

SITE AND DEVELOPMENT PLANS FOR: VENICE MRT LAWN AND GARDEN CENTER

385 & 395 US-41 BYPASS N VENICE, FL 34285

PARCEL ID NUMBER 0407090004 & 0407090005

PERMIT LIST	
PERMIT	PERMIT #

LEGAL DESCRIPTION:

DESCRIPTION:
LOTS 1 AND 2, HOWARD'S SUBDIVISION, AS RECORDED IN PLAT BOOK 27, PAGE 18, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, BEING IN SECTION 7, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA.

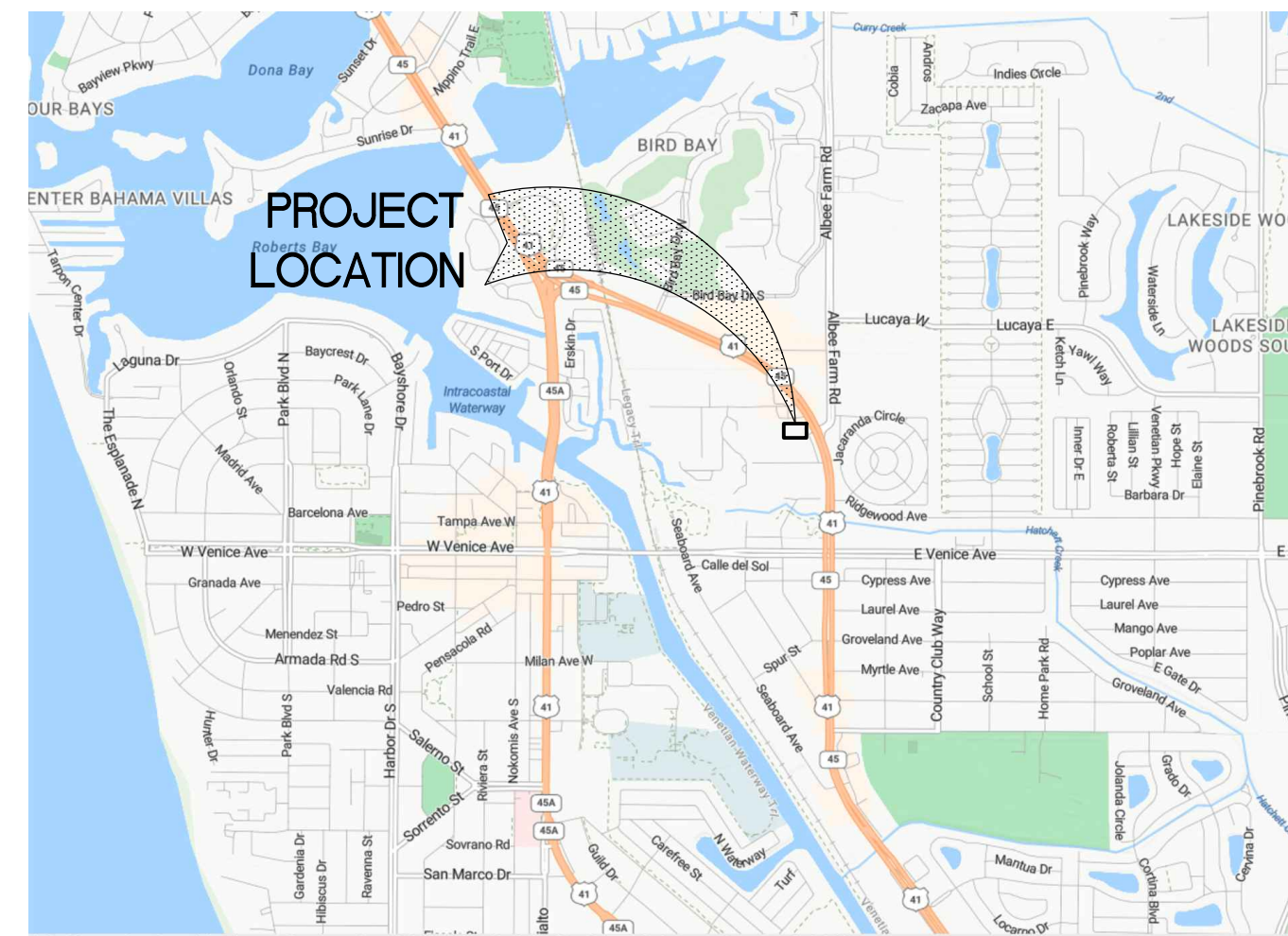
GENERAL STATEMENT:

THE PROPOSED DEVELOPMENT IS OF 2.06 ACRES (89,478 SF) WHICH CONSISTS OF A 2,354 SF AND 6,943 SF GARDEN CENTER BUILDINGS. THE EXISTING PARKING LOT WILL BE USED FOR THE PROPOSED USE.

UTILITY PROVIDERS:

FIBER	UNITI FIBER LLC 1715 NORTH WESTSHORE BLVD, SUITE 410 TAMPA, FL 33607 PHONE: (251) 214-7059
GAS	TECO PEOPLES GAS-SARASOTA 8261 VICO CT SARASOTA, FL 34240 PHONE: (813) 743-7164
ELECTRIC	FLORIDA POWER & LIGHT-SARASOTA 5657 MCINTOSH RD SARASOTA, FL 34233 PHONE: (386) 586-6403
RE-USE LINES/ SEWER/WATER	CITY OF VENICE UTILITIES DEPARTMENT 200 WARFIELD AVE N VENICE, FL 34285 PHONE: (941) 882-7316

SECTION 07, TOWNSHIP 39 SOUTH, RANGE 19 EAST



SITE LOCATION MAP

NOT TO SCALE

DIRECTIONS TO PROJECT SITE:

FROM INTERSTATE 75 (I-75), TAKE EXIT 195 TOWARD NOKOMIS/LAUREL RD. TURN LEFT ONTO LAUREL RD FOR 1.7 MILES. TURN LEFT ONTO ALBEE FARM RD N FOR 2.3 MILES. TURN LEFT ONTO U.S. 41 BYPASS N/VENICE BYPASS. SITE WILL BE ON THE RIGHT.

OWNER / DEVELOPER

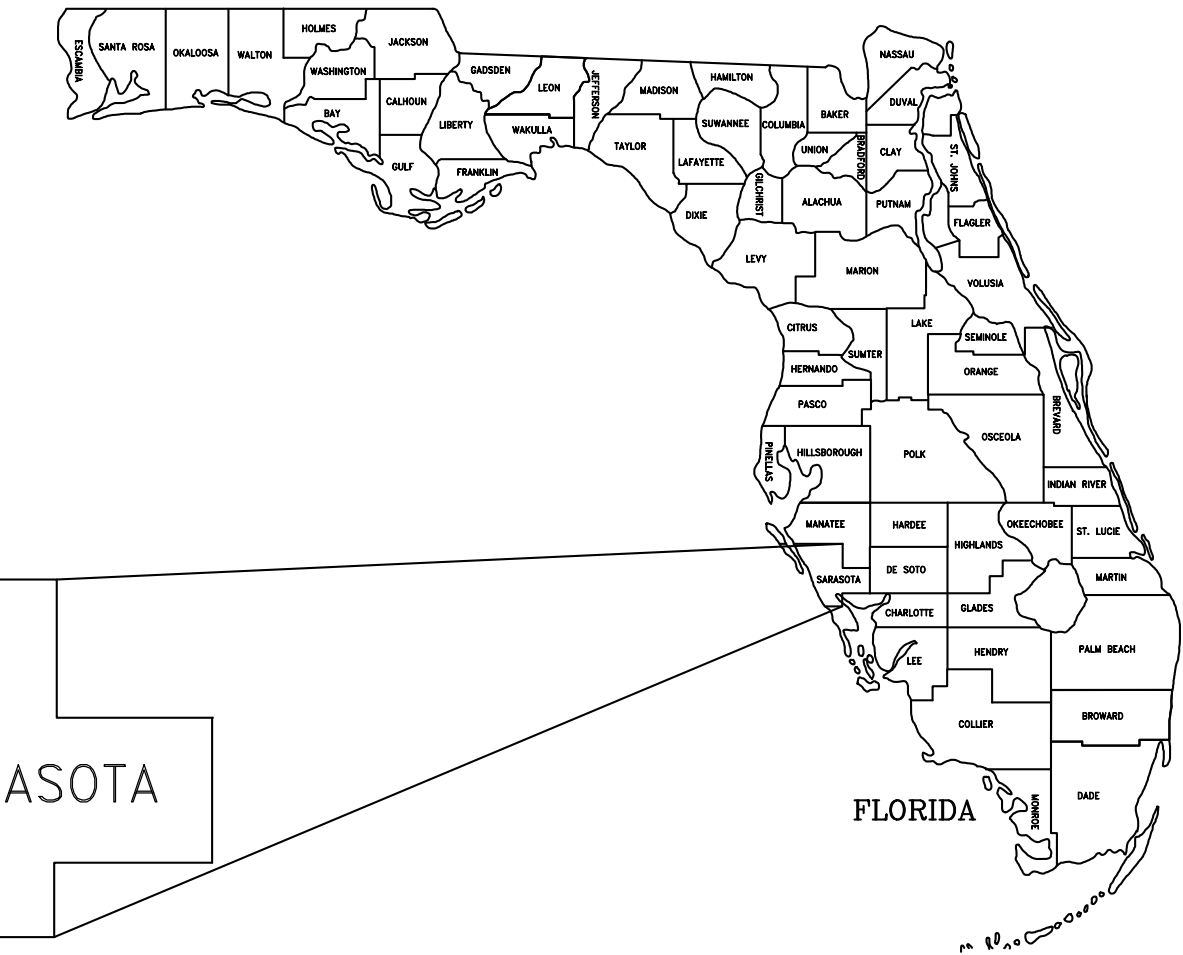
MRT LAWN & GARDEN CENTER INC.
2775 EL JOBEAN RD
PORT CHARLOTTE, FLORIDA 34285

CIVIL ENGINEER:
BOWMAN CONSULTING
ENGINEER OF RECORD:
ZACHARY KOMNINOS
4450 W. EAU GALLIE BLVD.
SUITE 144
MELBOURNE, FL - 32934
PHONE: (321) 255-5434

LAND SURVEYOR:
BRITT SURVEYING
COLLIN B. NAAMAN
680 US-41 BYPASS N.
SUITE #1
VENICE, FL - 34285
PHONE: (941) 493-1396

BUILDING ARCHITECT:
CHRISTOPHER J. SLOAN
NCIDQ, ASID PROFESSIONAL
ID 6596
BUILT ON DESIGN
SARASOTA, FL
PHONE: (260)-750-4500

LANDSCAPE ARCHITECT:
JOHN T. SWEN LANDSCAPE ARCHITECT
JOHN T. SWEN
P.O. BOX 494466
PORT CHARLOTTE, FL - 33949
PHONE: (941) 626-7365



Sheet List Table	
Sheet Number	Sheet Title
C0	COVER SHEET
1-1	SURVEY
DM1.0	DEMOLITION PLAN
ES1.0	EROSION CONTROL PLAN
ES2.0	EROSION CONTROL DETAILS
C1.0	SITE PLAN
C1.1	TRUCK ROUTE
C2.0	GRADING & DRAINAGE PLAN
D1.0	DETAILS
PH1.0	PHOTOMETRIC PLAN
PH1.1	PHOTOMETRIC DETAILS
LP1.0	EXISTING TREE PLAN
LP2.0	LANDSCAPE PLAN
LP3.0	LANDSCAPE DETAILS

BENCHMARK:

NAIL & DISK
ON US 41 BYPASS NORTH AND SOUTH OF ALBEE FARM ROAD
EL. 12.34' (NAVD88)
EL. 12.67' (NAVD88)
EL. 13.72' (NAVD88)

BUILDING HEIGHT:

BUILDING HEIGHT SHALL BE DEFINED AS THE VERTICAL DISTANCE MEASURED 18 INCHES ABOVE THE BENCH MARK ELEVATION OF THE ADJACENT ROAD.

FLOOD NOTE:

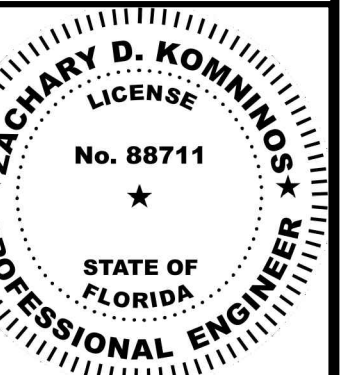
THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION "X"; BY THE FEDERAL MANAGEMENT AGENCY (FEMA) AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 12115C03316, DATED MARCH 27, 2024, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY THIS PARCEL IS SITUATED IN.



Bowman

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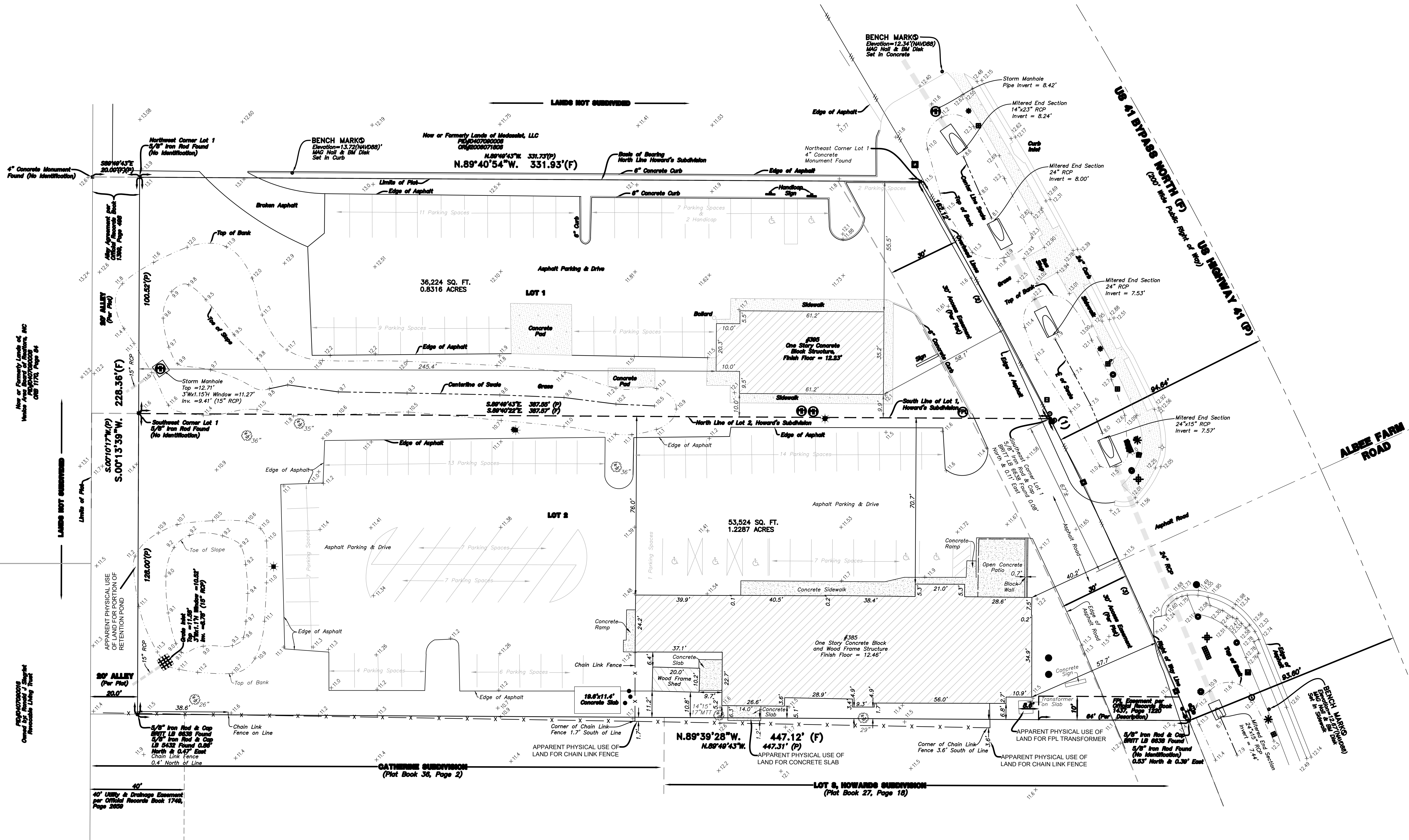
COVER SHEET
MRT LAWN AND GARDEN CENTER
385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285
SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMNINOS
LICENSE NO. 88711

PLAN STATUS	
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN ZK CHKD
SCALE: AS SHOWN	
JOB No. 011527-01-001	
DATE: 3/17/2025	
010527-01-0-CP-001-01-C0-COV.DWG	
SHEET C0	

SCALE: 1" = 20'



TREE LEGEND
 ○ Oak Tree & Sign
 MTT Mulled Trunk Tree

LEGEND:
 (M) Florida Power & Light Marshale
 (C) Concrete Power Pole
 (E) Electric Hand Held
 (U) Unknown Marshale
 (T) Traffic Control Pole
 (L) Light Pole
 (B) Back Flow Preventer
 (M) Metal Traffic Light Arm
 (P) Phone Riser
 (S) Storm Sewer Marshale
 (W) Water Service
 (B) Back Flow Preventer
 (C) Concrete Bollard
 (E) Electrical Vault
 (O) Overhead Power Lines
 (M) Mitered End Section
 (R) Reinforced Concrete Pipe
 (P) Parcel Identification Number
 (O) Official Records Book
 (O) Official Instrument Number
 (L) License Business Number
 (R) Reinforced Concrete Pipe

DESCRIPTION:
 Lots 1 and 2, HOWARD'S SUBDIVISION, as recorded in Plot Book 27, Page 18, of the Public Records of Sarasota County, Florida.
 Being in Section 7, Township 39 South, Range 19 East, Sarasota County, Florida.

