

SITE DEVELOPMENT PLANS
FOR
THE VILLAGE AT LAUREL AND JACARANDA

SECTION 35, TOWNSHIP 38 SOUTH RANGE 19 EAST
CITY OF VENICE, FLORIDA

GENERAL NOTES:

- OWNERSHIP AND UNIFIED CONTROL STATEMENT:**
THE PROPOSED PROJECT IS OWNED BY BORDER AND JACARANDA HOLDINGS, LLC.
- CHARACTER AND INTENDED USE STATEMENT:**
THE PROPOSED USE IS A COMMERCIAL DEVELOPMENT.
- MAINTENANCE OF COMMON FACILITIES STATEMENT:**
THE VILLAGE AT LAUREL AND JACARANDA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ONSITE IMPROVEMENTS INCLUDING STORMWATER MANAGEMENT, PRIVATE UTILITIES, PARKING/ DRIVE AREAS, AND LANDSCAPING.
- EXISTING LAND USE:**
VACANT
- ZONING:**
MILANO PUD; FUTURE LAND USE; MIXED USE RESIDENTIAL (MUR)
- FLOOD ZONE:**
THE SITE LIES WITHIN THE BOUNDARIES OF FLOOD ZONE X PER FIRM MAP 12115C0244F DATED NOVEMBER 4, 2016.
- SITE COVERAGES**

TOTAL ACREAGE:	10.42 AC
BUILDINGS:	1.36 AC
SIDEWALKS:	0.24 AC
DRIVE/PARKING:	5.56 AC
GREEN SPACE:	1.85 AC
FUTURE DEVELOPMENT:	1.41 AC
- PARKING CALCULATIONS**

REQUIRED:
RETAIL 1/300 = 52982/300 = 177 SPACES

PROVIDED:
TOTAL REQUIRED = 177 SPACES
TOTAL PROVIDED = 343 SPACES
ACCESSIBLE SPACES REQUIRED = 14
ACCESSIBLE SPACES PROVIDED = 14
- SETBACKS:**

FRONT YARD: 10' (ALONG JACARANDA BLVD & LAUREL ROAD)
SIDE YARD: 10' (WEST & SOUTH PROPERTY LINES)
- MAXIMUM BUILDING HEIGHT:**
MAXIMUM BUILDING HEIGHT SHALL BE UP TO 42 FT. PROPOSED MAXIMUM HEIGHT IS 30' 8".
- OPEN SPACE**
OPEN SPACE IS PROVIDED IN THE OVERALL MILANO PUD.
- STORMWATER MANAGEMENT:**
STORMWATER MANAGEMENT FOR SITE SHALL BE PROVIDED IN THE POND TO THE WEST.
- REFUSE AND RECYCLABLE NOTE:**
A TRASH COMPACTOR, TRASH COLLECTION AND RECYCLE AREAS ARE LOCATED ON THE SITE.
- UTILITY NOTES:**

A. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SARASOTA COUNTY STANDARDS.
B. WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENICE UTILITY CODE.
C. THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE" ONE CALL, FPL AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ONSITE OR OFFSITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
D. ANY WELLS DISCOVERED DURING EARTH MOVING, EXCAVATION OR CONSTRUCTION MUST BE REPORTED TO THE ENGINEER OF RECORD WITHIN 24 HOURS OF DISCOVERY. IF SAID WELL HAS NO USE IT SHALL BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
E. TO THE BEST OF OUR KNOWLEDGE NO SEPTIC TANKS ARE LOCATED ON THIS SITE.
F. ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
G. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VENICE STANDARDS DETAILS.
- UTILITY PROVIDERS:**

WATER CITY OF VENICE 1200 WATFIELD AVE. VENICE, FL 34285 (941) 480-3333 (941) 486-2084 FAX	SANITARY SEWER SARASOTA COUNTY 1001 SARASOTA CENTER BLVD, SARASOTA, FL 34240 (941) 861-0000 (941) 961-0000	TELEPHONE FRONTIER 1655 US 41 BYPASS S VENICE, FL 34293 (941) 866-6719 (952) 952-5793 FAX
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- CITY OF VENICE REQUIRED NOTES:**
 - ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE ISSUANCE OF A RIGHT-OF-WAY USE PERMIT.
 - ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FOOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
 - TREE REMOVAL PERMIT MUST BE OBTAINED FROM CITY OF VENICE.
 - POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
 - ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS 1, 11 OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521.
 - CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION.
 - ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE STANDARDS FOR WATER AND SARASOTA COUNTY STANDARDS FOR SEWER.
 - CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941) 486-2422, FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.
- VERTICAL DATUM:**

A. ELEVATIONS (IF ANY) REFER TO NATIONAL GEODETIC VERTICAL DATUM (N.A.V.D.) OF 1988. BENCHMARK USED WAS SARASOTA COUNTY BENCHMARK #P-689 WITH A PUBLISHED ELEVATION+14.06'.
B. THE VERTICAL CONVERSION FACTOR WOULD BE TO ADD 1.11' TO THE NAVD 88 ELEVATIONS TO GET NAVD 29 ELEVATIONS.

DEVELOPER:
NEAL COMMUNITIES, INC.
5800 LAKEWOOD RANCH BOULEVARD
SARSOTA, FLORIDA. 34240
(941) 328-1037

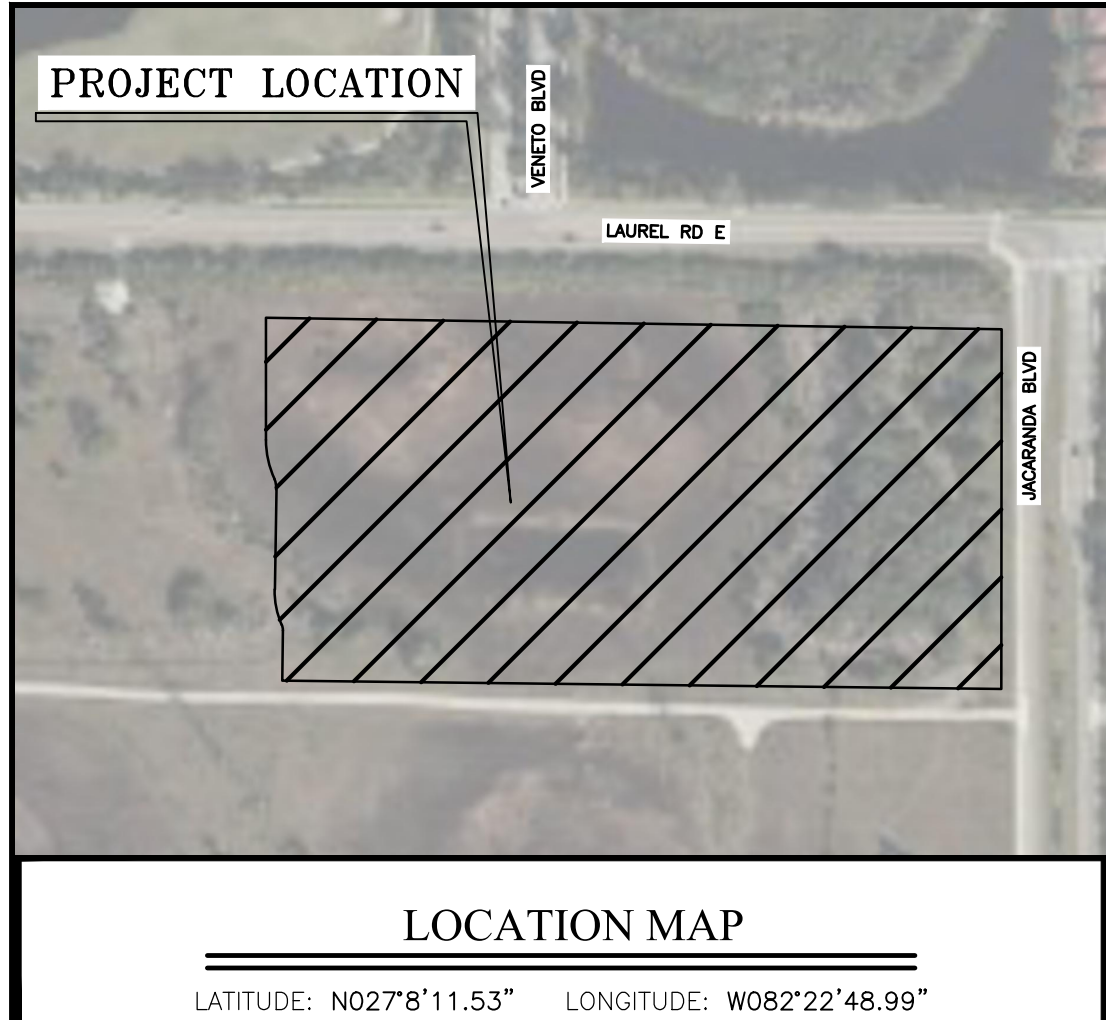
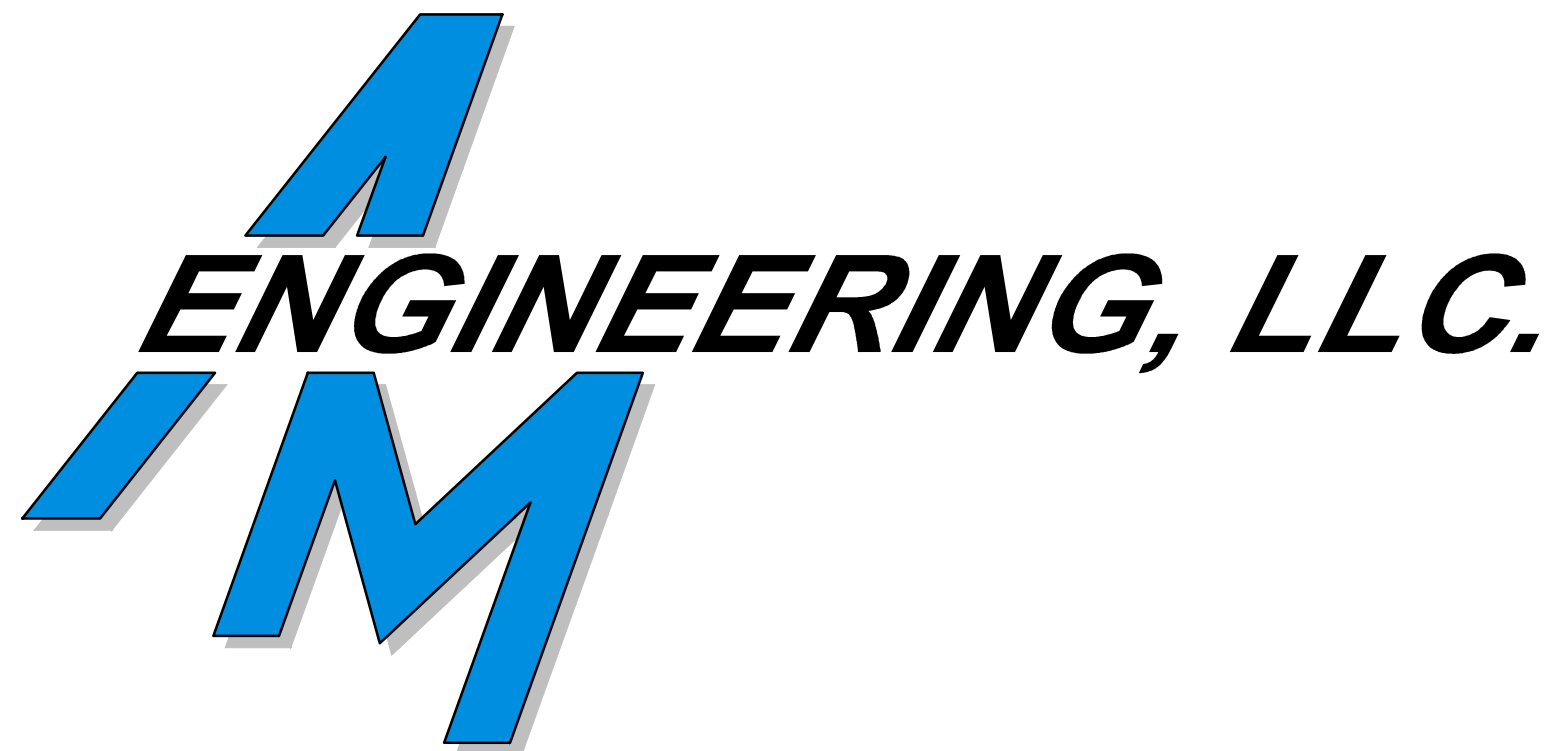
SURVEYOR:
HAMILTON ENGINEERING AND SURVEYING, LLC.
3409 W LEMON STREET
TAMPA, FL. 33609
(813) 250-3535

