

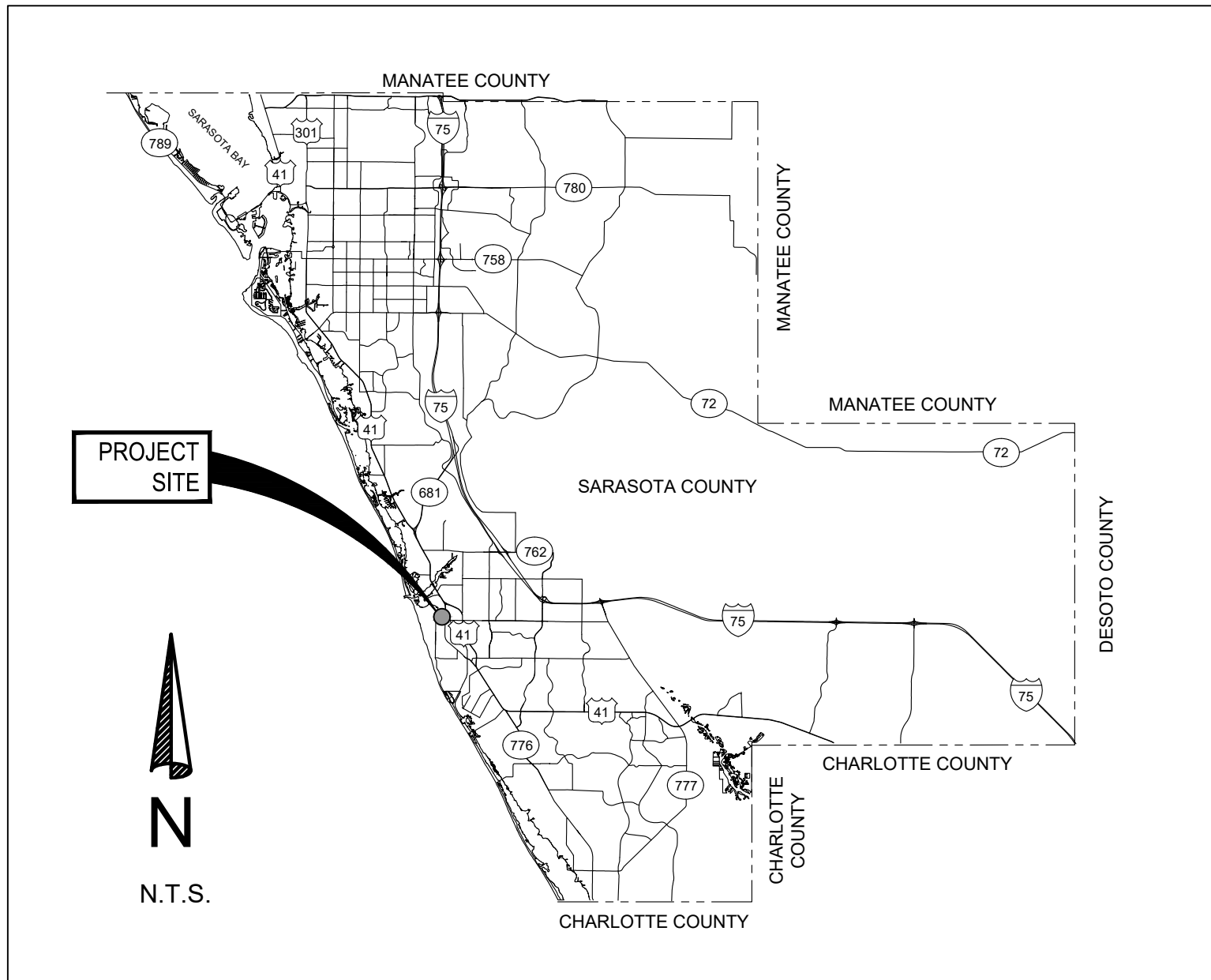
SITE & DEVELOPMENT PLANS / CONSTRUCTION PLANS FOR

VENICE THEATRE
FLY-LOFT REBUILD
SECTION 07, TWP. 39 S., RGE. 19 E.
SARASOTA COUNTY, FL
FOR
VENICE THEATRE, INC.
140 TAMPA AVENUE WEST
VENICE, FL 34285
(941) 488-1115

