

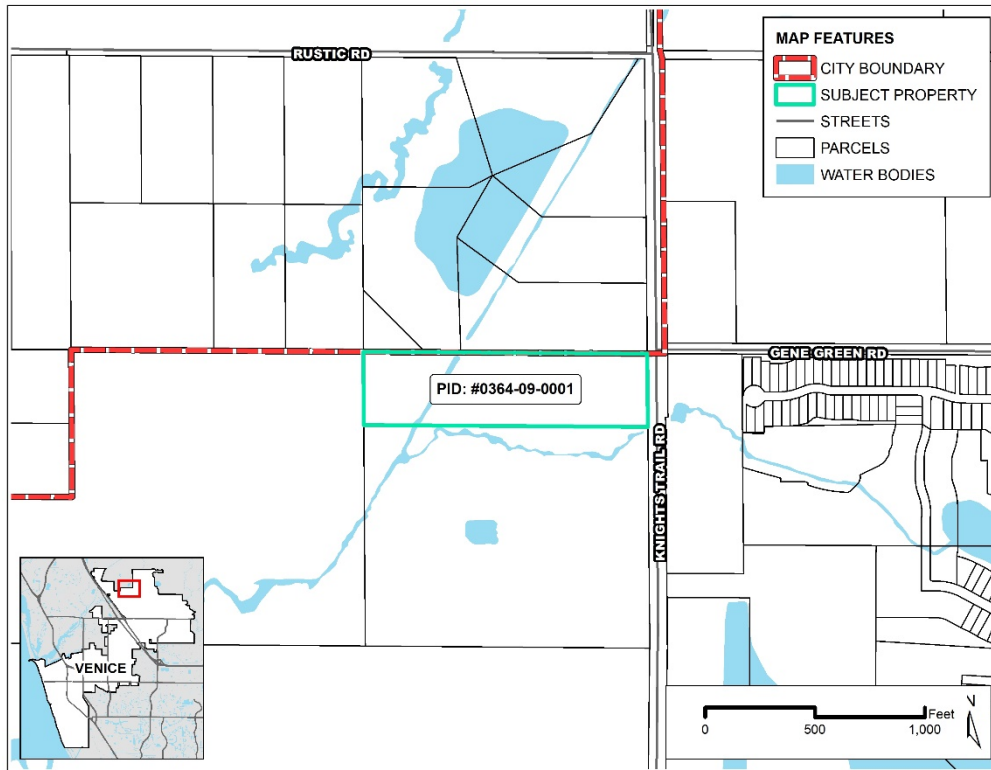


ZONING MAP AMENDMENT

STAFF REPORT

HOSKINS GROVE

December 1, 2020
20-43RZ



GENERAL INFORMATION	
Petition Number:	20-43RZ
Address:	2203 Knights Trail
Request:	Amending the existing zoning designation for the subject property from Sarasota County Open Use Estate to City of Venice Residential, Multi-family 3
Owner/Agent:	Boyd Hoskins
Parcel ID:	0364090001
Property Size:	10.12 ± acres
Future Land Use:	Mixed Use Corridor (MUC)
Existing Zoning:	Sarasota County Open Use Estate (OUE-1)
Proposed Zoning:	City of Venice Residential, Multi-family 3 (RMF-3)
Comprehensive Plan Neighborhood:	Knights Trail Neighborhood