ENGINEER:
AM ENGINEERING, LLC.
8340 CONSUMER COURT
SARASOTA, FLORIDA 34240
(941) 377-9178
CERTIFICATE OF AUTHORIZATION No. 33105
LICENSED BUSINESS No. 4334

LANDSCAPE ARCHITECT:
STEWART | WASHMUTH | SOLLARS
LANDSCAPE ARCHITECTURE, INC.
P.O. BOX 1062
LITHIA, FLORIDA 33547
(941) 377-4704
FLORIDA BOARD CERTIFIED No. LG-0000260

INDEX TO SHEETS

SHEET NO.	DESCRIPTION
1	COVER
2	EXISTING CONDITIONS
3	MASTER SITE PLAN
4	PAVING, GRADING AND DRAINAGE PLAN
5-6	PAVING, GRADING AND DRAINAGE DETAILS
7	STORMWATER POLLUTION PREVENTION PLAN
8	MASTER UTILITY PLAN
9	PLAN & PROFILE KEY SHEET
10-12	PLAN & PROFILE
13-14	LIFT STATION DETAILS
15-16	WATER & SEWER DETAILS



LEGAL DESCRIPTION (BY SURVEYOR)

COMMENCING AT THE NORTHEASTERLY CORNER OF TRACT 700, CIELO SUBDIVISION AS RECORDED IN PLAT BOOK 53, PAGE 288 OF SARASOTA COUNTY OFFICIAL RECORDS THENCE SOUTH 00°00'06" WEST, A DISTANCE OF 55.04 FEET ALONG THE WEST RIGHT OF WAY LINE OF JACARANDA BOULEVARD TO THE POINT OF BEGINNING THENCE CONTINUE ALONG THE SAID RIGHT OF WAY SOUTH 00°00'06" WEST, 478.24 FEET; THENCE NORTH 89°14'10" WEST, 935.70 FEET; THENCE NORTH 00°45'50" EAST, 72.60 FEET; TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 17.60 FEET AND WHOSE CHORD BEARS NORTH 11°25'30" WEST, 7.43 FEET; THENCE NORTH 7.49 FEET ALONG LAST SAID CURVE THROUGH A CENTRAL ANGLE OF 24°22'40"; TO A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 110.67 FEET AND WHOSE CHORD BEARS NORTH 11°23'08" WEST, 46.88 FEET; THENCE NORTH 47.24 FEET ALONG LAST SAID CURVE THROUGH A CENTRAL ANGLE OF 24°27'24"; THENCE NORTH 00°50'34" EAST, A DISTANCE OF 130.16 FEET; TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.19 FEET AND WHOSE CHORD BEARS NORTH 09°09'26" WEST, 13.66 FEET; THENCE NORTH 13.83 FEET ALONG LAST SAID CURVE THROUGH A CENTRAL ANGLE OF 31°27'54"; TO A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 121.73 FEET AND WHOSE CHORD BEARS NORTH 12°28'38" WEST, 52.33 FEET; THENCE NORTH 52.74 FEET ALONG LAST SAID CURVE THROUGH A CENTRAL ANGLE OF 24°49'31"; THENCE NORTH 00°03'52" WEST, A DISTANCE OF 159.00 FEET TO THE SOUTH LINE OF TRACT 700 OF SAID CIELO SUBDIVISION; THENCE ALONG SAID SOUTH LINE, SOUTH 89°10'25" EAST, 957.24 FEET TO THE POINT OF BEGINNING.

CONTAINING 10.42 ACRES OR 453,769 SQUARE FEET, MORE OR LESS.

