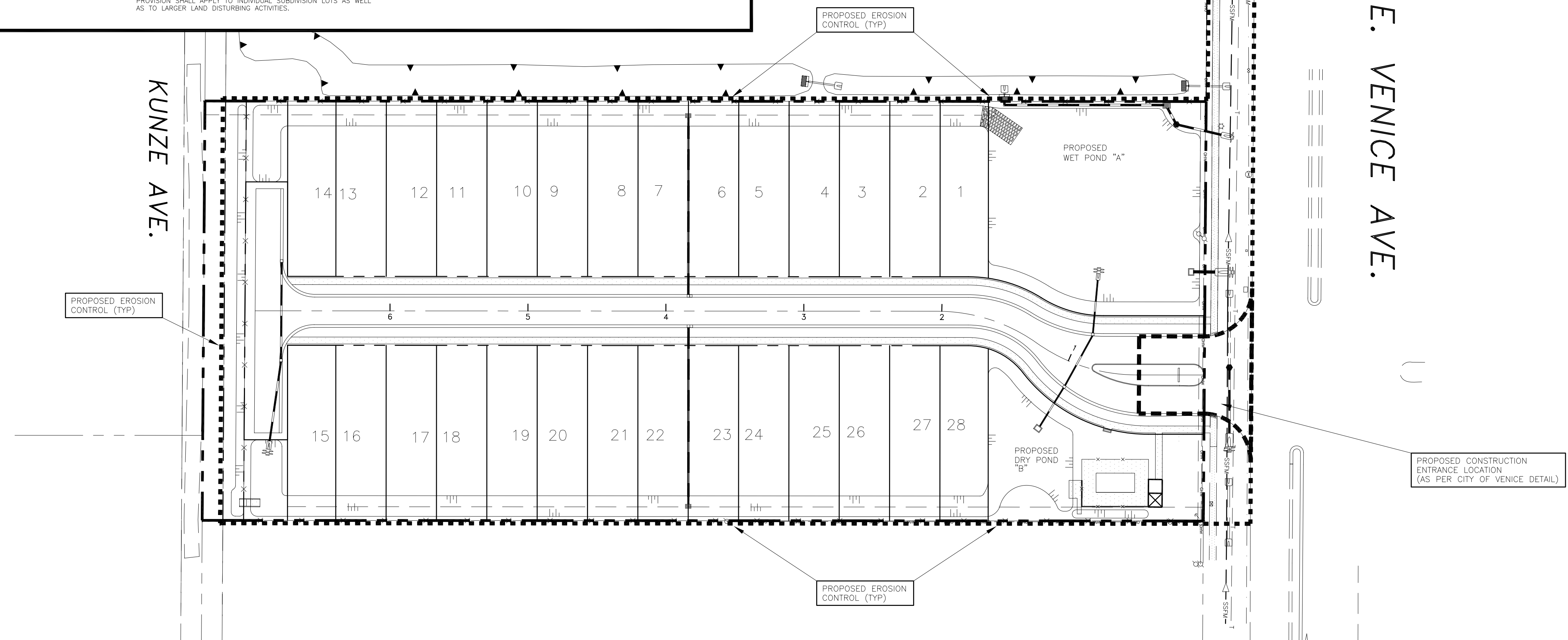
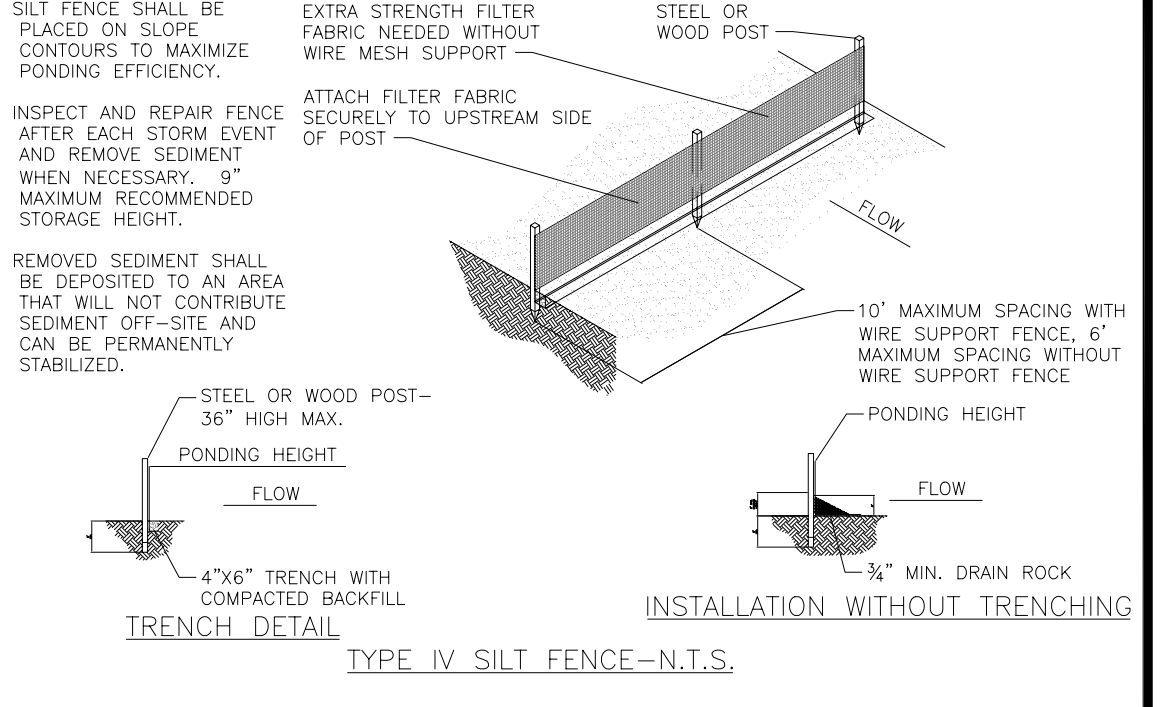


Table with two columns: PROPERTIES and TEST METHOD, listing specifications for silt fence fabric.



CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285

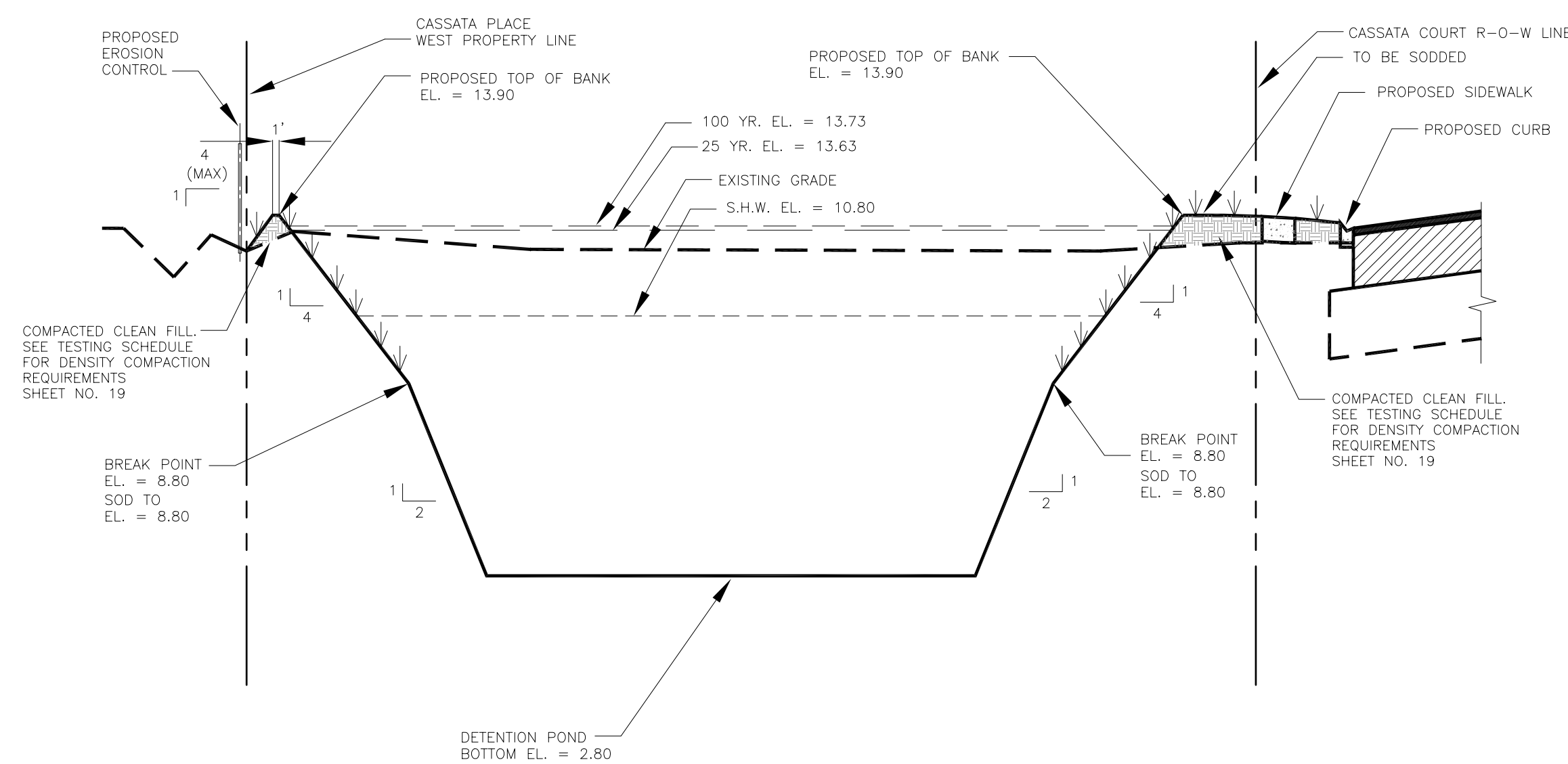
PROJECT NAME: CASSATA PLACE EROSION CONTROL (BMP) PLAN SEC. 9 TWP. 39S RNG. 19E

Table with columns: PROJECT NUMBER (18-2352), SCALE (1"=50'), NO., DATE, BY, REVISIONS.

PEER PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771

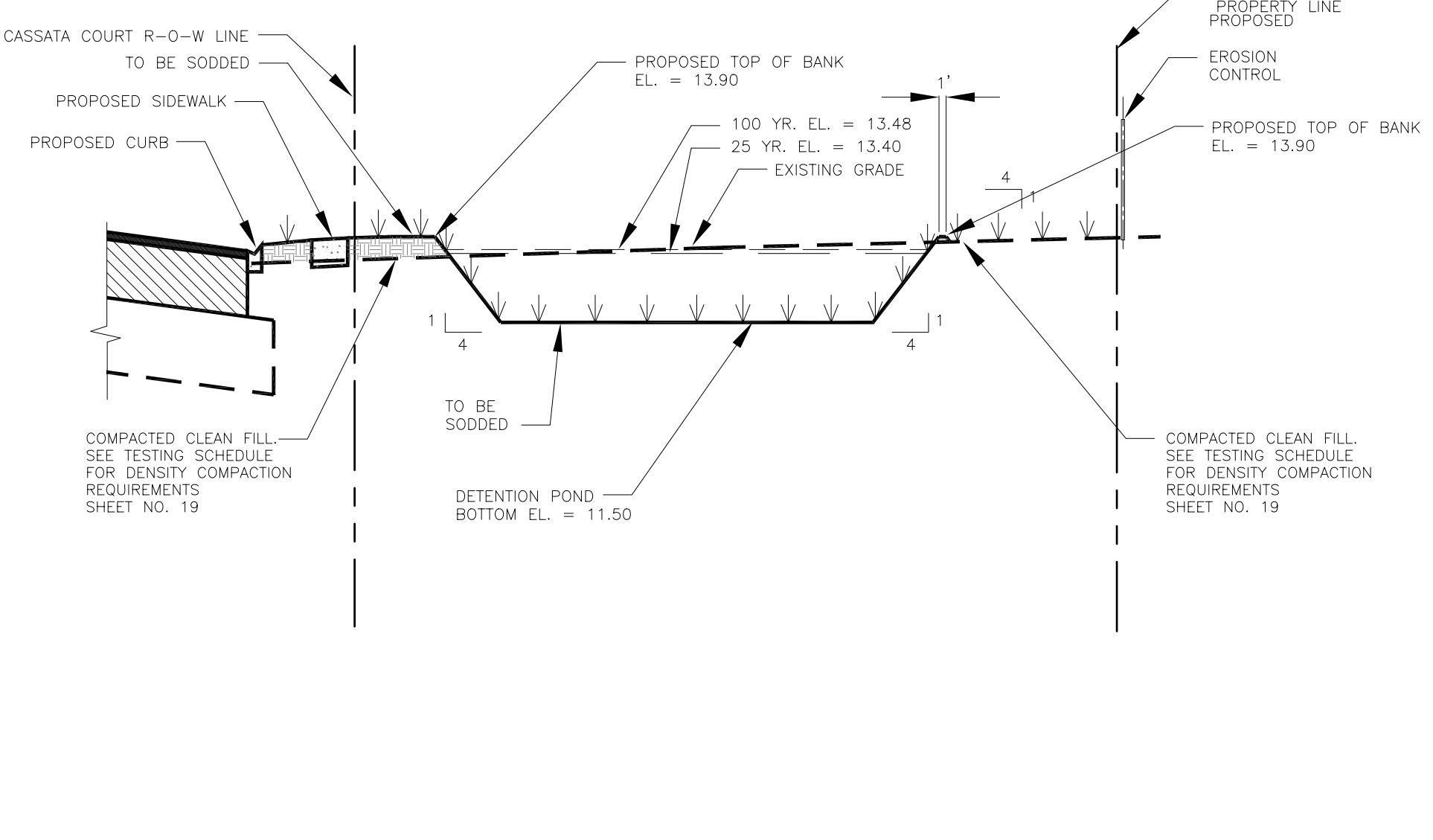
PEER logo and contact information for Professional Engineering Resources, Inc.

DRAWING TYPE: PRELIMINARY, CONSTRUCTION, RECORD. DESIGNED BY: PVS, CHECKED BY: PVS. SHEET NUMBER: 18.