REPORT OF SURVEY:
 1. This plot represents a Boundary Survey showing visible improvements.
 2. Bearings shown hereon refer to an assumed meridian, bearing for the North line of Lot 1, Howard's Subdivision = N.89°40'54"W.
 3. There may exist other underground fixed interior improvements, which are not visible and are not a part of this survey.
 4. Description shown hereon has been prepared for this plot.
 5. Subject to easements and rights of way of record, if any. No research has been made of easements or rights of way of record.
 6. This plot has been prepared without the benefit of a Commitment for Title Insurance or a Title Policy.
 7. Parcel shown hereon is situated in Flood Zone "X", base flood elevation Not Determined, per Flood Insurance Rate Map 12115C03316, Index Map dated March 27, 2024.
 8. Accuracy: The expected use of the land is "Suburban". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
 9. (P) Denotes information obtained from record Plot.
 10. (F) Denotes information obtained from field measurement.
 11. Elevations shown hereon refer to MVD 86, based on CGS Bench Mark X-38, published elevation = 6.83 feet (MVD 86).

Curve number 1 (F) Radius= 1829.86' Delta= 06°01'31" Arc= 256.30' Chord= 256.09' Chord Brg.= N.26°30'05"W	Curve number 1 (P) Radius= 1829.86' Delta= 06°01'31" Arc= 256.3' Chord= 256.09' Chord Brg.= N.26°39'34"W
Curve number 2 (F) Radius= 1829.86' Delta= 03°39'03" Arc= 115.00' Chord= 114.96' Chord Brg.= N.26°30'05"W	Curve number 2 (P) Radius= 1829.86' Delta= 03°39'03" Arc= 115.00' Chord= 114.96' Chord Brg.= N.26°52'16"W
Curve number 3 (F) Radius= 1829.86' Delta= 04°25'28" Arc= 141.31' Chord= 141.27' Chord Brg.= N.24°42'04"W	Curve number 3 (P) Radius= 1829.86' Delta= 04°25'28" Arc= 141.3' Chord= 141.27' Chord Brg.= N.24°51'32"W

OVERALL AREA: 89,748 SQ.FT. OR 2.0603 ACRES

COLLIN B. NANNI, PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA CERTIFICATE NUMBER 73527
 NOTE: NOT VALID UNLESS IMPRINTED WITH EMBOSSED SURVEYOR'S SEAL OR VALIDATED SURVEYOR'S DIGITAL SIGNATURE ON PORTABLE DOCUMENT FILE

BRITT SURVEYING
 LAND SURVEYORS AND MAPPERS
 CERTIFICATE OF AUTHORIZATION NO. LB 8601
 680 US 41 Bypass N., Suite #1, VENICE, FLORIDA, 34285
 Telephone: (941) 493-1396
 Email: bs@brittsurveying.com

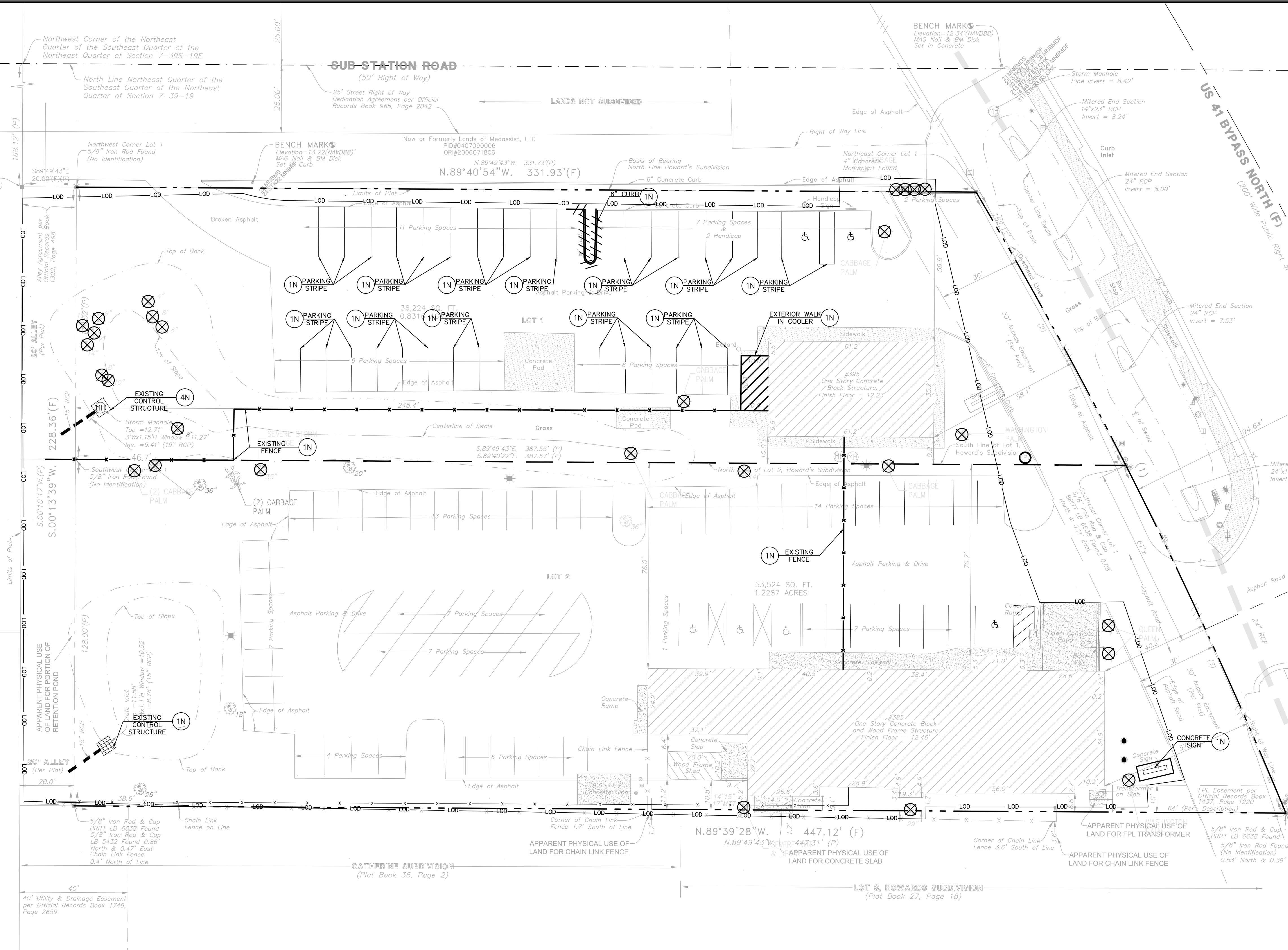
A BOUNDARY SURVEY
 LOTS 1 AND 2, HOWARD'S SUBDIVISION
 385, 395 US 41 BYPASS N., VENICE, FL 34285

CERTIFIED TO:
 MRT LAW AND GARDEN CENTER, INC

DATE OF SURVEY: MAY 20, 2024
 REVISIONS:
 FIELD BOOK: 608
 PAGE(S): 16,17,23
 JOB NUMBER: 24-04-19
 DRAWN BY: CBN

SHEET
 1 OF 1

CAD file name: V:\011527 - MRT Lawn and Garden Center Inc.\011527-01-001 (ENG) - Comm. Development US-41 Bypass N Venice\Engineering\Plans\010527-01-01-CP-01-02-DM1-0-DMO.dwg, RYLEKINCH 3/4/2025



DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL, IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES OF ALL MATERIALS SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE STORE AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING FACILITIES AND IMPROVEMENTS TO REMAIN WILL BE REPLACED AT CONTRACTORS EXPENSE.
- FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
- BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
- ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
- EXISTING PERIMETER TREES & LANDSCAPING TO REMAIN WHEREVER POSSIBLE.

LEGEND - PROPOSED

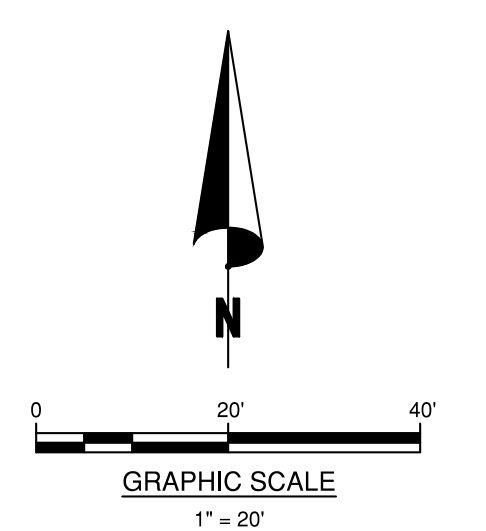
- PROPERTY LINE
- LIMITS OF DISTURBANCE
- SAWCUT LINE
- REMOVAL
- REMOVE ASPHALT, UTILITIES, CONCRETE, GRAVEL, AND BUILDINGS
- TEMPORARY SILT FENCE
- TREE REMOVAL - REFER TO LANDSCAPE PLANS

NOTES

- 1N EXISTING TO BE REMOVED
- 2N PROTECT EXISTING UTILITIES TO REMAIN
- 3N SAWCUT LINE
- 4N REMOVE AND RELOCATE

ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM BCG AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. BCG AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

DISTURBED AREA
 84,703 SF
 (± 1.94 AC)



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DEMOLITION PLAN

MRT LAWN AND GARDEN CENTER

385 & 395 U.S. HIGHWAY 41 BYPASS N

VENICE, FL 34285

CITY OF VENICE

ZACHARY D. KOMNINOS

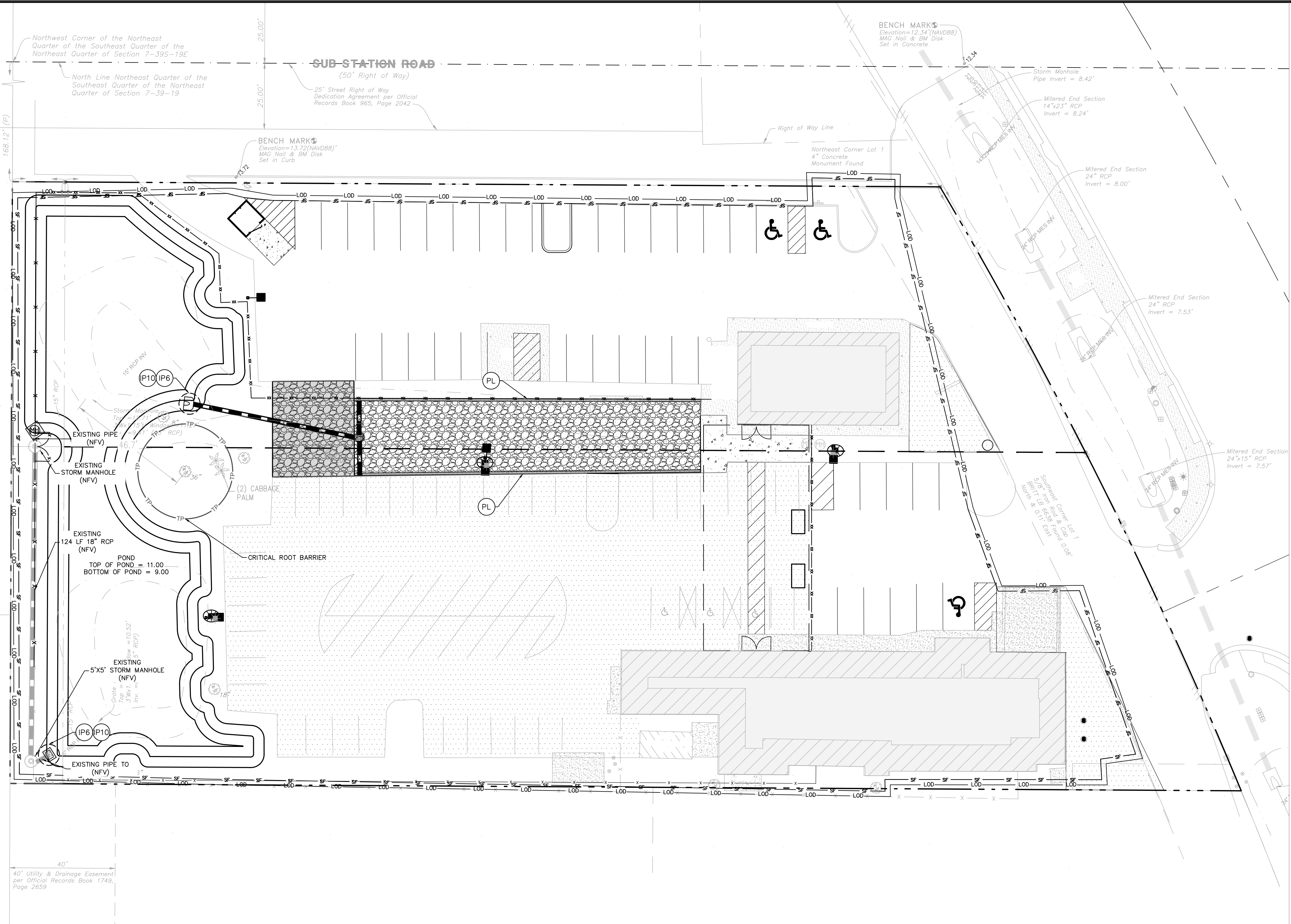
PROFESSIONAL ENGINEER

STATE OF FLORIDA

License No. 88711

ZACHARY D. KOMNINOS		LICENSE NO. 88711	
PLAN STATUS			
DATE	DESCRIPTION		
ALW DESIGN	EC DRAWN	ZK	CHKD
SCALE: AS SHOWN			
JOB No.	011527-01-001		
DATE:	03/04/2025		
010527-01-0-CP-01-02-DM1-0-DMO.DWG			
DM1.0			
SHEET			

CAD file name: V:\011527 - MRT Lawn and Garden Center Inc\011527-01-001 (ENG) - Comm. Development US-41 Bypass N Venice Engineering Plans\011527-01-001-CP-03-ESI-0-ECP.dwg, JUAN MAGDAONG 3/4/2025



40' Utility & Drainage Easement per Official Records Book 1749, Page 2659

LEGEND

- PROPERTY / RIGHT-OF-WAY LINE
- LOD --- LIMITS OF DISTURBANCE
- SF --- TEMPORARY SILT FENCE
- EXISTING STORMWATER STRUCTURES
- EXISTING STORMWATER PIPES
- IP6 PROPOSED TYPE OF INLET PROTECTION (REFER TO SWPPP DETAILS SHEET)
- IP10 FILTER SACKS
- PL POLY LOG

EROSION CONTROL NOTES

1. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
2. PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
3. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
4. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
5. ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SOODED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
12. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
13. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
14. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
15. ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
16. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
17. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
18. CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
19. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
20. CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ADJUTING CITY STREETS, COUNTY ROADS AND STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
21. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY STORM WATER SYSTEM.
22. ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.

BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
4. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

CONSTRUCTION SEQUENCE

1. CONDUCT PRE-CONSTRUCTION MEETING WITH THE CITY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
2. INSTALL STABILIZED CONSTRUCTION EXIT AND POST SWPPP AND SITE COMPLIANCE SIGNAGE THAT IS PUBLICLY VISIBLE.
3. INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
4. INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN WITHIN THE CONSTRUCTION LIMITS.
5. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
6. DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
7. BEGIN GRADING THE SITE.
8. BEGIN CONSTRUCTION OF UTILITIES.
9. BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
10. BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
11. COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
12. COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
13. OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
14. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
15. STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

DATE: 03/04/2025

SCALE: AS SHOWN

JOB No. 011527-01-001

DATE: 03/04/2025

11527-01-0-CP-001-03-ESI-0-ECP.DWG

ES1.0 SHEET

Bowman Certificate of Authorization License No. 30462

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EROSION CONTROL PLAN

MRT LAWN AND GARDEN CENTER

385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285

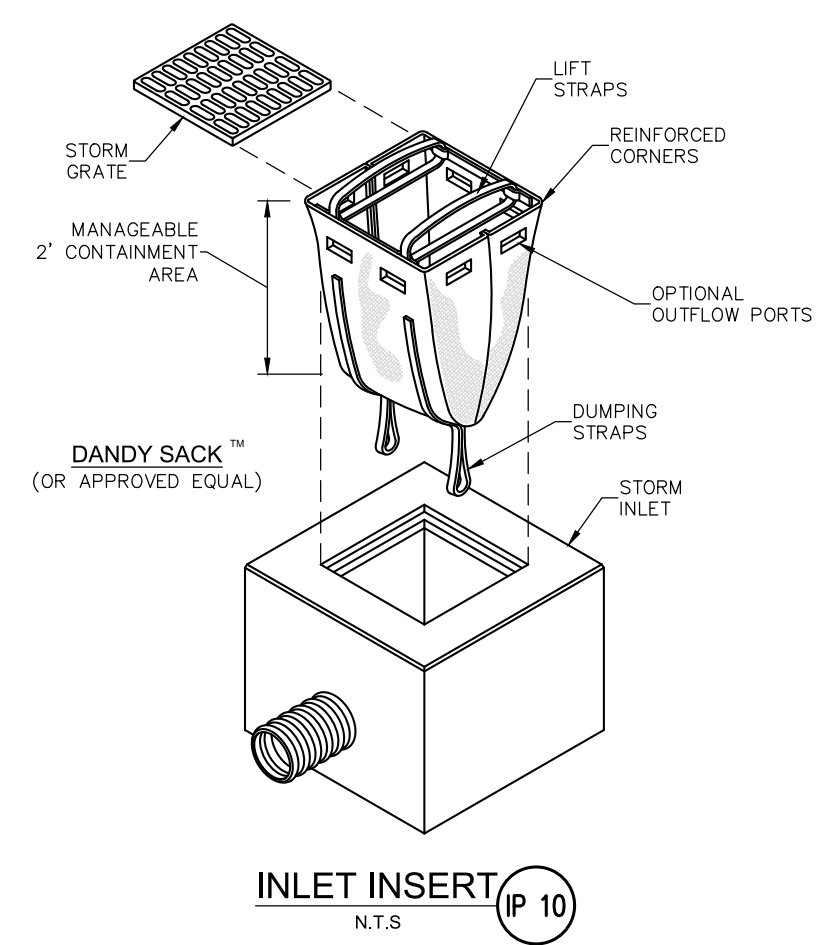
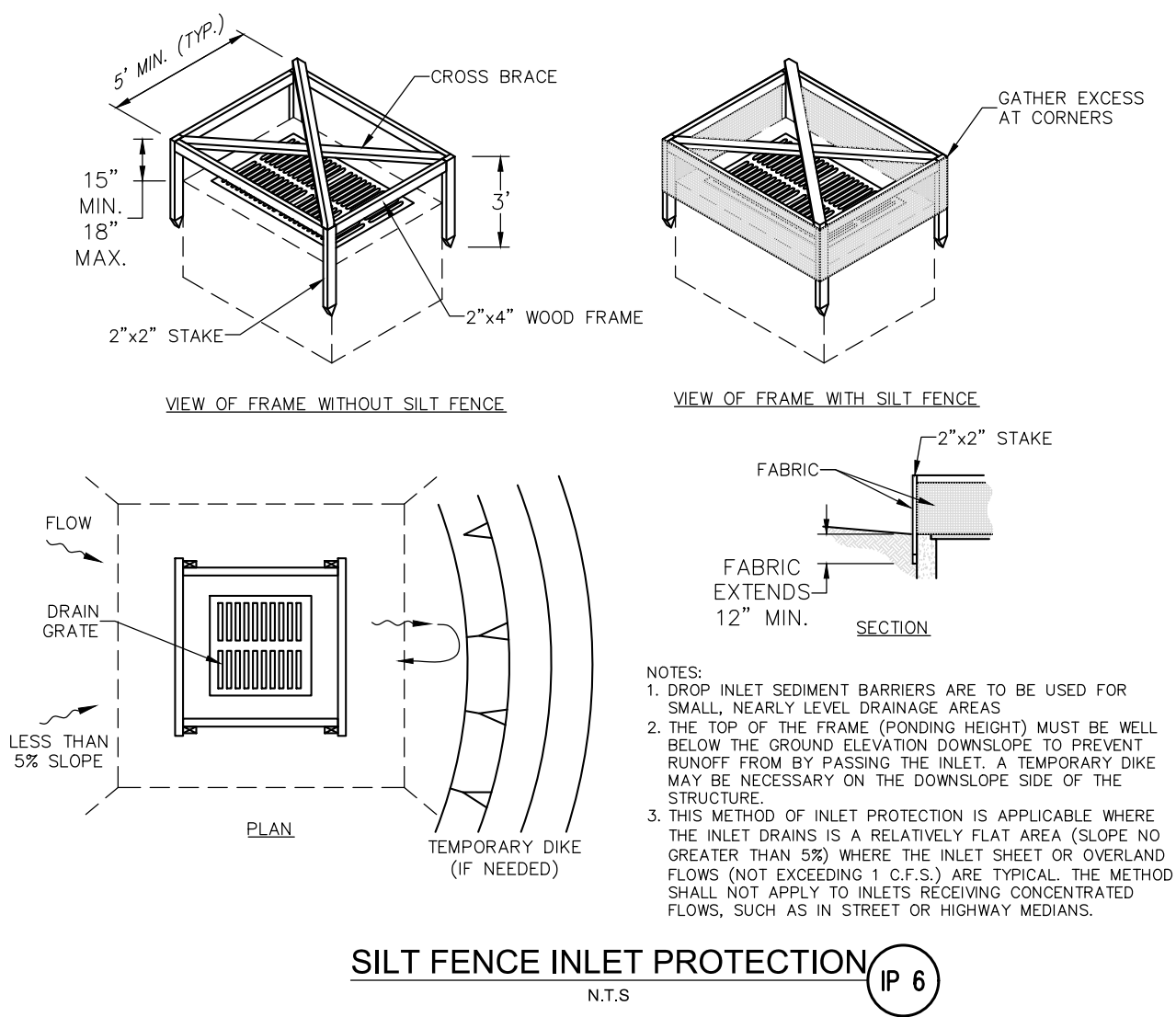
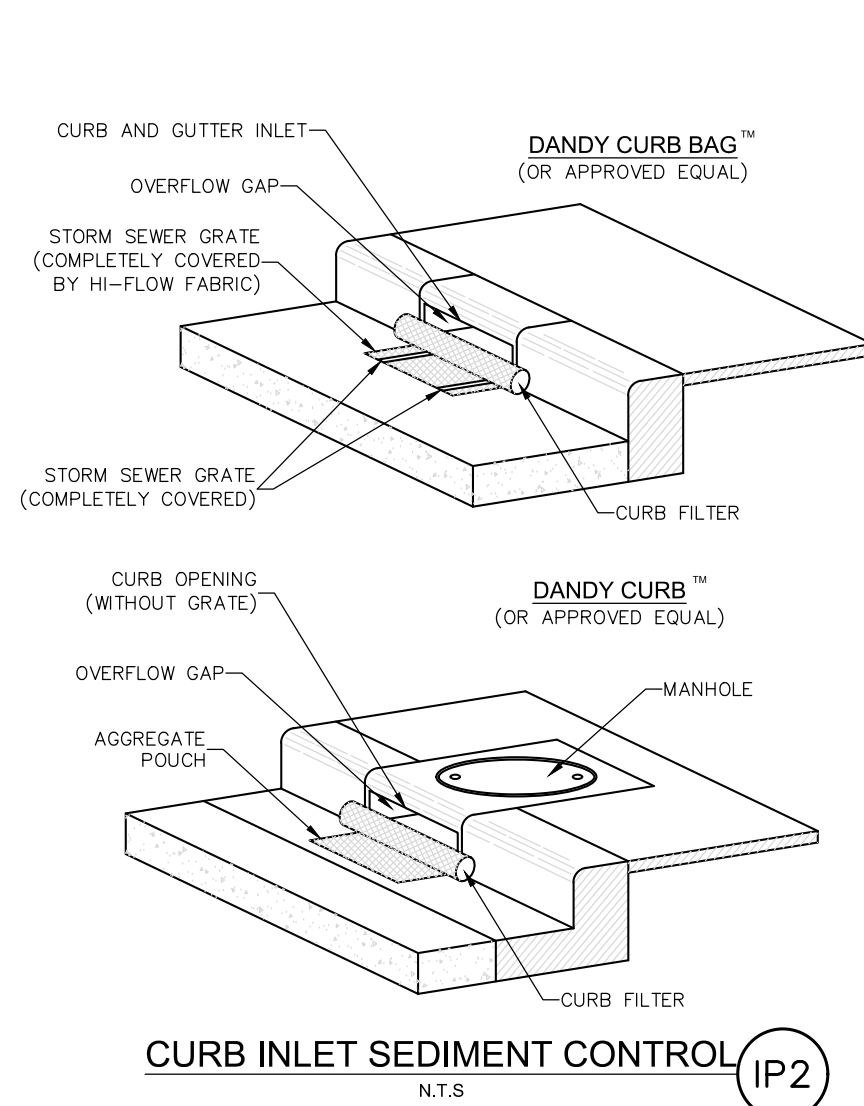
SARASOTA COUNTY
CITY OF VENICE

ZACHARY D. KOMINOS
LICENSE NO. 88711

PLAN STATUS

DATE	DESCRIPTION
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ZK	CHKD

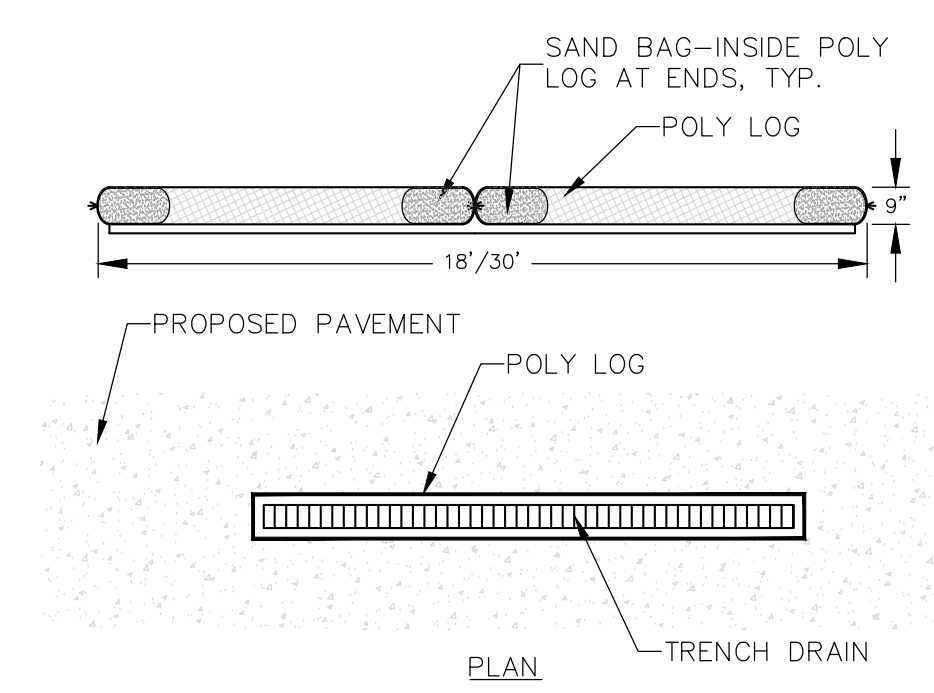
GRAPHIC SCALE
1" = 20'



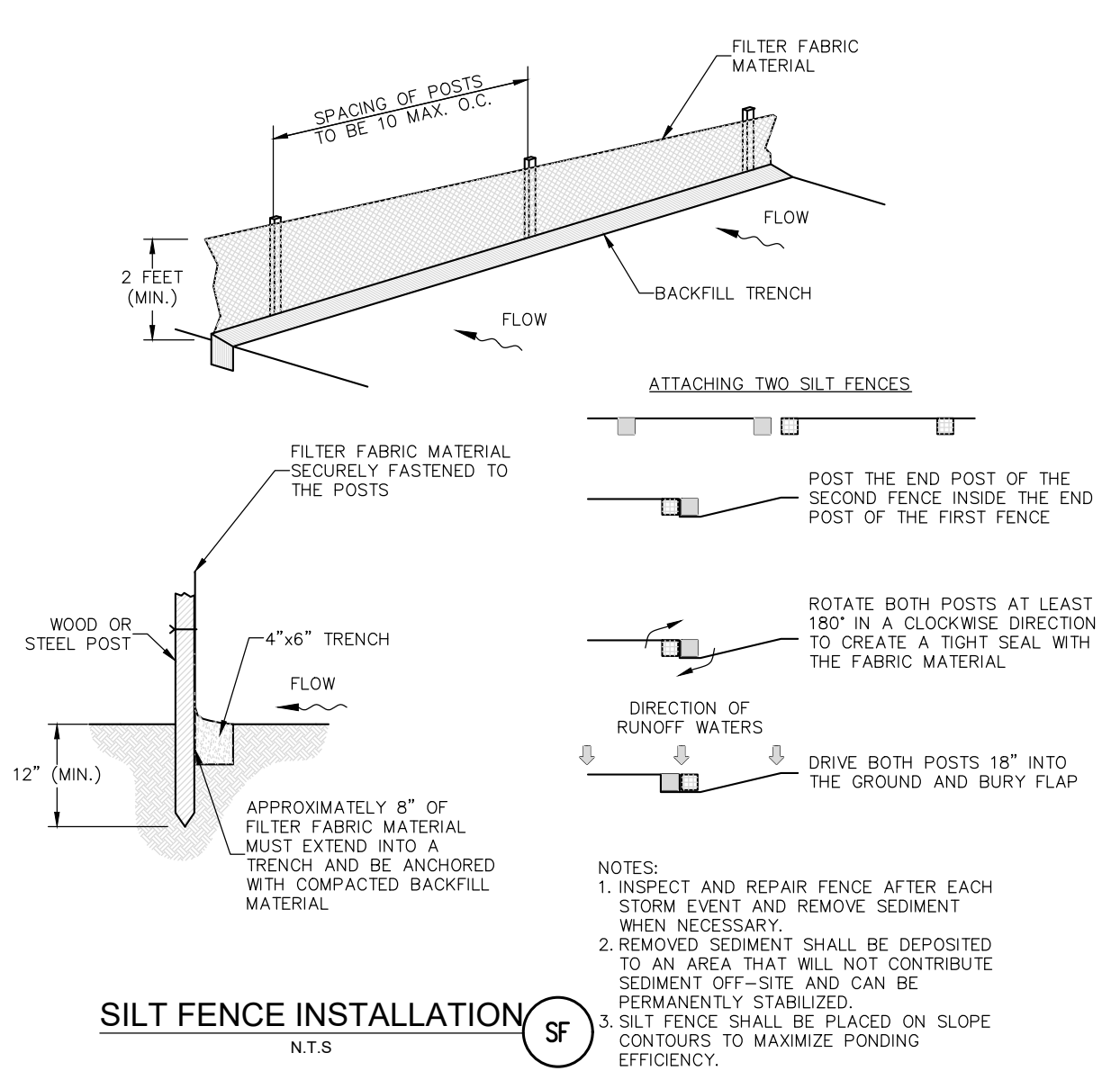
LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSF
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	0.95 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSF
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

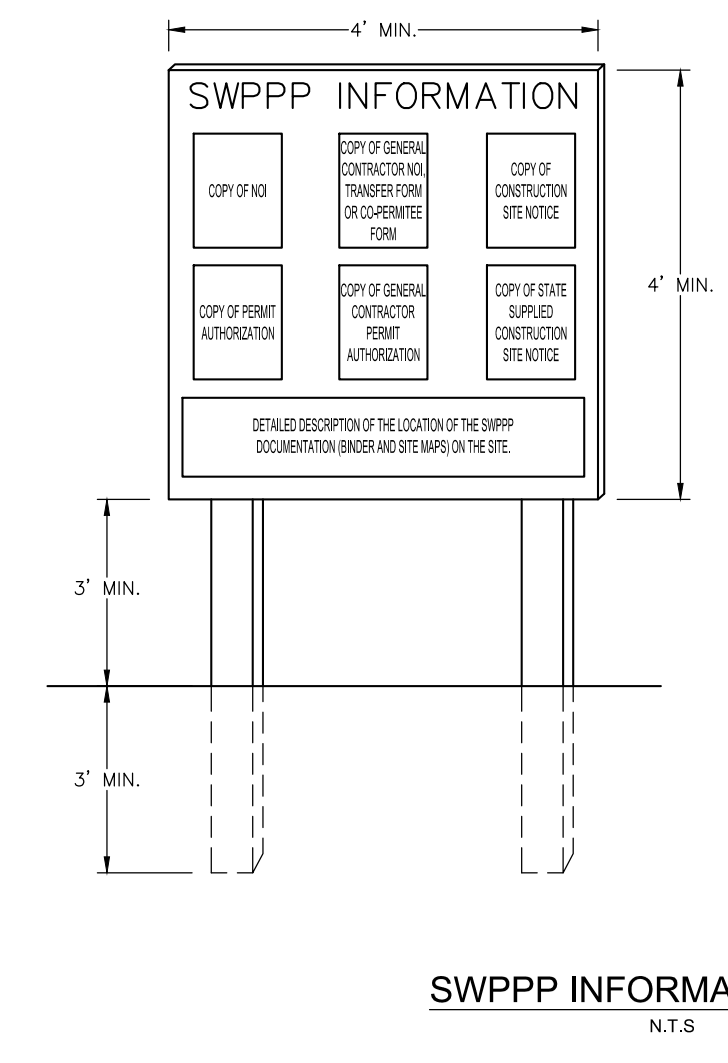
NOTES:
 1. FOR TEMPORARY USE TO CAPTURE LARGER DIAMETER SEDIMENTS.
 2. NOT TO BE UTILIZED AS THE ONLY SEDIMENT CONTAINMENT SYSTEM.
 3. GEOTEXTILE WILL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
 4. AN OIL ADSORBENT PAD OR PILLow CAN BE PURCHASED WHEN OIL SPILLS ARE A CONCERN.
 5. INSPECT PER REGULATORY REQUIREMENTS.