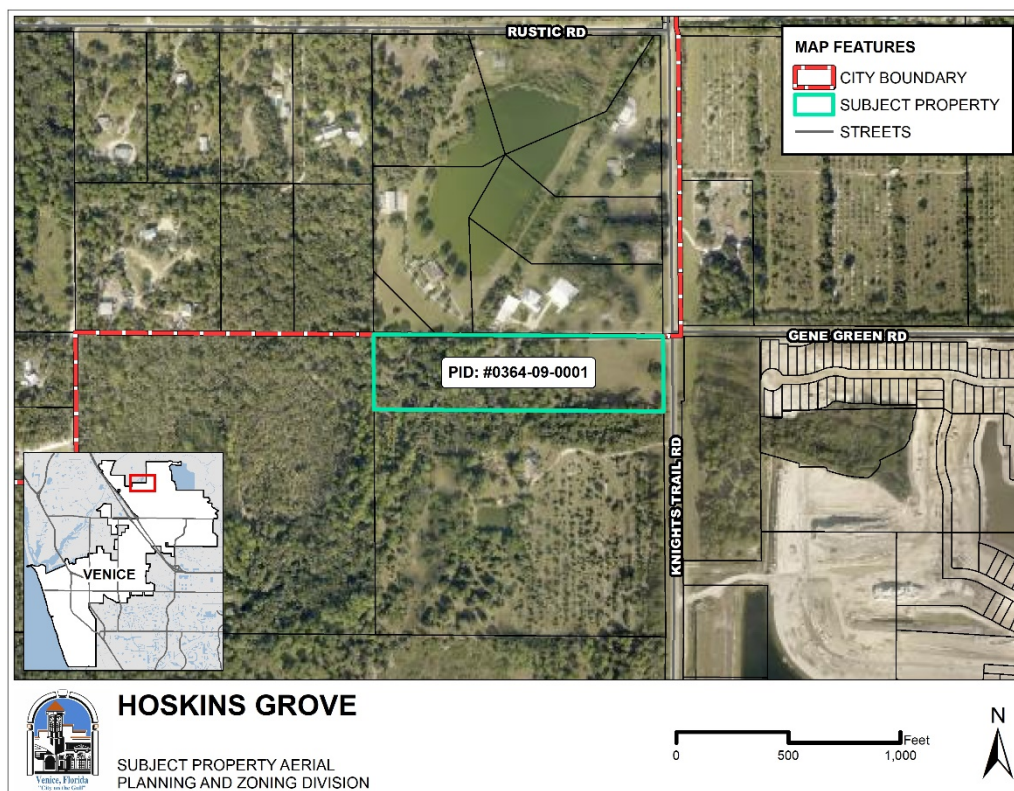
ASSOCIATED DOCUMENTS

- A. Application Information (completed petition)
- B. Annexation Ordinance No. 2005-01

I. PROJECT DESCRIPTION

The subject property was annexed into the city in 2004 and has retained its Sarasota County Open Use Estate zoning designation to the present day. The applicant is requesting that this property be rezoned to City RMF-3.