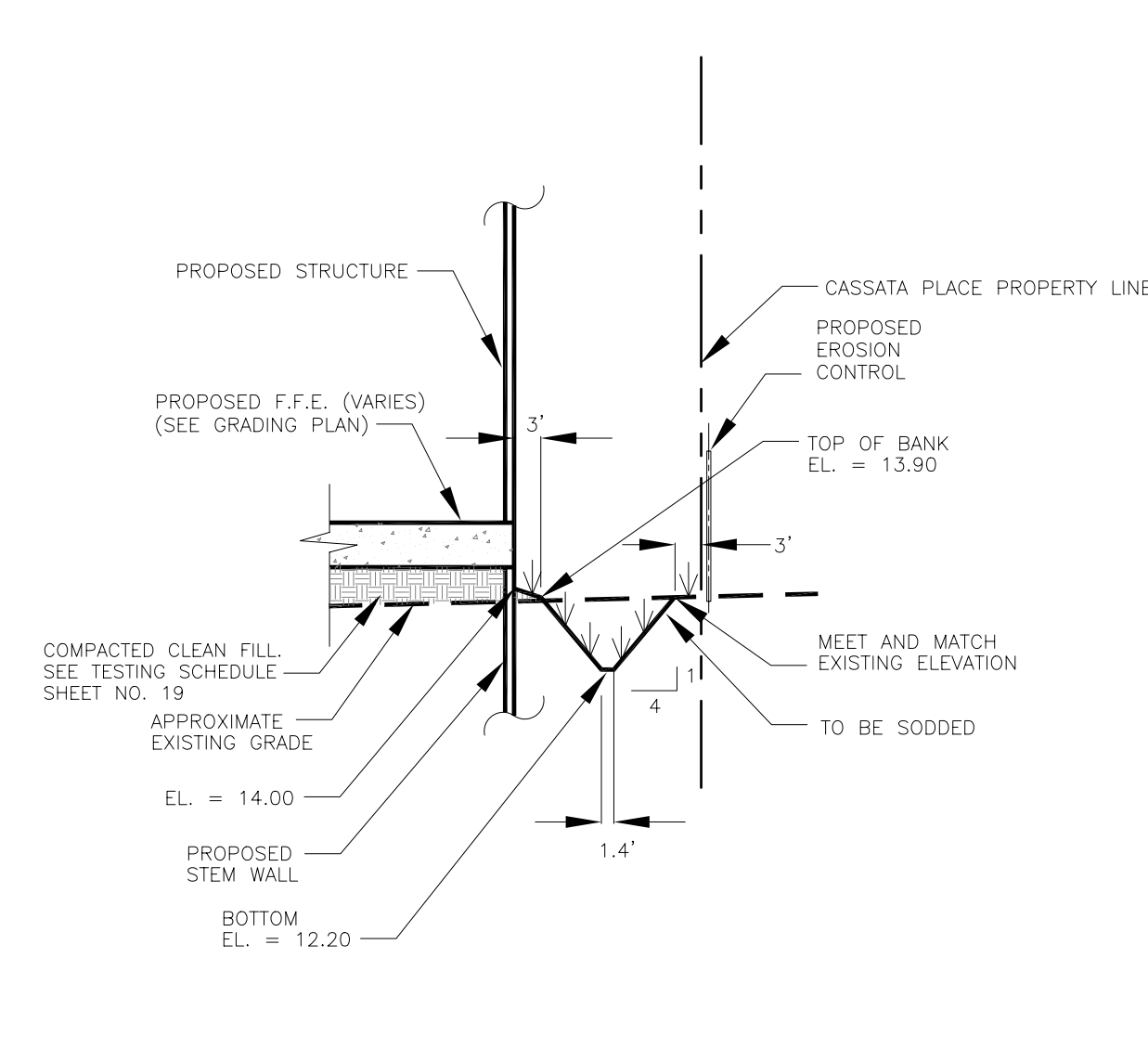
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SECTION C-C**

SCALE:
HORIZ. 1"=20'
VERT. 1"=4'



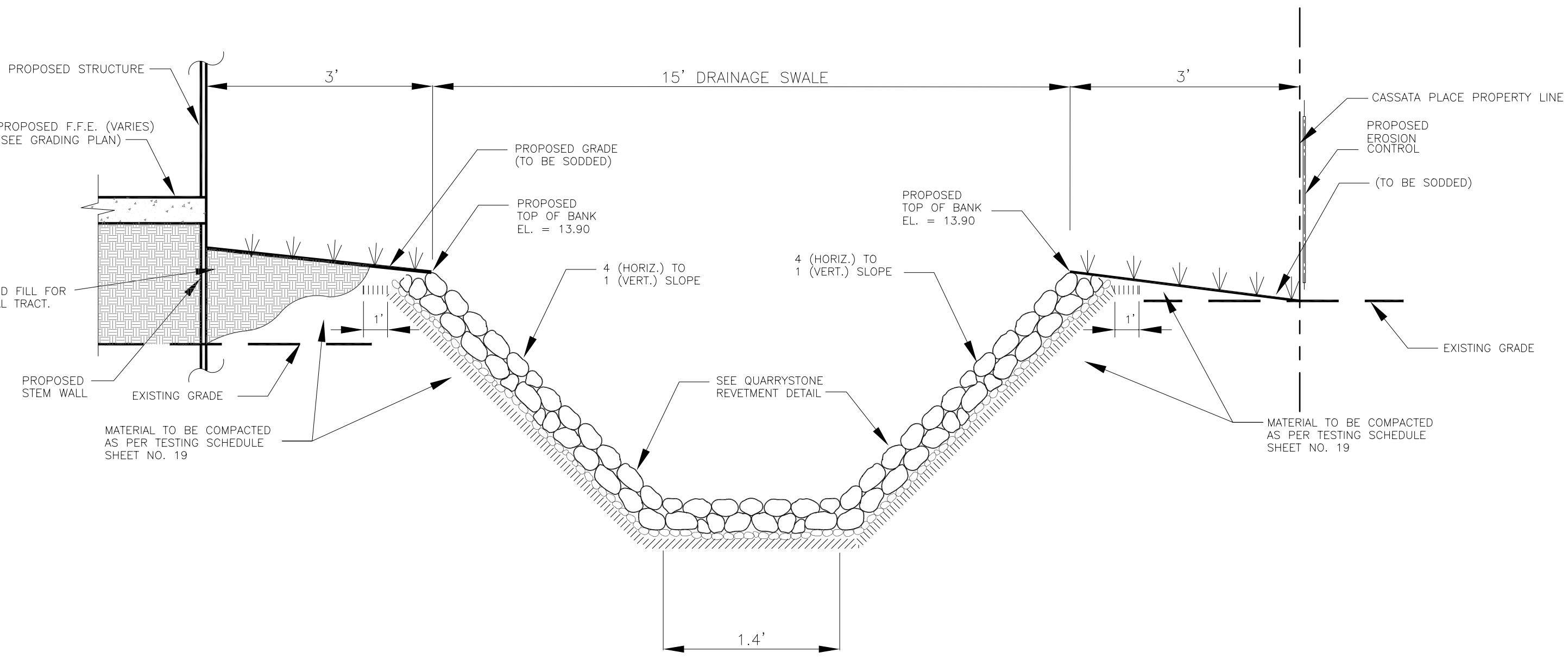
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SECTION B-B**

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VERT. 1"=4'



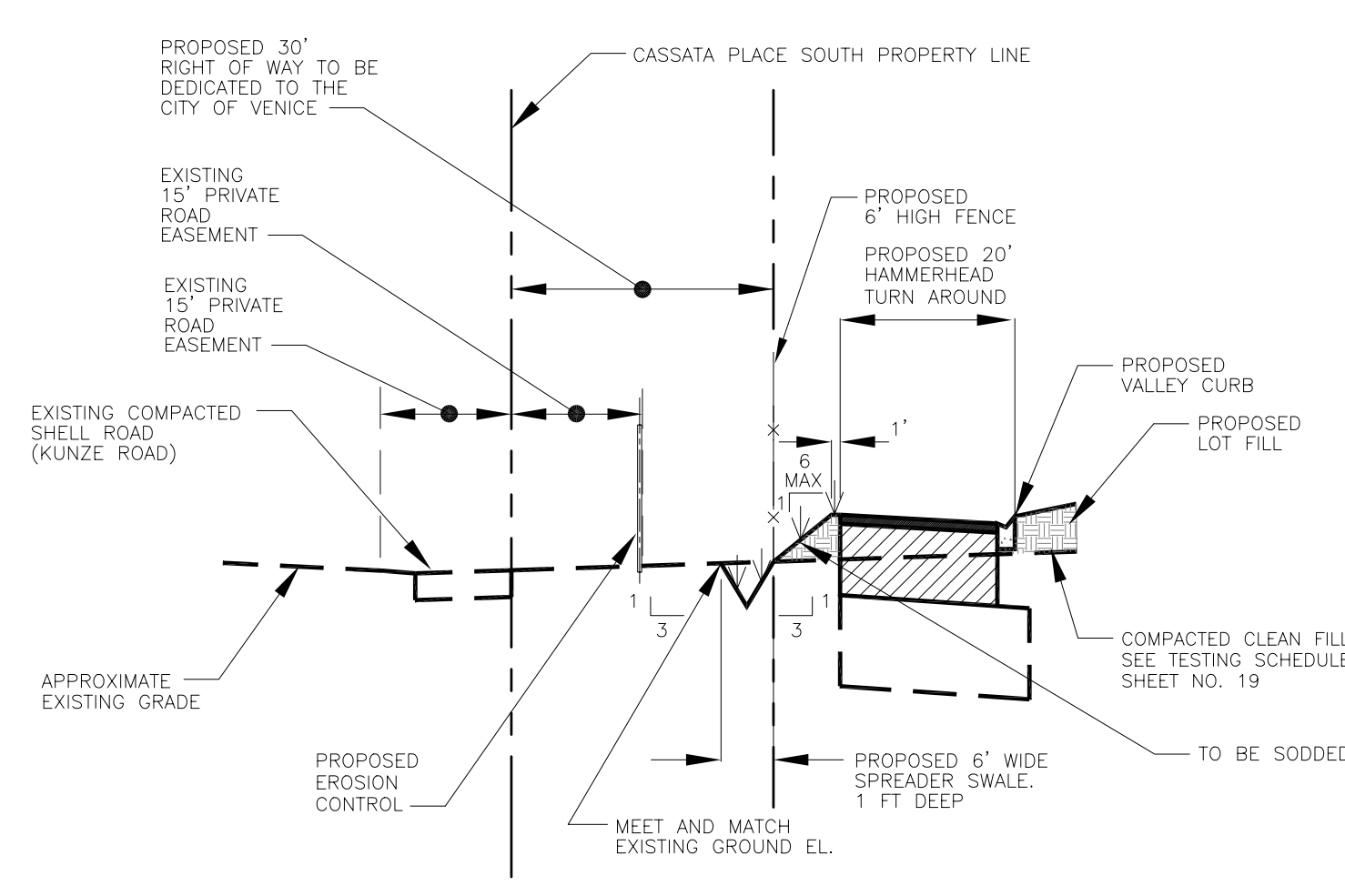
SECTION A-A

SCALE:
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VERT. 1"=4'



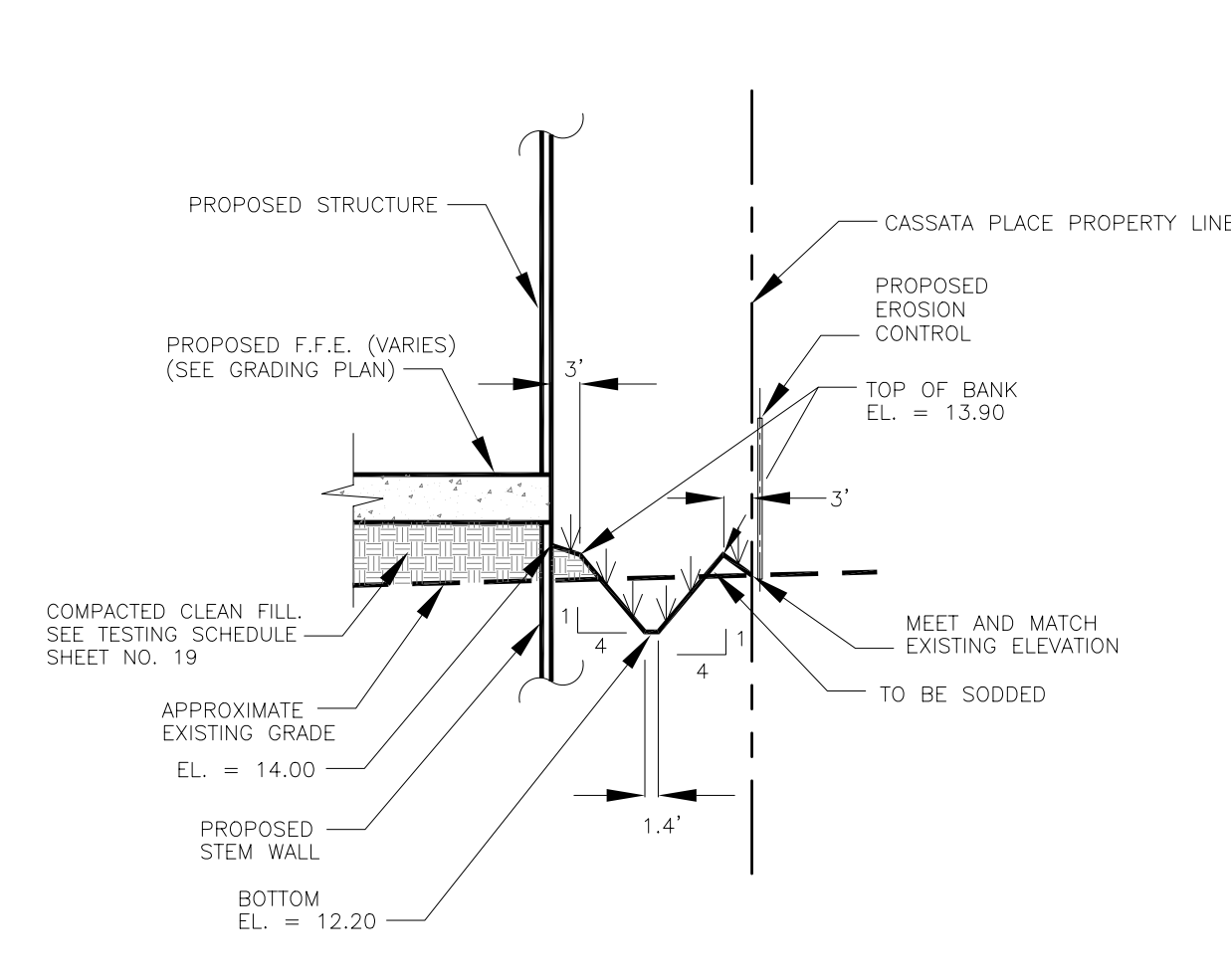
SECTION E-E

N.T.S.