NOTES:
 1. STANDARD LENGTHS ARE 9 AND 15 FEET.
 2. DIAMETER OF POLY LOG IS 9".
 3. YELLOW-COLORED PVC MESH POROUS SLEEVE FILLED WITH NONGRADABLE RECYCLED POLYPROPYLENE MATERIAL.
 4. COMBINE POLY LOGS FOR NEEDED LENGTHS OR LONG RUNS.



NOTES:
 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

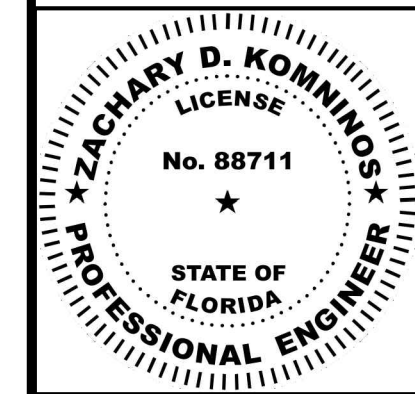


NOTES:
 1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
 2. SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
 3. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 5. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
 6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

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EROSION CONTROL DETAILS
MRT LAWN AND GARDEN CENTER
 385 & 395 U.S. HIGHWAY 41 BYPASS N
 VENICE, FL 34285

SARASOTA COUNTY
 CITY OF VENICE

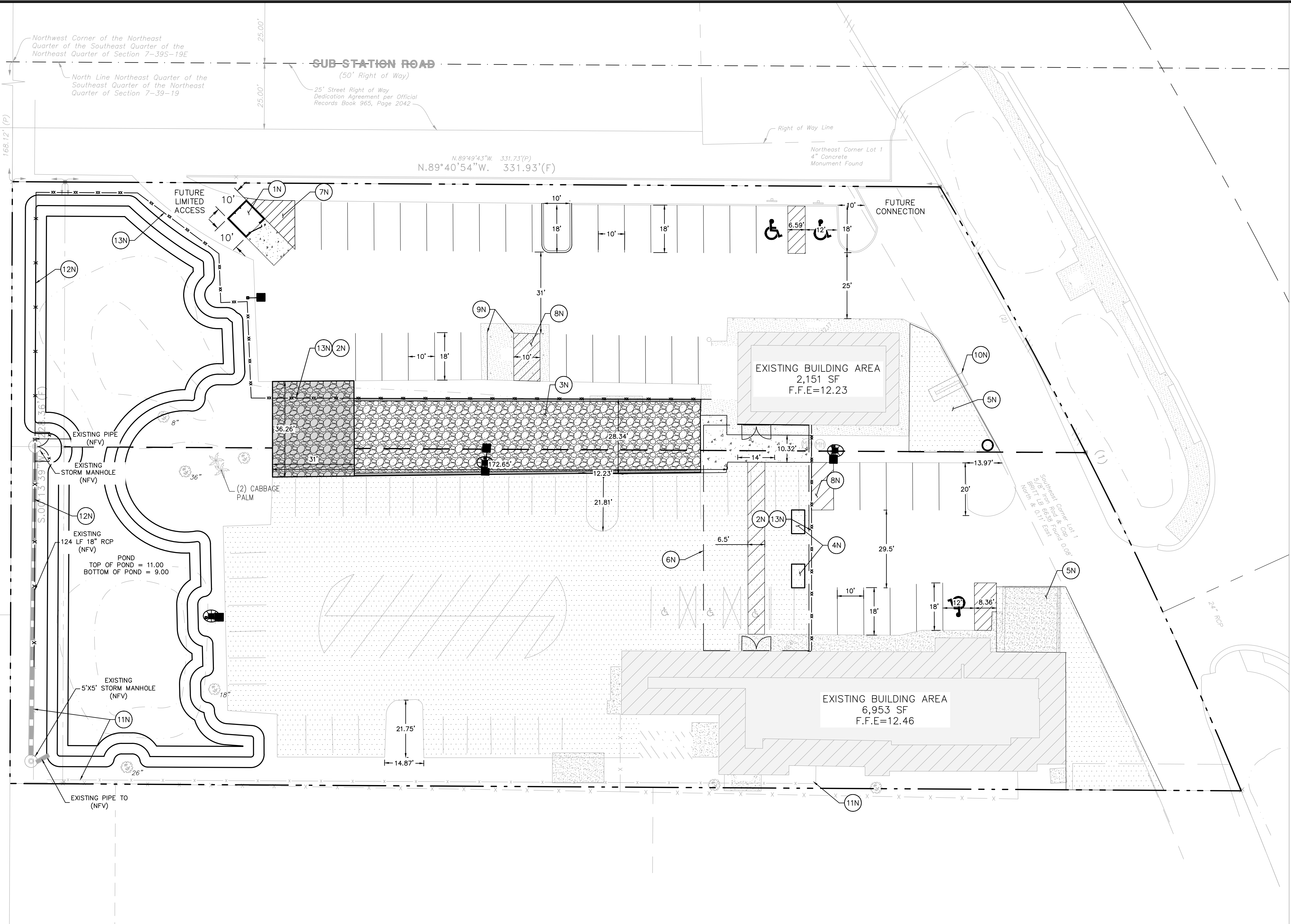


ZACHARY D. KOMINOS
 LICENSE NO. 88711

PLAN STATUS		
DATE	DESCRIPTION	
ALW DESIGN	EC DRAWN	ZK CHKD
SCALE: AS SHOWN		
JOB No. 011527-01-001		
DATE: 02/10/2025		
011527-01-0-CP-001-03-ES1.0-ECP.DWG		
ES2.0		
SHEET		



CAD file name: V:\011527 - MRT Lawn and Garden Center Inc.\011527-01-001 (ENG) - Comm. Development US-41 Bypass N Venice\Engineering\Plans\011527-01-01-C1-0-SIT.dwg, AELANGOVAN 3/17/2025



- ### NOTES
- REFER TO TOPOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION AND EXISTING SYMBOL LEGEND.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 - IN GENERAL, ITEMS SHOWN AS BOLD LINWORK REPRESENT PROPOSED FEATURES TO BE CONSTRUCTED AS PART OF THIS PROJECT, UNLESS NOTED OTHERWISE. SIMILARLY, SHADED LINWORK TYPICALLY REPRESENTS EXISTING FEATURES OR ITEMS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 - UNLESS NOTED OTHERWISE, PROPOSED DIMENSIONS ARE SHOWN AT THE CENTERLINE OF ITEMS AND TO THE STRUCTURE FACE OR FLOWLINE OF CURB.
 - CONTRACTOR IS RESPONSIBLE FOR CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING IMPROVEMENTS.
 - PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST MUTCD MANUAL AND FDOT DESIGN STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE REFLECTIVE PER THE LATEST MUTCD MANUAL.
 - SAFE VEHICULAR AND PEDESTRIAN TRAFFIC MUST BE MAINTAINED AT ALL TIMES.
 - DAMAGED SIDEWALK RESULTING FROM CONSTRUCTION ACTIVITY WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED AND REPLACED. SIDEWALKS THAT ARE REMOVED MUST BE RESTORED WITHIN THREE (3) DAYS.
 - ALL AREAS DISTURBED WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE SODED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL FROM THE SITE IN THE EVENT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION.
 - CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
 - CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
 - NO REVISION SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
 - ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
 - ALL EXISTING SIDEWALK ALONG THE PROJECT FRONTAGE SHALL MEET ADA REQUIREMENTS. ANY DAMAGED SECTIONS SHALL BE REPLACED.
 - SAW CUT THE EDGE OF PAVEMENT PRIOR TO REMOVING THE EXISTING CURB.
 - THE TRUNCATED DOMES SHALL BE LIQUID YELLOW TRUNCATED DOMES AND MUST CONFORM TO THE REQUIREMENTS OF CITY STANDARD DETAIL ENG-1.
 - SEE DETAIL SHEET 03.0 FOR FDOT CONSTRUCTION NOTES.
 - THE APPROVED LANDSCAPE AND TREE PROTECTION PLANS AND SPECIFICATIONS MUST BE FOLLOWED CLOSELY. TREE PROTECTION SPECIFICATIONS, PLANT MATERIAL QUALITY AND SIZE, MULCH AND SOIL SPECIFICATION, AND THE SPECIFICATION OF THE PLANTS OVERALL, WILL BE STRICTLY ENFORCED BY THE CITY. IF THE NEED FOR PLANT MATERIAL SUBSTITUTIONS OR OTHER SUBSTANTIAL CHANGE TO THE APPROVED PLANS ARISE DURING CONSTRUCTION PHASE, THESE CHANGES MUST BE REVIEWED BY THE CITY PRIOR TO INSTALLATION. COMMUNICATING CHANGES TO THE CITY DURING THE CONSTRUCTION PHASE COULD AVOID DELAYS WITH THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. MINOR ALTERATIONS TO ACCOMMODATE FACILITIES ARE UNDERSTOOD, BUT MUST BE REVIEWED BEFORE ANY SUCH ALTERATIONS ARE MADE.

SITE DATA

PARCEL AREA	2.06 AC (89,748 SF)
PARCEL IDENTIFICATION NUMBER	0407090004, 0407090005
EXISTING ADDRESS	385 & 395 U.S. HWY 41 BYPASS
LOCAL JURISDICTION	CITY OF VENICE
ZONING DESIGNATION	COMMERCIAL (CM)
FEMA FLOOD ZONE DESIGNATION	ZONE "X" (EL 10')
COUNTY FLOOD ELEVATION	9.31'
EXISTING USE	COMMERCIAL
PROPOSED USE	COMMERCIAL
EXISTING BUILDING AREA	9,307 SF
EXISTING BUILDING HEIGHT	AS EXISTING
FLOOR AREA RATIO (LOT COVERAGE)	0.1037
LANDSCAPE BUFFERS REQUIRED / PROVIDED	5 FT / 5 FT
FRONT (EAST)	5 FT / 5 FT
FRONT (SOUTH)	5 FT / 101 FT
BACK (WEST)	5 FT / 196 FT
SIDE (NORTH)	5 FT / 5 FT
BUILDING SETBACKS REQUIRED / PROVIDED	
FRONT (EAST)	20 FT / 78 FT
FRONT (SOUTH)	20 FT / 45 FT
BACK (WEST)	10 FT / 196 FT
SIDE (NORTH)	8 FT / 67 FT
PARKING (4 SP / 1,000 SF)	
TOTAL STANDARD PARKING REQUIRED / PROPOSED	38 / 38
TOTAL ADA PARKING REQUIRED / PROPOSED	1 / 3
PARKING STALL DIMENSIONS / ADA PARKING (L x W)	18 FT x 10 FT / 18 FT x 12 FT

FLU/ZONING OF ADJACENT PROPERTIES

DIRECTION	CURRENT ZONING	FUTURE LAND USE
N	CM	CM
NW	OPI	INSTITUTIONAL PROFESSIONAL
W	RMF-4	HIGH DENSITY RESIDENTIAL
SW	RMF-3	HIGH DENSITY RESIDENTIAL
S	RMF-4	HIGH DENSITY RESIDENTIAL
E	RMH	MODERATE DENSITY RESIDENTIAL

- ### LEGEND
- PROPERTY / RIGHT-OF-WAY LINE
 - x-x- PROPOSED FENCES
 - ♿ ACCESSIBLE PARKING SPACE
 - ↑ ↓ DIRECTIONAL ARROWS
 - ⊙ STREET SIGN LOCATION
 - ▭ PROPOSED BUILDING FOOTPRINT
 - CONCRETE SIDEWALK
 - ▨ STANDARD STONE
 - ▩ HEAVY DUTY STONE
 - DISPLAY AREA
 - ⊙ PROPOSED SITE LIGHTING (REFERENCE PHOTOMETRIC PLAN AT SHEET PH1.0)
 - ⊙ STORM MANHOLE

BUILDING HEIGHT CALCULATIONS:

HEIGHT OF THE US41 BYPASS ROAD = EL. 12.67' (AMSL)
 EXISTING NORTH BUILDING:
 FINISHED FLOOR OF BUILDING = EL. 12.23' (AMSL)
BUILDING HEIGHT AS CALCULATED FROM THE CHOSEN BASE POINT = 18.62'
 TOP OF BUILDING = EL. 30.85' (AMSL)

EXISTING SOUTH BUILDING:
 FINISHED FLOOR OF BUILDING = EL. 12.46' (AMSL)
BUILDING HEIGHT AS CALCULATED FROM THE CHOSEN BASE POINT = 18.42'
 TOP OF BUILDING = EL. 30.88' (AMSL)

PROPOSED COVERED OUTDOOR STRUCTURE:
 FINISHED FLOOR OF STRUCTURE = EL. 11.53' (AMSL)
BUILDING HEIGHT AS CALCULATED FROM THE CHOSEN BASE POINT = 17.00'
 TOP OF BUILDING = EL. 28.53' (AMSL)

SITE AREA CALCULATIONS (EXISTING)

TOTAL SITE AREA:	89,748 SF (2.06 AC)
IMPERVIOUS AREA	58,702 SF (1.35 AC) (65.4%)
BUILDING	9,307 SF (0.21 AC) (10.4%)
SIDEWALK/PAVEMENT	49,395 SF (1.14 AC) (55.0%)
PERVIOUS AREA	31,046 SF (0.71 AC) (34.6%)
OPEN SPACE	9,307 SF (0.21 AC) (10.4%)
F.A.R.	9,307/89,748 = 0.1037

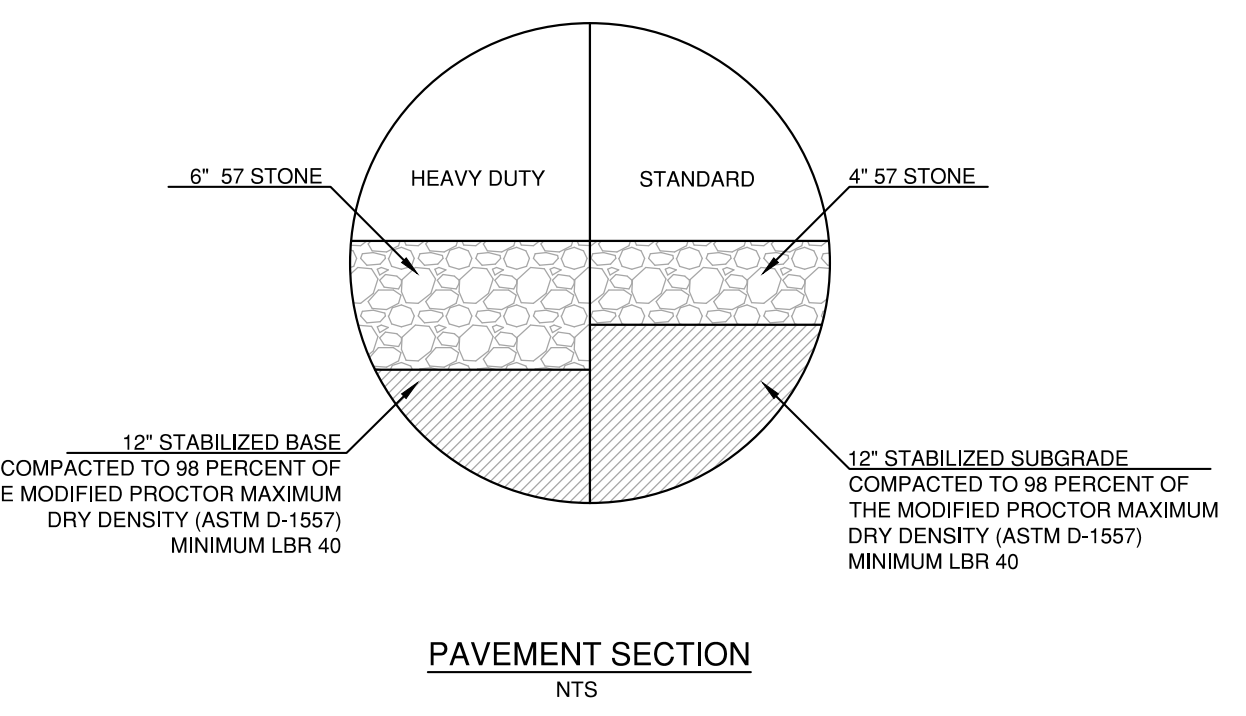
SITE AREA CALCULATIONS (PROPOSED)