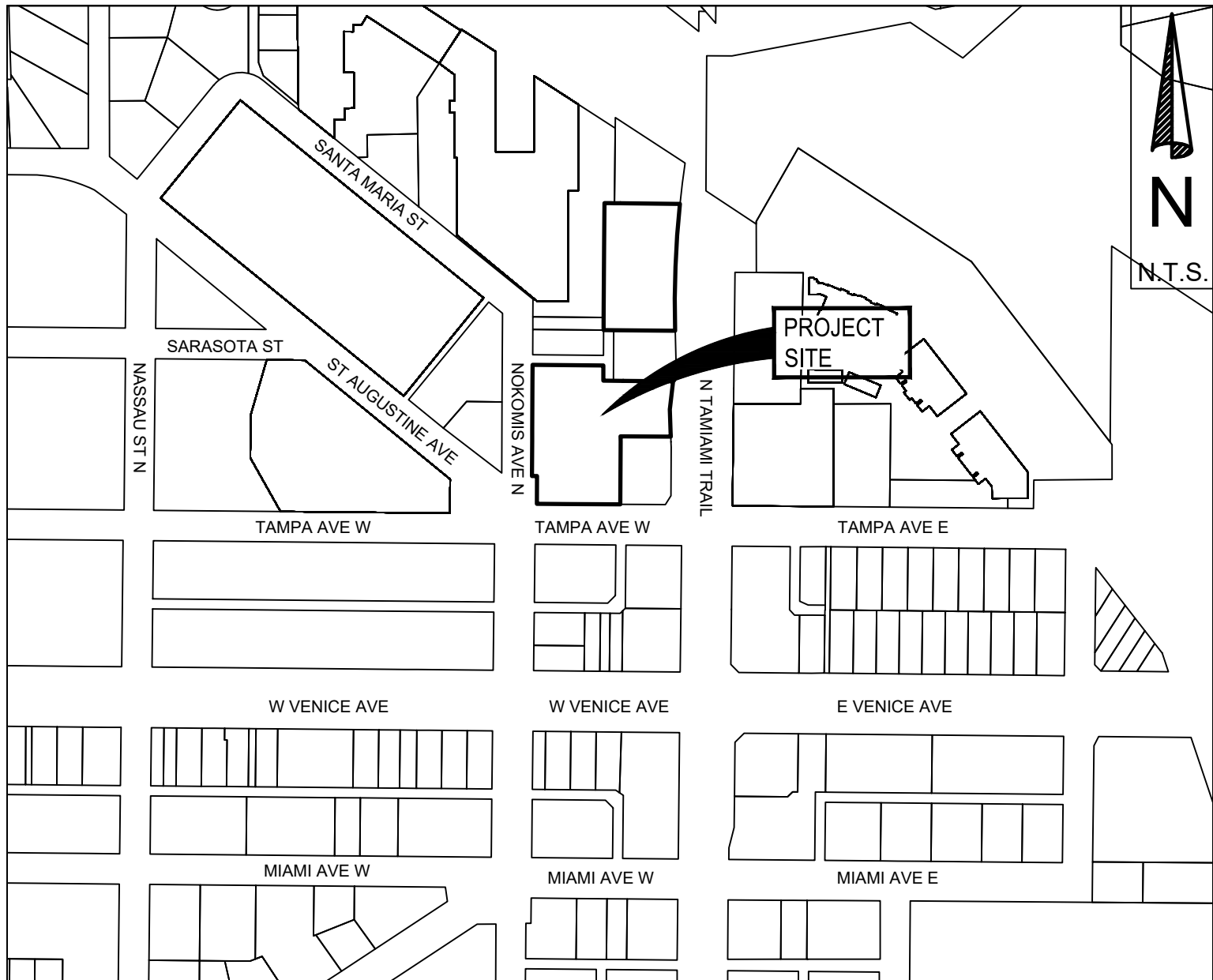
NOTES

1. TOTAL PROPERTY BOUNDARY AREA: 2.13± AC (92,829 S.F.)
PARCEL ID: 0407140030 = 1.31± AC (56,974 S.F.)
PARCEL ID: 0407112001 = 0.82± AC (35,855 S.F.)
2. BOUNDARY DATA SHOWN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE SITE HAS BEEN PREVIOUSLY DEVELOPED AND IS CURRENTLY UTILIZED AS A COMMUNITY THEATER. THE PROPOSED PROJECT WILL CONSIST OF REBUILDING AND EXPANDING THE FLY-LOFT TO THE EXISTING THEATER'S STAGE, LABELED BUILDING 1.
4. PRESENT PROPERTY ZONING IS VENICE AVENUE (VA) FOR THE SOUTH PARCEL AND DOWNTOWN EDGE (DE) FOR THE NORTH PARCEL. THE SOUTH PARCEL IS CURRENTLY BEING REZONED TO DOWNTOWN EDGE (DE). BUILDING 2 & BUILDING 3 ARE WITHIN THE VENETIAN THEME ACD. BUILDING 1 IS WITHIN THE HISTORIC VENICE ACD.
5. THIS SITE IS LOCATED WITHIN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AND ZONE AE (BFE = 10.00') AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 12115C0327F, EFFECTIVE NOVEMBER 4, 2016.
6. THE EXISTING UTILITY INFRASTRUCTURE DEPICTED ON THE PLANS IS BASED ON A COMBINATION OF TOPOGRAPHIC SURVEY DATA, RECORD DRAWINGS, AND CITY OF VENICE UTILITY GIS DATA.
7. ACCESS TO THE SITE WILL BE FROM THE ADJACENT NOKOMIS AVENUE WHICH IS AN EXISTING 60 FOOT WIDTH PUBLIC RIGHT-OF-WAY. ALL KNOWN EXISTING EASEMENTS ARE SHOWN ON THE PLANS AND SURVEY.
8. THERE ARE NO KNOWN EXISTING COVENANTS OR DEED RESTRICTIONS WHICH WOULD AT THIS TIME AFFECT THE PROPOSED PROJECT.
9. THIS PROJECT HAS BEEN DESIGNED TO PROVIDE REASONABLE ASSURANCE THAT ALL APPLICABLE PERMITS CAN BE OBTAINED.
10. CONSTRUCTION SCHEDULE:
APPROXIMATE START DATE: JULY 2023
APPROXIMATE END DATE: JULY 2025
11. TOPOGRAPHY IS COMPILED FROM FIELD INFORMATION OBTAINED BY STRAYER SURVEYING & MAPPING, INC. ALL EXISTING AND PROPOSED ELEVATIONS ARE IN NAVD88.
12. THERE IS NO NEW PARKING LOT LIGHTING PROPOSED WITH THIS PROJECT.
13. ALL COMMON IMPROVEMENTS AND OPEN SPACE WITHIN THE PROJECT SITE WILL BE MAINTAINED BY THE PROPERTY OWNER OR THEIR ASSIGNEES.
14. THERE ARE NO EXISTING WETLANDS ON-SITE.
15. THERE ARE NO KNOWN WELLS ON-SITE. THERE IS AN EXISTING IRRIGATION WELL ADJACENT TO THE SITE THAT WILL REMAIN. REFER TO PLANS AND SURVEY FOR THE EXISTING IRRIGATION WELL LOCATION.
16. THERE ARE NO PERENNIAL STREAMS ON SITE.
17. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION ACTIVITIES.
18. ALL NEW DRIVEWAYS AND DRIVE AISLES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VENICE CODE OF ORDINANCES AND WILL BE PRIVATELY MAINTAINED. ALL TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS, SHALL CONFORM TO FDOT AND MUTCD STANDARDS.
19. ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW USE PERMIT. A ROW USE PERMIT IS REQUIRED FOR THIS PROJECT.
20. ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521.
21. CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
22. ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS.
23. ELEVATIONS SHOWN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