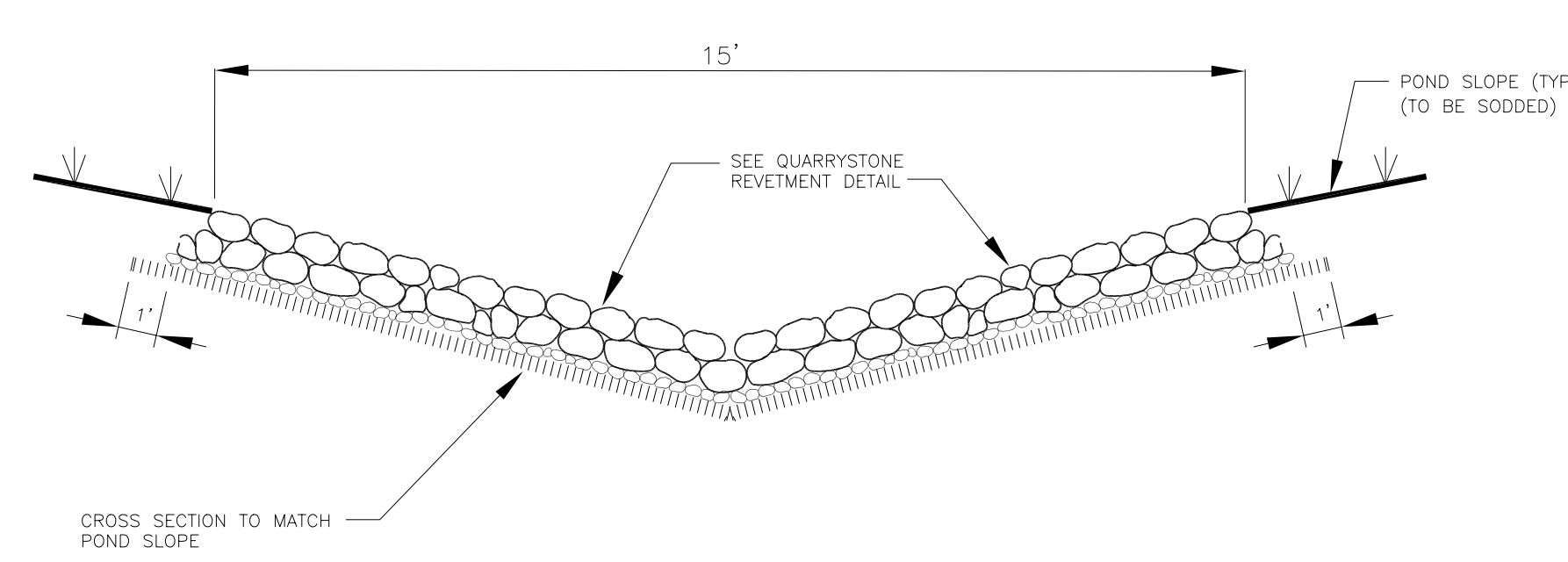
SECTION D-D

SCALE:
HORIZ. 1"=20'
VERT. 1"=4'



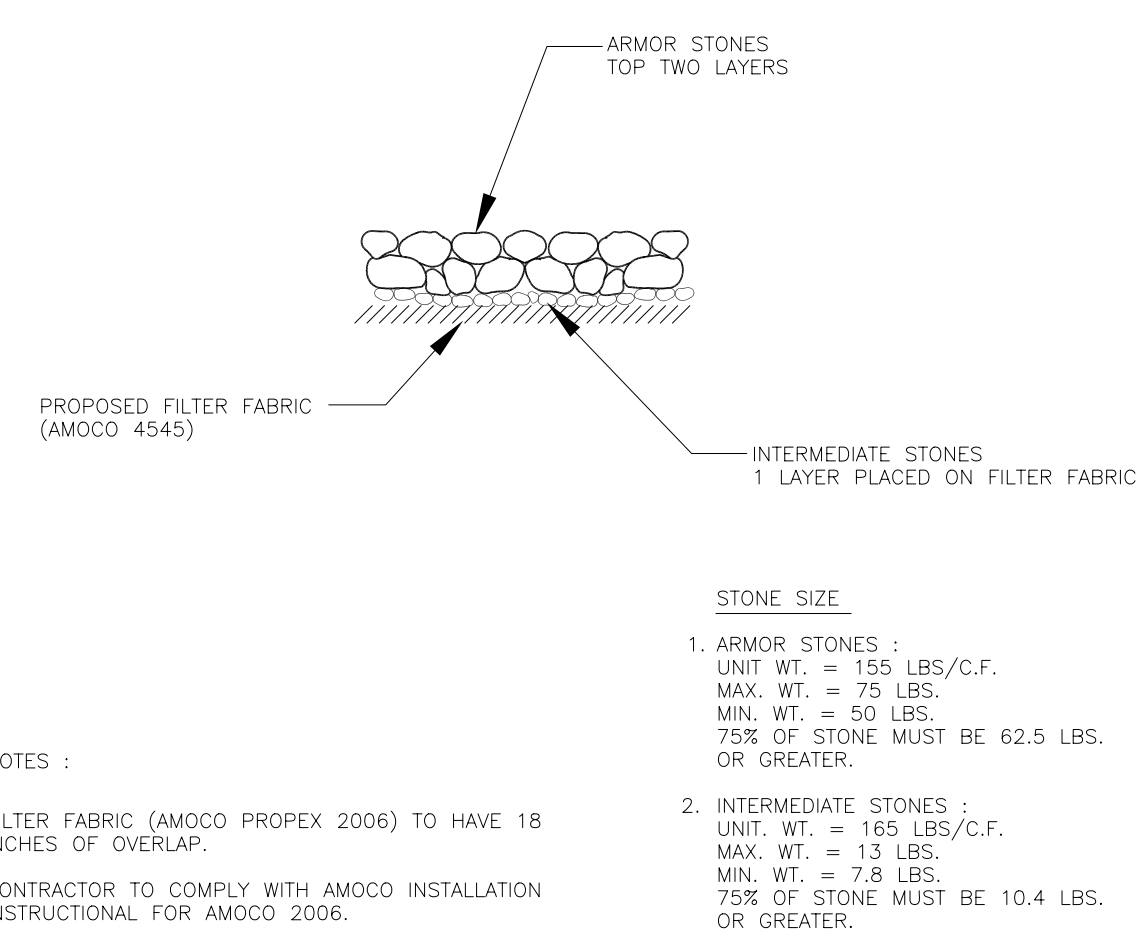
SECTION A1-A1

SCALE:
HORIZ. 1"=20'
VERT. 1"=4'



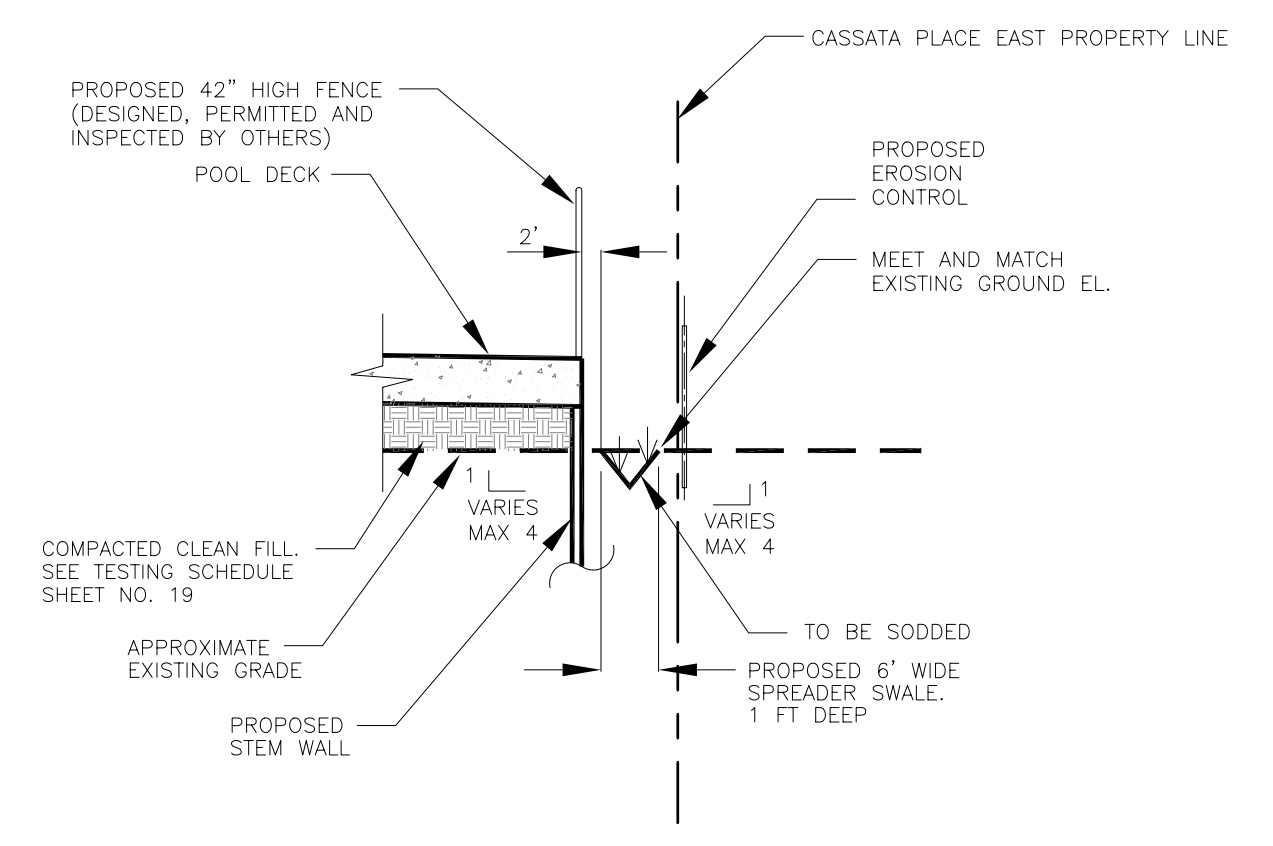
SECTION F-F

N.T.S.



QUARRYSTONE REVETMENT DETAIL

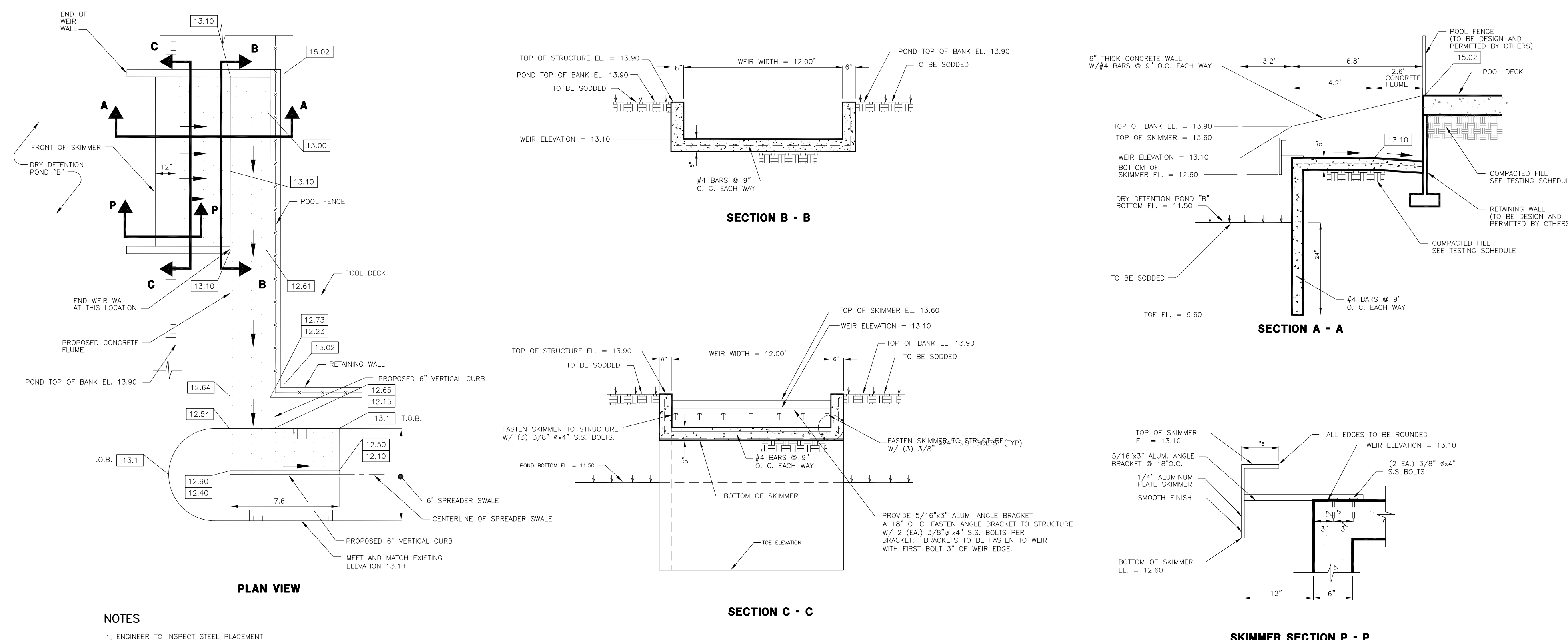
- NOTES:
1. FILTER FABRIC (AMOCO PROPEX 2006) TO HAVE 18 INCHES OF OVERLAP.
 2. CONTRACTOR TO COMPLY WITH AMOCO INSTALLATION INSTRUCTIONAL FOR AMOCO 2006.
- STONE SIZE:
1. ARMOR STONES :
UNIT WT. = 155 LBS./C.F.
MAX. WT. = 75 LBS.
MIN. WT. = 50 LBS.
75% OF STONE MUST BE 62.5 LBS. OR GREATER.
 2. INTERMEDIATE STONES :
UNIT. WT. = 165 LBS./C.F.
MAX. WT. = 13 LBS.
MIN. WT. = 7.8 LBS.
75% OF STONE MUST BE 10.4 LBS. OR GREATER.