TOTAL SITE AREA:	89,748 SF (2.06 AC)
IMPERVIOUS AREA	68,780 SF (1.58 AC) (76.6%)
BUILDING	9,293 SF (0.21 AC) (10.4%)
SIDEWALK/PAVEMENT	52,497 SF (1.21 AC) (58.5%)
DRY POND	7,000 SF (0.16 AC) (7.8%)
PERVIOUS AREA	20,968 SF (0.48 AC) (23.3%)
OPEN SPACE	20,968 SF (0.48 AC) (23.3%)
F.A.R.	9,307 SF (0.21 AC) (10.4%)

FLOOR AREA RATIO CALCULATION

EXISTING BUILDING SIZE	9,307 SF
PROPOSED SITE AREA	89,748 SF
F.A.R.	9307/89748 = 0.1037 SF

- ### NOTES
- 1N DUMPSTER ENCLOSURE, REFER TO DETAIL SHEET
 - 2N PROPOSED SLIDE GATE
 - 3N PROPOSED BY STONE
 - 4N PROPOSED PAY KIOSK
 - 5N PROPOSED OUTDOOR DISPLAY AREA
 - 6N PROPOSED 40'X80' BUILDING OVERHANG
 - 7N TERMINAL PARKING STRIPING, 2' O.C.
 - 8N PROPOSED 6" WHITE GORE STRIPING
 - 9N PROPOSED 6" WHITE STRIPING
 - 10N EXISTING MONUMENT SIGN
 - 11N EXISTING FENCE
 - 12N PROPOSED 6" OPAQUE WOOD FENCE
 - 13N PROPOSED 6" DECORATIVE ALUMINUM FENCE



Certificate of Authorization License No. 30462

SITE PLAN

MRT LAWN AND GARDEN CENTER

385 & 395 U.S. HIGHWAY 41 BYPASS N

VENICE, FL 34285

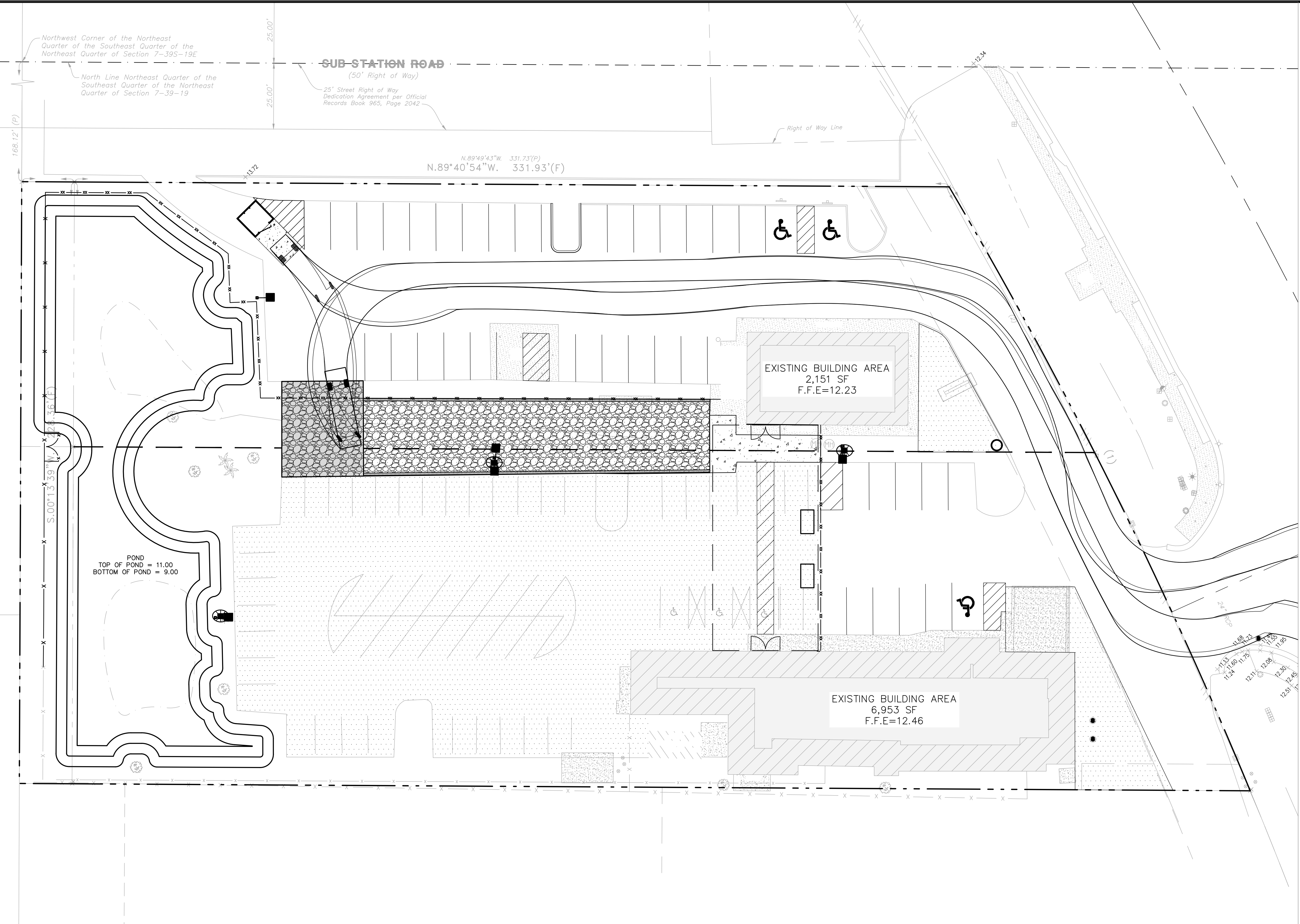
CITY OF VENICE

ZACHARY D. KOMINOS
LICENSE NO. 88711

DATE	DESCRIPTION
ALW	EC ZK
DESIGN	DRAWN CHKD
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JOB No.	011527-01-001
DATE:	03/17/2025
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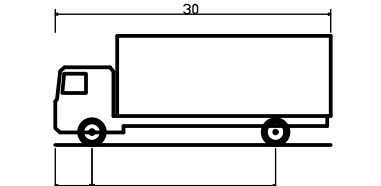
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LEGEND

- PROPERTY / RIGHT-OF-WAY LINE
- ♿ ACCESSIBLE PARKING SPACE
- ↑ ↓ DIRECTIONAL ARROWS
- ↑ STREET SIGN LOCATION
- ⊙ STORM MANHOLE
- ▨ PROPOSED BUILDING FOOTPRINT
- ▤ CONCRETE SIDEWALK
- ▥ STANDARD STONE
- ▧ HEAVY DUTY STONE
- ▩ DISPLAY AREA



SU - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 11.561ft
 Min Body Ground Clearance 3.767ft
 Track Width 5.000ft
 Lock-to-lock time 3.000s
 Max Steering Angle (Virtual) 31.70°

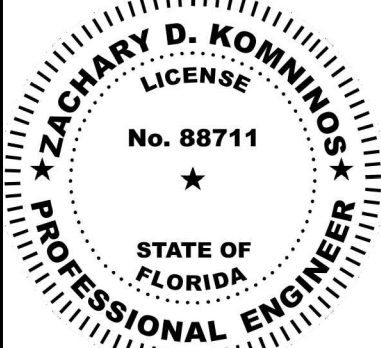
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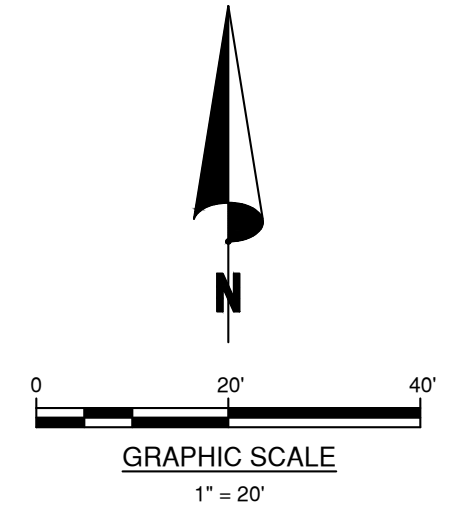
TRUCK ROUTE
MRT LAWN AND GARDEN CENTER
 385 & 395 U.S. HIGHWAY 41 BYPASS N
 VENICE, FL 34285

CITY OF VENICE

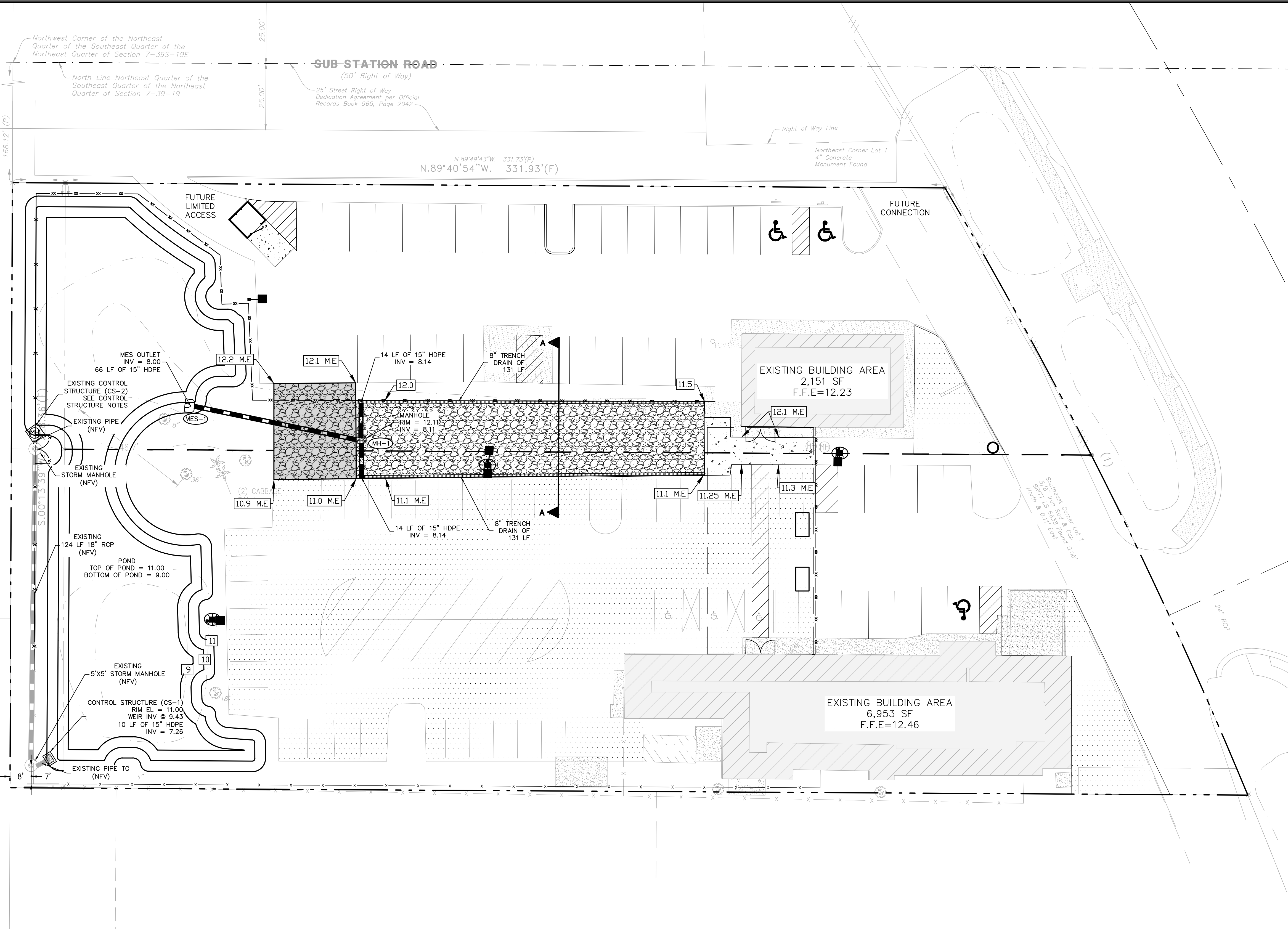


ZACHARY D. KOMMINOS
 LICENSE NO. 88711

PLAN STATUS		
DATE	DESCRIPTION	
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SCALE: AS SHOWN		
JOB No. 011527-01-001		
DATE: 03/04/2025		
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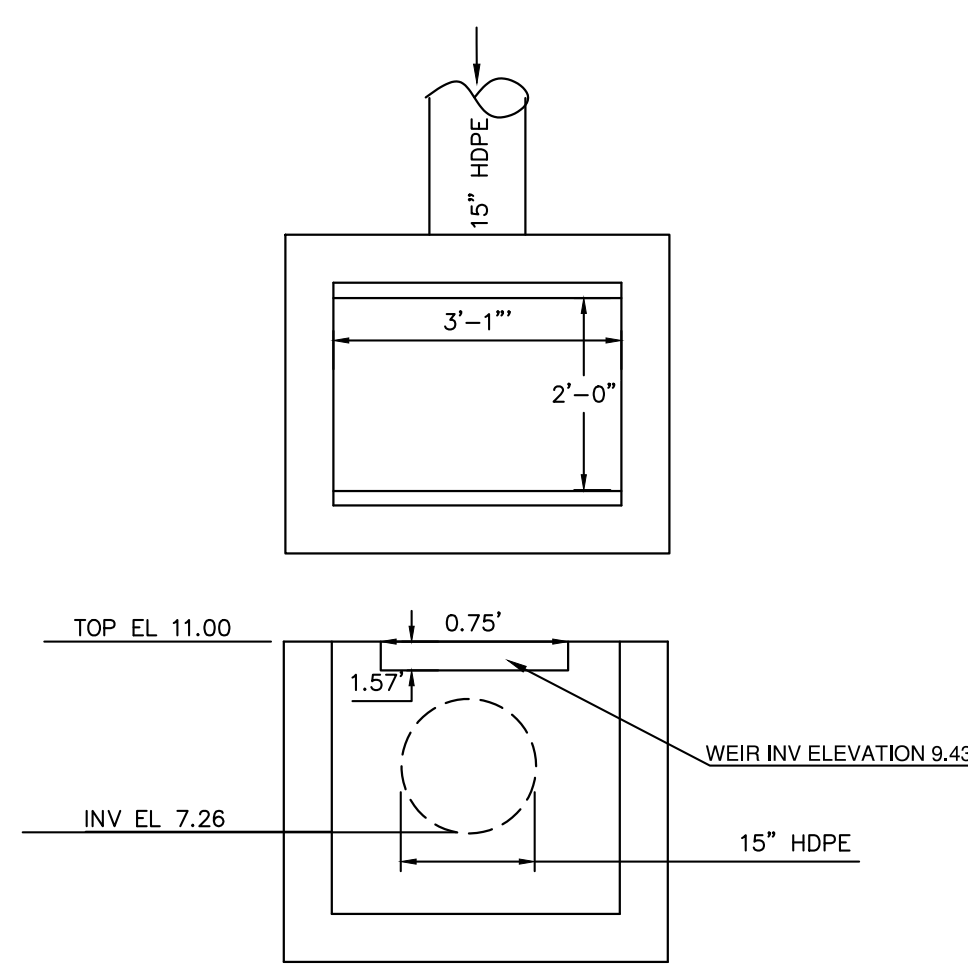
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- ### NOTES
- ALL ELEVATIONS ARE BASED ON NAVD83.
 - SAWCUT AND REPAIR EXISTING ASPHALT AT ALL DRIVEWAY CONNECTIONS.
 - SEE SHEET C4 FOR STORM DRAIN PROFILES AND CROSS SECTIONS.
 - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY AND CARPED.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. HUTTON DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6\"/>