II. Existing Conditions



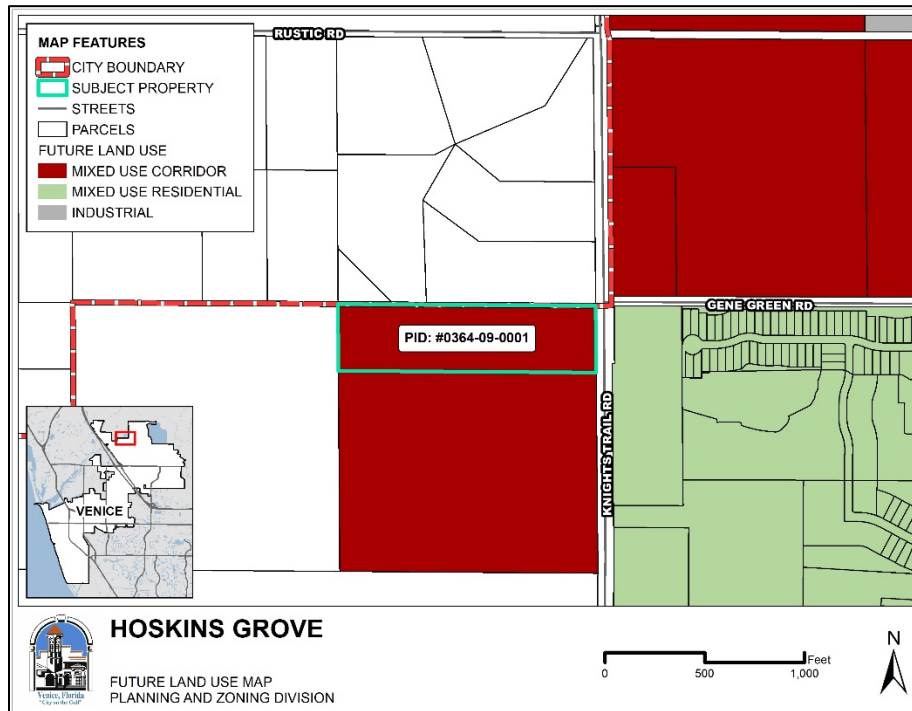
Site Photos

Zoning and Future Land Use

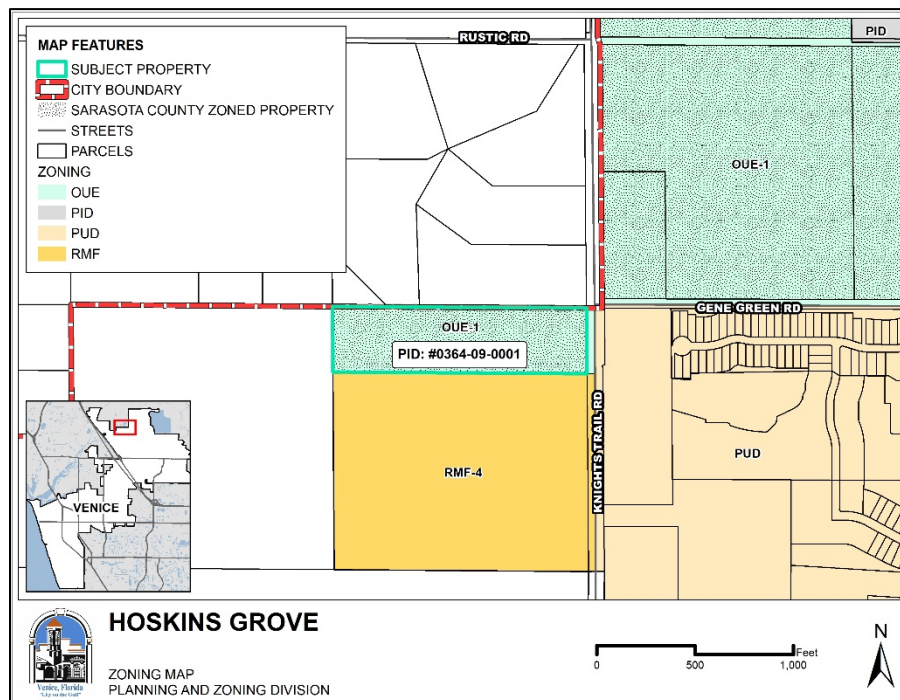
This property is zoned Sarasota County Open Use Estate (OUE) and has an existing future land use designation of Mixed Use Corridor (MUC). Land to the north of the property is part of Sarasota County, has County zoning and future land use designations, and is part of Joint Planning Agreement (JPA) Area 1. Land to the west has been annexed into the City, and is in the process of acquiring City zoning and future land use designations (RMF-2/Commercial General and Mixed Use Transitional, respectively), but is currently zoned County OUE-1 with a FLU designation of Rural. To the south is zoned RMF-4 and has a future land use designation of MUC.

East of the subject property, across Knights Trail Road, is the Toscana Isles Planned Unit Development (PUD), which is designated Mixed Use Residential (MUR).