SECTION SP1-SP1

SCALE:
HORIZ. 1"=20'
VERT. 1"=4'

CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E CASSATA PLACE PAVING, GRADING AND DRAINAGE DETAILS	PROJECT NUMBER 18-2352	NO. DATE BY	REVISIONS	©2018 by Professional Engineering Resources, Inc. All Rights Reserved. The arrangements depicted herein are the sole property of Professional Engineering Resources, Inc. and may not be reproduced in any form without its written permission.	 PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207 CERTIFICATE OF AUTHORIZATION NUMBER: 4401	DRAWING TYPE <input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD	DESIGNED BY: PYS DRAWN BY: SAG DATE: 8-3-18 PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628	CHECKED BY: PYS DATE: 8-3-18	SHEET NUMBER 20
		SCALE N.T.S.	1 12-18 SAG	REVISE PLAN AS PER CITY COMMENTS			APPROVED PAUL V. SHERMA, REG. NO. 35628			



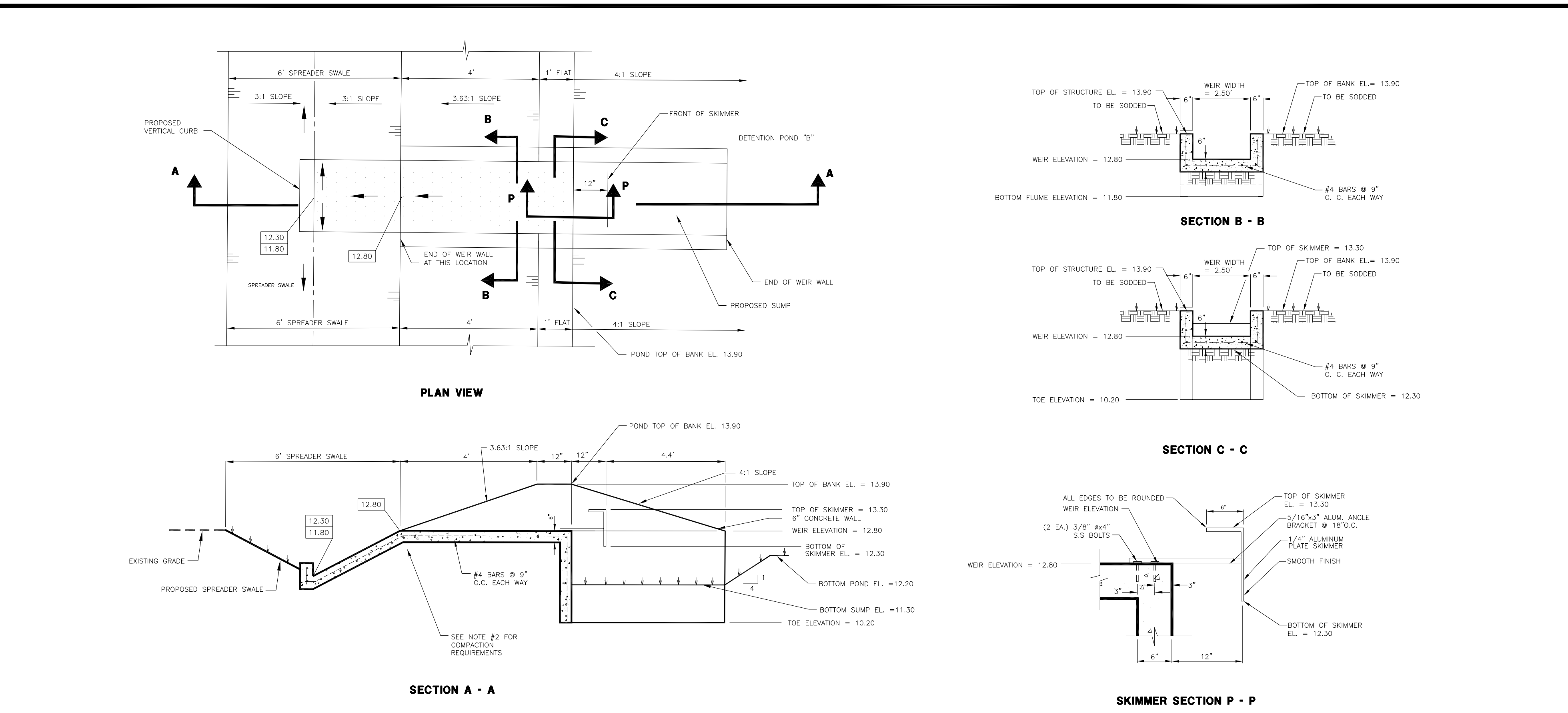
POND B OUTFALL STRUCTURE B1 DETAIL

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

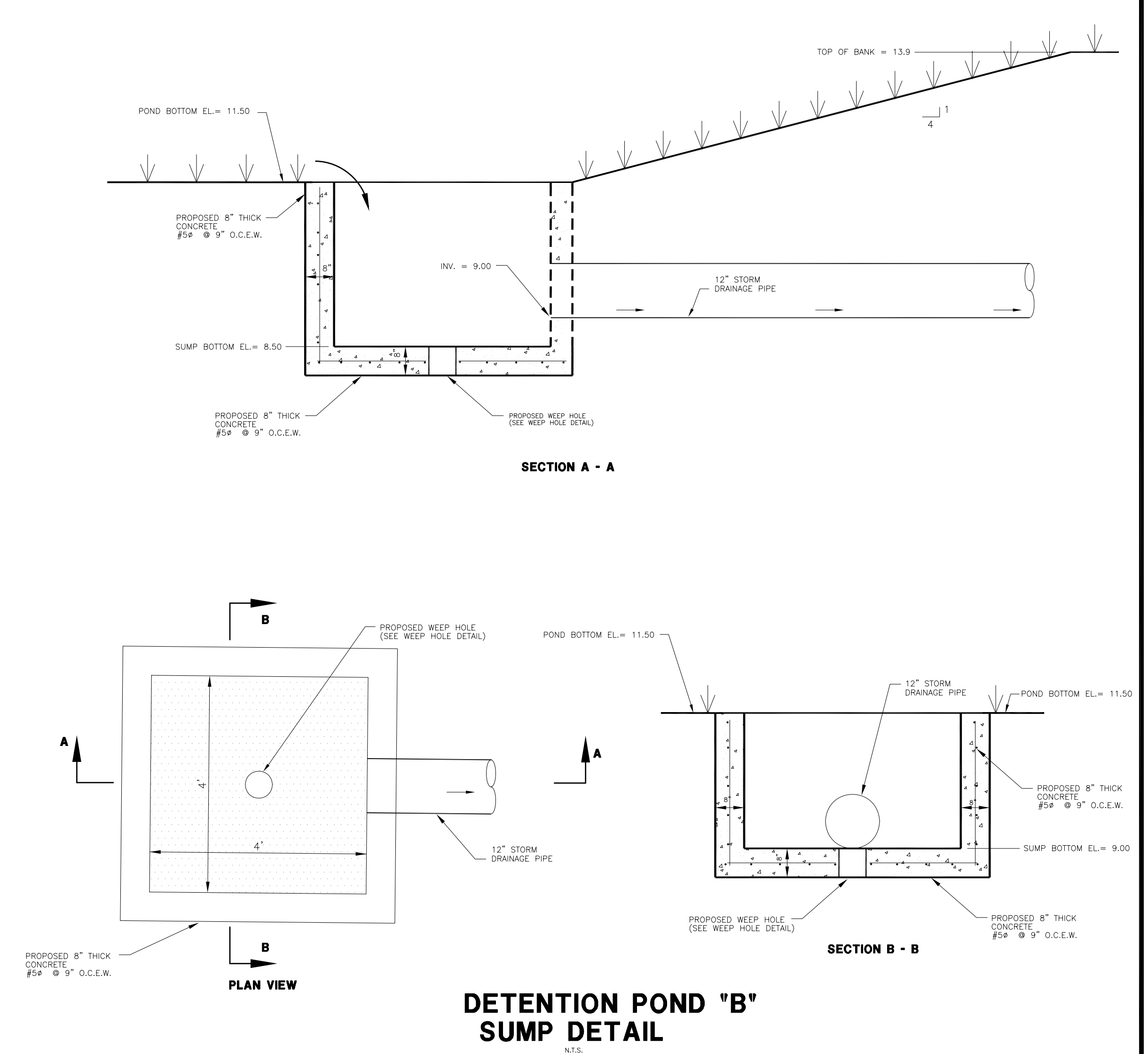
Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum Water Main
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum Water Main
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum Water Main
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

(1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
 (2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
 (3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
 (4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.