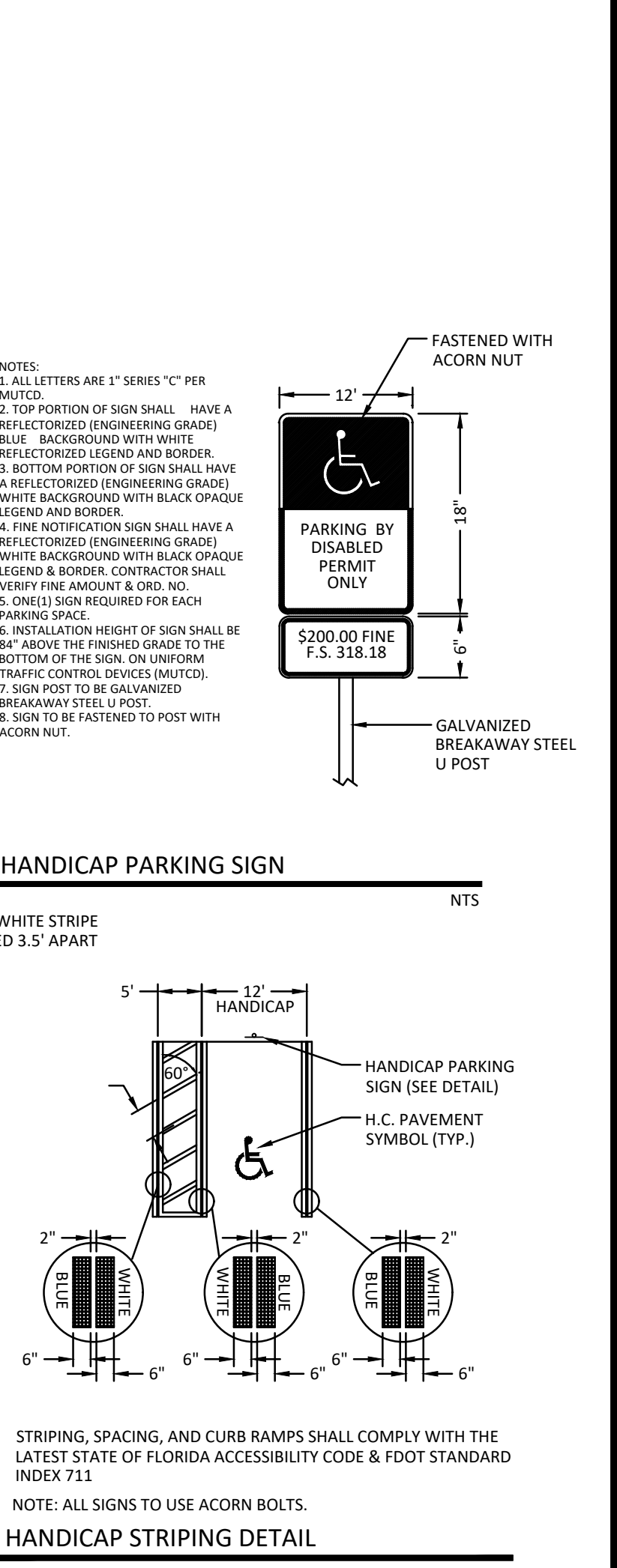
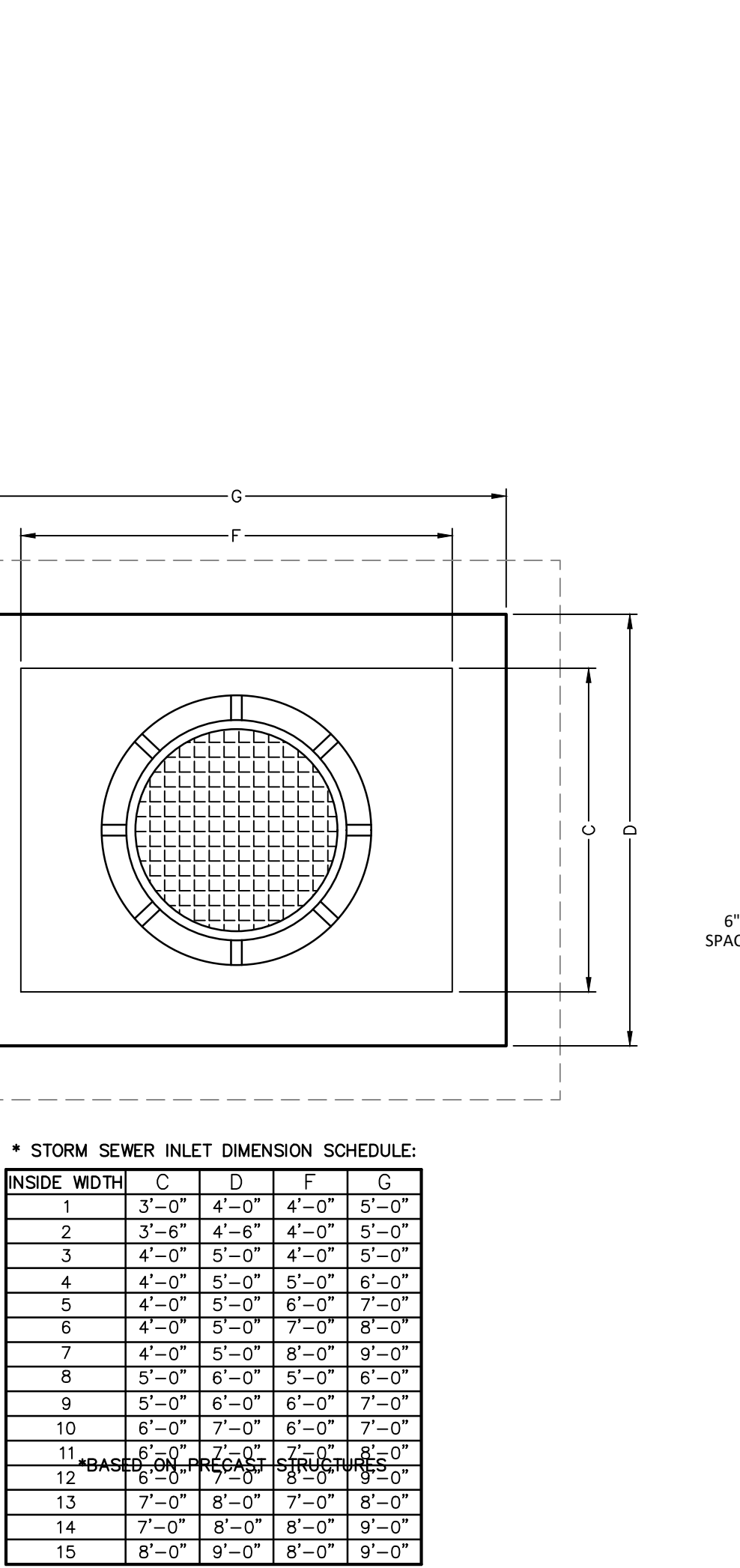
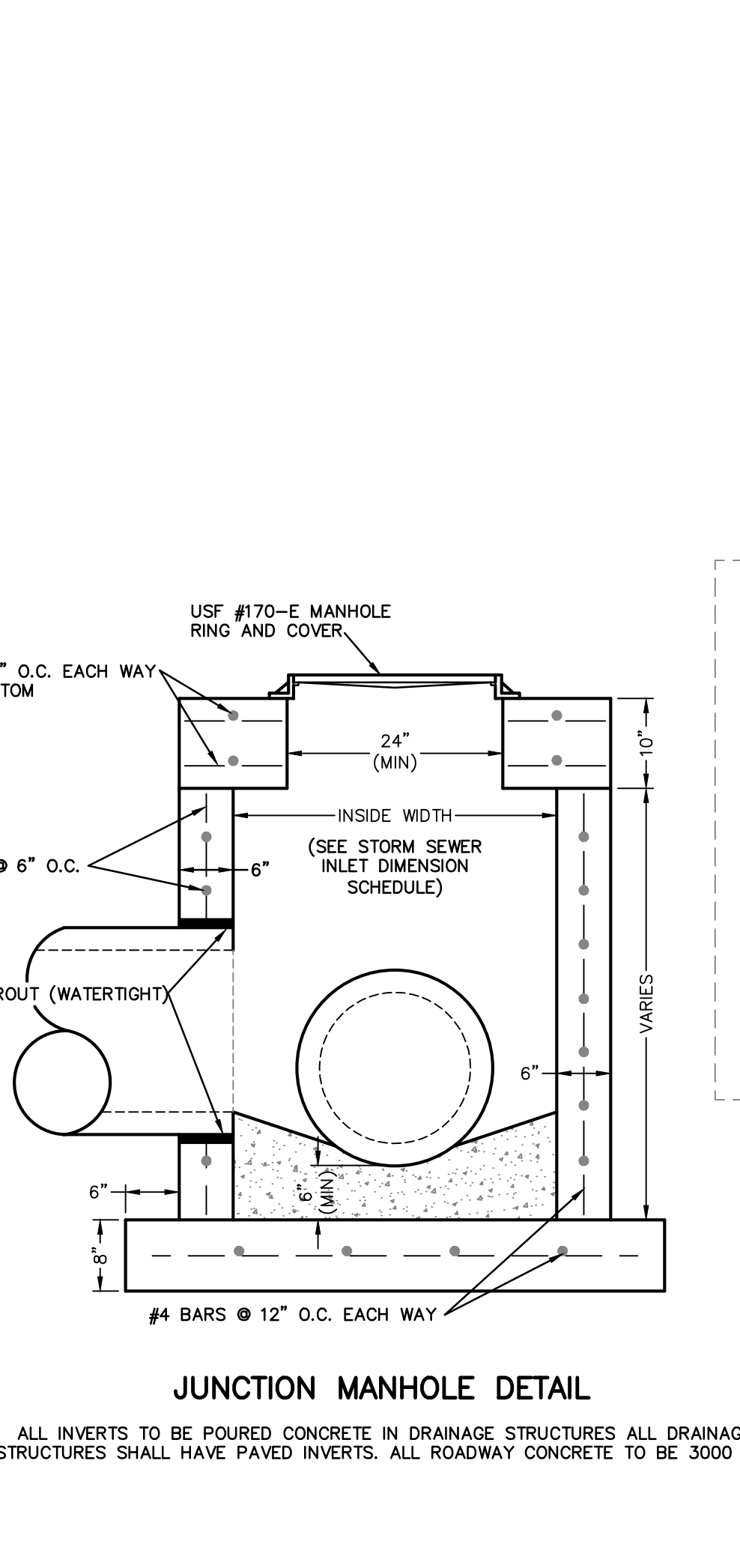
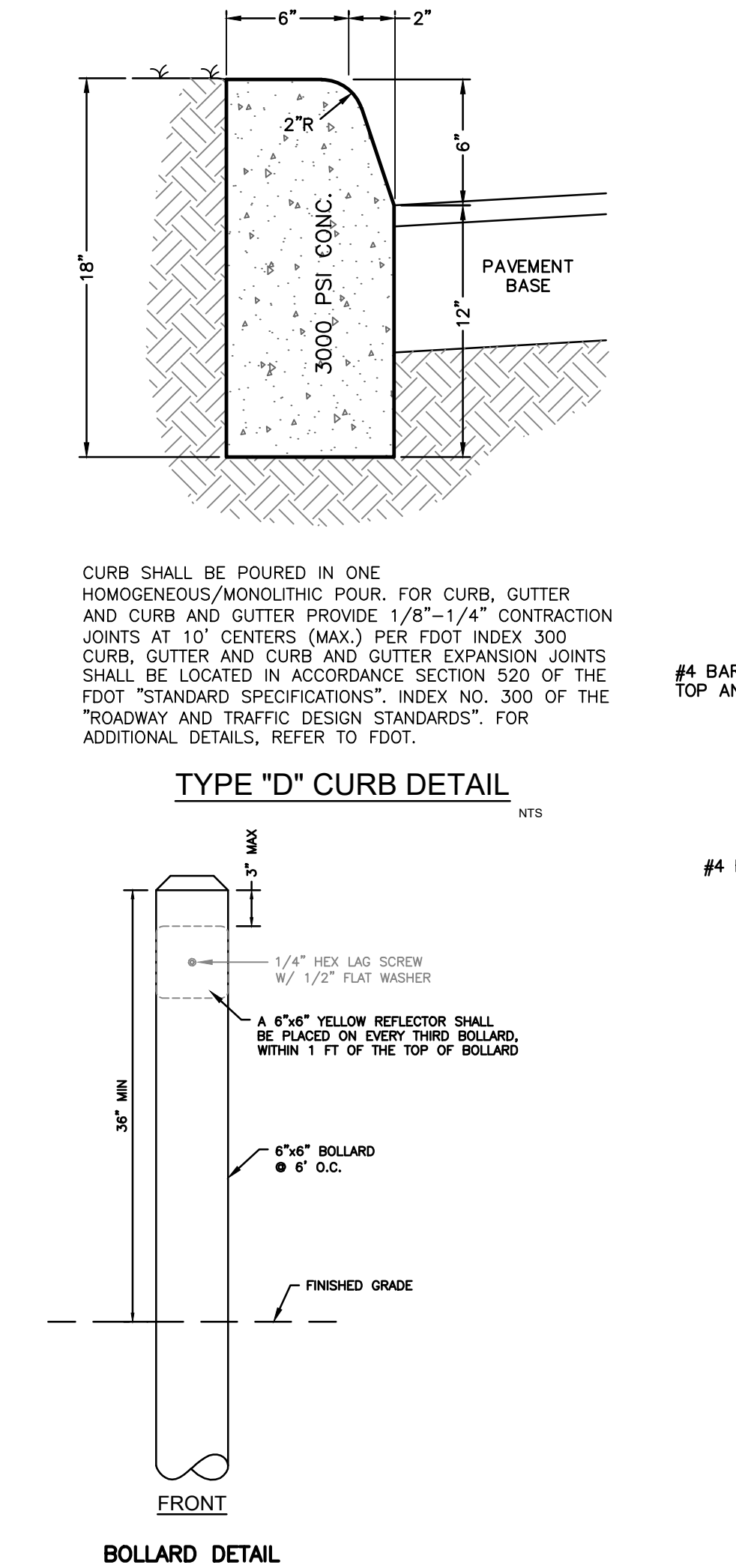