LOCATION MAP



VICINITY MAP



REVISIONS/CORRECTIONS			
REV. NO.	DATE	DESCRIPTION	BY
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

PROPERTY OWNER / APPLICANT

VENICE THEATRE, INC.
140 TAMPA AVE. W.
VENICE, FL 34285
PHONE: (941) 488-1115

ARCHITECT

SWEET SPARKMAN ARCHITECTS, INC.
2168 MAIN ST.
SARASOTA, FL 34237
PHONE: (941) 952-0084

CIVIL ENGINEER

BGE, INC.
551 N. CATTLEMEN ROAD, SUITE 104
SARASOTA, FL 34232
PHONE: (941) 208-2008

SURVEYOR

STRAYER SURVEYING & MAPPING, INC.
742 SHAMROCK BLVD.
VENICE, FL 34293
PHONE: (941) 496-9488

WATER AND SEWER UTILITY PURVEYOR

VENICE UTILITIES DEPARTMENT
200 WARFIELD AVE. N.
VENICE, FL 34285
PHONE: (941) 480-3333

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0-0	COVER SHEET
C0-1	CONSTRUCTION NOTES
C0-2	AERIAL SITE PLAN
C1-0	EXISTING CONDITIONS & DEMOLITION PLAN
C3-0	SITE PLAN
C4-0	PAVING, GRADING & DRAINAGE PLAN
C5-0	UTILITY PLAN
C7-0	CONSTRUCTION DETAILS
C7-1	UTILITY DETAILS
C7-2	BEST MANAGEMENT PRACTICES PLAN

RESERVED FOR STATUS AND DATE STAMPS

BGE PROJECT NUMBER: 8063-01



BGE, Inc.
551 N. Cattlemen Road, Suite 104
Sarasota, FL 34232
Tel: 941-208-2008 • www.bgeinc.com
Certificate of Authorization #32116

GEZA F. BANKUTY, JR., P.E.
FLORIDA LICENSE NO. 82295
551 N. CATTLEMEN ROAD
SUITE 104
SARASOTA, FL 34232 (941)
208-2008 (MAIN)

Geza F. Bankuty, Jr., State of
Florida, Professional Engineer,
License No. 82295

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Jr. on the date indicated here.

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1. THERE SHALL BE NO CHANGE OR DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL BY THE ENGINEER.

2. SOD SHALL BE PLACED AT THE BACK OF ALL CURBS, PAVEMENT EDGES, SWALES, AND DETENTION AREAS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES LAST. UNTIL THEN, ALL EROSION, SILTATION, AND MAINTENANCE OF GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR.

3. NOTIFY "SUNSHINE STATE ONE CALL (1-800-432-4770)", CITY OF VENICE UTILITIES, FLORIDA POWER & LIGHT, AND ANY OTHER UTILITIES (GAS COMPANIES, COMMUNICATION COMPANIES, ETC.) PRIOR TO CONSTRUCTION OPERATION AND PRIOR TO ANY CONNECTION TO EXISTING UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT EXISTING UTILITIES FROM DAMAGE.

4. ALL UTILITY LINES, STORM DRAIN LINES AND ACCESSORIES SUCH AS, BUT NOT LIMITED TO, MANHOLES, CLEANOUTS, SEWER AND WATER SERVICES, VALVES, FIRE HYDRANTS AND INLETS SHALL BE CONSTRUCTED TO ALIGNMENT AND LOCATIONS SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

5. THE CONTRACTOR SHALL ADHERE TO AND HAVE A COPY OF THE SWFWMD PERMIT FOR THE SITE (IF APPLICABLE).

6. CONTRACTOR SHALL SPRINKLE OR OTHERWISE APPLY WATER TO AFFECTED CONSTRUCTION AREAS TO CONTROL BOTH SIGNIFICANT WIND EROSION, AND FUGITIVE DUST.

7. THE PROPOSED CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), THE ADA COMPLIANCE HANDBOOK, LATEST EDITION, AND THE FLORIDA ACCESSIBILITY CODE.

8. UNLESS OTHERWISE NOTED, ALL CONCRETE FOR ROADWAY AND DRAINAGE STRUCTURES SHALL BE CLASS I AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

9. ALL SIDEWALKS AND SIDEWALK CROSSINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT INDEX 522 SERIES, THE AMERICAN WITH DISABILITIES ACT (ADA), AND THE FLORIDA ACCESSIBILITY CODE AT CURBS, GUTTERS, SIDEWALKS, INTERSECTIONS, ETC.

10. ALL SIDEWALKS TO HAVE EXPANSION JOINTS AT A MINIMUM SPACING OF 50 FEET AND CONTRACTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE SLAB, BUT NOT MORE THAN 5 FEET. NO JOINTS SHALL BE CLOSER THAN 4 FEET.

11. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS SIGNED AND SEALED BY A FLORIDA LICENSED SURVEYOR THAT MEET OR EXCEED THE REQUIREMENTS OF THE SWFWMD ERP INFORMATION MANUAL, LATEST EDITION AND THE CITY OF VENICE STANDARD DETAILS, GENERAL NOTES AND TESTING REQUIREMENTS, LATEST EDITION.

12. THE FOLLOWING REQUIREMENTS APPLY TO ALL BUILDING CONSTRUCTION OR ALTERATION, OR LAND ALTERATION ACTIVITIES:

A. IF EVIDENCE OF THE EXISTENCE OF CULTURAL RESOURCES IS DISCOVERED OR OBSERVED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AREA OF EFFECT AS DETERMINED BY THE DIRECTOR. THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE DIRECTOR OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. EXAMPLES OF SUCH EVIDENCE MAY INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS. THE DIRECTOR SHALL ASSESS THE SIGNIFICANCE OF THE FINDS WITHIN THREE WORKING DAYS OF NOTIFICATION AND TO MITIGATE ANY ADVERSE EFFECTS SO AS TO MINIMIZE DELAYS TO DEVELOPMENT ACTIVITIES.

B. IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITY, ALL WORK IN THAT PARTICULAR AREA MUST CEASE, AND THE PERMITTEE MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE AND NOTIFY THE DIRECTOR OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

13. IN THE EVENT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION AND VEGETATIVE DEBRIS BEFORE FINAL PAYMENT IS RECEIVED.