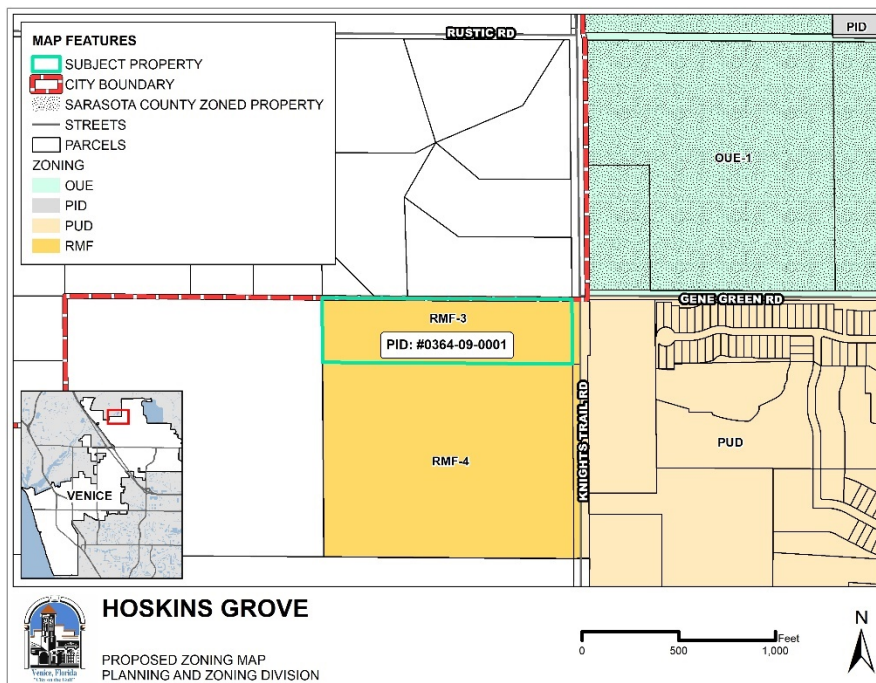
Mixed Use Corridor



Sarasota County OUE



Proposed City of Venice RMF-3



Direction	Existing Land Use(s)	Current Zoning District(s)	Future Land Use Map Designation(s)
North	County	Sarasota County OUE-1	Sarasota County Rural and JPA Area 1
East	Residential	Planned Unit Development	Mixed Use Residential
South	Undeveloped	Residential, Multi-family 4	Mixed Use Corridor
West	County	Sarasota County OUE-1	Sarasota County Rural

III. PLANNING ANALYSIS

In this section of the report, analysis of the subject zoning map amendment petition evaluates 1) consistency with the Comprehensive Plan, and 2) compliance with the City's Land Development Code (LDC), and 3) compliance with requirements for Concurrency/Mobility.

Consistency with the Comprehensive Plan

This property and the ~30 acres to the south comprised Planning Area J – Shakett Creek in the 2010 Comprehensive Plan, which was carried over to the existing 2017 Comprehensive Plan as transitional Strategy LU 4.1.1. This strategy sets a height limit of 42' (three feet shorter than RMF-3 zoning allows) and imposes a requirement of Northern Italian Renaissance or Northern Mediterranean architecture; neither of these requirements will impact a zoning map change.

The property's MUC designation and location in the Knights Trail neighborhood limit residential development to a range of density from 5.1 units per acre to 13 units per acre. This is a reduction from the previous comprehensive plan that allowed up to 18 units per acre. The property must be rezoned to one of the implementing districts for its MUC designation, and RMF-3 is an implementing district of this future land use. No other plan elements indicate Intent, Visions, or Strategies with which the proposed petition would conflict.

Conclusions / Findings of Fact (Consistency with the Comprehensive Plan):

Analysis has been provided to determine consistency with the Land Use Element strategies applicable to the Mixed Use Corridor future land use designation, strategies found in the Knights Trail Neighborhood, and other plan elements. This analysis should be taken into consideration upon determining Comprehensive Plan consistency.

Compliance with the Land Development Code

The subject petition has been processed according to the procedural requirements to consider a zoning map amendment. In addition, the petition has been reviewed by the Technical Review Committee and no issues regarding compliance with the Land Development Code were identified.