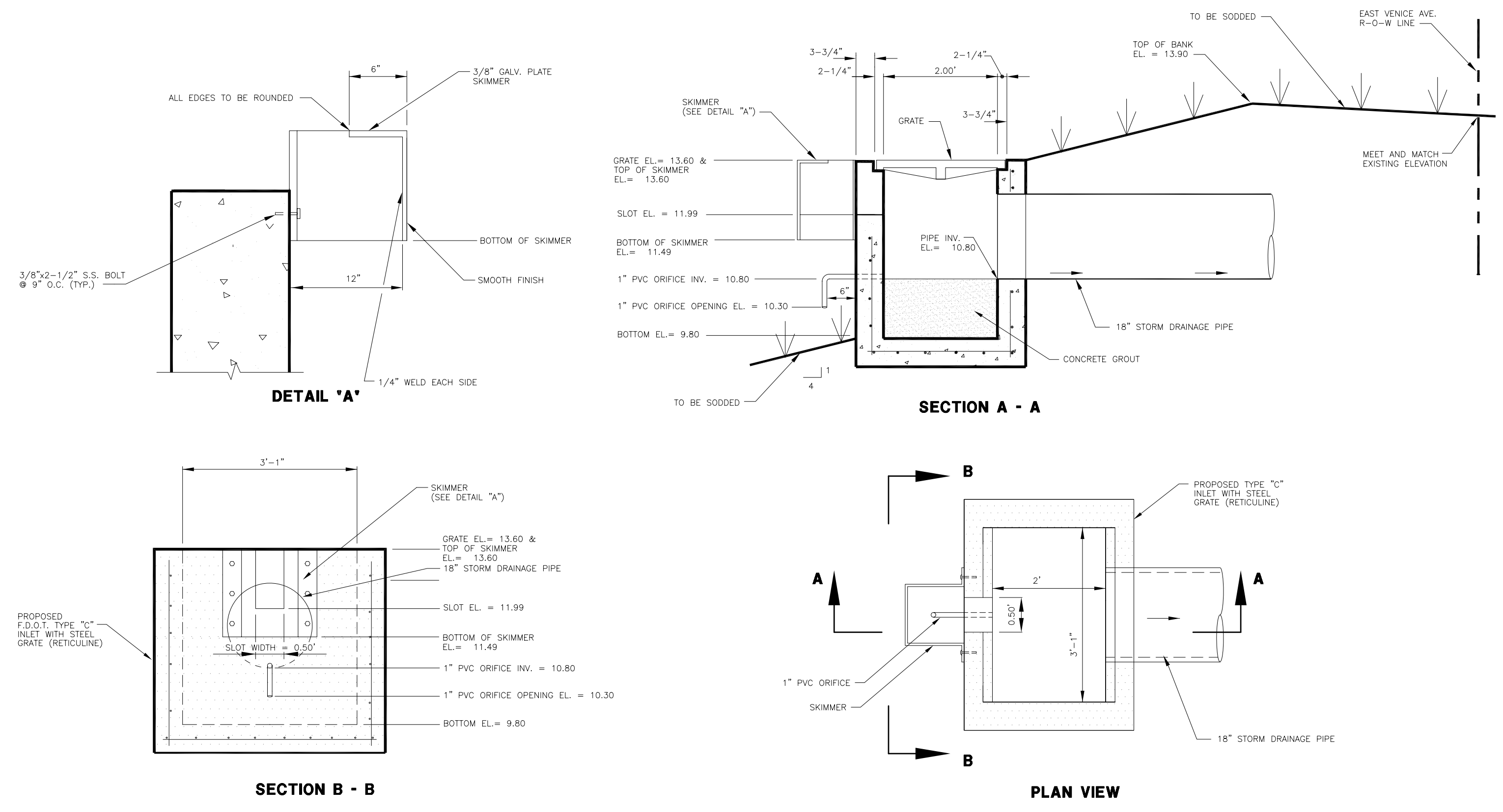


POND B OUTFALL STRUCTURE B2 DETAIL

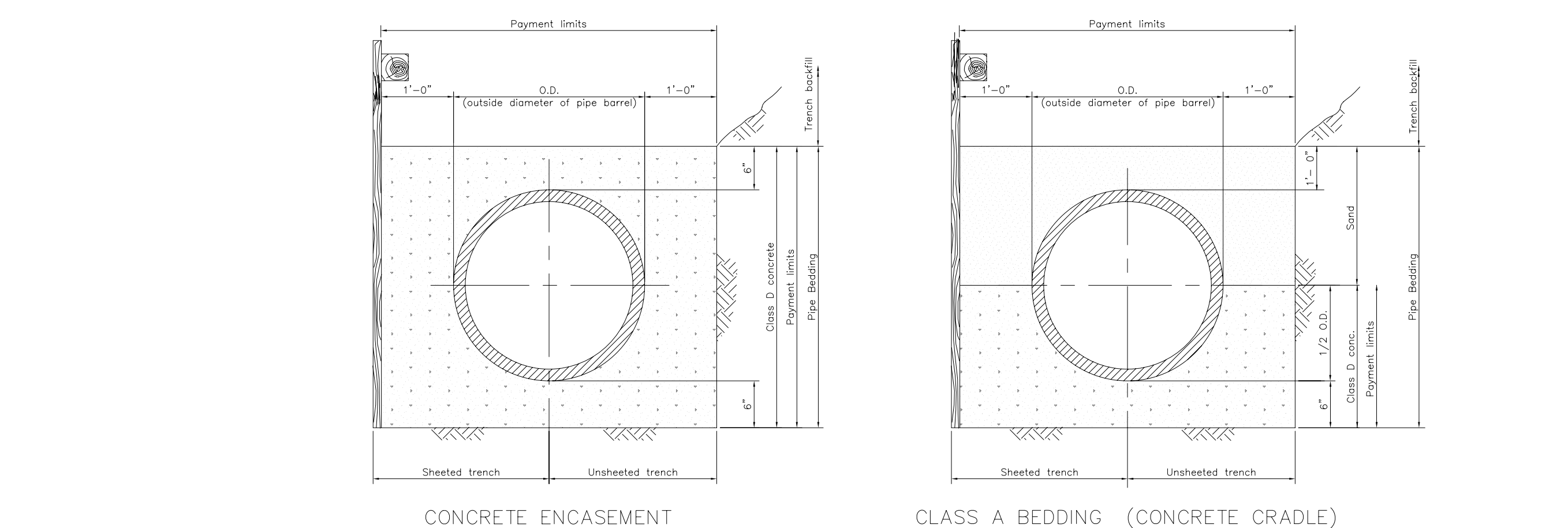


DETENTION POND 'B' SUMP DETAIL

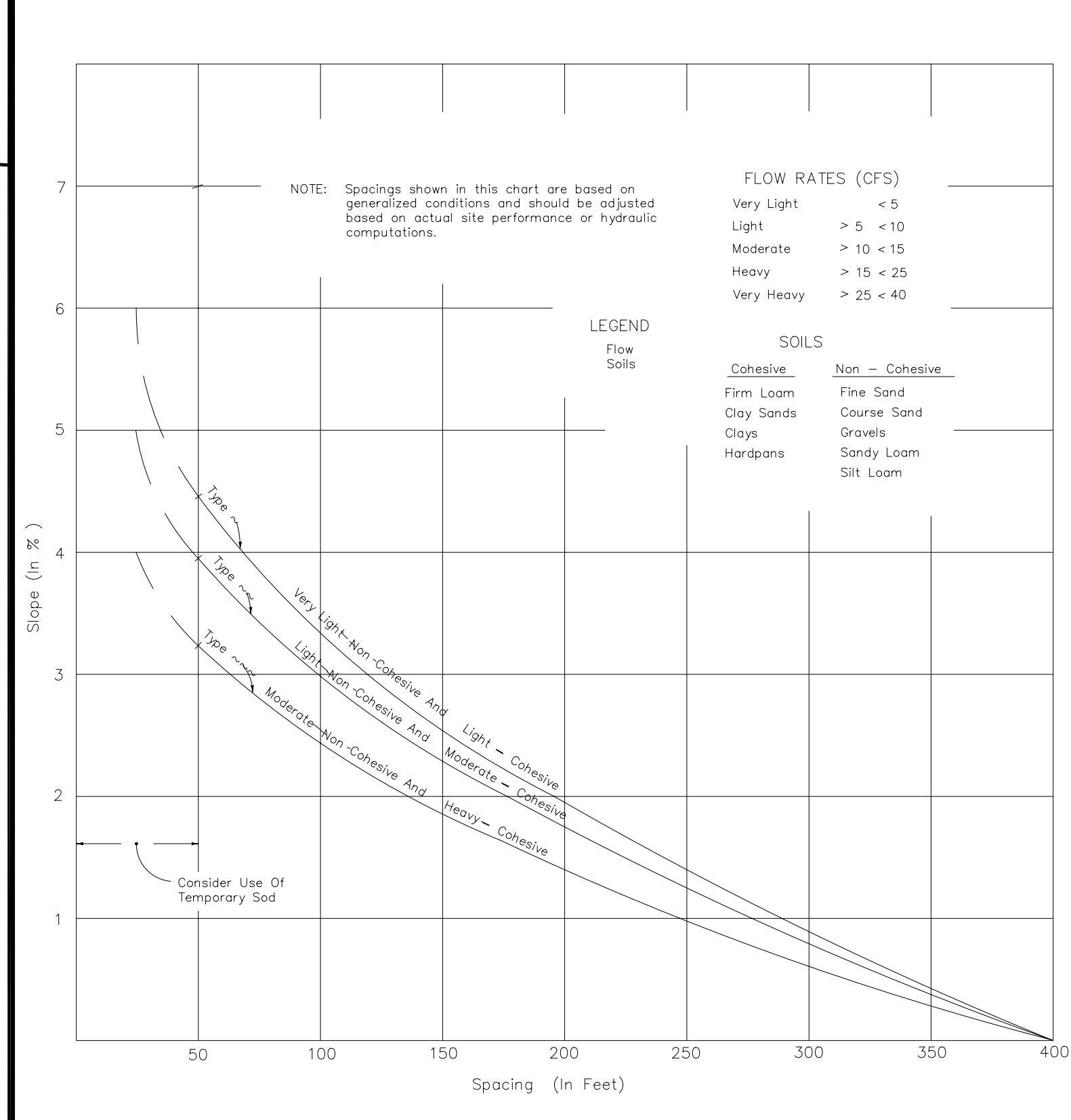
CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	PROJECT NAME: SEC. 9 TWP. 39S RING. 19E CASSATA PLACE PAVING, GRADING AND DRAINAGE DETAILS	PROJECT NUMBER 18-2352 SCALE N.T.S.	NO. DATE BY REVISIONS	DESIGNED BY: PVS DRAWN BY: SAG	CHECKED BY: PVS DATE: 8-3-18	SHEET NUMBER 21
<p>©2018 by Professional Engineering Resources, Inc. All Rights Reserved. The arrangements depicted herein are the sole property of Professional Engineering Resources, Inc. and may not be reproduced in any form without its written permission.</p>				<p>PEER PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207 CERTIFICATE OF AUTHORIZATION NUMBER: 4401</p>		<p>DRAWING TYPE</p> <p><input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD</p> <p>APPROVED PAUL V. SHERMA, REG. NO. 35628</p>



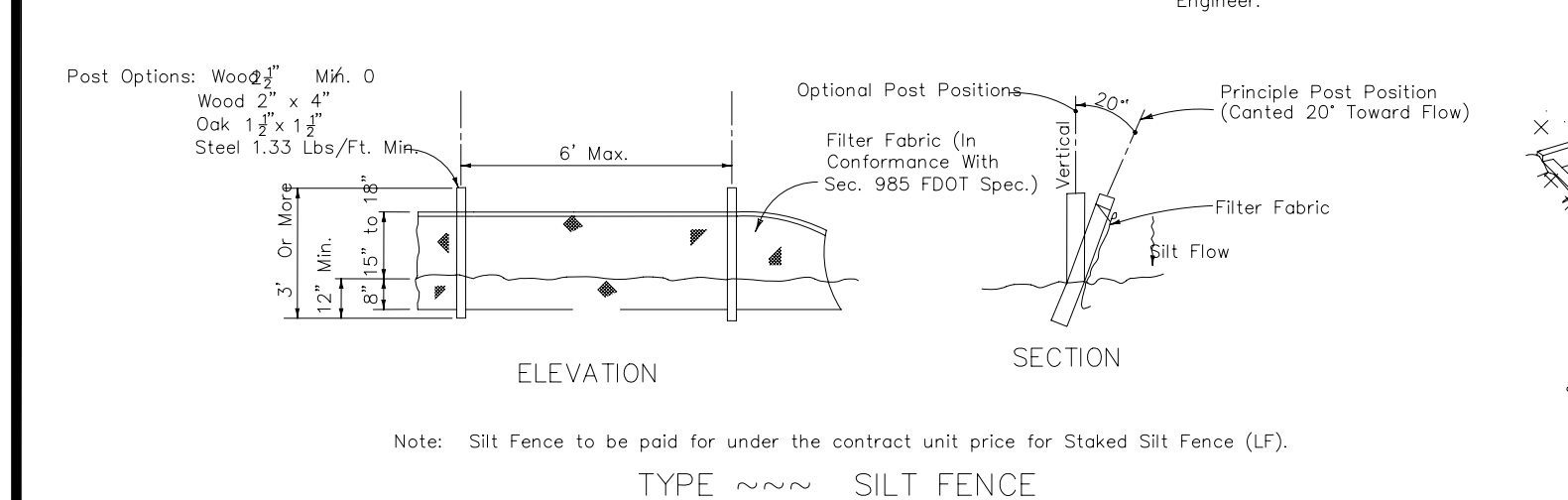
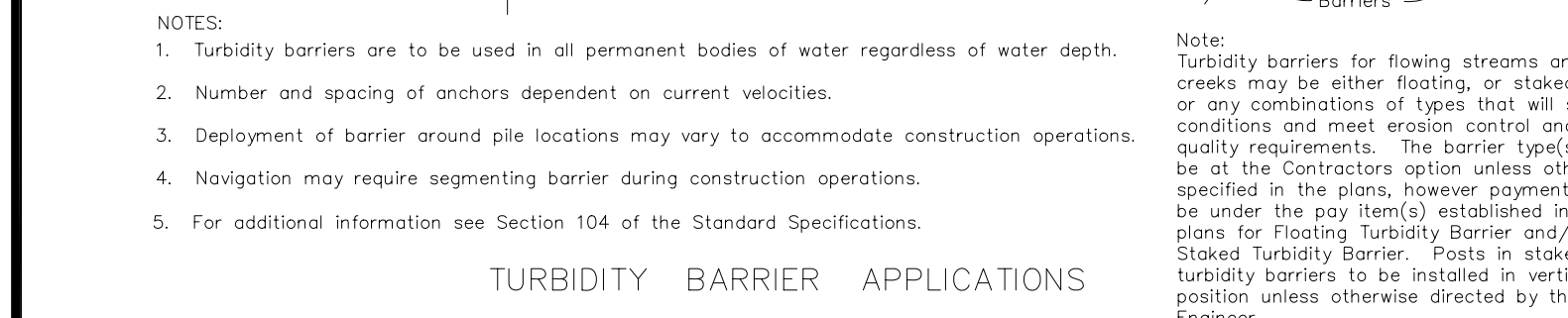
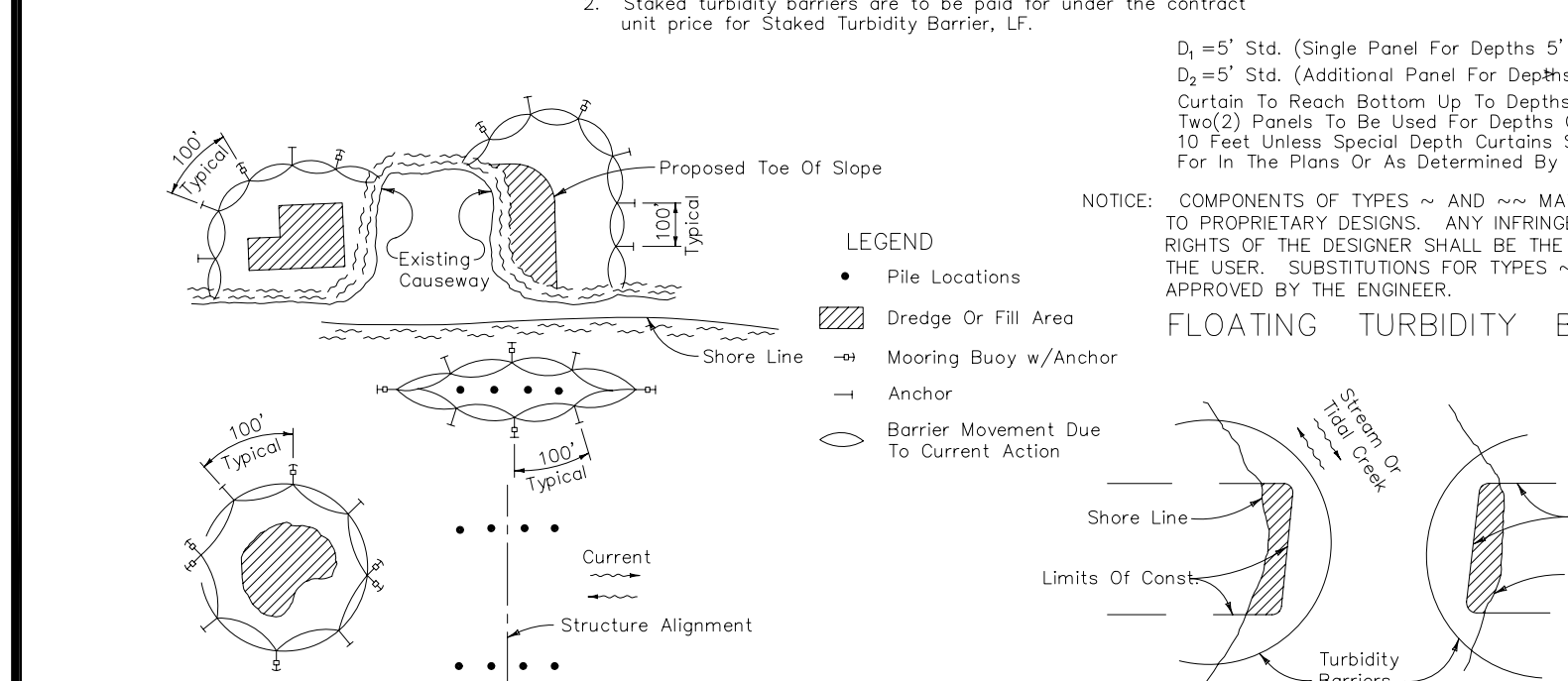
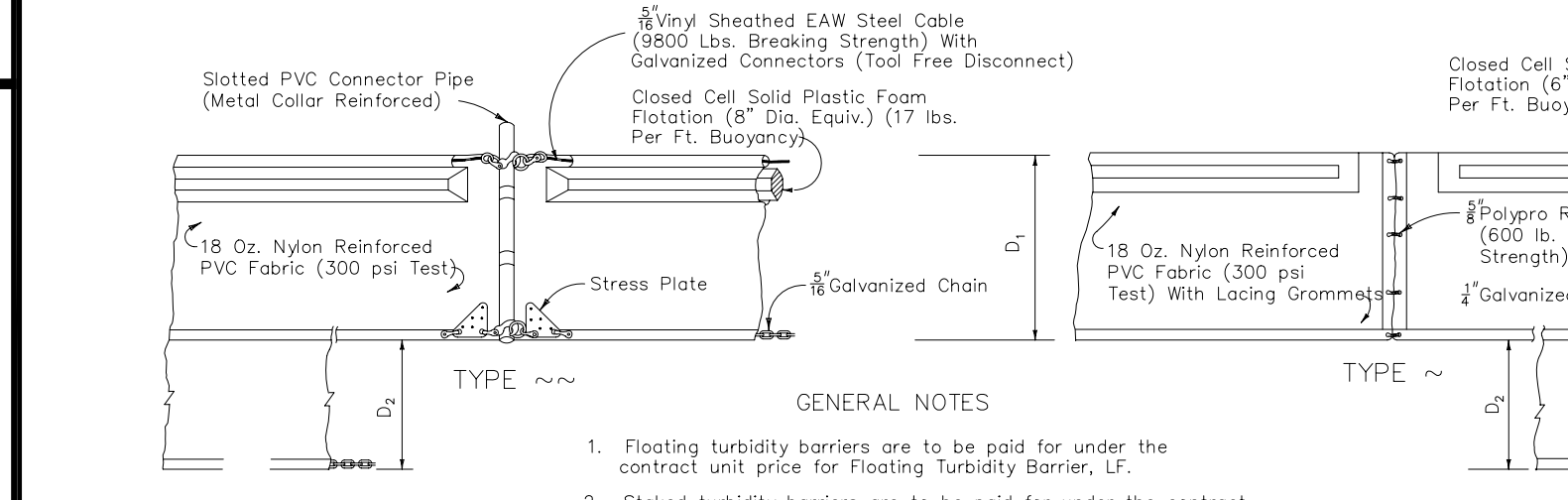
**DETENTION POND 'A'
OUTFALL STRUCTURE DETAIL**