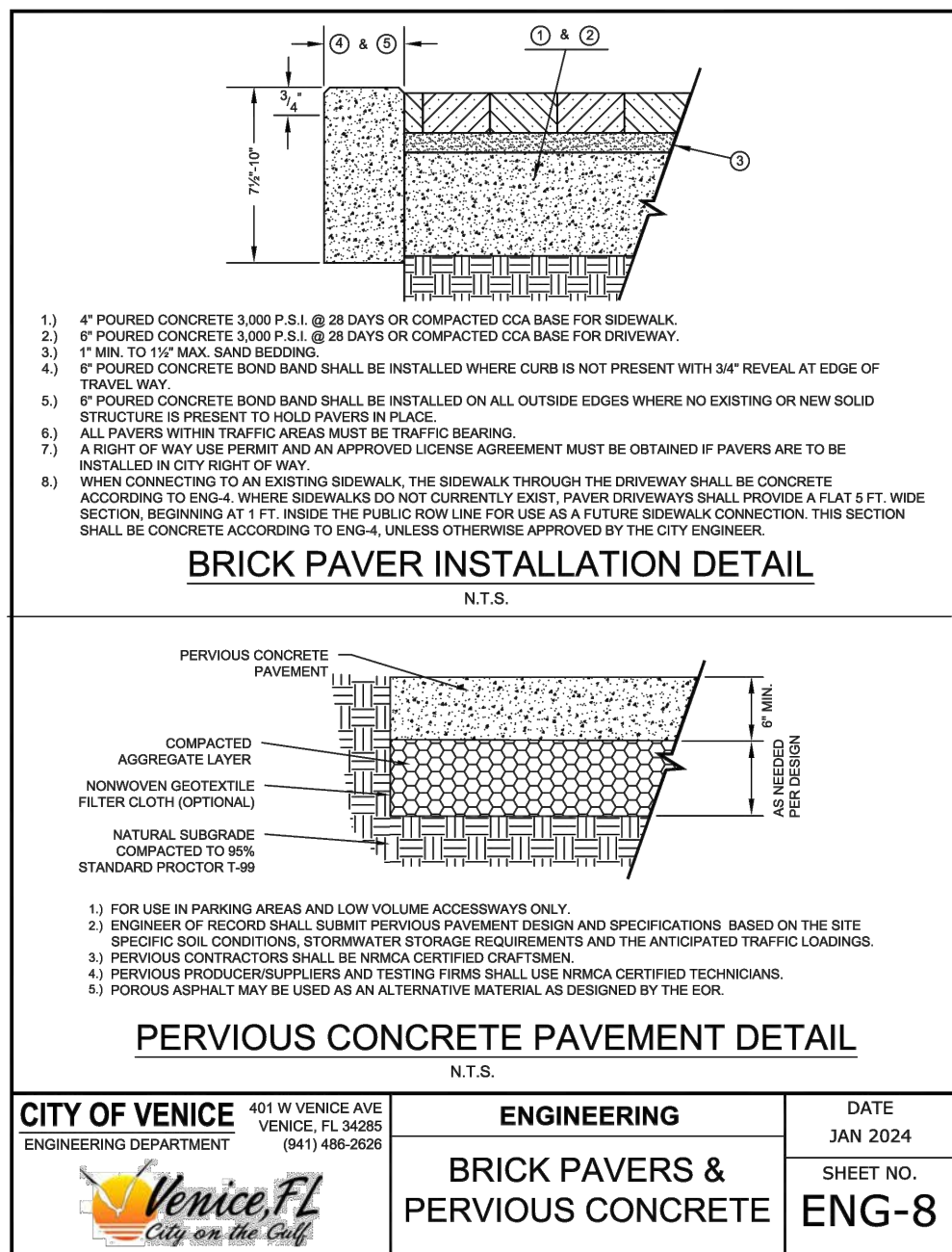
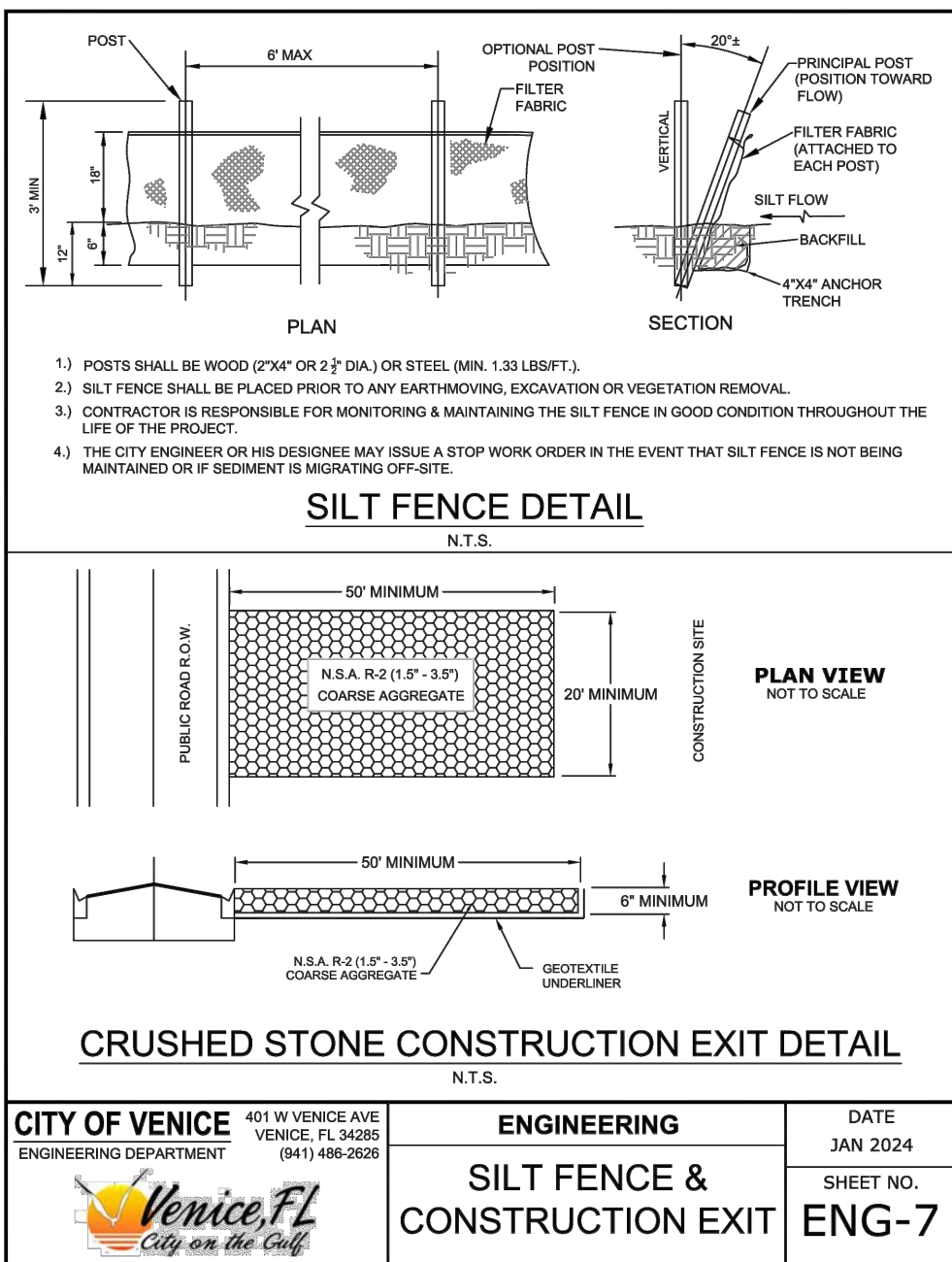
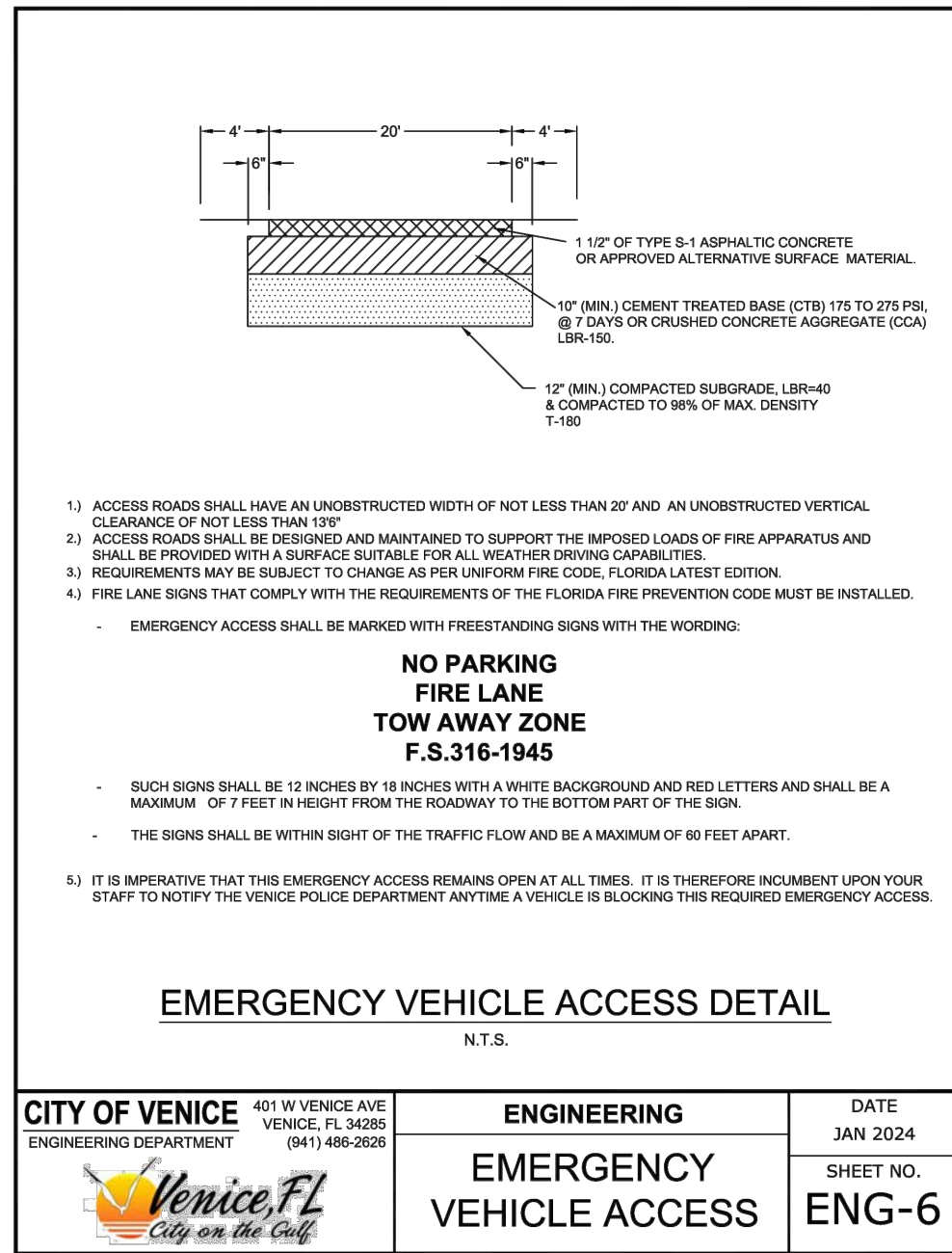
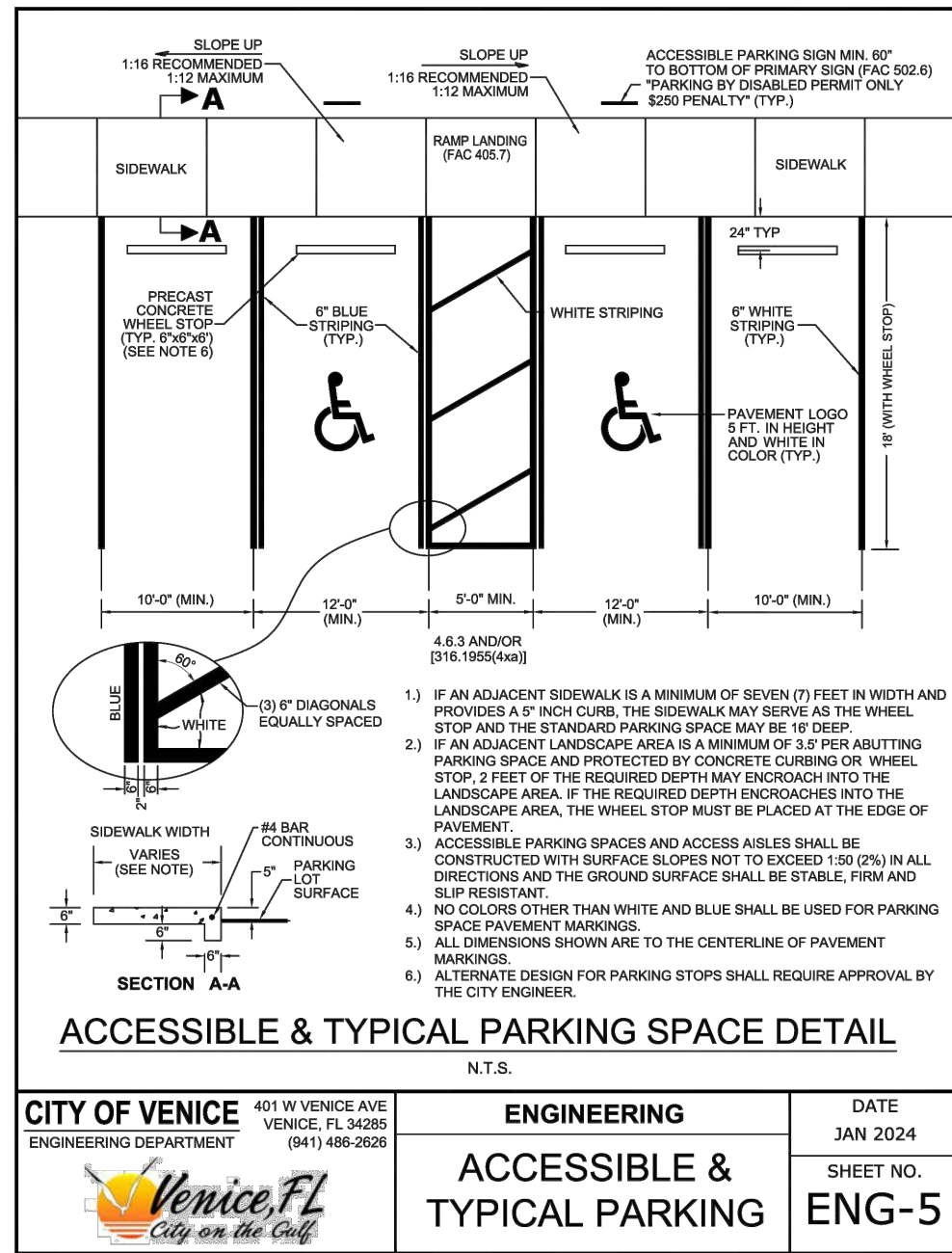