A representative selection of permitted principal uses for the existing County OUE-1 zoning and the proposed RMF-3 zoning are shown for comparison in the table below:

Sarasota County Open Use Estate*	City of Venice Residential Multifamily 3
<ul style="list-style-type: none">• Single family detached housing• Agricultural production• Animal boarding• Farm stand for products grown onsite• Plant nursery• Borrow pit• Guest house• Cemetery• Riding academy/public stable• Adult daycare• Minor utilities• Barns• Parking	<ul style="list-style-type: none">• Multifamily housing• Patio houses• Two family dwellings• Townhouses or cluster houses• Houses of worship (permanent)• Community residential homes• Bed and breakfast (some provisions apply)• One single-family dwelling per lot• Public & private elementary and high schools• Parks, playgrounds, playfields, city buildings, public libraries• Essential services• Existing railroad rights-of-way

*Not an exhaustive list.

Development standards of interest for the proposed RMF-3 zoning are shown in the table below:

RMF-3 Development Standards		
Density	13.0 units per acre maximum	
Lot Size	Single Family:	Multifamily:
	Width – 75’ Area – 7,500ft ²	Width – 100’ Area – 3,350ft ² per unit
Lot Coverage	Single Family/Townhouse:	Multifamily:
	35%	Up to 35’ in height – 30% 36 to 45’ in height – 28%
Setbacks	Single Family:	Multifamily:
	Front – 20’	Front – 20’
	Side – 6’ each, total 15’	Side – 15’
	Rear – 10’	Rear – 15’
Height	45’ maximum, with 10’ of additional parking allowed	

Following are the applicant’s responses to the required findings for approval contained within Section 86-43(e)(1)-(10), along with staff comments:

a. Whether the proposed change is in conformity to the comprehensive plan.

The City of Venice approved ordinance number 2017-22 on November 28, 2017 adopting a revised comprehensive plan for 2017-2027. The proposed rezoning of the parcel located at 2203 Knights Trail Road furthers the intent of the adopted comprehensive plan by providing the needed development density to achieve the higher density multifamily residential use objectives for this property which was formerly located in the Shakett Creek Neighborhood Planning Area J and is now identified as the Knights Trail Neighborhood. Specifically the proposed rezoning from OUE-1 to RMF-3 is consistent with and supports the objectives and policies of the comprehensive plan by permitting high density multifamily residential use as permitted in the designated Mixed Use Corridor in a manner that is consistent with the adjacent properties within the City of Venice. The existing zoning of OUE-1 is not a permitted zoning within the City of Venice. The rezoning of this parcel will bring it into conformity with the adjacent parcel to the south and will allow the assignment of a legally permitted zoning.

Staff comment: The parcel has a Mixed Use Corridor FLU designation, so the proposed zoning of RMF-3 is appropriate as an implementing district. No issues with conformity to the Plan have been identified.

b. The existing land use pattern.

The proposed rezoning is consistent with the future land use defined by the mixed use corridor in the City’s adopted comprehensive plan. The rezoning reflects an intensity of residential development suitable to the existing surrounding residential and future vacant land use. The subject property lies within 2 miles of the Venice Myakka River Park, fire stations, parks, schools and the hospital currently under construction at the intersection of I-75 and Laurel Road.

Adjacent Land Use/Zoning:

North-Large residential lot located in Sarasota County zoned OUE

South-Large vacant parcel in the City of Venice with RMF 4 zoning

East-Vacant land PUD in City of Venice Northeast Neighborhood

West- Large area of vacant land recently annexed into the City of Venice zoned OUE

Staff comment: There are varying degrees of (existing or allowed) residential density in the area, from RMF-4 to the lower-density Toscana Isles PUD, and the proposed zoning will fall within that established range at RMF-3. Other changes in the area, such as the proposed Mixed Use Transitional district to the west, will change the land use pattern and this proposed zoning change may allow for complementary development.

c. Possible creation of an isolated district unrelated to adjacent and nearby districts.

The historic use of the subject property has been low density residential and agriculture. The proposed rezoning will bring the parcel into a consistent zoning with the adjacent property to the south located in the same neighborhood area which is currently zoned RMF-4. As such the proposed rezoning does not create an isolated district unrelated to adjacent and nearby districts.

Staff comment: This petition is not likely to create an isolated district based on compatibility between mixed use FLU designations and the presence of nearby residential land uses.

d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets etc.