LEGEND

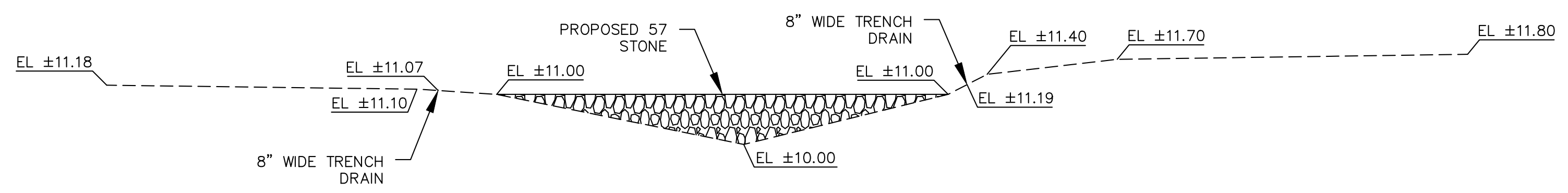
--- PROPERTY / RIGHT-OF-WAY LINE	⊙ STORM MANHOLE
— PROPOSED CURB	— PROPOSED SLOPE
--- PROPOSED STORM PIPE	— PROPOSED CONTOURS
HP HIGH POINT	▨ PROPOSED BUILDING FOOTPRINT
FL FLOW LINE	□ CONCRETE SIDEWALK
XX.XX PROPOSED GRADE ELEVATION	▨ STANDARD STONE
M.E. MATCH EXISTING	▨ HEAVY DUTY STONE
TP=XX.XX TOP OF PAVEMENT	▨ DISPLAY AREA
TC=XX.XX TOP OF CURB	
B.O.W. BOTTOM OF WALL	
XX.XX PROPOSED GRADE ELEVATION	
□ STORM CATCH BASIN	
—X—X— PROPOSED FENCES	



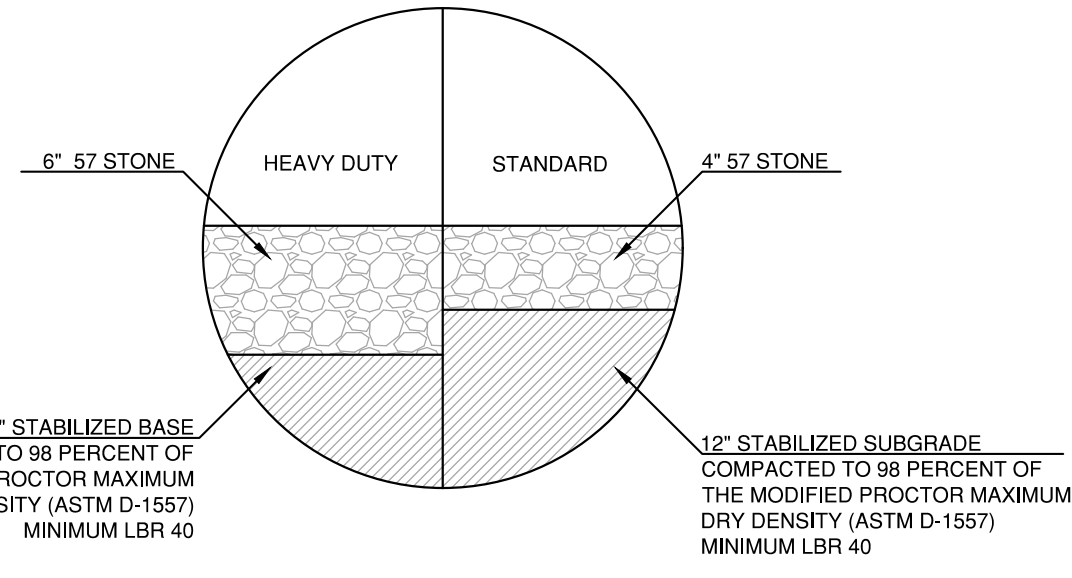
CONTROL STRUCTURE (CS-1)
SCALE: NTS

CONTROL STRUCTURE NOTES:

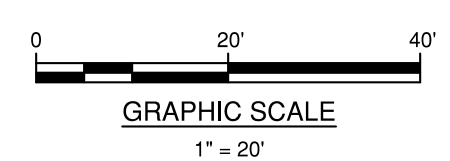
CS-1	CONTRACTOR TO USE THE EXISTING PIPE TO CONNECT TO THE PROPOSED CONTROL STRUCTURE
CS-2	CONTRACTOR TO RELOCATE AND MODIFY THE EXISTING CONTROL STRUCTURE AS FOLLOWS: WEIR @ EL = 11.00 PIPE INV = 6.11
EXISTING MH-1 CONTROL STRUCTURE	15\"/>



CROSS SECTION A-A
HORIZONTAL: 1/8\"/>



PAVEMENT SECTION
NTS



Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
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SARASOTA COUNTY
Certificate of Authorization License No. 30462

GRADING & DRAINAGE PLAN

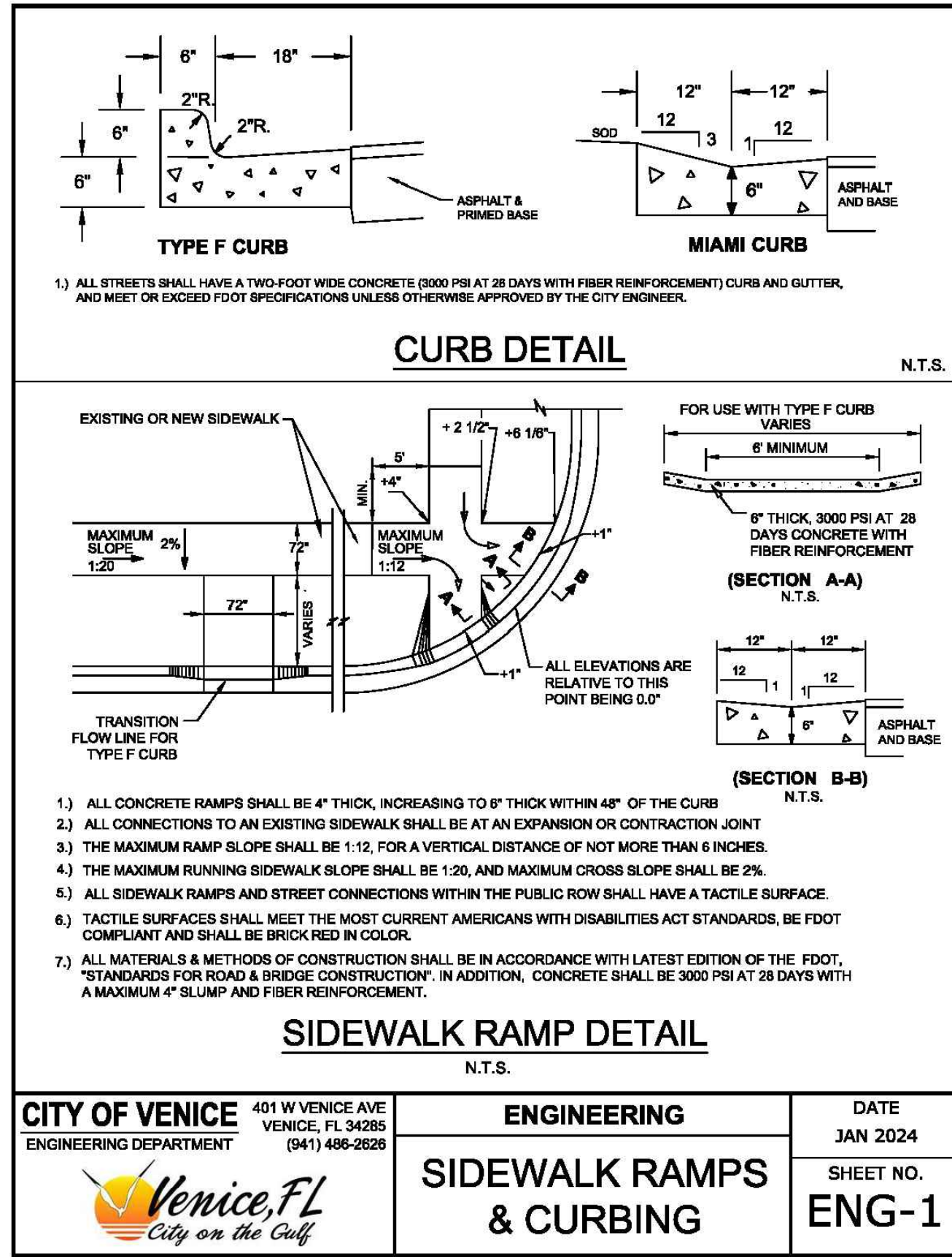
MRT LAWN AND GARDEN CENTER

385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285

CITY OF VENICE

ZACHARY D. KOMINOS
LICENSE NO. 88711
STATE OF FLORIDA
PROFESSIONAL ENGINEER

ZACHARY D. KOMINOS LICENSE NO. 88711		
PLAN STATUS		
DATE	DESCRIPTION	
ALW DESIGN	EC DRAWN	ZK CHKD
SCALE: AS SHOWN		
JOB No. 011527-01-001		
DATE: 03/04/2025		
011527-01-01-CP-001-06-C2-0-GRP.DWG		
C2.0		
SHEET		



TYPE F CURB
1. ALL STREETS SHALL HAVE A TWO-FOOT WIDE CONCRETE (3000 PSI AT 28 DAYS WITH FIBER REINFORCEMENT) CURB AND GUTTER, AND MEET OR EXCEED FDOT SPECIFICATIONS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

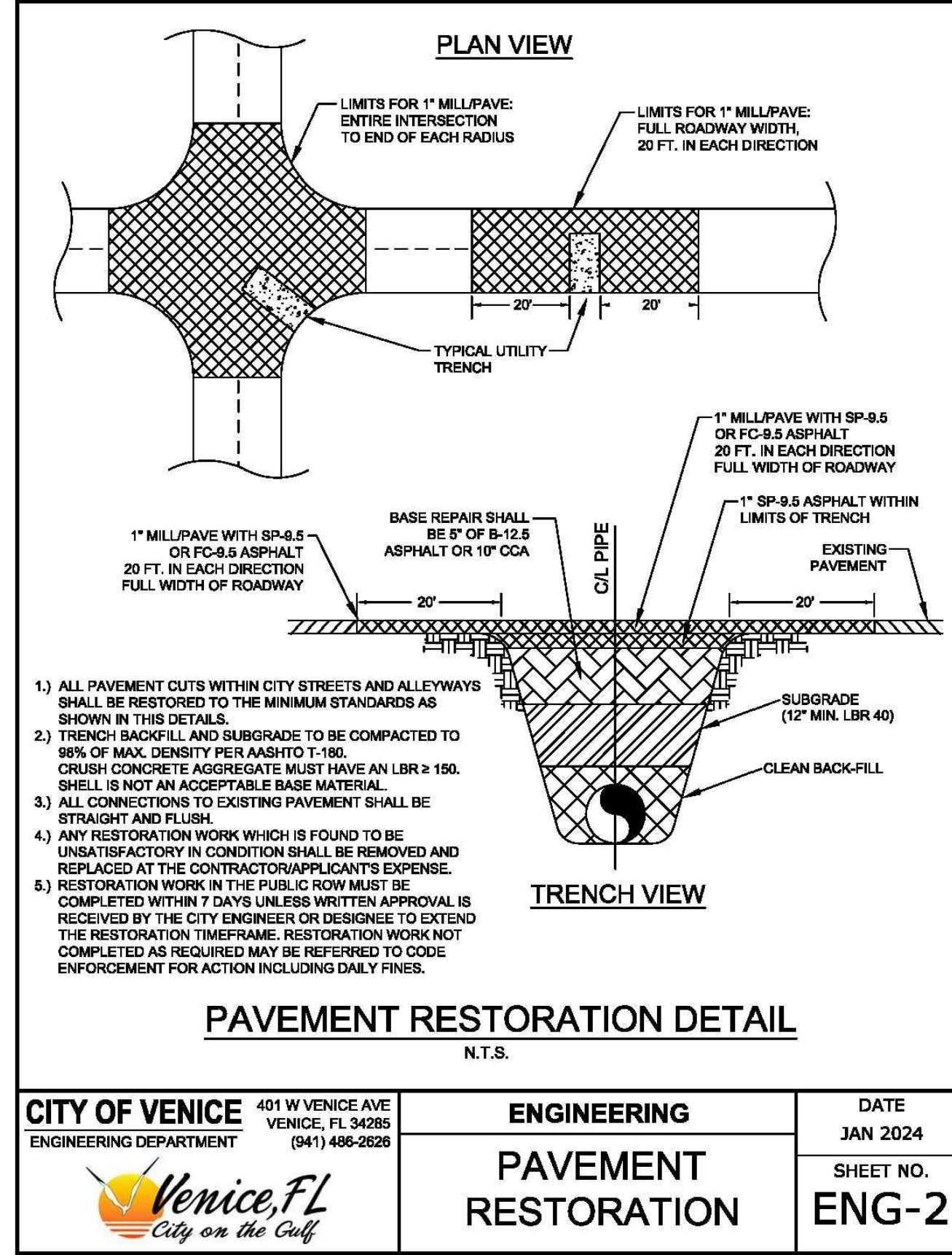
MIAMI CURB

CURB DETAIL
N.T.S.

SIDEWALK RAMP DETAIL
N.T.S.

1. ALL CONCRETE RAMPS SHALL BE 4" THICK, INCREASING TO 6" THICK WITHIN 48" OF THE CURB.
2. ALL CONNECTIONS TO AN EXISTING SIDEWALK SHALL BE AT AN EXPANSION OR CONTRACTION JOINT.
3. THE MAXIMUM RAMP SLOPE SHALL BE 1:12, FOR A VERTICAL DISTANCE OF NOT MORE THAN 6 INCHES.
4. THE MAXIMUM RUNNING SIDEWALK SLOPE SHALL BE 1:20, AND MAXIMUM CROSS SLOPE SHALL BE 2%.
5. ALL SIDEWALK RAMPS AND STREET CONNECTIONS WITHIN THE PUBLIC ROW SHALL HAVE A TACTILE SURFACE.
6. TACTILE SURFACES SHALL MEET THE MOST CURRENT AMERICANS WITH DISABILITIES ACT STANDARDS, BE FDOT COMPLIANT AND SHALL BE BRICK RED IN COLOR.
7. ALL MATERIALS & METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT STANDARDS FOR ROAD & BRIDGE CONSTRUCTION. IN ADDITION, CONCRETE SHALL BE 3000 PSI AT 28 DAYS WITH A MAXIMUM 4" SLUMP AND FIBER REINFORCEMENT.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2628	ENGINEERING	DATE JAN 2024
Venice, FL City on the Gulf		SIDEWALK RAMPS & CURBING	SHEET NO. ENG-1



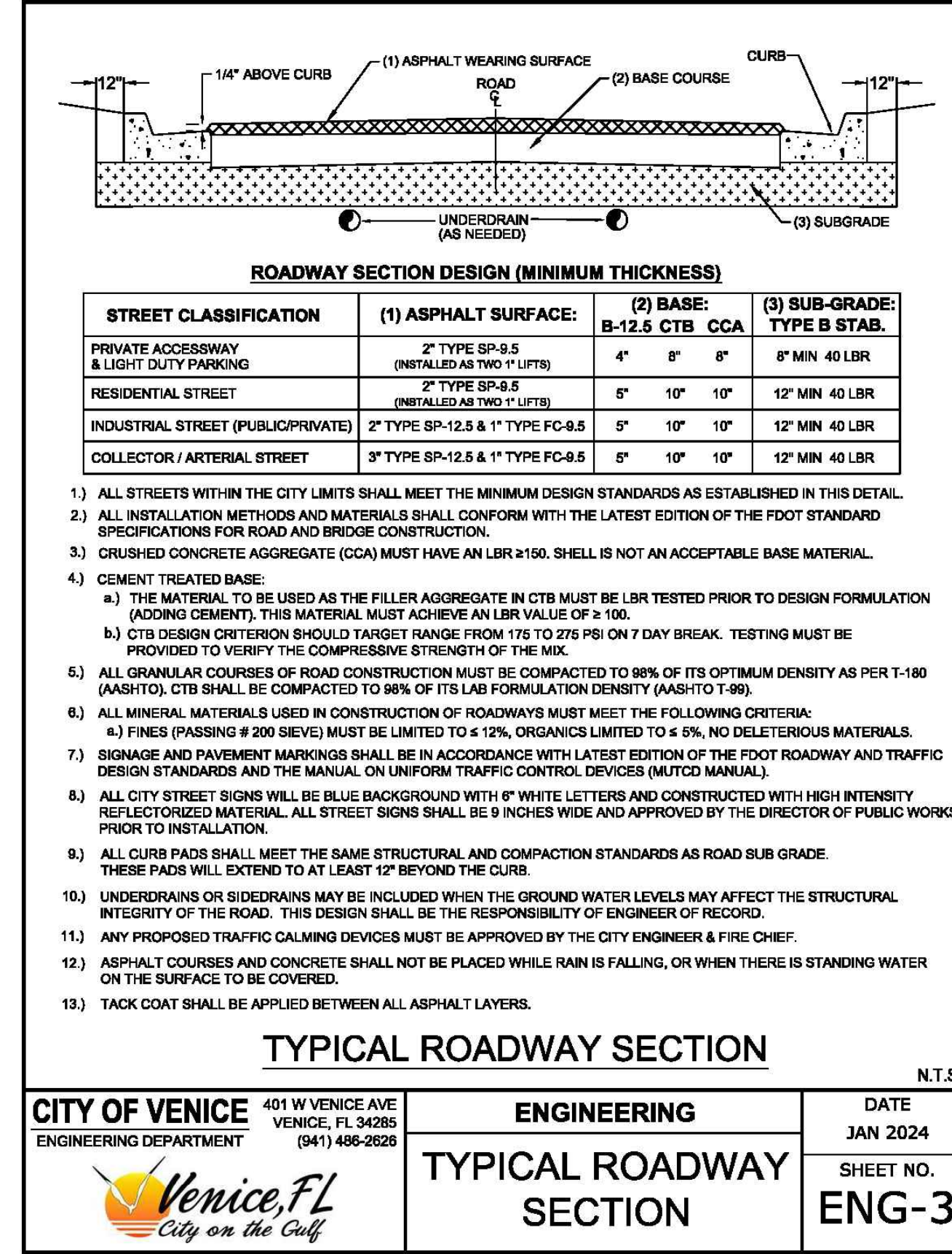
PLAN VIEW

TRENCH VIEW

PAVEMENT RESTORATION DETAIL
N.T.S.