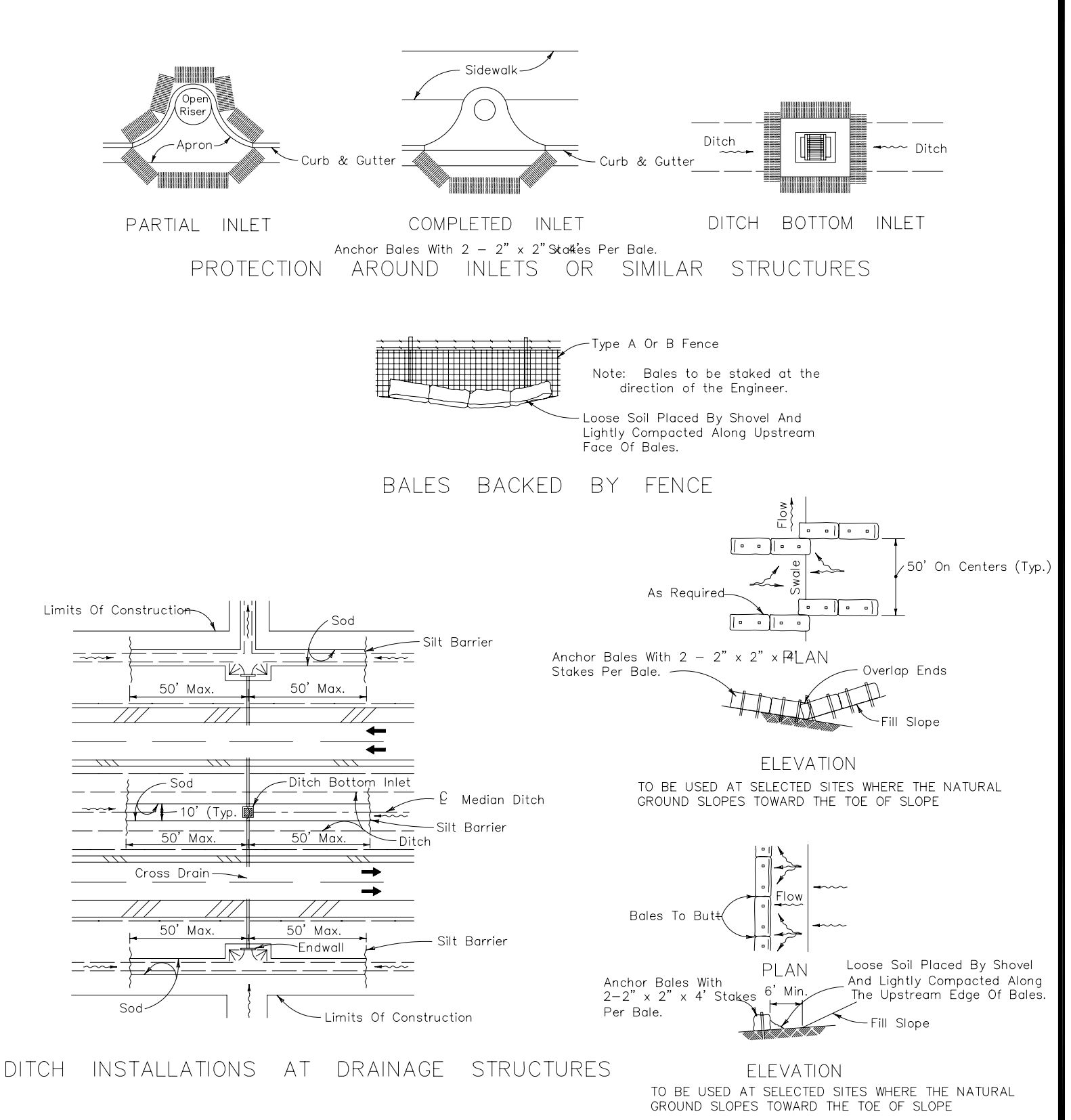
PIPE BEDDING DETAILS



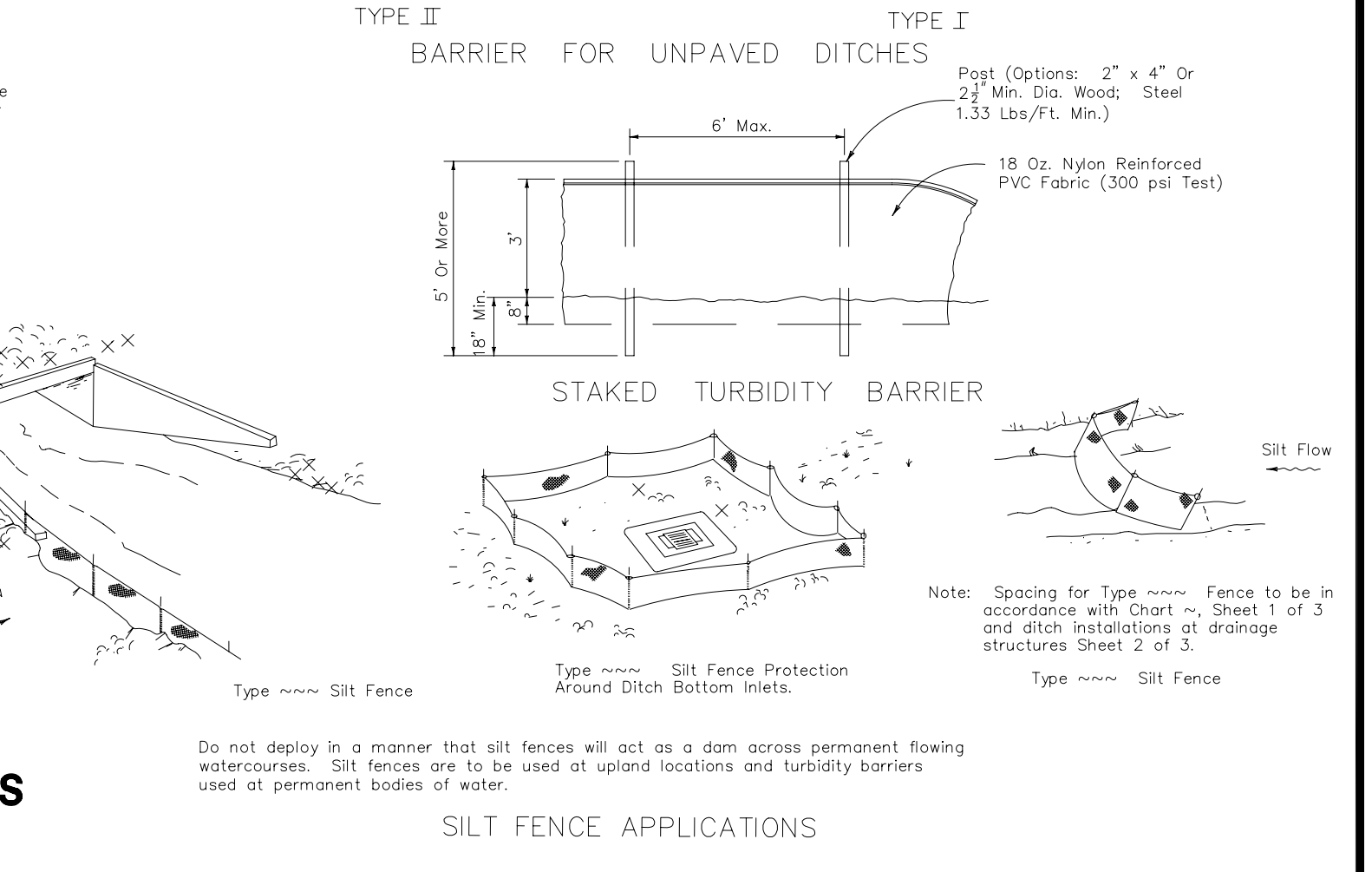
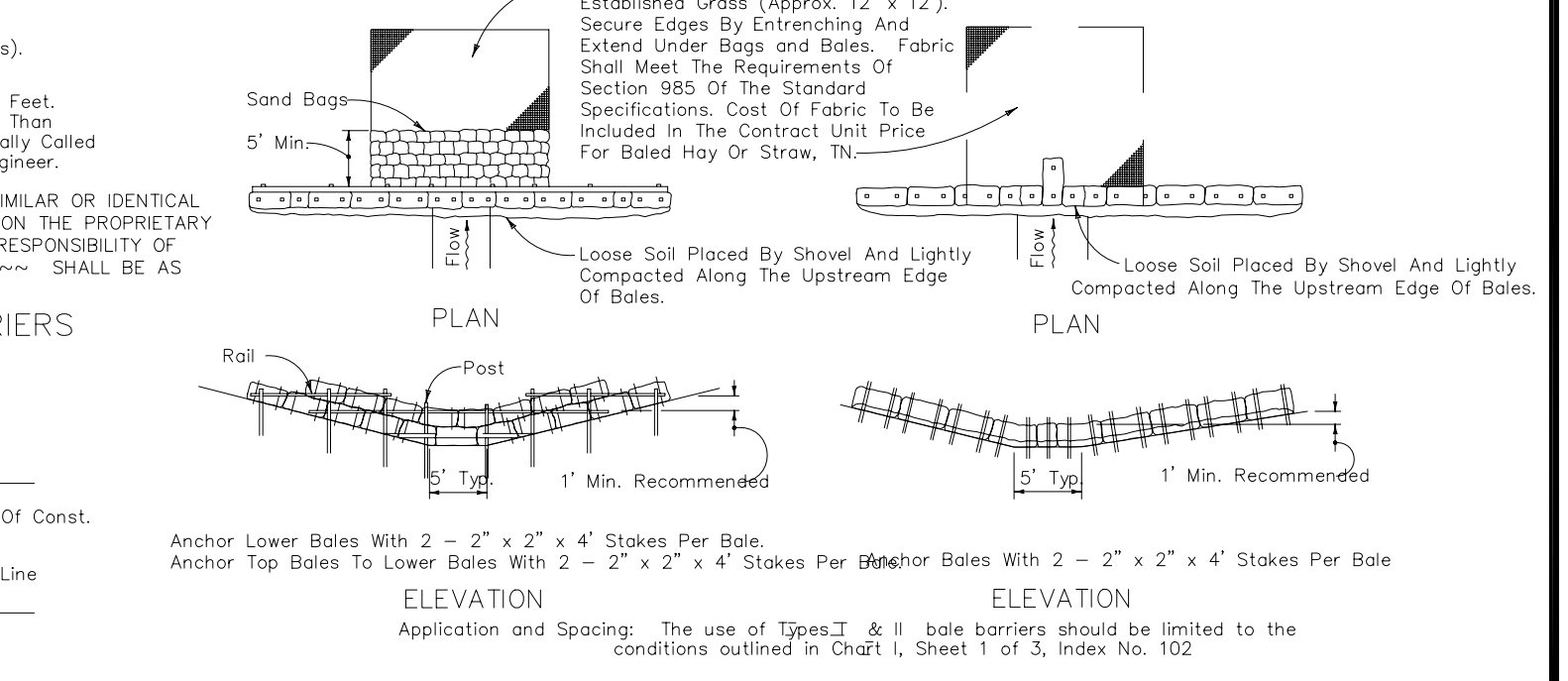
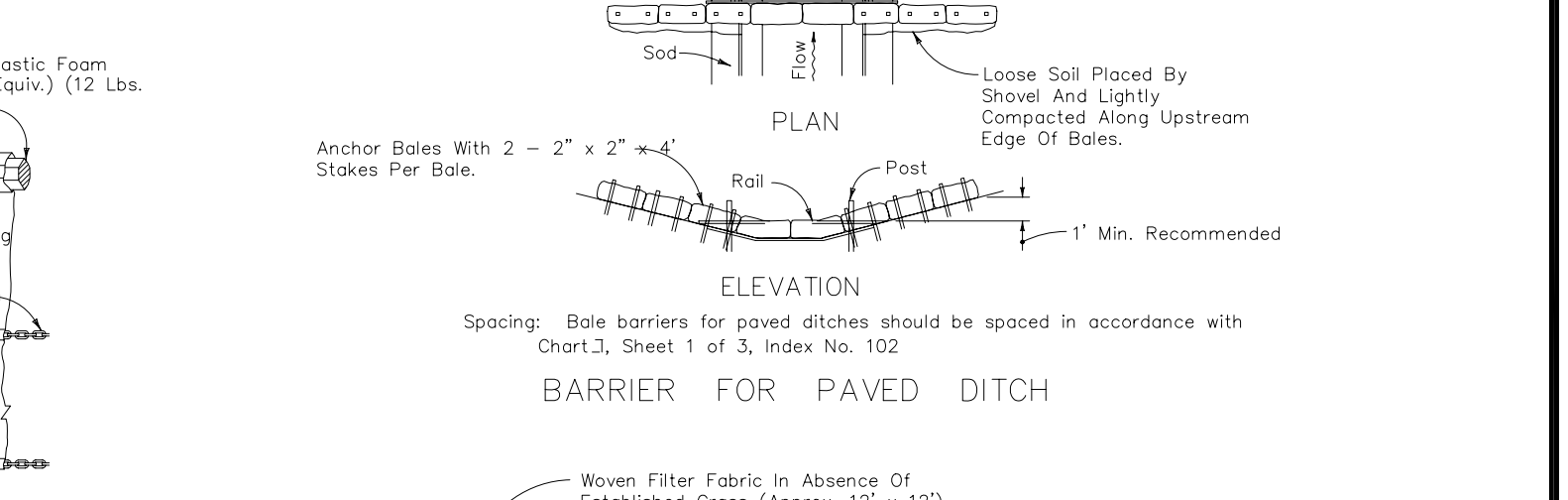
**CHART ~
AND TYPE ~ ~ HAY BALE BARRIERS, AND TYPE ~ ~ ~ SILT FENCES**



TUBIDITY BARRIERS

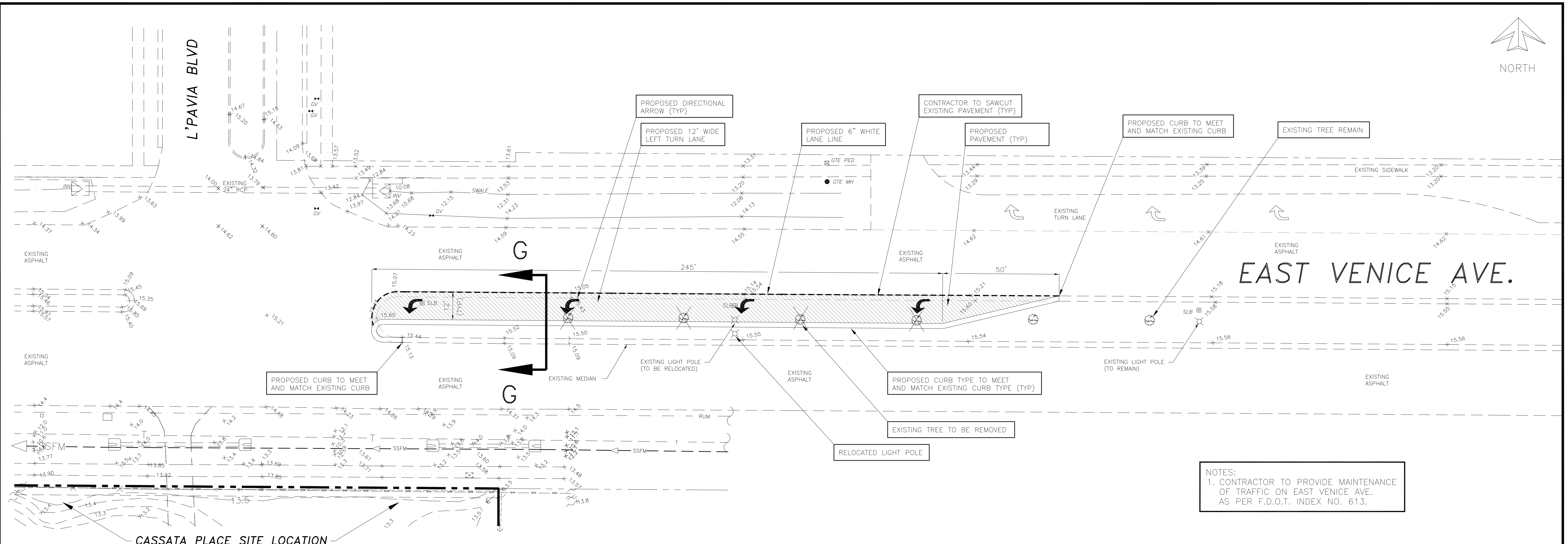
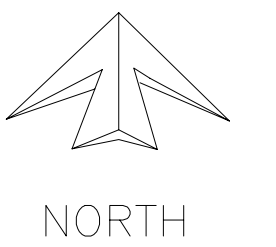


PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



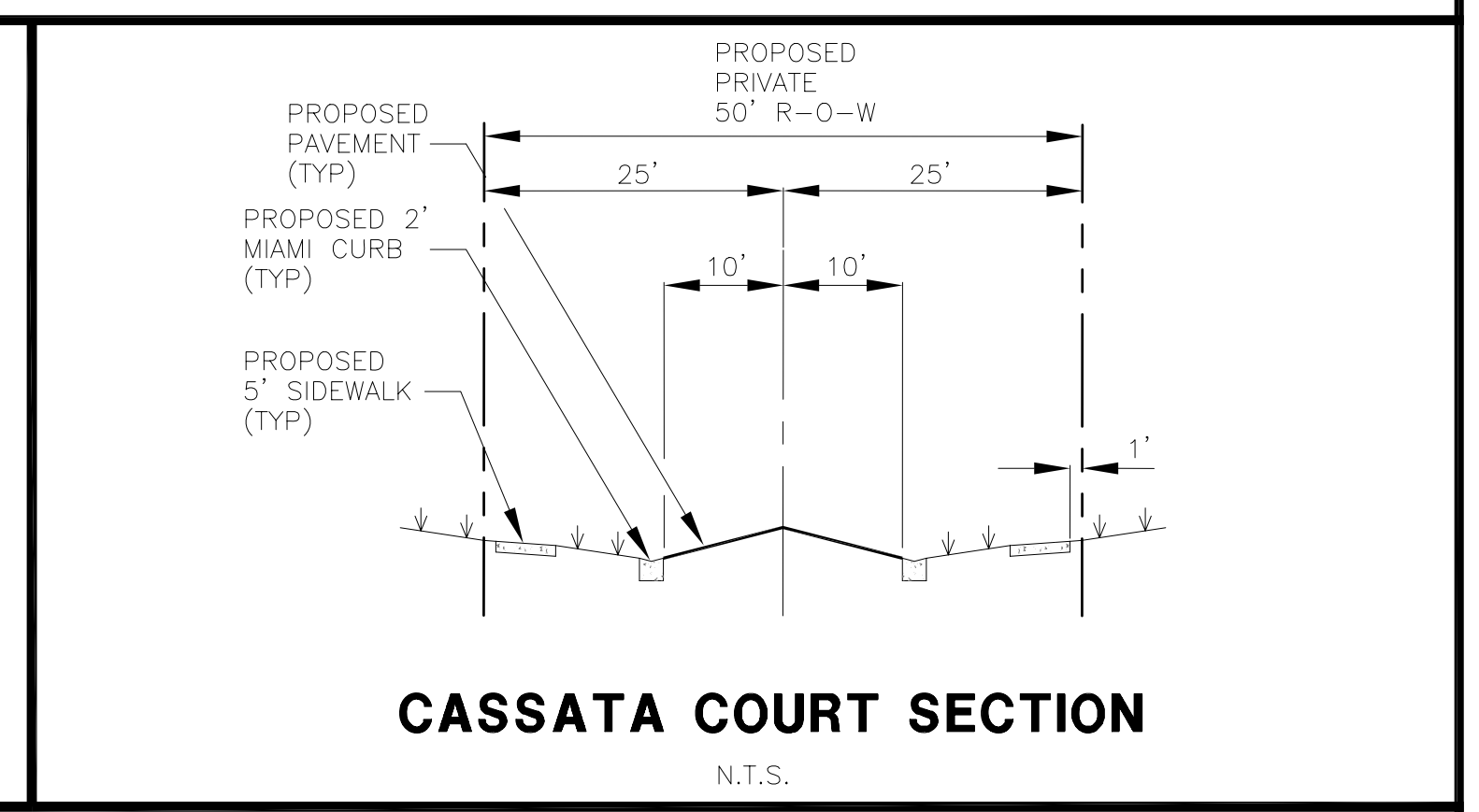
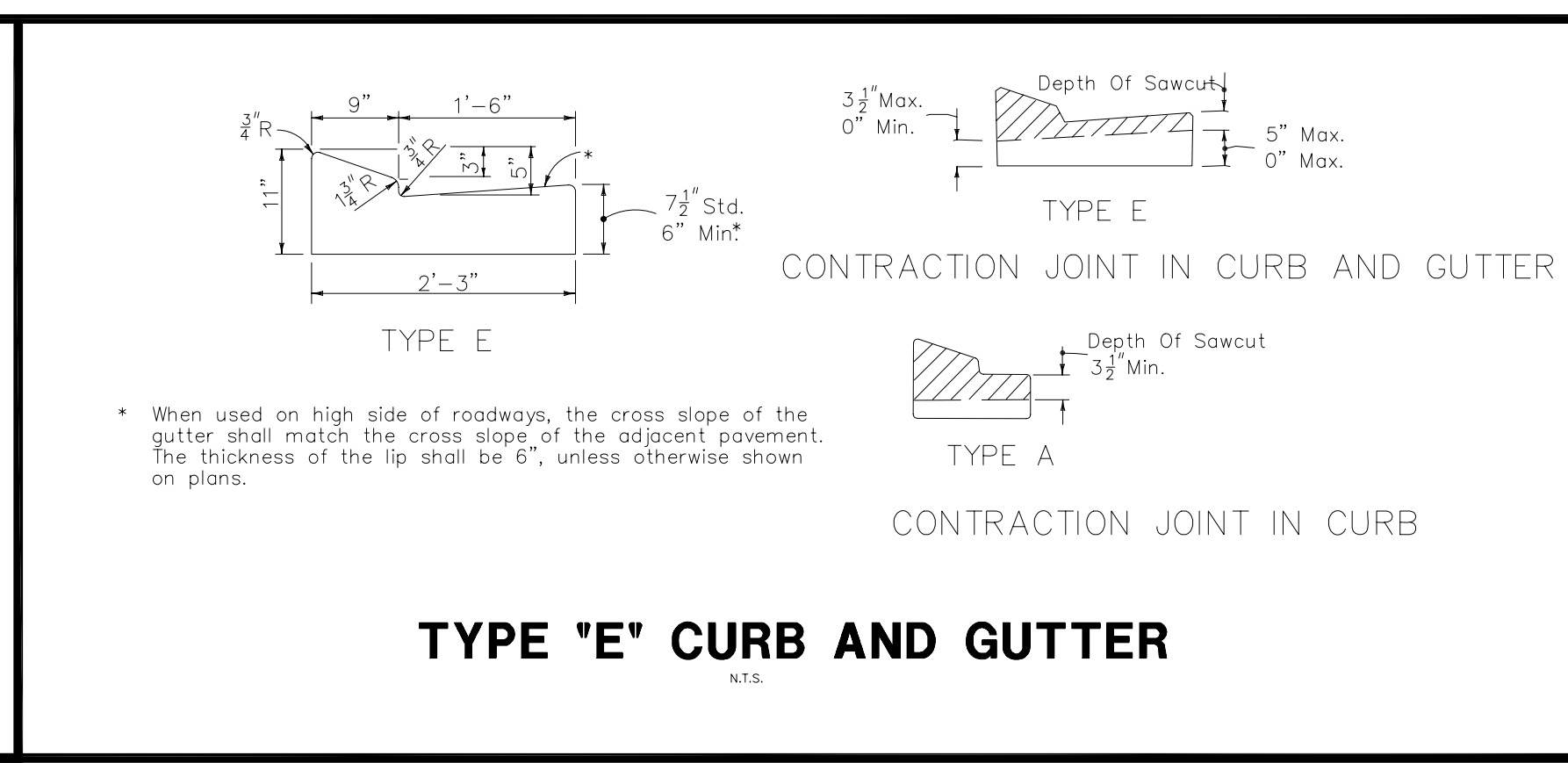
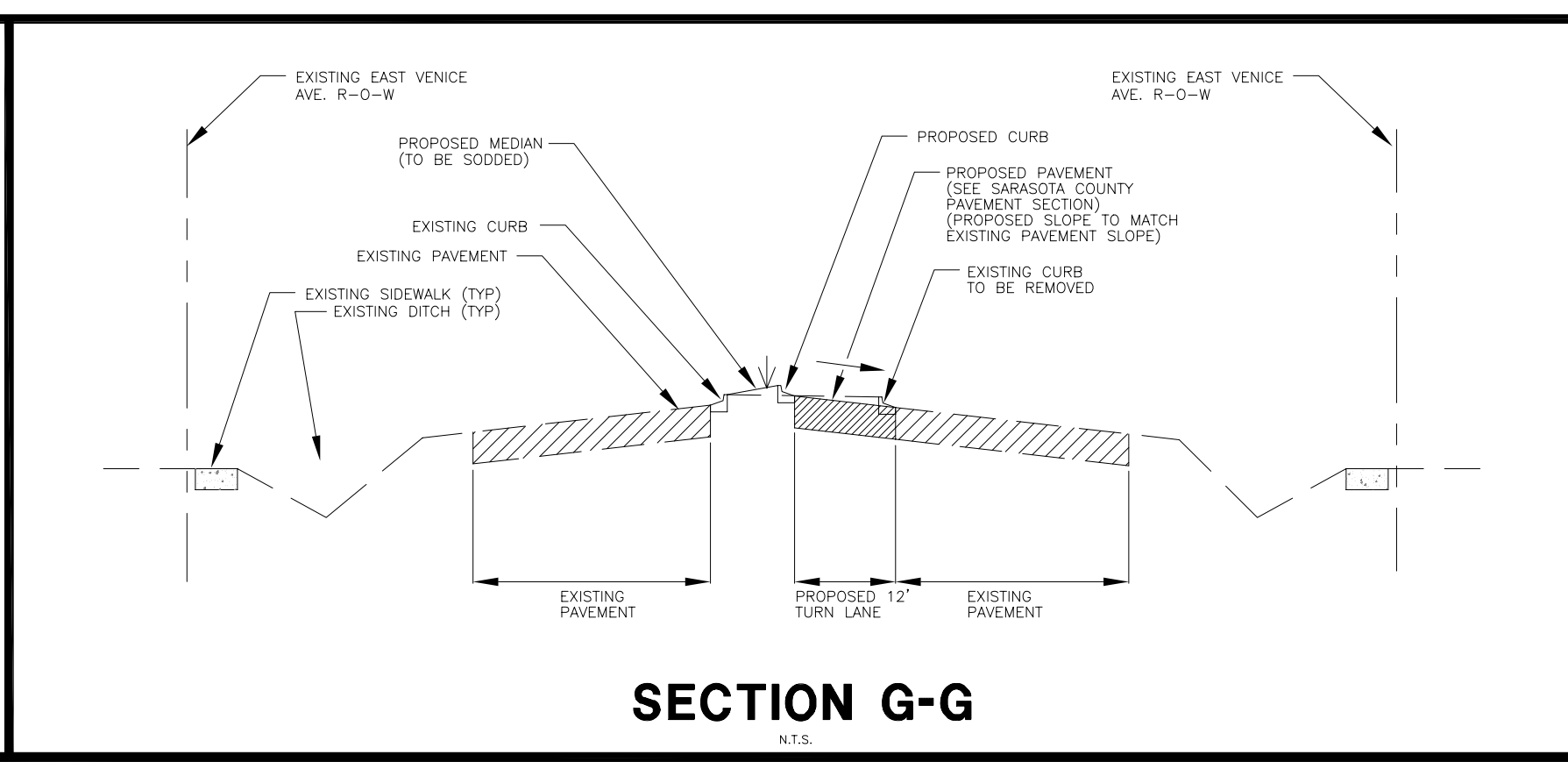
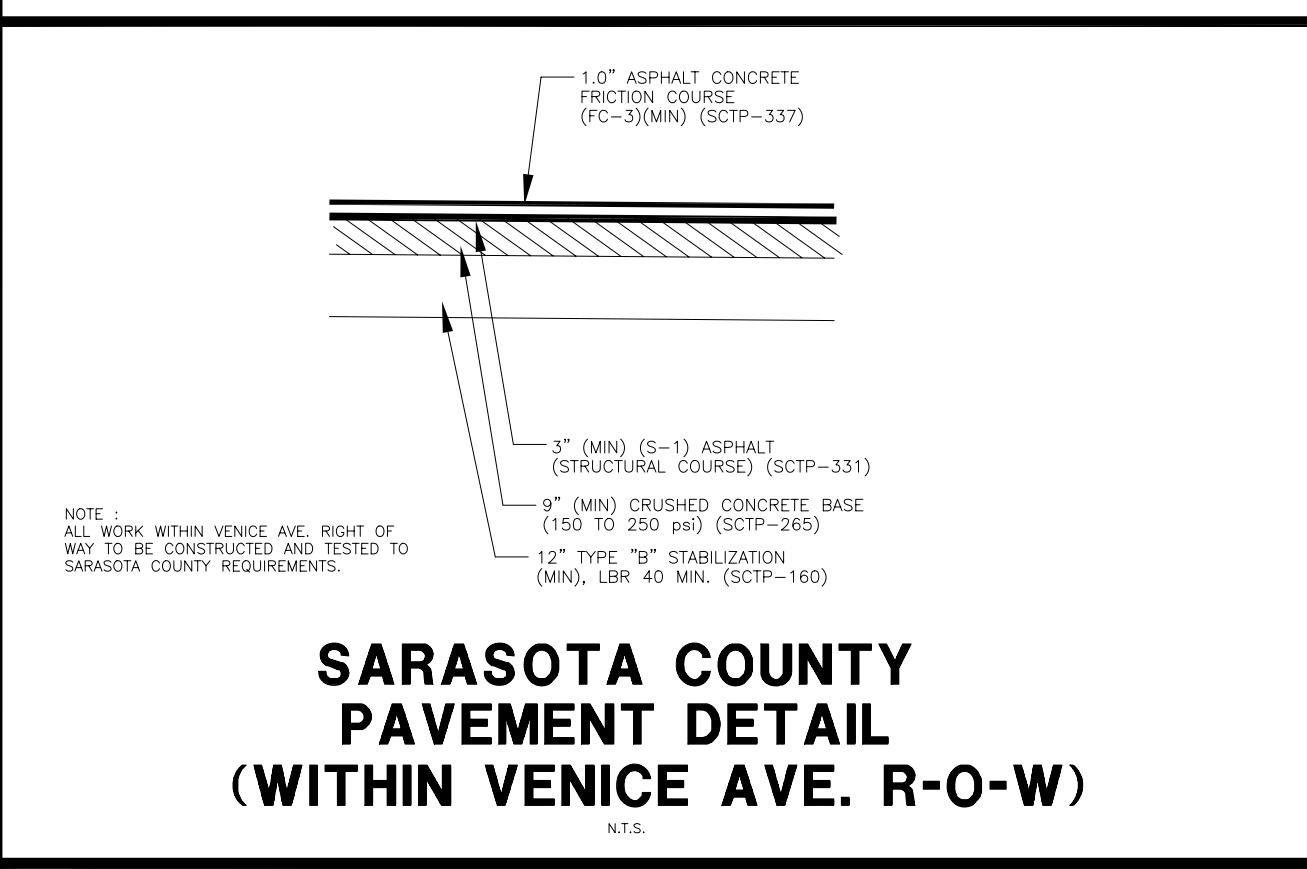
SILT FENCE APPLICATIONS