The proposed zoning change from OUE-1 to RMF-3 will not result in overtaxing the load on public facilities such as school, utilities, streets etc. Adequate facilities exist to serve future development of the site and the comprehensive plan anticipates such higher density development within the Mixed Use Corridor.

Staff comment: The Comprehensive Plan does note that the Knights Trail Neighborhood will need increased facilities and services in the future. However, public facilities concurrency has been reviewed for this petition and no issues have been identified. Further evaluation will occur at the point of development.

e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

The proposed RMF-3 zoning designation is consistent with the property boundaries and appropriate when viewed with the existing surrounding land use pattern and future land use pattern as approved by the City of Venice for neighboring properties within the City.

Staff Comment: The boundary is drawn logically in relation to existing conditions.

f. Whether the changed or changing conditions make the passage of the proposed amendment necessary.

Data and analysis recognize that additional and varietal housing units are needed for the City of Venice and this increased density is reflected in the adopted comprehensive plan mixed use corridor of the Knights Trail neighborhood. This additional density will help to meet the needs of the community. The rezoning from OUE-1 to RMF-3 will support and further the City's objective and provide for future development of the parcel and put the parcel in conformity with the parcel lying directly to the south.

Staff comment: Annexation of this property necessitates a zoning map amendment for the property, so that it may be given a City of Venice zoning designation.

g. Whether the proposed change will adversely influence living conditions in the neighborhood.

The proposed change from OUE-1 to RMF-3 is not anticipated to adversely influence the living conditions in the Knights Trail neighborhood. The existing roadway is already heavily trafficked by area users including the Sarasota County Landfill facility, the gun range, concrete plant, and other industrial and residential users which already impact the subject parcel and area neighbors.

Staff comment: The property is proposed to be zoned for residential use, and as such is not likely to adversely impact living conditions. Development of the property will provide additional housing and be subject to site and development plan review to address any impacts on the neighborhood.

h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

The parcel has close proximity access to I-75 via Knights Trail Road and Laurel Road. Anticipated future development nearby has been reported which would increase access to the parcel via Rustic Road and Honore. It is not anticipated that the requested zoning change will excessively increase congestion or affect public safety. Per the comprehensive plan Sarasota County has identified an extension of Knights Trail Road to the north which will also provide future additional access to the parcel.

Staff comment: No development is proposed for this rezoning; although the allowed density of RMF-3 zoning is higher than that of OUE-1, development of this property has been anticipated by the City and more specific evaluation of traffic impacts will occur at the time of development.

i. Whether the proposed change will create a drainage problem.

It is not anticipated that the proposed zoning change will create a drainage problem. This application is for rezoning only to acquire a current legal zoning in and does not include site development plans. Any future site development will fully address drainage on the site in relation to proposed development plans.

Staff Comment: Drainage will be assessed at the point of development for this property.

j. Whether the proposed change will seriously reduce light and air to adjacent areas.

The proposed zoning change from OUE-1 to RMF-3 is not anticipated to reduce light and air to adjacent areas. No current development plans are proposed. This application is for rezoning only to acquire a current legal zoning in and does not include site development plans. Any future site development will fully address light and air to adjacent areas and would need to conform to the City of Venice's Land Development requirements.

Staff Comment: No development is proposed through this petition and development impacts will be reviewed at the time of development.

k. Whether the proposed change will adversely affect property values in the adjacent area.

The subject parcel has historically been residential and agricultural. The adjacent lands to the south and east include PUD's and proposed multifamily housing which is consistent with the adopted City of Venice Comprehensive Plan. The requested rezoning will allow for the future development of the parcel in a manner anticipated by the mixed use corridor in the Knights Trail neighborhood.

Staff Comment: This property is proposed for multifamily development, which will be similar to nearby properties. Additional residential development is not likely to adversely affect existing property values.

l. Whether the proposed change will be a deterrent to the improvement or development of the adjacent property.