14. PREPARED TO STATE AND FEDERALLY PROTECTED SPECIES AS LISTED IN THE MOST CURRENT VERSION OF "FLORIDA'S ENDANGERED SPECIES, THREATENED SPECIES AND SPECIES OF SPECIAL CONCERN: OFFICIAL LISTS" IMPACTS BY THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWC) ARE NOT AUTHORIZED BY THIS PERMIT. THESE SPECIES MAY INCLUDE, BUT ARE NOT LIMITED TO, FLORIDA SCRUB JAY, AMERICAN BALD EAGLE, SHERMAN'S FOX SQUIRREL, BURROWING OWL, GOPHER TORTOISE, GOPHER FROG, AND EASTERN INDIAN SNAKE. PROTECTION EXTENDS TO THE NESTS, BURROWS, AND HABITAT UTILIZED BY THESE SPECIES. IF A LISTED SPECIES (OR ITS EVIDENCE, SUCH AS BURROWS, NESTS, SCAT, TRACKS) THAT WAS NOT ADDRESSED IN THIS PERMIT IS OBSERVED PRIOR TO OR DURING CONSTRUCTION, ALL CLEARING AND EARTHMOVING ON-SITE SHALL CEASE. THE PERMITTEE SHALL CONSULT WITH THE FWC REGIONAL OFFICE AND/OR THE U.S. FISH AND WILDLIFE SERVICE REGIONAL OFFICE REGARDING NECESSARY PROTECTION MEASURES AND PROVIDE EVIDENCE OF SUCH CONSULTATION TO RESOURCE PROTECTION SERVICES PRIOR TO RESUMING WORK.

15. IF ANY TYPE 'A' FILL (CLEAN EARTHEN MATERIAL) IS TO BE HAULED OFF-SITE, AN EARTHMOVING PERMIT OR LETTER OF EXEMPTION IS REQUIRED FROM RESOURCE PROTECTION SERVICES. IF ANY TYPE 'A' FILL HAULED OFF-SITE IS TO BE STOCKPILED OR FILLED UPON PRIVATE PROPERTIES WITHIN THE CITY OF VENICE, THE RECEIVING PROPERTY(S) SHALL POSSESS AUTHORIZATION IN THE FORM OF AN EARTHMOVING PERMIT, A WRITTEN EARTHMOVING EXEMPTION, A BUILDING PERMIT, OR CONSTRUCTION PLAN APPROVAL PRIOR TO RECEIVING SOD FILL. NO TYPE 'B' (CONCRETE, BROKEN ASPHALT, ROCKS), TYPE 'C' (VEGETATIVE LAND CLEARING DEBRIS), OR TYPE 'D' (GARBAGE, REFUSE, WOOD, METAL, PLASTIC, ETC.) FILL MAY BE BURIED WITHIN OR OUTSIDE APPROVED CONSTRUCTION LIMITS. TYPE 'D' FILL MUST BE DISPOSED AT AN APPROVED LANDFILL OR RECYCLING FACILITY. TYPE 'B', 'C', AND 'D' FILLS GENERATED ON-SITE SHALL NOT BE STOCKPILED ON-SITE FOR GREATER THAN SIX MONTHS. TYPE 'B', 'C', AND 'D' FILLS SHALL NOT BE HAULED TO THE SITE FROM OFF-SITE SOURCES.

16. ALL OF THE SIGNING AND PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FOOT DESIGN STANDARDS.

17. ALL STRIPING SHALL BE PAINTED EXCEPT FOR STOP BARS, CROSSWALKS, OR STRIPING LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY. ALL STRIPING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC (90-120 MILS ALKYL THERMOPLASTIC.)

18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING MAINTENANCE OF TRAFFIC. ALL MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOOT DESIGN STANDARDS (TRAFFIC CONTROL, THROUGH WORK ZONES, 102 SERIES)

19. TEMPORARY TRAFFIC CONTROL (TTC) FOR PEDESTRIANS USING THE EXISTING SIDEWALK ARE TO BE PROVIDED PER FDOT INDEX 102-660.

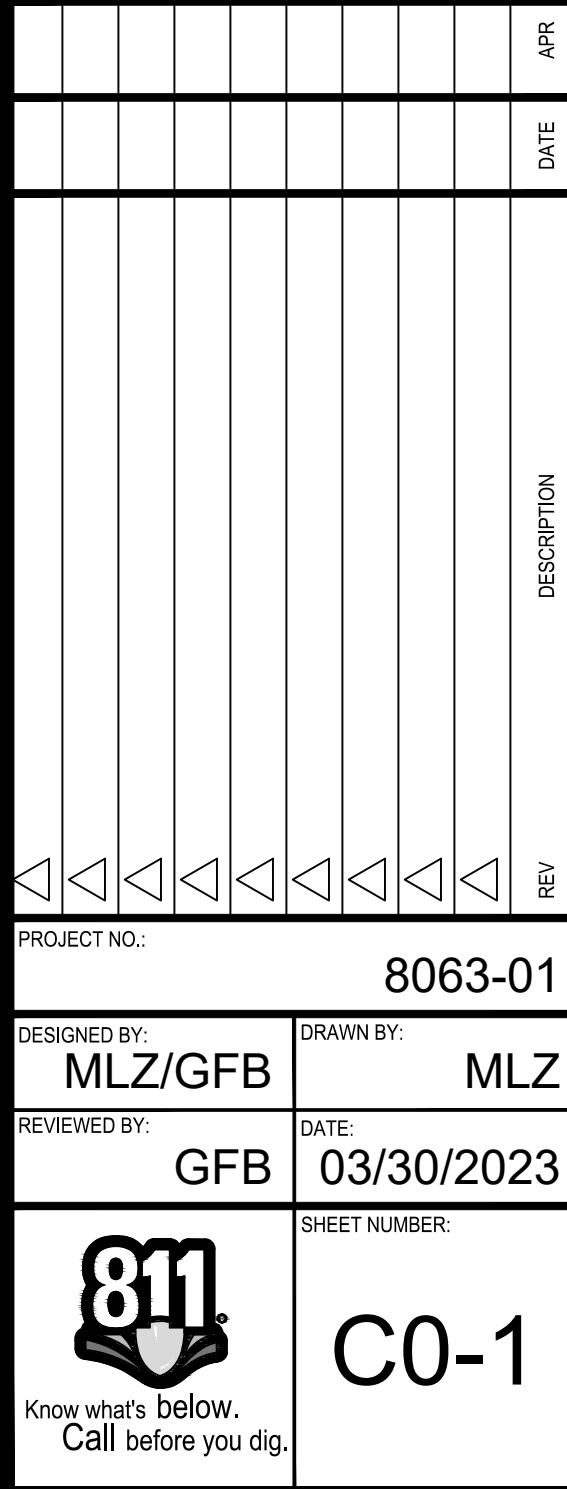
20. THE CONTRACTOR SHALL RESTORE ALL DISTURBED OR DAMAGED AREAS TO THE SAME OR BETTER CONDITION THAN THAT PRIOR TO THE START OF CONSTRUCTION.