CLIENT:	PROJECT NAME:	SEC. 9 TWP. 39S RNG. 19E	PROJECT NUMBER:	NO. DATE BY	REVISIONS	DESIGNED BY: PVS	CHECKED BY: PVS	DRAWN BY: SAG	DATE: 8-3-18	SHEET NUMBER:
MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	CASSATA PLACE PAVING, GRADING AND DRAINAGE DETAILS		18-2352			PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628				22
			SCALE			THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, PE. ON THE DATE SHOWN AT THE SEAL USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-23-18.	APPROVED			
			N.T.S.			PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTOWN ROAD, SUITE 4D LARGO, FL. 33771 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207 CERTIFICATE OF AUTHORIZATION NUMBER: 4401	PRELIMINARY CONSTRUCTION RECORD			

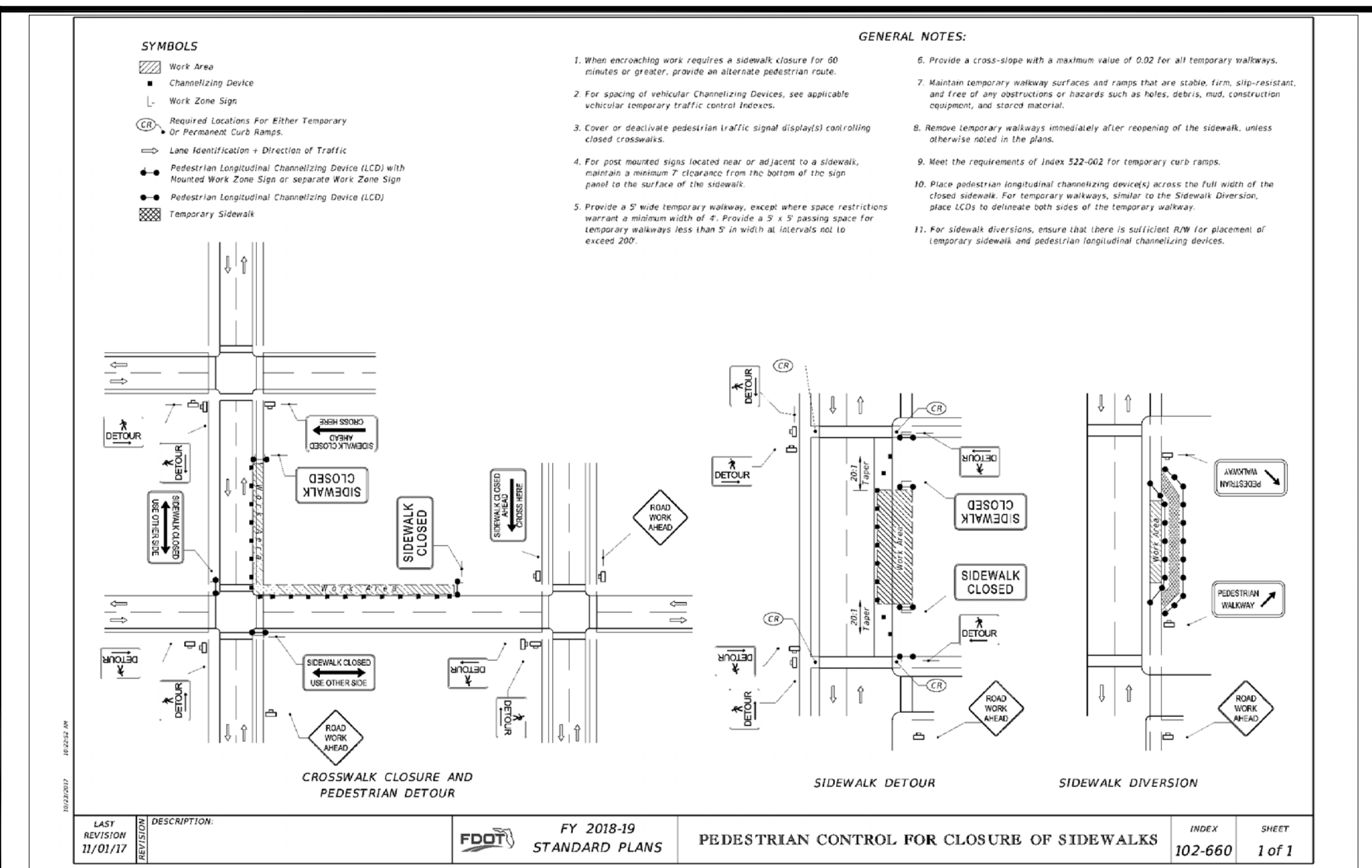
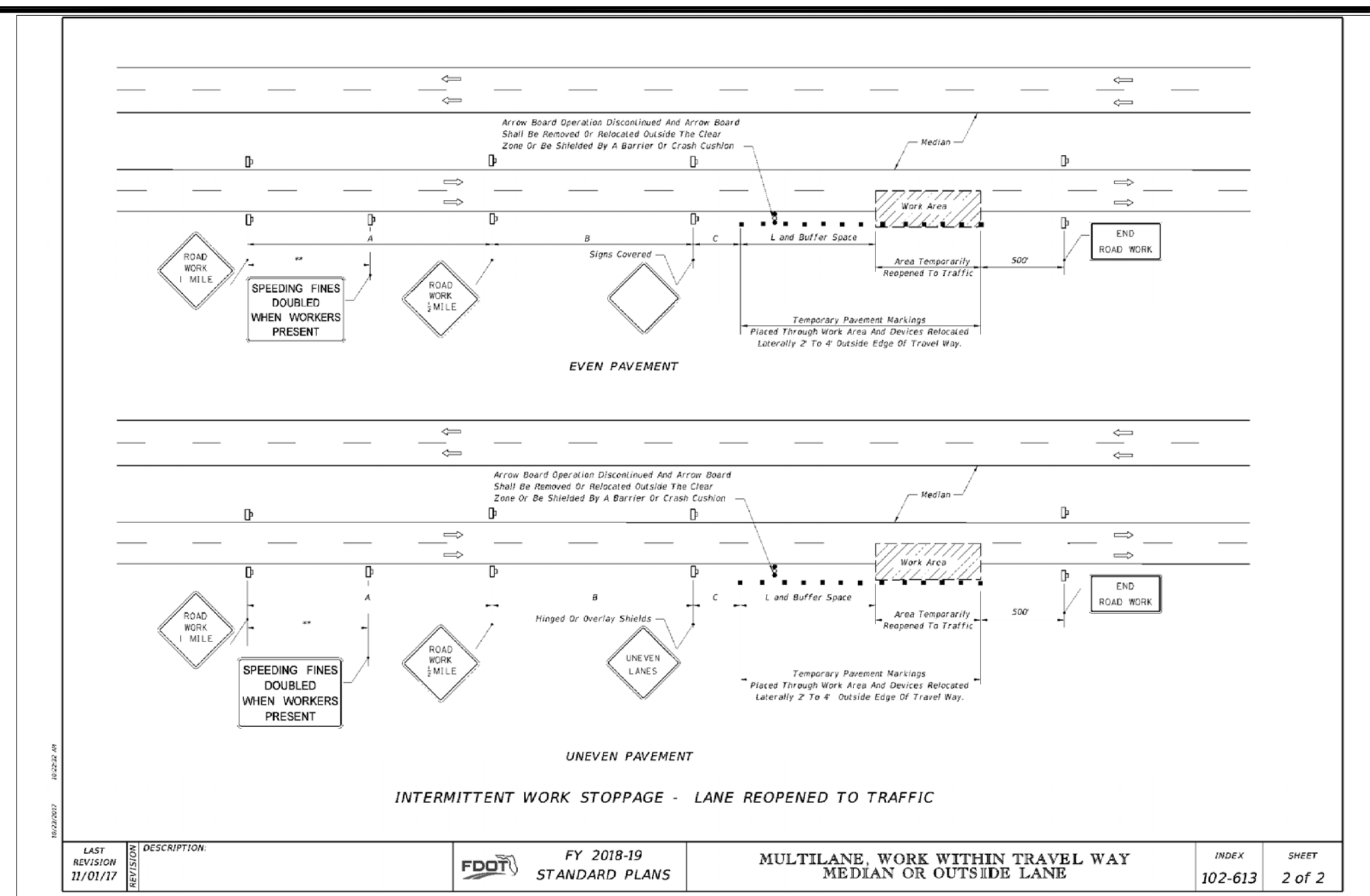
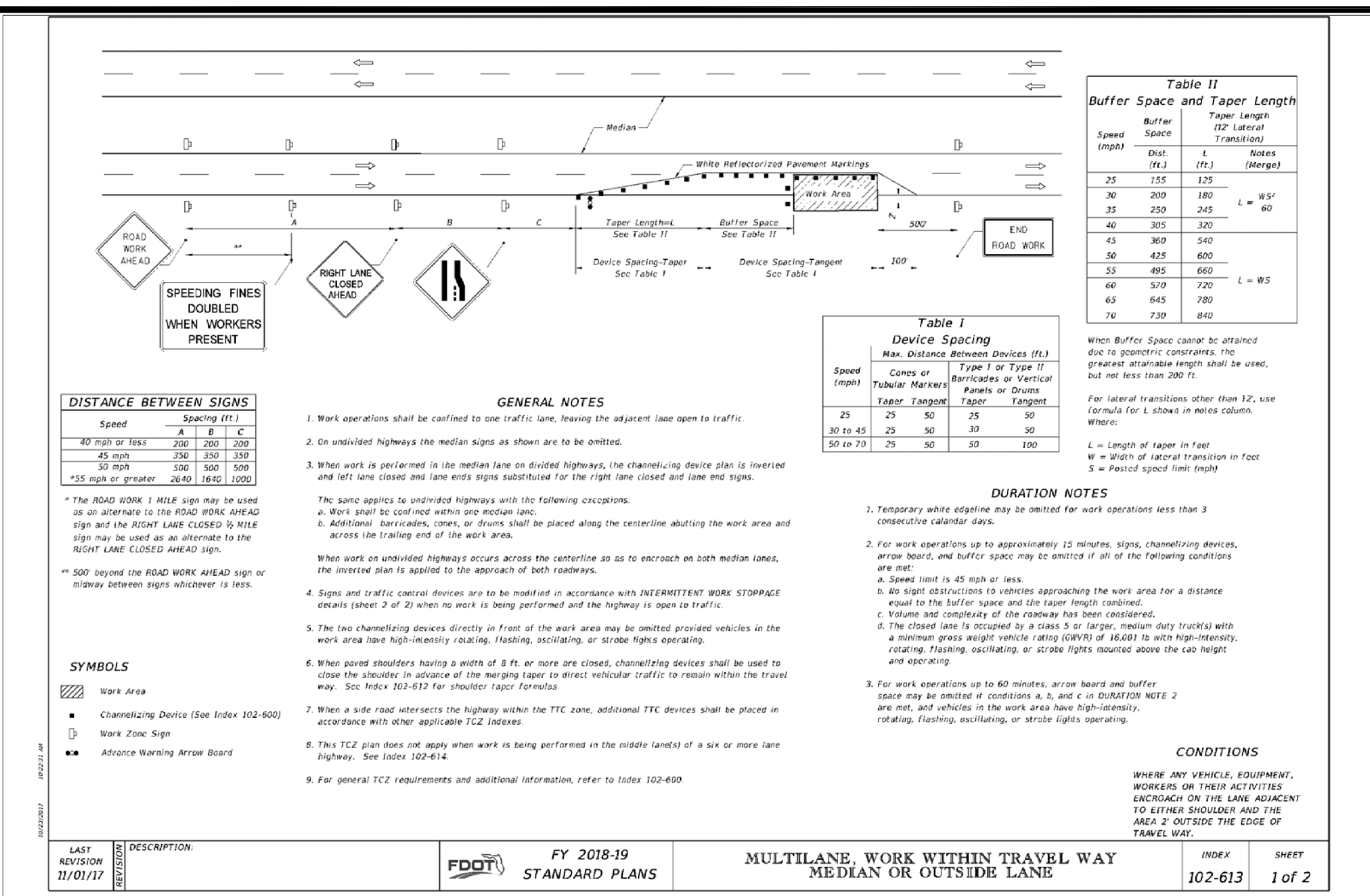


NOTES:
 1. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC ON EAST VENICE AVE. AS PER F.D.O.T. INDEX NO. 613.

PROPOSED LEFT TURN LANE DETAIL
 1" = 20'



CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	PROJECT NAME: CASSATA PLACE PAVING, GRADING AND DRAINAGE DETAILS	PROJECT NUMBER 18-2352	NO. DATE BY REVISIONS 1 12-5-18 SAG REVISE PLAN AS PER CITY COMMENTS	©2018 by Professional Engineering Resources, Inc. All Rights Reserved. The arrangements depicted herein are the sole property of Professional Engineering Resources, Inc. and may not be reproduced in any form without its written permission.	PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTON ROAD, SUITE 4D LARGO, FL. 33771 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207 CERTIFICATE OF AUTHORIZATION NUMBER: 4401	DRAWING TYPE <input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD	DESIGNED BY: PVS CHECKED BY: PVS DRAWN BY: SAG DATE: 8-3-18 PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628	SHEET NUMBER 23
		SCALE N.T.S.	APPROVED PAUL V. SHERMA, REG. NO. 35628					



CLIENT: MPS DEVELOPMENT AND CONSTRUCTION, LLC 333 S. TAMiami TRAIL, SUITE 205 VENICE, FL. 34285	PROJECT NAME: SEC. 9 TWP. 39S RNG. 19E CASSATA PLACE PAVING, GRADING AND DRAINAGE DETAILS	PROJECT NO. DATE BY REVISIONS 18-2352 SCALE N.T.S.	©2018 by Professional Engineering Resources, Inc. All Rights Reserved. The arrangements depicted herein are the sole property of Professional Engineering Resources, Inc. and may not be reproduced in any form without its written permission.	PROFESSIONAL ENGINEERING RESOURCES, INC. 10225 ULMERTOWN ROAD, SUITE 4D LARGO, FL. 33771 CIVIL ENGINEERS, PLANNERS, PERMIT EXPEDITORS (727) 408-5207 CERTIFICATE OF AUTHORIZATION NUMBER: 4401	DRAWING TYPE <input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD	DESIGNED BY: PVS DRAWN BY: SAG PAUL V. SHERMA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 35628	CHECKED BY: PVS DATE: 8-3-18 THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PAUL V. SHERMA, P.E. ON THE DATE ADJACENT TO THE SEAL USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. 10-26-16.	SHEET NUMBER 24
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