The rezoning of the parcel is not expected to be a deterrent to the improvement or development of the adjacent properties. The parcels to the west, south and east are already annexed into the City of Venice and the comprehensive plan. The requested rezoning will bring the subject parcel into close conformity with the adjoining parcel to the south which was also previously owned by the applicant.

Staff Comment: The proposed zoning district is similar to nearby zoning, and development of adjacent properties is currently being evaluated. It is not anticipated that this petition will in any way deter nearby development.

m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

The rezoning from OUE-1 to RMF-3 will not grant any special privileges to an individual owner. The rezoning will give the parcel a legal zoning in conformity with adjacent properties and in compliance with the City of Venice comprehensive plan.

Staff Comment: No special privilege will be granted; the request is for a straightforward zoning change to RMF-3 with no modifications.

n. Whether there are substantial reasons why the property cannot be used in accord with the existing zoning.

The existing zoning is a carryover zoning from Sarasota County when the subject parcel was annexed into the City of Venice and the current zoning does not exist in the City of Venice as a legal zoning. This carryover zoning would not be allowed to happen today during an annexation. The existing non conforming zoning is not a recognized zoning for the City of Venice so the rezoning will allow the property to acquire a legal zoning in conformity with the City of Venice comprehensive plan and in conformity with the adjacent property.

Staff Comment: The property must be given a City of Venice zoning designation; current policy would not have allowed the property to maintain its County zoning, and this request would bring the property into compliance with City policy.

o. Whether the change suggested is out of scale with the needs of the neighborhood or the city.

The proposed rezoning is in compliance with the 2017-2027 comprehensive plan for the Knights Trail neighborhood and the mixed use corridor. The rezoning from OUE-1 to RMF-3 will bring the parcel into conformity with the adjacent property and is appropriate in anticipated scale and density for the Knights Trail neighborhood.

Staff Comment: The proposed change would fall within the range of allowed residential densities for nearby properties and would therefore be comparable in scale. Anticipated commercial development in the neighborhood has potential to bring in other uses that could reinforce the need for this zoning designation.

p. Whether it is impossible to find other sites in the city for the proposed use in districts already permitting such use.

The subject parcel is located in an ideal area for future development as identified by the City of Venice comprehensive plan and indicated by the designation of the parcel in the mixed use corridor. Future development of the parcel will serve the needs of the City of Venice and the Knights Trail neighborhood. The requested rezoning will bring the parcel into conformity with adjacent properties and is in compliance with the Knights Trail future land use as adopted by the comprehensive plan.

Staff Comment: This property must be given a City zoning designation, and the location is appropriate for the requested RMF-3 zoning based on compatibility with surrounding properties and the existing FLU designation.

Conclusions / Findings of Fact (Compliance with the Land Development Code):

No inconsistencies have been identified between the LDC and this zoning map amendment request.

Concurrency/Mobility

Regarding public facilities concurrency, no development is proposed for the site through this petition, and the TRC has not indicated any negative impacts regarding public facilities or transportation. The applicant notes that Sarasota County has identified a potential future access to the site via extension of Knights Trail Road, and that planned roadway development of Rustic Road will also provide access to this property. The applicant also acknowledges that the rezoning will increase allowable density from the current OUE zoning, and therefore increase potential traffic generation, but cites consistency with the Comprehensive Plan and FLU designation. Further, the previous Comprehensive plan would have allowed a density of 18 dwelling units per acre (du/ac), while the current Plan limits the property to 13 du/ac, which reduces potential trip generation. A full traffic analysis will be provided at the time of site and development plans, whenever such plans are proposed.

Conclusions / Findings of Fact (Concurrency/Mobility):

No issues have been identified regarding mobility or adequate public facilities capacity to accommodate the development of the project per Chapter 94 of the Land Development Regulations.

IV. CONCLUSION

Planning Commission Recommendation

Upon review of the petition and associated documents, comprehensive plan, land development code, staff report and analysis, and testimony provided during the public hearing, there is sufficient information on the record for the Planning Commission to make a recommendation on zoning map amendment petition 20-43RZ.