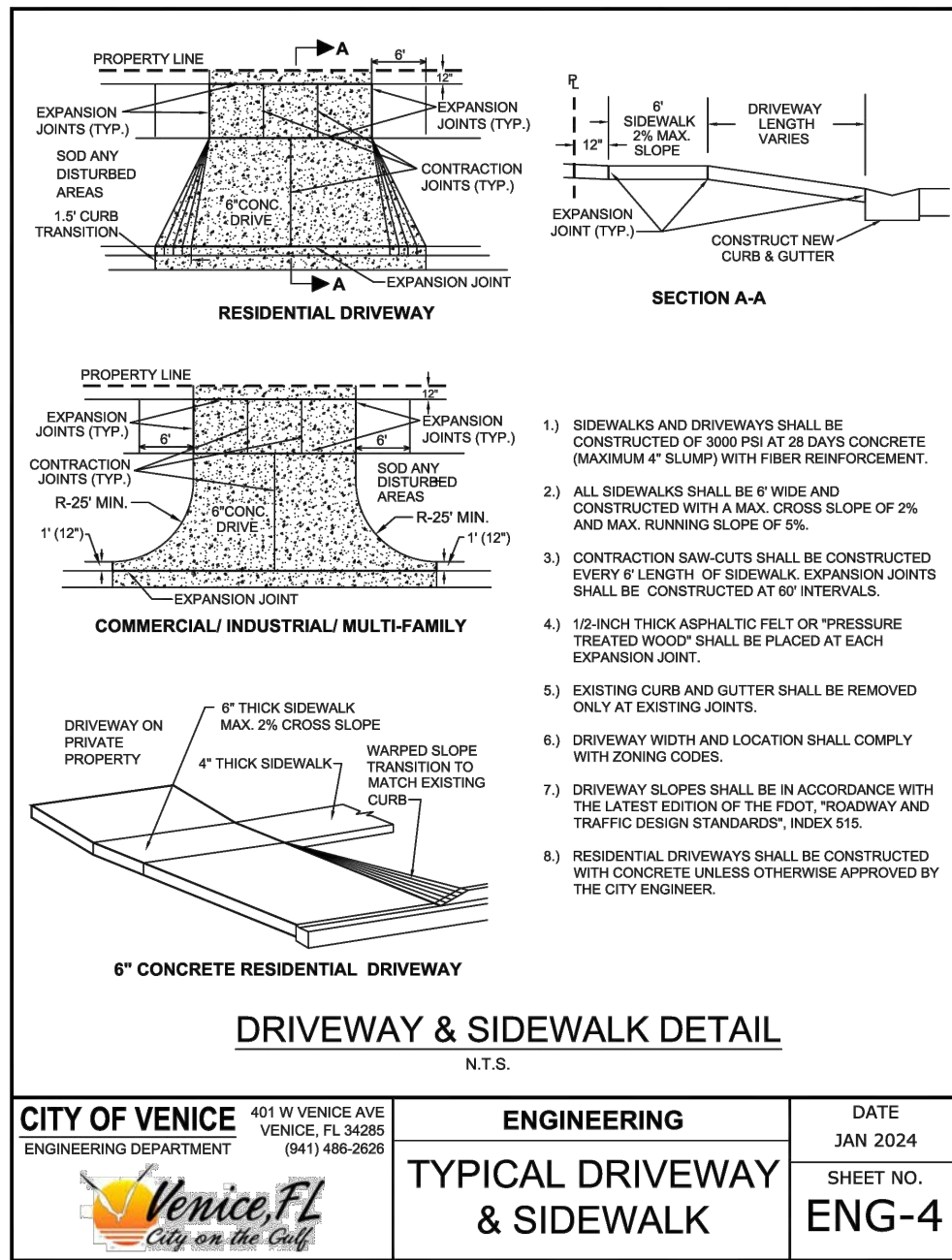
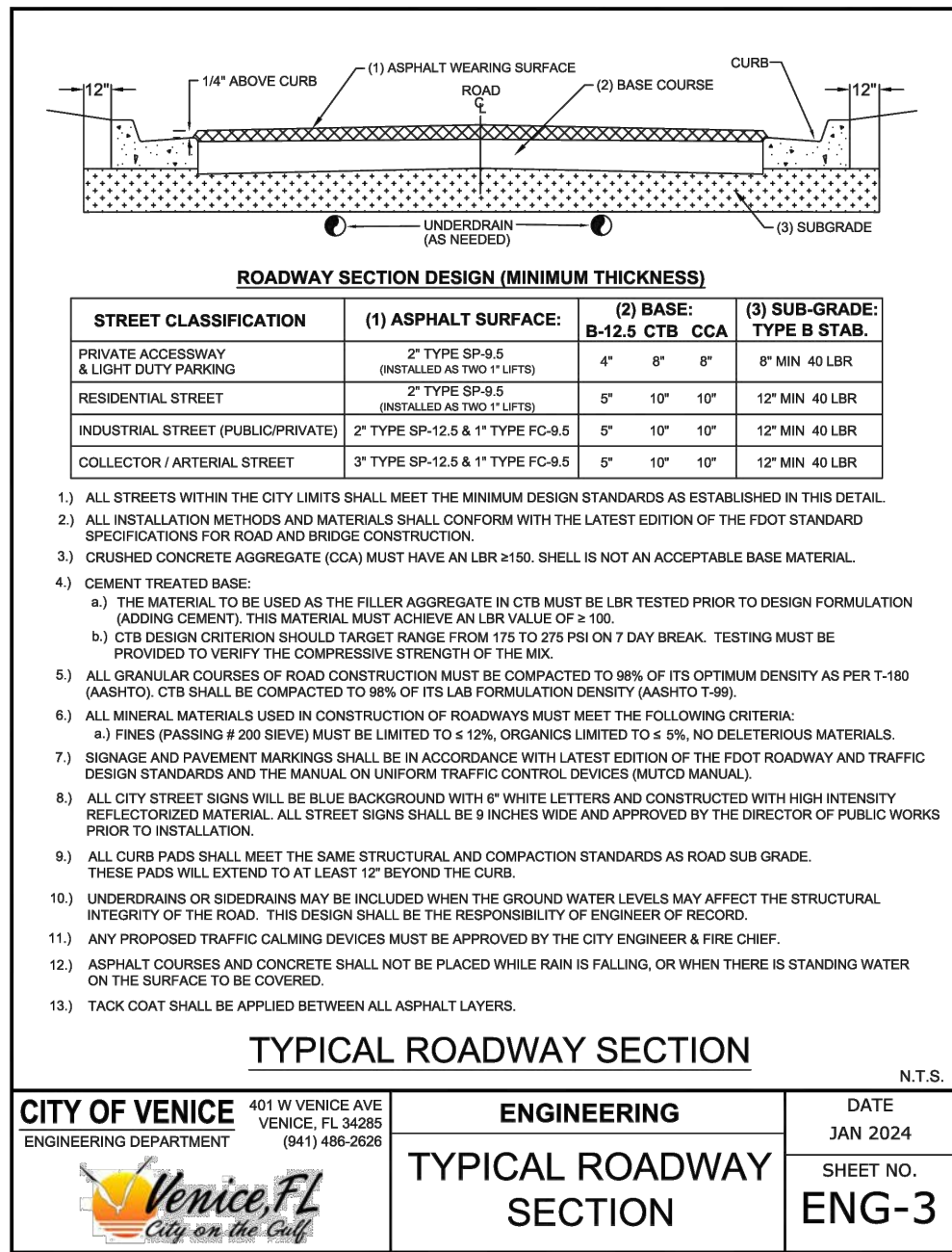
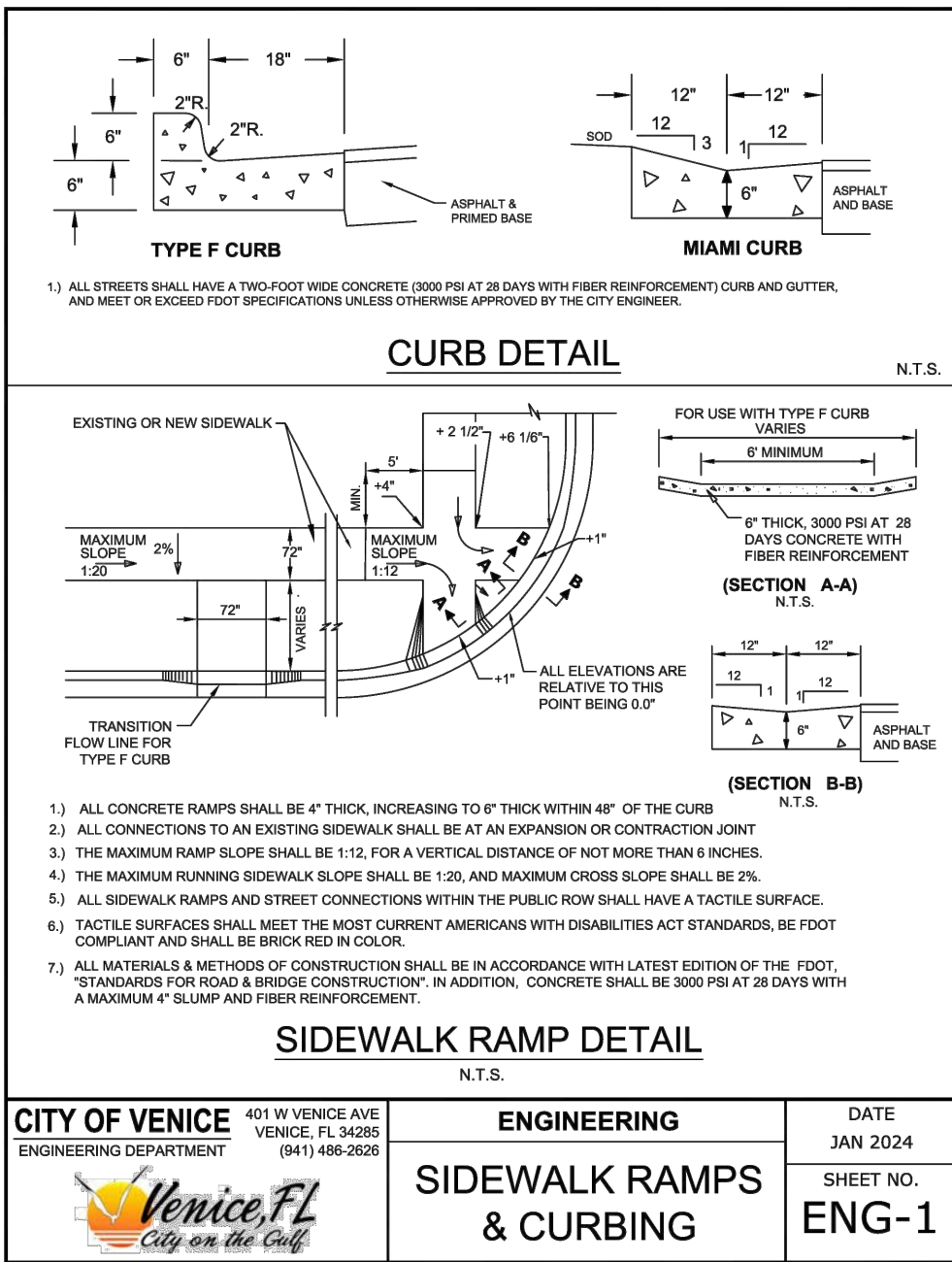
REVISIONS		
BY	DATE	DESCRIPTION
△	3/06/24	CHANGED PER FPL & SWFMD COMMENTS DATED: 10/19/23
△	3/06/24	CHANGED PER CITY OF VENICE COMMENTS DATED: 10/19/23
△	6/12/24	CHANGED PER CITY OF VENICE COMMENTS DATED: 5/01/24