21. THE CONTRACTOR SHALL REPLACE ALL PAVEMENT MARKINGS DAMAGED DURING THE PROJECT.

22. ALL AREAS IN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EQUAL OR BETTER THAN THE ORIGINAL CONDITION AND GROUND COVER TO THE SATISFACTION OF THE LOCAL OR STATE AGENCY HAVING JURISDICTION.

23. ANY ASPHALT, SIDEWALK, OR CURB WHICH BECOMES UNDERMINED OR DAMAGED DURING CONSTRUCTION MUST BE REMOVED AND REPLACED. WHEN EXISTING SIDEWALK OR CURB IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.

1. BACKFLOW ASSEMBLIES SHALL BE TESTED UPON INSTALLATION IN ACCORDANCE WITH THE CITY'S CROSS CONNECTION CONTROL PROGRAM MANUAL. RESULTS SHALL BE SUBMITTED TO THE UTILITIES DEPT. WITHIN 72 HOURS.





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AERIAL SITE PLAN

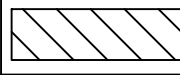
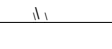
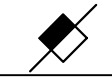







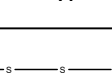
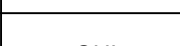
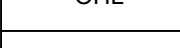
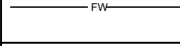




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Dr. on the date indicated here.

NOTES:

1. ALL EXISTING TREES TO REMAIN WITHIN THE CONSTRUCTION AREA SHALL BE PROTECTED AND LIMIT ANY IMPACT TO TREE/ROOT SYSTEM AS POSSIBLE.
2. CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF EXISTING FACILITIES (FENCING, SIGNAGE, ELECTRICAL, ETC) ON SITE WITH THE OWNER & ARCHITECT.

EXISTING LEGEND	
EXISTING BUILDING	
ASPHALT PAVEMENT	
CONCRETE POWER POLE	
UTILITY POLE	
WATER GATE VALVE	
WATER WELL	
WATER METER	
BACKFLOW PREVENTER	
ELECTRIC HAND HOLE	
SEWER MANHOLE	
SANITARY CLEANOUT	
WATER MAIN	
SANITARY SEWER	
OVERHEAD UTILITY LINE	
FIRE WATER LINE	
EXISTING STREET SIGN	
EXISTING TREE TO REMAIN	
EXISTING PALM TREE TO REMAIN	

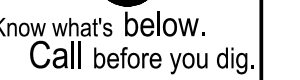
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PROJECT NO.: 8063-01

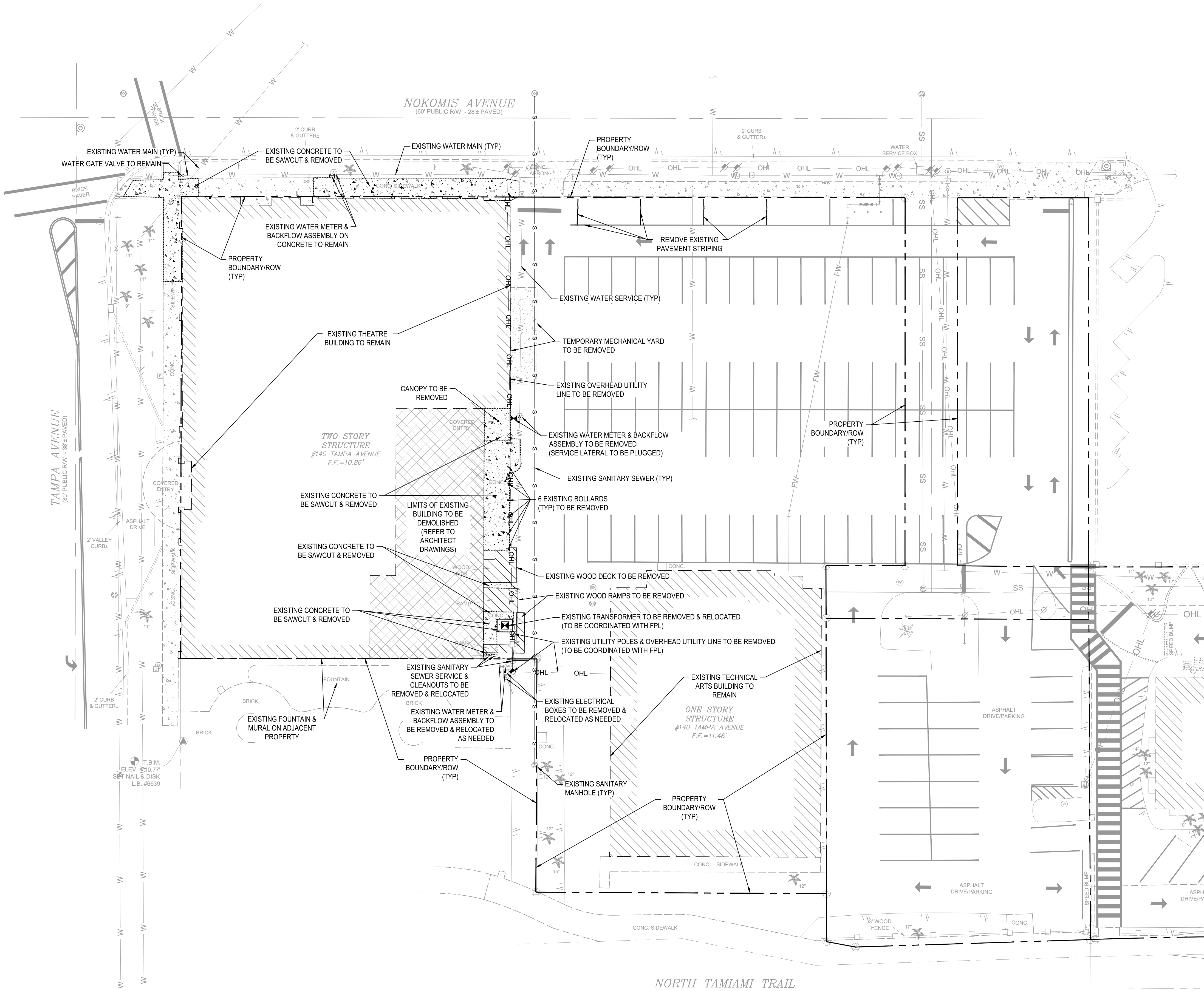
DESIGNED BY: MLZ/GFB	DRAWN BY: MLZ
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REVIEWED BY:	DATE:
GFB	03/30/2023