1. ALL PAVEMENT CUTS WITHIN CITY STREETS AND ALLEYS SHALL BE RESTORED TO THE MINIMUM STANDARDS AS SHOWN IN THIS DETAIL.
2. TRENCH BACKFILL AND SUBGRADE TO BE COMPACTED TO 96% OF MAX. DENSITY PER AASHTO T-100. SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.
3. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE STRAIGHT AND FLUSH.
4. ANY RESTORATION WORK WHICH IS FOUND TO BE UNSATISFACTORY IN CONDITION SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR/APPLICANT'S EXPENSE.
5. RESTORATION WORK IN THE PUBLIC ROW MUST BE COMPLETED WITHIN 7 DAYS UNLESS WRITTEN APPROVAL IS RECEIVED BY THE CITY ENGINEER OR DESIGNEE TO EXTEND THE RESTORATION TIMEFRAME. RESTORATION WORK NOT COMPLETED AS REQUIRED MAY BE REFERRED TO CODE ENFORCEMENT FOR ACTION INCLUDING DAILY FINES.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2628	ENGINEERING	DATE JAN 2024
Venice, FL City on the Gulf		PAVEMENT RESTORATION	SHEET NO. ENG-2



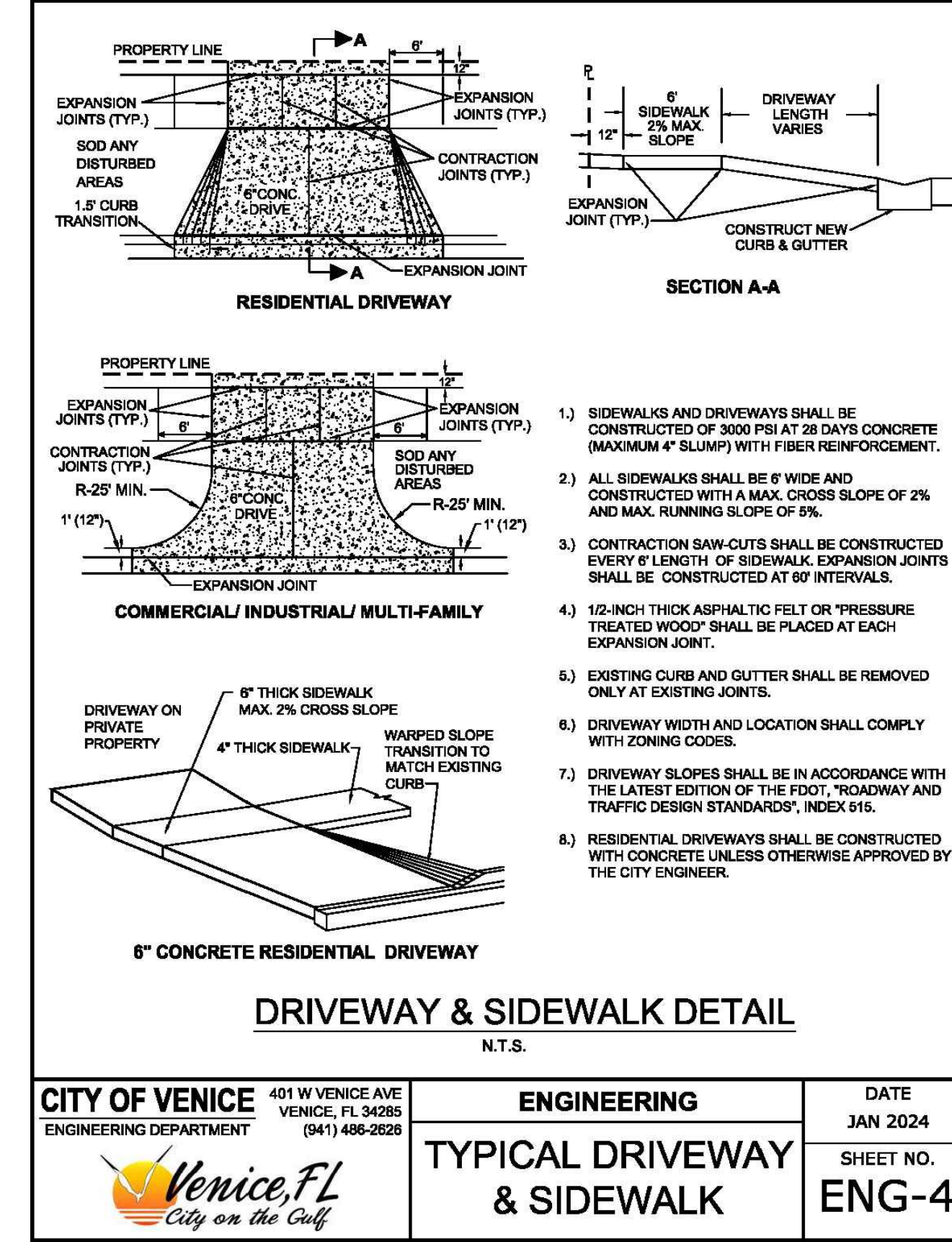
ROADWAY SECTION DESIGN (MINIMUM THICKNESS)

STREET CLASSIFICATION	(1) ASPHALT SURFACE:	(2) BASE:	(3) SUB-GRADE:
PRIVATE ACCESSWAY & LIGHT DUTY PARKING	2" TYPE SP-9.5 (INSTALLED AS TWO 1" LIFTS)	B-12.5 CTB CCA	8" MIN 40 LBR
RESIDENTIAL STREET	2" TYPE SP-9.5 (INSTALLED AS TWO 1" LIFTS)	5" 10" 10"	12" MIN 40 LBR
INDUSTRIAL STREET (PUBLIC/PRIVATE)	2" TYPE SP-12.5 & 1" TYPE FC-9.5	5" 10" 10"	12" MIN 40 LBR
COLLECTOR / ARTERIAL STREET	3" TYPE SP-12.5 & 1" TYPE FC-9.5	5" 10" 10"	12" MIN 40 LBR

1. ALL STREETS WITHIN THE CITY LIMITS SHALL MEET THE MINIMUM DESIGN STANDARDS AS ESTABLISHED IN THIS DETAIL.
2. ALL INSTALLATION METHODS AND MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. CRUSHED CONCRETE AGGREGATE (CCA) MUST HAVE AN LBR ≥ 150 . SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.
4. CEMENT TREATED BASE:
a. THE MATERIAL TO BE USED AS THE FILLER AGGREGATE IN CTB MUST BE LBR TESTED PRIOR TO DESIGN FORMULATION (ADDING CEMENT). THIS MATERIAL MUST ACHIEVE AN LBR VALUE OF ≥ 100 .
b. CTB DESIGN CRITERION SHOULD TARGET RANGE FROM 715 TO 1275 PSI ON 7 DAY BREAK. TESTING MUST BE PROVIDED TO VERIFY THE COMPRESSIVE STRENGTH OF THE MIX.
5. ALL GRANULAR COURSES OF ROAD CONSTRUCTION MUST BE COMPACTED TO 96% OF ITS OPTIMUM DENSITY AS PER T-100 (ASHTO). CTB SHALL BE COMPACTED TO 96% OF ITS LAB FORMULATION DENSITY (ASHTO T-99).
6. ALL MINERAL MATERIALS USED IN CONSTRUCTION OF ROADWAYS MUST MEET THE FOLLOWING CRITERIA:
a. FINES (PASSING # 200 SIEVE) MUST BE LIMITED TO $\leq 12\%$, ORGANICS LIMITED TO $\leq 5\%$, NO DELETERIOUS MATERIALS.
7. SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD MANUAL).
8. ALL CURB PADS SHALL MEET THE SAME STRUCTURAL AND COMPACTION STANDARDS AS ROAD SUB GRADE. THESE PADS WILL EXTEND TO AT LEAST 12" BEYOND THE CURB.
9. UNDERDRAINS OR SIDERAMS MAY BE INCLUDED WHEN THE GROUND WATER LEVELS MAY AFFECT THE STRUCTURAL INTEGRITY OF THE ROAD. THIS DESIGN SHALL BE THE RESPONSIBILITY OF ENGINEER OF RECORD.
10. ANY PROPOSED TRAFFIC CALMING DEVICES MUST BE APPROVED BY THE CITY ENGINEER & FIRE CHIEF.
11. ASPHALT COURSES AND CONCRETE SHALL NOT BE PLACED WHILE RAIN IS FALLING, OR WHEN THERE IS STANDING WATER ON THE SURFACE TO BE COVERED.
12. TACK COAT SHALL BE APPLIED BETWEEN ALL ASPHALT LAYERS.

TYPICAL ROADWAY SECTION
N.T.S.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2628	ENGINEERING	DATE JAN 2024
Venice, FL City on the Gulf		TYPICAL ROADWAY SECTION	SHEET NO. ENG-3



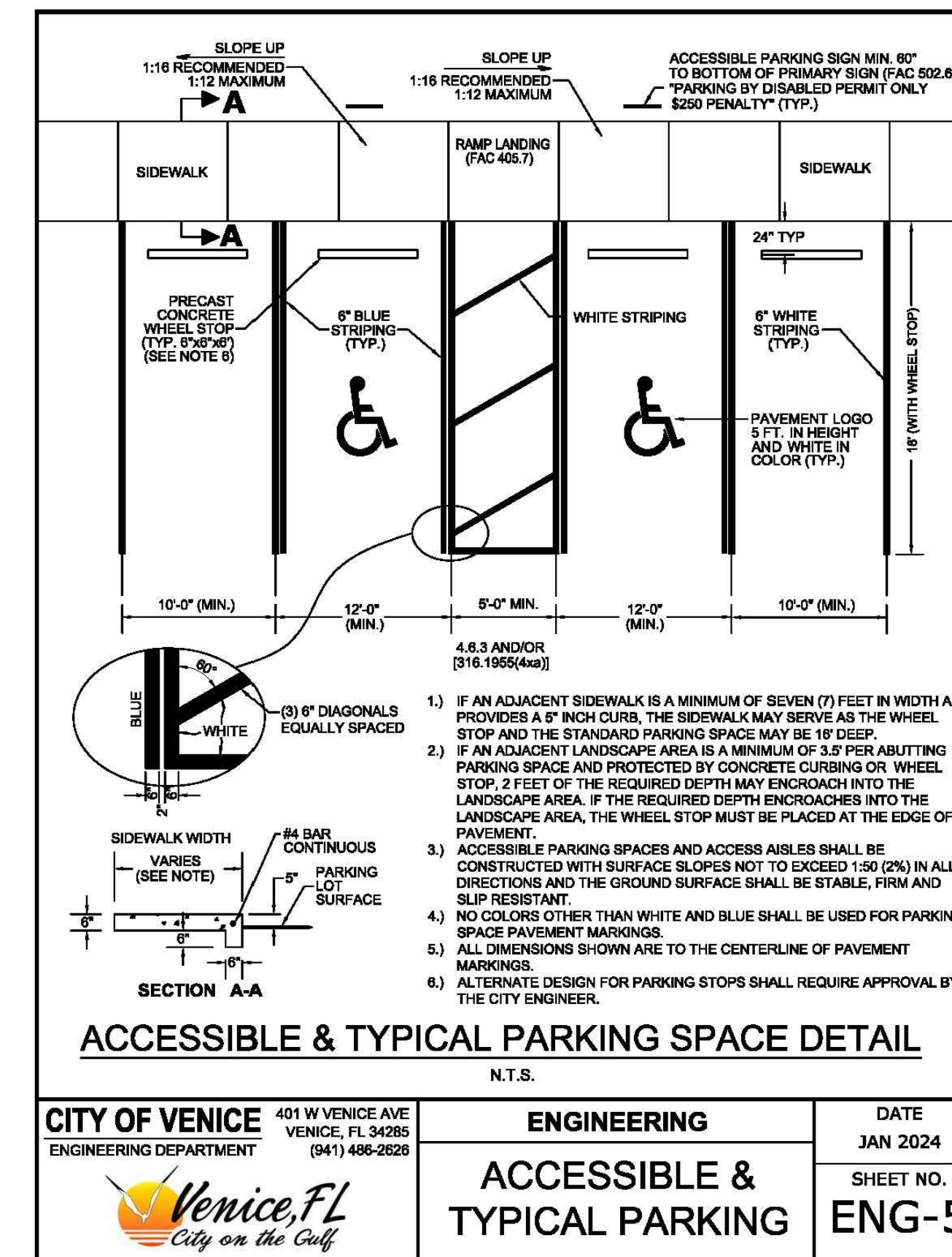
RESIDENTIAL DRIVEWAY

SECTION A-A

COMMERCIAL/INDUSTRIAL/MULTI-FAMILY DRIVEWAY & SIDEWALK DETAIL
N.T.S.

1. SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED OF 3000 PSI AT 28 DAYS CONCRETE (MAXIMUM 4" SLUMP) WITH FIBER REINFORCEMENT.
2. ALL SIDEWALKS SHALL BE 6" WIDE AND CONSTRUCTED WITH A MAX. CROSS SLOPE OF 2% AND MAX. RUNNING SLOPE OF 5%.
3. CONTRACTION SAW-CUTS SHALL BE CONSTRUCTED EVERY 6' LENGTH OF SIDEWALK. EXPANSION JOINTS SHALL BE CONSTRUCTED AT 60' INTERVALS.
4. 1/2-INCH THICK ASPHALTIC FELT OR "PRESSURE TREATED WOOD" SHALL BE PLACED AT EACH EXPANSION JOINT.
5. EXISTING CURB AND GUTTER SHALL BE REMOVED ONLY AT EXISTING JOINTS.
6. DRIVEWAY WIDTH AND LOCATION SHALL COMPLY WITH ZONING CODES.
7. DRIVEWAY SLOPES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS", INDEX 516.
8. RESIDENTIAL DRIVEWAYS SHALL BE CONSTRUCTED WITH CONCRETE UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

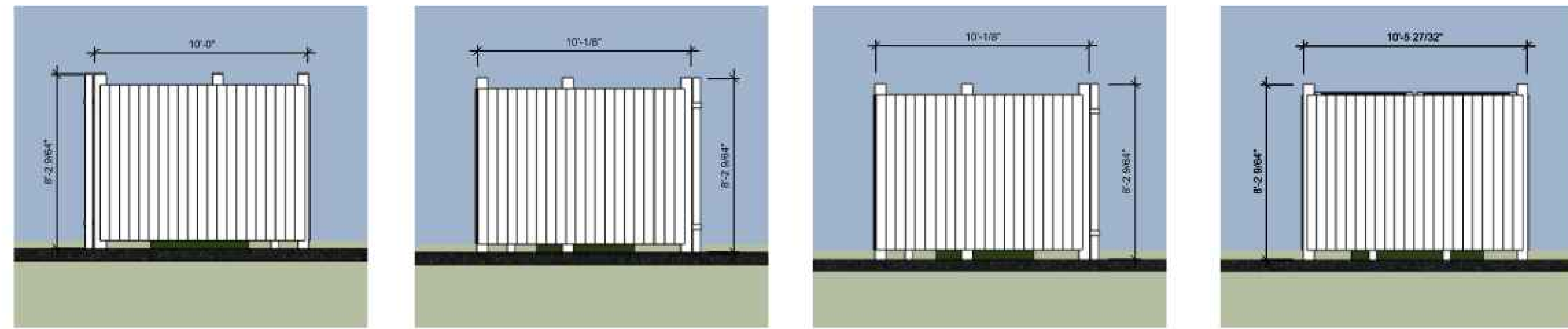
CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2628	ENGINEERING	DATE JAN 2024
Venice, FL City on the Gulf		TYPICAL DRIVEWAY & SIDEWALK	SHEET NO. ENG-4



ACCESSIBLE & TYPICAL PARKING SPACE DETAIL
N.T.S.