SHEET NUMBER: _____



C1-0



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VENICE THEATRE

FLY-LOFT REBUILD

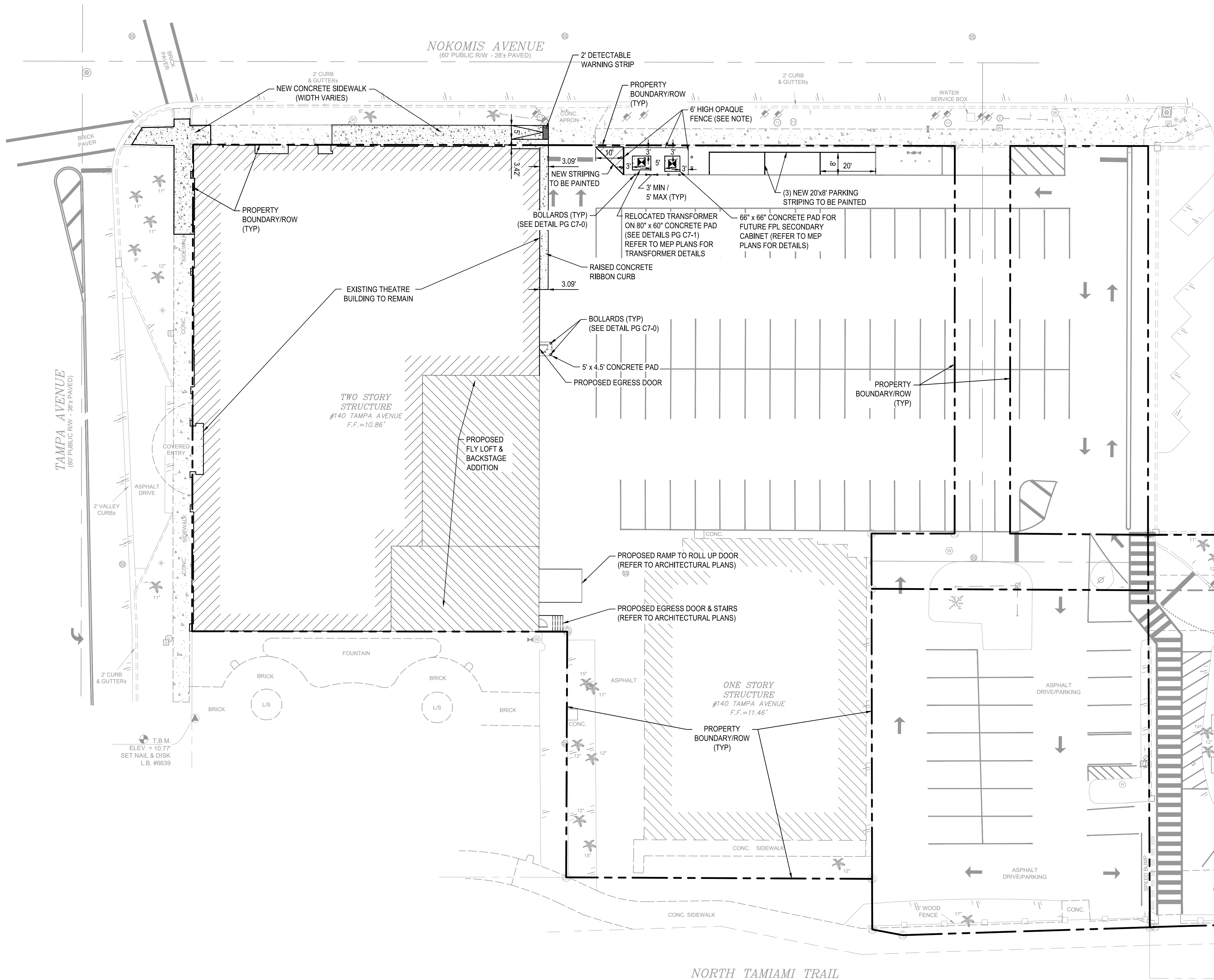
SITE & DEVELOPMENT PLANS / CONSTRUCTION PLANS



SITE PLAN

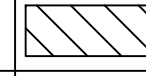










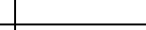
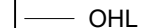
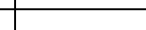




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PROJECT NO.: 8063-01

DESIGNED BY: MLZ/GFB	DRAWN BY: MLZ
REVIEWED BY: GFB	DATE: 03/30/2023



PROPOSED LEGEND	
CONCRETE SIDEWALK	
NEW BUILDING ADDITION	

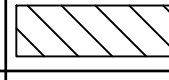










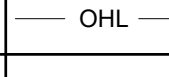






EXISTING LEGEND	
EXISTING BUILDING	
ASPHALT PAVEMENT	
CONCRETE POWER POLE	
UTILITY POLE	
WATER GATE VALVE	
WATER WELL	
WATER METER	
BACKFLOW PREVENTER	
ELECTRIC HAND HOLE	
SEWER MANHOLE	
SANITARY CLEANOUT	
WATER MAIN	
SANITARY SEWER	
OVERHEAD UTILITY LINE	
FIRE WATER LINE	
EXISTING STREET SIGN	
EXISTING TREE TO REMAIN	
EXISTING PALM TREE TO REMAIN	

SITE DATA TABLE	
PERMITTED USES:	
<p>Uses within the Venice Avenue district are to be interconnected through a variety of measures including, but not limited to sidewalks, multimodal pathways, and public spaces. Currently, the Venice Avenue district is comprised of mostly single- and two-story structures sharing common side walls to provide for a continuous building façade, similar to many traditional downtown development patterns. The Nolen Plan promoted a mixture of uses in this area and the Venice Avenue district has been envisioned to further promote and encourage a vertical mixture of residential and commercial uses. Typically, this will involve locating higher activity uses such as retail, restaurant, or similar uses on the ground floor, and lower activity uses such as professional offices, residential, or similar uses above the ground floor</p>	
EXISTING BUILDING	20,790 S.F. (0.48 ACRES)
EXISTING BUILDING TO BE DEMOLISHED	3,487 S.F. (0.08 ACRES)
NEW BUILDING AREA	21,744 S.F. (0.50 ACRES)
MAXIMUM BUILDING HEIGHT	75'
PROPOSED NEW BUILDING HEIGHT	70'
NO % MIN PARKING REQUIRED	
DENSITY	N/A
TOTAL PROJECT DENSITY	N/A