1. IF AN ADJACENT SIDEWALK IS A MINIMUM OF SEVEN (7) FEET IN WIDTH AND PROVIDES A 6" INCH CURB, THE SIDEWALK MAY SERVE AS THE WHEEL STOP AND THE STANDARD PARKING SPACE MAY BE 16' DEEP.
2. IF AN ADJACENT LANDSCAPE AREA IS A MINIMUM OF 3' PER ABUTTING PARKING SPACE AND PROTECTED BY CONCRETE CURBING OR WHEEL STOP, 2 FEET OF THE REQUIRED DEPTH MAY ENCRoACH INTO THE LANDSCAPE AREA. IF THE REQUIRED DEPTH ENCRoACHES INTO THE LANDSCAPE AREA, THE WHEEL STOP MUST BE PLACED AT THE EDGE OF THE PAVEMENT.
3. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE CONSTRUCTED WITH SURFACE SLOPES NOT TO EXCEED 1:50 (2%) IN ALL DIRECTIONS AND THE GROUND SURFACE SHALL BE STABLE, FIRM AND SLIP RESISTANT.
4. NO COLORS OTHER THAN WHITE AND BLUE SHALL BE USED FOR PARKING SPACE PAVEMENT MARKINGS.
5. ALL DIMENSIONS SHOWN ARE TO THE CENTERLINE OF PAVEMENT MARKINGS.
6. ALTERNATE DESIGN FOR PARKING STOPS SHALL REQUIRE APPROVAL BY THE CITY ENGINEER.

CITY OF VENICE ENGINEERING DEPARTMENT	401 W VENICE AVE VENICE, FL 34285 (941) 486-2628	ENGINEERING	DATE JAN 2024
Venice, FL City on the Gulf		ACCESSIBLE & TYPICAL PARKING	SHEET NO. ENG-5



PVC FENCE DUMPSTER DETAIL

PLAN STATUS	
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
ZK	CHKD
SCALE: AS SHOWN	
JOB No. 011527-01-001	
DATE: 02/10/2025	
01527-01-001-05-01-0-D	
SHEET	D1.0



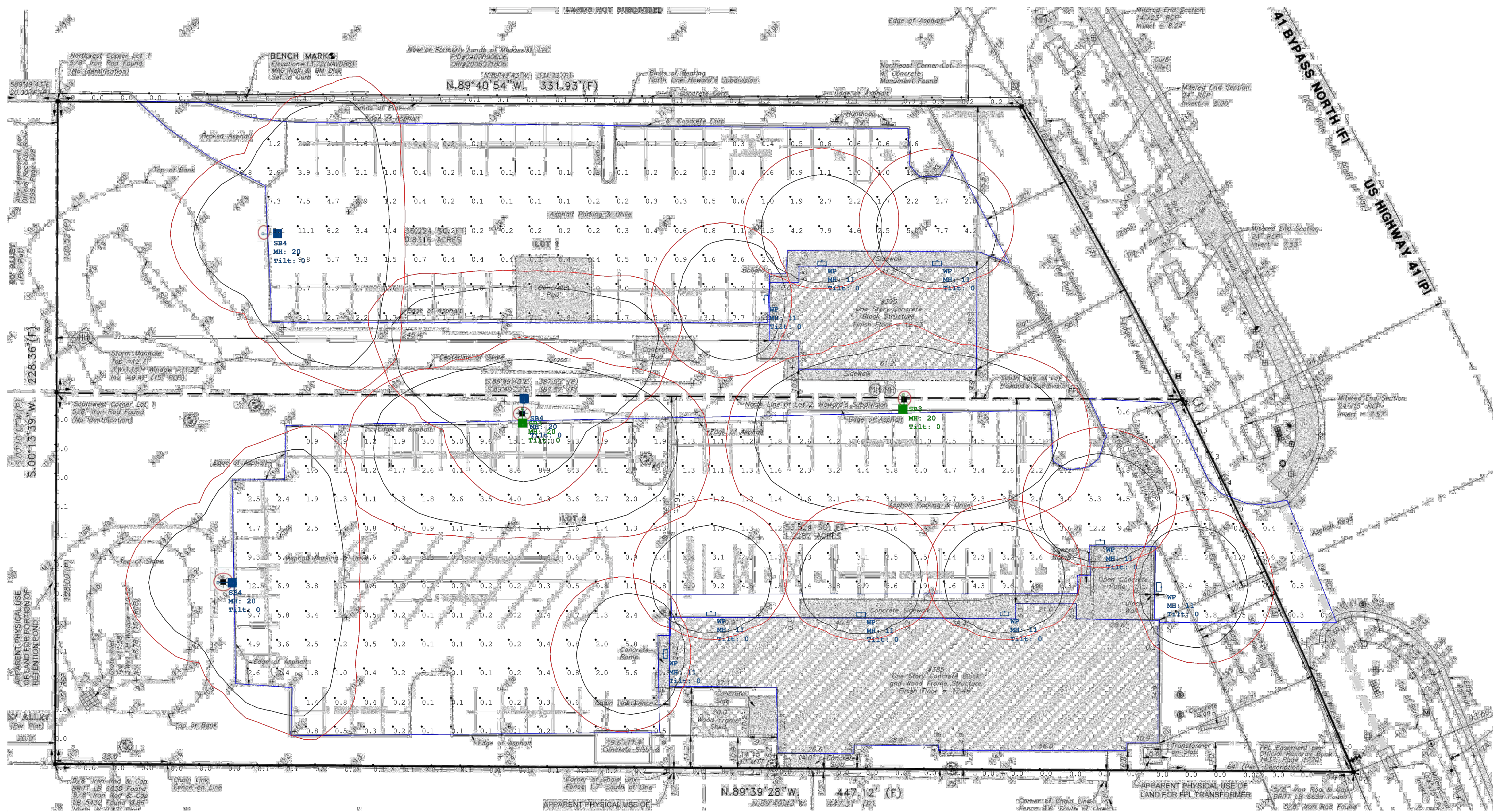


SYNERGY LIGHTING

"The Nation's #1 Source For Lighting and Service"

LEADING THE WAY IN LED

LED LIGHTING PLAN



Illumination levels may not exceed 1.0 footcandles at the property line.

Synergy Lighting, Inc. www.SynergyLightingUSA.com

877-220-5483 sales@synergylightingusa.com

Project Name: Project_1

MRT ACE SITE CALC REVISED 121324.AGI

AGi32 Version 16.8.4

12/13/2024

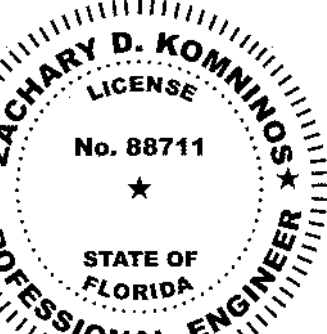
Page 3 of 6

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Bowman

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Melbourne, FL 32934
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PHOTOMETRIC PLAN
MRT LAWN AND GARDEN CENTER
385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
ZK	CHKD
SCALE:	AS SHOWN
JOB No. 011527-01-001	
DATE: 02/10/2025	

011527-01-0-CP-001-06-PH1.0-PHOTO

SHEET PH1.0

Certificate of Authorization License No. 30462

SARASOTA COUNTY

CAD file name: V:\011527 - MRT Lawn and Garden Center Inc\011527-01-01-CP-001-06-PH1.0-PHOTO.dwg, JUANMAGDALENO 2/10/2025

LED HIGH OUTPUT AREA LIGHT



Job Name	MRT ACE PARKING LOT
Catalog Number	ALCK-145W-T4-UNV-50K-8R2-AA
Specified By	RICHARD RACEY
Notes	TYPE 5B3

The ALCK Series LED Area Lights bring together modern form and a simple (over engineered) design to compliment any architecturally designed property to provide area lighting uniformly throughout a parking lot or auto dealership. With its light weight construction and mounting versatility, the ALCK Area Light mounts to any type of light pole.

FEATURES

- Modern form factor with cast aluminum housing
- Stainless steel hardware
- Advanced thermal management integral heat sinks
- Lumileds High Performance Diodes
- Integral Invertronics Drivers
- Premium - Corrosion resistant polymer powder coat
- Quick and easy installation
- 100,000 Hour Life with 5 Year Factory Warranty
- Available in: Bronze or Black Finish
- CCT: 4000K or 5000K
- UL Listed For Wet Locations

APPLICATIONS

- Parking Lot Lighting
- Automotive Dealerships
- High Mast Lighting
- Shopping Centers
- Hospitality and Office

ELECTRICAL

- Available in 120/277 or 480 Voltages
- 10KA Surge Protection - Shuts off at end of life
- Optional 0-10V Dimming

ORDERING INFORMATION

ALCK	WATTAGE	DISTRIBUTION	VOLTAGE	COLOR TEMP	FINISH COLOR	OPTIONS
ALCK	75W G3 - 9,000L 105W G3 - 13,000L 150W G3 - 19,000L 200W G3 - 24,000L 300W G3 - 33,000L 300W G3 - 54,400L 420W G3 - 67,200L	TSM - Type III T4M - Type IV T5M - Type V	UNV - 120/277 Volt HV - 347-480 Volt	3K - 3000K 80 CRI 4K - 4000K 80 CRI 5K - 5000K 90 CRI	BZ - Bronze BK - Black WH - White	DA - Direct Arm Mount AA - Adjustable Arm RA - Round Pole Adapt WM - Wall Mount Adapt

Note: This product is Imported

CERTIFICATIONS



Synergy Lighting 6015 28th Street East Bradenton, FL 34203 P: 941-756-4844 F: 941-756-4866 www.SynergyLightingUSA.com REV4-Nov 2016



LED LUMINAIRES

ProLED® WPS Wallpack Series



The ProLED WPS Wallpack Series provides the best value in the Commercial & Industrial Wallpack market to date. The WPS Series products are made of high quality, die-cast aluminum housings and a shatter resistant Borosilicate Glass Lens which offers a traditional, yet robust design. The traditional mounting design with 1/2" knock outs on sides makes installation a breeze.



Multiple Wattages

- 4K & 5K Color Temperature
- Die Cast Aluminum Housing
- Shatter Resistant Borosilicate Glass Diffuser
- UL Listed for Wet Locations

Applications:
Building Facade
Industrial Sites
Commercial Sites
Safety & Security
Self Storage Sites

Contact Your Customer Care Specialist For Pricing, Orders And Technical Support.
800.677.3334 www.halcolighting.com

ProLED® WPS Wallpack Series

Product #:	WPS-80-5K-U	Type:	WP
Project:	MRT ACE	Date:	
Comments:		Initials:	RR

Performance

- Efficacy 125 - 133 LPW
- 4,000 & 5,000K Color Temperatures
- Universal 120-277VAC
- L70 Lumen Maintenance > 50,000 hours at 40C
- CRI > 80
- Type IV Distribution

Construction

- Die-Cast Aluminum Housing
- Hinged Door Frame and Captive Screws
- Shatter Resistant Borosilicate Glass Diffuser
- Textured Architectural Bronze Powder-coat Finish
- Silicone Gasketing
- 1/2" Knock outs on Top & Sides

Controls

120-277V Photocell: The button photocell is designed to control lighting in accordance with ambient light level. It is equipped with quick-response time delay of approximately 3 seconds. The 120-277V operation suits most customer use applications. The product is UL773A listed, as well as CE and RoHS certified.

Ordering Information

SKU #	Product Code	Product Description	Wattage	CCT
10390	WPS-28-4K-U	ProLED STANDARD WALLPACK 28W 4000K UNV 120-277	28	4000K
10391	WPS-28-5K-U	ProLED STANDARD WALLPACK 28W 5000K UNV 120-277	28	5000K
10392	WPS-40-4K-U	ProLED STANDARD WALLPACK 40W 4000K UNV 120-277	40	4000K
10393	WPS-40-5K-U	ProLED STANDARD WALLPACK 40W 5000K UNV 120-277	40	5000K
10394	WPS-80-4K-U	ProLED STANDARD WALLPACK 80W 4000K UNV 120-277	80	4000K
10395	WPS-80-5K-U	ProLED STANDARD WALLPACK 80W 5000K UNV 120-277	80	5000K
10396	WPS-120-4K-U	ProLED STANDARD WALLPACK 120W 4000K UNV 120-277	120	4000K
10397	WPS-120-5K-U	ProLED STANDARD WALLPACK 120W 5000K UNV 120-277	120	5000K
Accessories				
10141	PC/120-277	BUTTON PHOTOCELL: 120-277VAC		

Performance Table						4000K			5000K		
Product Codes	Voltage	Nominal Wattage	CRI	Power Factor	Distribution	Actual Wattage	Lumens	Efficacy	Actual Wattage	Lumens	Efficacy
WPS-28	120-277 VAC	28W	80	> 0.9	Type IV	26.5	3514	132	26.4	3609	134
WPS-40		40W				37.9	4885	129	38	4948	130
WPS-80		80W				75.5	9797	130	75	9865	131
WPS-120	120W	113.7	14228	125	114	14465	127				

ProLED® WPS Wallpack Series

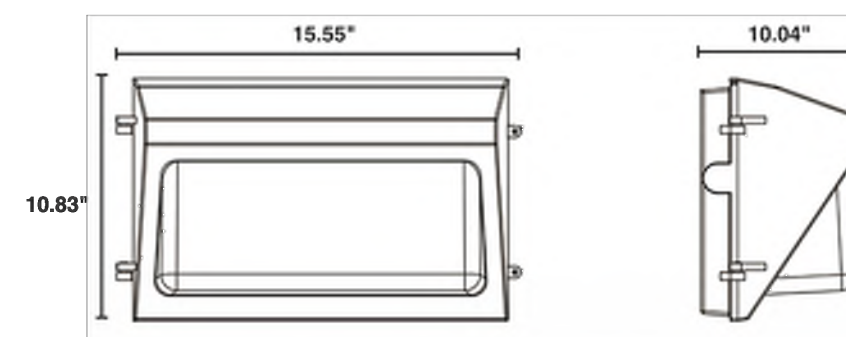
Product #:		Type:	
Project:		Date:	
Comments:		Initials:	

Specification Table

WPS	4000K				5000K			
	28	40	80	120	28	40	80	120
Wattage								
Power Factor	>0.9							
L70 Lifetime	>50,000							
Input Voltage	120-277VAC							
Surge Protection	4kV							
Mounting	Traditional - 1/2" Knockouts on top and sides							
CCT	4000K and 5000K							
Warranty	5 Years							
Finish	Bronze							
Ingress Rating	IP65, UL Wet Location							
DLC	Standard							
Lens	Borosilicate Glass							
Housing	Injection Die-Cast Aluminum							
Weight (lbs)	9.59lbs				10.58lbs			
Dimensions	15.55"x10.83"x10.04"				15.55"x10.83"x10.04"			

*Useful Life is defined as the point in time at which the lamp will maintain at least 70% of its initial lumens. The lamp will continue to operate past this point at decreased light levels. May not be compatible with all dimming systems. Dimming performance may vary by system.
Warranty - Commercial / Industrial: This product is warranted for 5 years from the date of purchase.

Dimensions



LED HIGH OUTPUT AREA LIGHT



Job Name	MRT ACE PARKING LOT
Catalog Number	ALCK-145W-T4-UNV-50K-8R2-AA
Specified By	RICHARD RACEY
Notes	TYPE 5B4

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- Stainless steel hardware
- Advanced thermal management integral heat sinks
- Lumileds High Performance Diodes
- Integral Invertronics Drivers
- Premium - Corrosion resistant polymer powder coat
- Quick and easy installation
- 100,000 Hour Life with 5 Year Factory Warranty
- Available in: Bronze or Black Finish
- CCT: 4000K or 5000K
- UL Listed For Wet Locations

APPLICATIONS

- Parking Lot Lighting
- Automotive Dealerships
- High Mast Lighting
- Shopping Centers
- Hospitality and Office

ELECTRICAL

- Available in 120/277 or 480 Voltages
- 10KA Surge Protection - Shuts off at end of life
- Optional 0-10V Dimming

ORDERING INFORMATION

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Note: This product is Imported

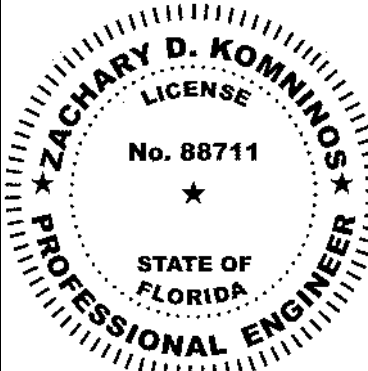
CERTIFICATIONS



Synergy Lighting 6015 28th Street East Bradenton, FL 34203 P: 941-756-4844 F: 941-756-4866 www.SynergyLightingUSA.com REV4-Nov 2016

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385 & 395 U.S. HIGHWAY 41 BYPASS N
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ZACHARY D. KOMINOS
LICENSE NO. 88711

PLAN STATUS

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JOB No.	011527-01-001
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