1. ALL STRIPING SHALL BE PAINTED EXCEPT FOR THE STOP BAR AND CROSSWALK STRIPING. ALL STOP BARS AND CROSSWALK STRIPING, WHEREVER LOCATED, WILL HAVE A THICKNESS OF 0.08 INCH OR 90 MCH OR 90 INCH OR 120 MLS. WHEN MEASURED ABOVE THE PAVEMENT SURFACE IN ACCORDANCE WITH TPO SPECIFICATIONS SECTION 711-4.2, (DTM SECTION B.1, PAGE 108).
2. SIGNAGE AND STRIPING SHALL CONFORM WITH MUTCD AND FDOT STANDARD INDEX DRAWINGS FOR EACH, MINIMUM HEIGHT FROM EDGE OF TRAVEL LANE TO BOTTOM OF SIGN SHALL BE 7 FEET.
3. ALL DRIVEWAY RADI DIMENSIONS ARE MEASURED AT EDGE OF PAVEMENT.
4. EXISTING SITE DUMPMSTER IS LOCATED BETWEEN BUILDINGS 1 AND 2.
5. THE CONTRACTOR SHALL ADJUST ANY VALVE PADS, VALVE BOXES, CLEANOUTS, AS, AS NEEDED TO MATCH FINISH GRADE.
6. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING BUILDING ROOF DRAIN OUTFALLS PRIOR TO CONCRETE SIDEWALK INSTALLATION.
7. OWNER HAS THE OPTION TO UTILIZE LANDSCAPING IN LIEU OF FENCE PER SECTION 3.7.6.B OF THE LDC

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Jr. on the date indicated here.

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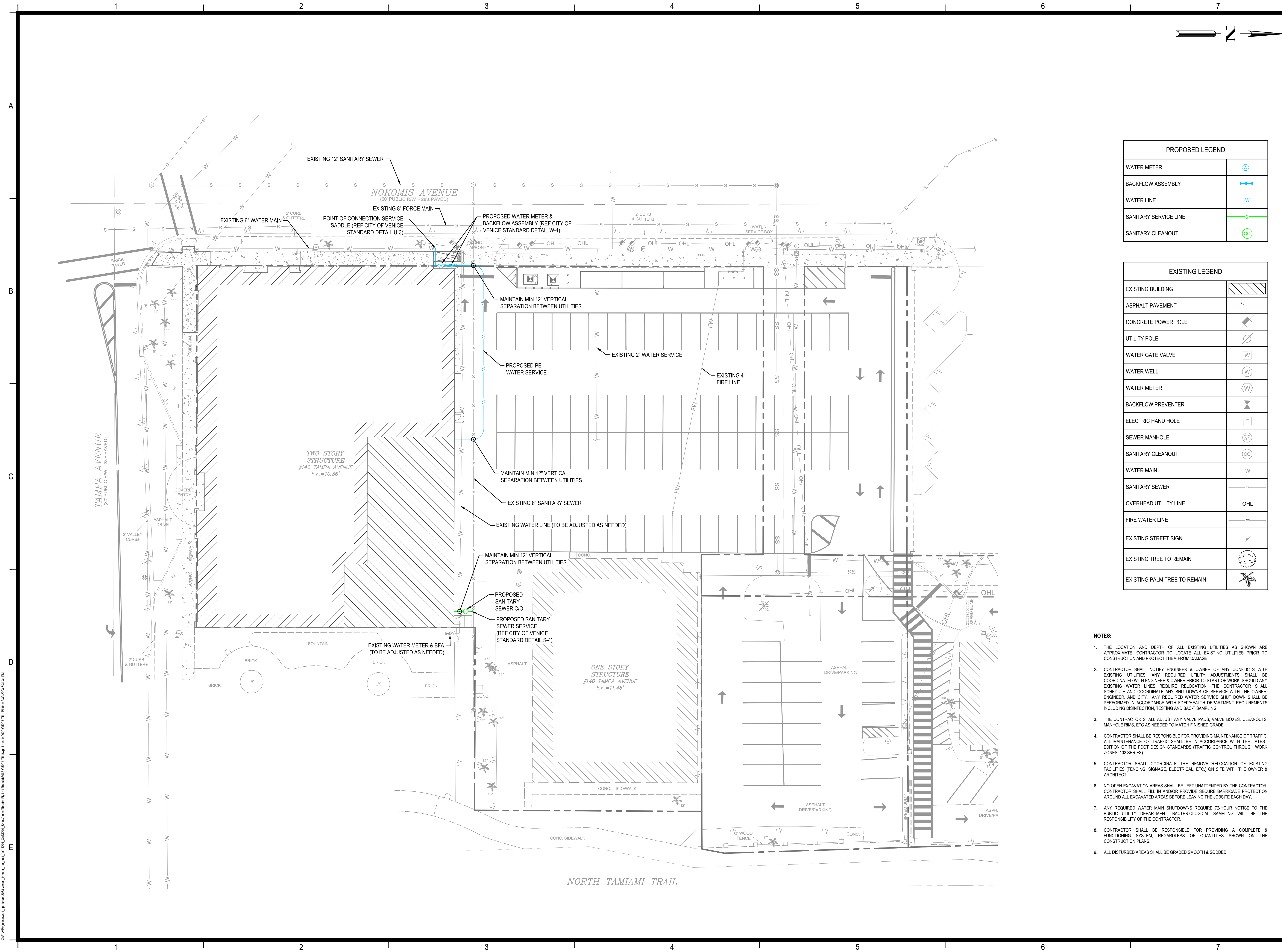
EXISTING LEGEND	
EXISTING BUILDING	
ASPHALT PAVEMENT	
CONCRETE POWER POLE	
UTILITY POLE	
WATER GATE VALVE	
WATER WELL	
WATER METER	
BACKFLOW PREVENTER	
ELECTRIC HAND HOLE	
SEWER MANHOLE	
SANITARY CLEANOUT	
WATER MAIN	
SANITARY SEWER	
OVERHEAD UTILITY LINE	
FIRE WATER LINE	
EXISTING STREET SIGN	
EXISTING TREE TO REMAIN	
EXISTING PALM TREE TO REMAIN	

1. THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND PROTECT THEM FROM DAMAGE.
2. THE CONTRACTOR SHALL ADJUST ANY VALVE PADS, VALVE BOXES, CLEANOUTS, ETC. AS NEEDED TO MATCH FINISH GRADE.
3. THE CONTRACTOR SHALL FOLLOW THE ENVIRONMENTAL SOIL REPORT/RECOMMENDATIONS FOR SOILS/SEAWORK REQUIREMENTS AS PREPARED BY THE OWNER/CONTRACTOR'S GEOTECHNICAL ENGINEER.
4. CONTRACTOR TO VERIFY ALL ROOF DRAIN/SPROUT SERVICE CONNECTIONS PRIOR TO INSTALLATION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MAINTENANCE OF TRAFFIC. ALL MAINTENANCE OF TRAFFIC BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT DESIGN STANDARDS (TRAFFIC CONTROL THROUGH WORK ZONES, 600 SERIES).
6. CONTRACTOR SHALL NOTIFY ENGINEER & OWNER OF ANY CONFLICTS WITH EXISTING UTILITIES. ANY REQUIRED RELOCATION OF UTILITIES SHALL BE COORDINATED WITH ENGINEER & OWNER PRIOR TO START OF WORK. SHOULD ANY EXISTING WATER LINES REQUIRE RELOCATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHUTDOWNS OF SERVICE WITH THE OWNER, ENGINEER, & CITY. ANY REQUIRED WATER SERVICE SHUT DOWNS SHALL BE PERFORMED IN ACCORDANCE WITH FDEP'S CONSTRUCTION PARTNERSHIP PROGRAM, INCLUDING DISINFESTION, TESTING AND BAC-T SAMPLING.

[illegible]

DESIGNED BY: MLZ/GFB	DRAWN BY: MLZ
REVIEWED BY: GFB	DATE: 03/30/2023





PROPOSED LEGEND	
WATER METER	W
BACKFLOW ASSEMBLY	BA
WATER LINE	W
SANITARY SERVICE LINE	S
SANITARY CLEANOUT	CO

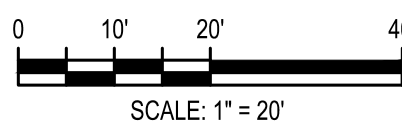
EXISTING LEGEND	
EXISTING BUILDING	HB
ASPHALT PAVEMENT	AP
CONCRETE POWER POLE	CP
UTILITY POLE	UP
WATER GATE VALVE	WG
WATER WELL	WW
WATER METER	WM
BACKFLOW PREVENTER	BP
ELECTRIC HAND HOLE	EH
SEWER MANHOLE	SM
SANITARY CLEANOUT	SC
WATER MAIN	WM
SANITARY SEWER	SS
OVERHEAD UTILITY LINE	OHL
FIRE WATER LINE	FW
EXISTING STREET SIGN	ES
EXISTING TREE TO REMAIN	ET
EXISTING PALM TREE TO REMAIN	EP

- NOTES:
- THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND PROTECT THEM FROM DAMAGE.
 - CONTRACTOR SHALL NOTIFY ENGINEER & OWNER OF ANY CONFLICTS WITH EXISTING UTILITIES. ANY REQUIRED UTILITY ADJUSTMENTS SHALL BE COORDINATED WITH ENGINEER & OWNER PRIOR TO START OF WORK. SHOULD ANY EXISTING WATER LINES REQUIRE RELOCATION, THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ANY SHUTDOWNS OF SERVICE WITH THE OWNER, ENGINEER, AND CITY. ANY REQUIRED WATER SERVICE SHUT DOWN SHALL BE PERFORMED IN ACCORDANCE WITH FDEP/HEALTH DEPARTMENT REQUIREMENTS INCLUDING DISINFECTION, TESTING AND BAC-1 SAMPLING.
 - THE CONTRACTOR SHALL ADJUST ANY VALVE PADS, VALVE BOXES, CLEANOUTS, MANHOLE RIMS, ETC AS NEEDED TO MATCH FINISHED GRADE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MAINTENANCE OF TRAFFIC. ALL MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT DESIGN STANDARDS (TRAFFIC CONTROL THROUGH WORK ZONES, 102 SERIES)
 - CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF EXISTING FACILITIES (FENCING, SIGNAGE, ELECTRICAL, ETC.) ON SITE WITH THE OWNER & ARCHITECT.
 - NO OPEN EXCAVATION AREAS SHALL BE LEFT UNATTENDED BY THE CONTRACTOR. CONTRACTOR SHALL FILL IN AND/OR PROVIDE SECURE BARRICADE PROTECTION AROUND ALL EXCAVATED AREAS BEFORE LEAVING THE JOBSITE EACH DAY.
 - ANY REQUIRED WATER MAIN SHUTDOWNS REQUIRE 72-HOUR NOTICE TO THE PUBLIC UTILITY DEPARTMENT. BACTERIOLOGICAL SAMPLING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE & FUNCTIONING SYSTEM, REGARDLESS OF QUANTITIES SHOWN ON THE CONSTRUCTION PLANS.
 - ALL DISTURBED AREAS SHALL BE GRADED SMOOTH & SODDED.



BGE, Inc.
5511 N. Cattlemen Road, Suite 104
Sarasota, FL 34232
Tel: 941-208-2008 • www.bgeinc.com
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Florida, Professional Engineer,
License No. 82295

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and sealed by Geza F. Bankuty,
Jr. on the date indicated here.

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verified on any electronic copies.

VENICE THEATRE
FLY-LOFT REBUILD
SITE & DEVELOPMENT PLANS / CONSTRUCTION PLANS
UTILITY PLAN

DATE	APR
DESCRIPTION	
REV	
PROJECT NO. 8063-01	
DESIGNED BY: MLZ/GFB	DRAWN BY: MLZ
REVIEWED BY: GFB	DATE: 03/30/2023
	SHEET NUMBER: C5-0