D. SHAWN LEINS, P.E.
DATE
FLORIDA P.E. No. 41078



<div>3/06/24 REV. PER FPL & SWFMD COMMENTS DATED: 10/19/23 RC</div> <div>3/06/24 REV. PER CITY OF VENICE COMMENTS DATED: 10/18/23 RC</div> <div>5/12/24 REV. PER CITY OF VENICE COMMENTS DATED: 5/01/23 RC</div>		<div>CALL BEFORE YOU DIG!</div> <div>"SUNSHINE STATE ONE-CALL CENTER"</div> <div>1-800-432-4770</div> <div>THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.</div> <div>DATE: 6/12/24</div> <div>RC</div>		<div>Civil Engineering Land Surveying</div> <div>AM ENGINEERING, LLC.</div> <div>8340 Consumer Court Sarasota, FL 34240</div> <div>Phone: (941) 377-9178 www.amengrll.com</div> <div>CA #33105 LB #4334</div>		<div>NEAL COMMUNITIES</div> <div>THE VILLAGE AT LAUREL AND JACARANDA</div> <div>EXISTING CONDITIONS</div>		<div>1"=50'</div> <div>N/A</div> <div>NAVD 1988</div> <div>NEAL0026</div> <div>2</div>		<div>D. SHAWN LEINS, P.E.</div> <div>DATE</div> <div>FLORIDA P.E. No. 41078</div>	
REVISION No. REV. DATE REVISION DESCRIPTION		REVISION No. REV. DATE REVISION DESCRIPTION		REVISION No. REV. DATE REVISION DESCRIPTION		REVISION No. REV. DATE REVISION DESCRIPTION		REVISION No. REV. DATE REVISION DESCRIPTION		REVISION No. REV. DATE REVISION DESCRIPTION	

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REV.	REV. DATE	REVISION DESCRIPTION	RC	REV.	REV. DATE	REVISION DESCRIPTION	RC
6/12/24	REV. PER CITY OF VENICE COMMENTS DATED: 5/01/24		RC				

CALL BEFORE YOU DIG! "SUNSHINE STATE ONE-CALL CENTER" 1-800-432-4770 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.	DATE: 06/12/24	DRAWN BY: AM
CONSTRUCTION PLANS		

Civil Engineering | Land Surveying

AM ENGINEERING, LLC.

8340 Consumer Court Sarasota, FL 34240
Phone: (941) 377-9178 | www.amengfl.com
CA #33105 | LB #4334

CLIENT: NEAL COMMUNITIES, INC.	PROJECT: THE VILLAGE AT LAUREL AND JACARANDA	SCALE: 1" = 40'
DATE: 6/12/24	PROJECT NUMBER: NEAL0026	VERTICAL SCALE: N/A
DESCRIPTION: PAVING, GRADING, & DRAINAGE DETAILS	SHEET NUMBER: 5	DATE: 6/12/24

PROJECT ENGINEER: D. SHAWN LEINS	DATE: 6/12/24
FLORIDA P.E. NO. 41078	

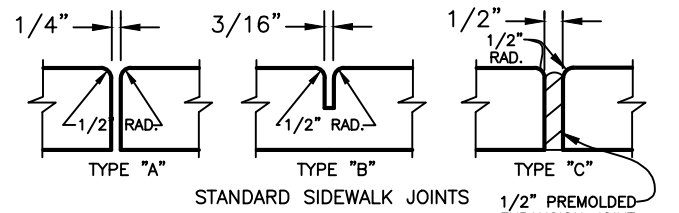
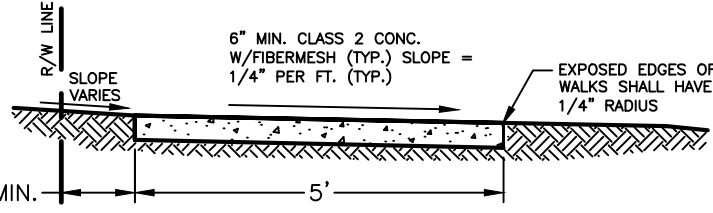


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
A	P.C. AND P.O. OF CURVES AND NEW SIDEWALKS
B	24" SIDEWALKS TO EXISTING
C	24" SIDEWALKS TO EXISTING

TABLE OF SIDEWALK THICKNESS	
THICKNESS	LOCATION
4"	RESIDENTIAL AREAS
6"	AT DRIVEWAYS AND OTHER AREAS

SIDEWALK NOTES:

- INSURE OFFSET FROM PROPERTY LINES MEET WITH THE APPROVED PLAN.
- THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS.
- CONSTRUCTION JOINT CONSTRUCTION: SECTIONS NOT TO BE LESS THAN 4 FEET OR MORE THAN 10 FEET LONG.
- EXPANSION MATERIAL TO BE PLACED AT ALL DRIVEWAYS AND SIDEWALK INTERSECTIONS AND WHEN OPERATIONS COURSE FOR ANY CONSIDERABLE TIME. SIDEWALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM OF 100 FEET.
- THE PITCH OF THE SIDEWALK SHALL BE NO MORE THAN ONE QUARTER INCH PER FOOT TOWARDS THE ROAD, OR AS THE APPROVED PLAN SHOWS. THE RICHIE WILL NOT BE GREATER THAN 1:21.
- SIDE SLOPES ADJACENT TO SIDEWALKS SHALL NOT EXCEED 4:1.
- SOD SHALL BE PLACED WITHIN THE COUNTY RIGHT-OF-WAY FROM BACK OF CURB TO THE FACE OF THE SIDEWALK. SOD SHALL BE REMOVED, AREA GRAZED AND COMPACTED PRIOR TO CONCRETE PLACEMENT.
- ALL ORGANIC MATERIAL AND DEBRIS SHALL BE REMOVED, AREA GRAZED AND COMPACTED PRIOR TO CONCRETE PLACEMENT.



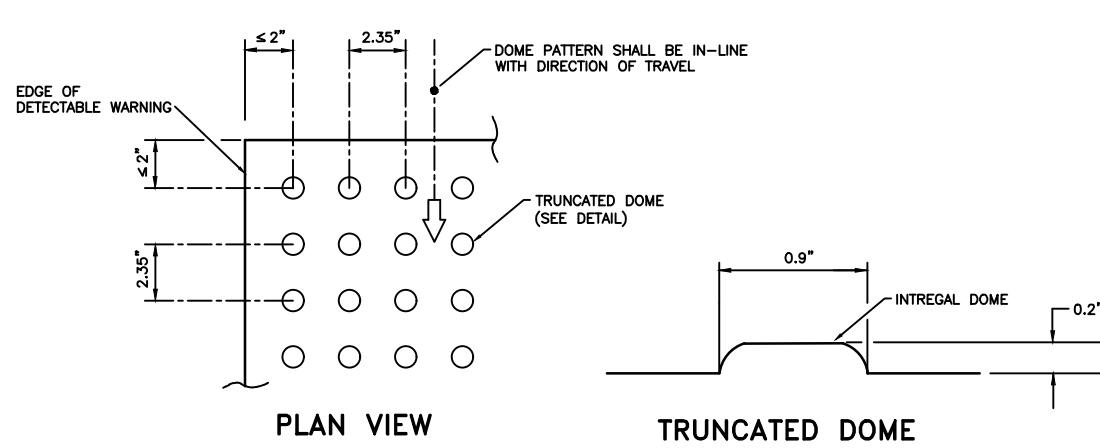
ALL CONCRETE SIDEWALK SHALL HAVE ROCK SALT FINISH

SEE FOOT INDEX #304 FOR SIDEWALK/CURB TRANSITION W/HANDICAP ACCESSIBILITY

STANDARD SIDEWALK DETAIL

NTS

ADA TACTILE WARNING: BASIS FOR DESIGN - CONCRETE PAVERS WITH TRUNCATED RAISED PATTERN MANUF. BY PAVERSYSTEMS, AN OLDCASTLE COMPANY. INSTALL PER MANUF. WRITTEN INSTRUCTIONS W/ PERIMETER CURBING. ARCHITECT TO SELECT FROM FULL RANGE OF MANUF. STD. COLORS - TYP.



ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" (610 mm) FROM THE BACK OF CURB.

CURB RAMP DETECTABLE WARNING

NTS

GENERAL NOTES:

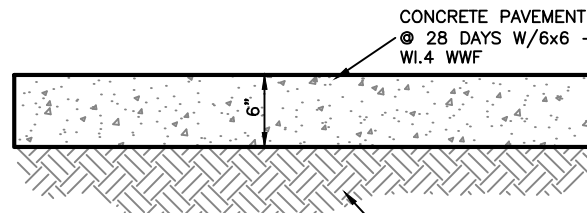
ALL SIDEWALKS, CURB, GUTTERS AND INTERSECTIONS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE.

SIDEWALKS SHALL HAVE A HANDICAP RAMP WITH TACTILE SURFACE AND CURB TRANSITION PER FDOT INDEX #304 AND CITY OF VENICE REQUIREMENTS

SEE CITY OF VENICE DETAIL SHEET #PS-1 FOR SIDEWALK DETAILS

ALL PRIVATELY MAINTAINED ROAD SIGNAGE AND STRIPING SHALL BE CONSISTENT WITH ALL PROVISIONS OF THE MOST RECENT EDITION OF THE MUTCD, INCLUDING SIGN RETROREFLECTIVITY, DESIGN, PLACEMENT AND USE.

FOR ON SITE STRIPING DETAILS PLEASE SEE FDOT INDEX 17346. (CROSSWALK, WHITE STOP BAR, AND ENTRANCE LANE STRIPING)



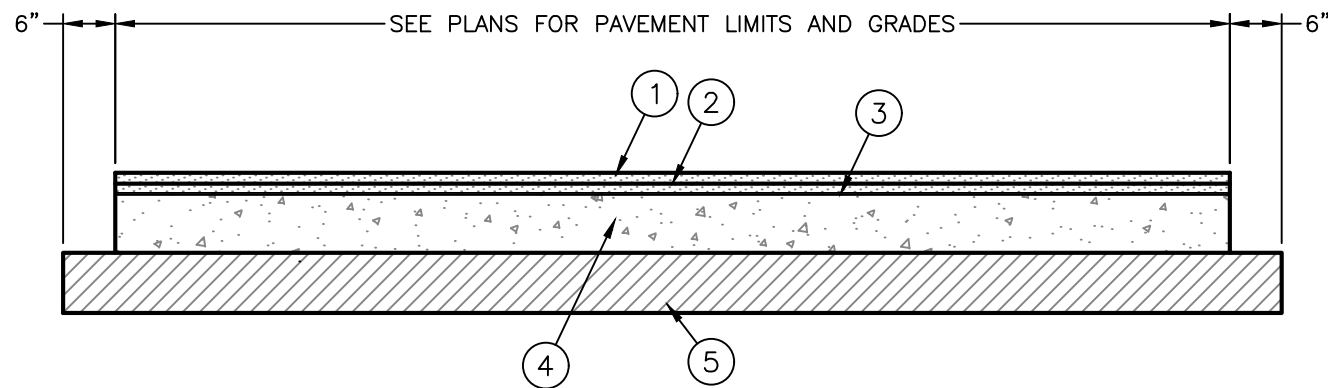
NOTE:

CONTRACTOR TO SUBMIT PLAN SHOWING PROPOSED CONSTRUCTION AND SAVED JOINTS FOR CONCRETE PAVEMENT TO ARCHITECT AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

CONCRETE PAVEMENT DETAIL

NTS

- ASPHALTIC CONCRETE STRUCTURAL SURFACE, 1" THICK, TYPE S-3 (SCTP-331) OR SP-9.5 - LIFT 2
- ASPHALTIC CONCRETE STRUCTURAL SURFACE, 1" THICK, TYPE S-3 (SCTP-331) OR SP-9.5 - LIFT 1
- BITUMINOUS PRIME COAT
- BASE ALTERNATES - 8" THICK CRUSHED CONCRETE (MINIMUM LBR 100) (SCTP-204) OR 8" CEMENT STABILIZED BASE (SCTP-265)
- STABILIZED SUBGRADE - 10" THICK (MINIMUM LBR 40) (SCTP-160) COMPACTED TO 98% DENSITY, AASHTO T-160, MODIFIED PROCTOR. SUBGRADE SHALL BE FIRM AND UNYIELDING AND CONTAIN NO ORGANIC MATERIAL IN THE TOP 6"

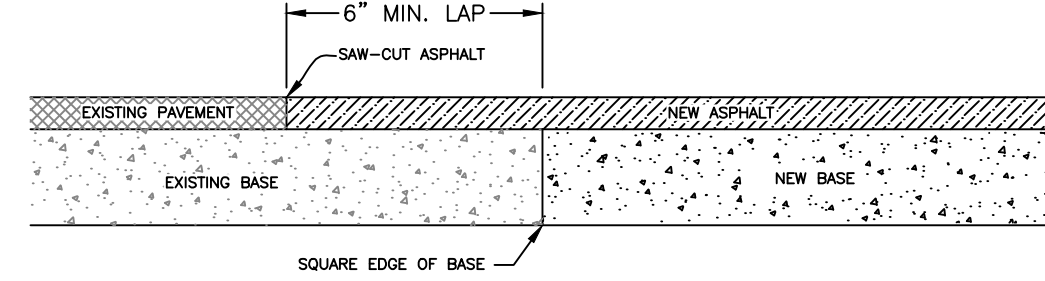


PAVEMENT NOTES

- THE ENGINEER OF RECORD HAS DETERMINED THAT THE SUB-BASE, BASE AND SURFACE COURSE COURSE SPECIFIED FOR ON-SITE PAVING IS SATISFACTORY FOR THE USE INTENDED)
- ALL PAVEMENT MARKINGS SHALL BE "ALLOY THERMOPLASTIC" 90 MILS IN THICKNESS, EXCEPT FOR STRIPING OF PARKING SPACES WHICH SHALL BE PAINTED.
- A TWO FOOT WIDE STRIP OF SOD IS TO BE PROVIDED BEHIND ALL CURBS AND PAVEMENT EDGES, SOD OR GRASSING/MULCHING SHALL BE PROVIDED FOR ALL OTHER OPEN AREAS UNLESS NOTED OTHERWISE ON LANDSCAPE PLANS.

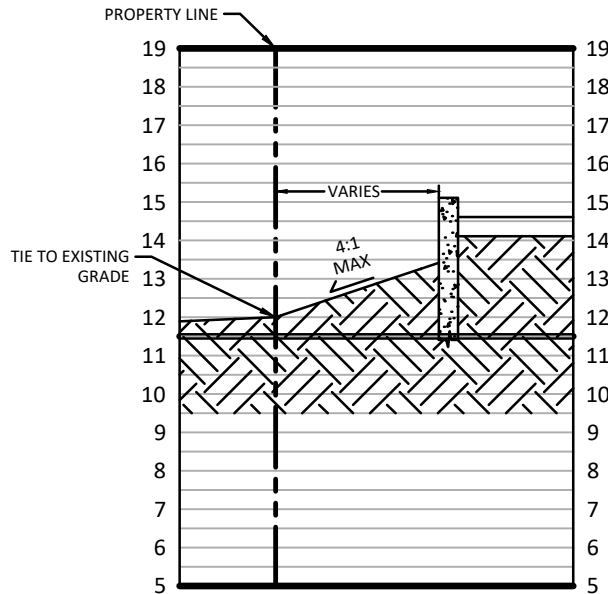
ASPHALT PAVEMENT DETAIL

NTS



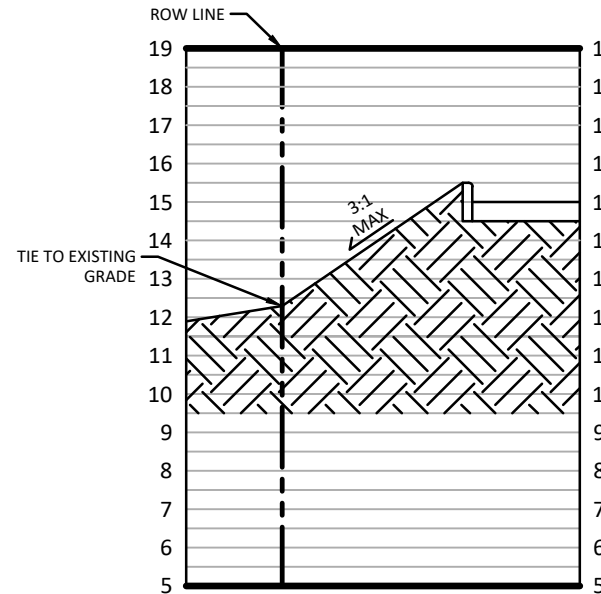
CONNECTION OF EXISTING PAVEMENT TO PROPOSED NEW PAVEMENT

NTS



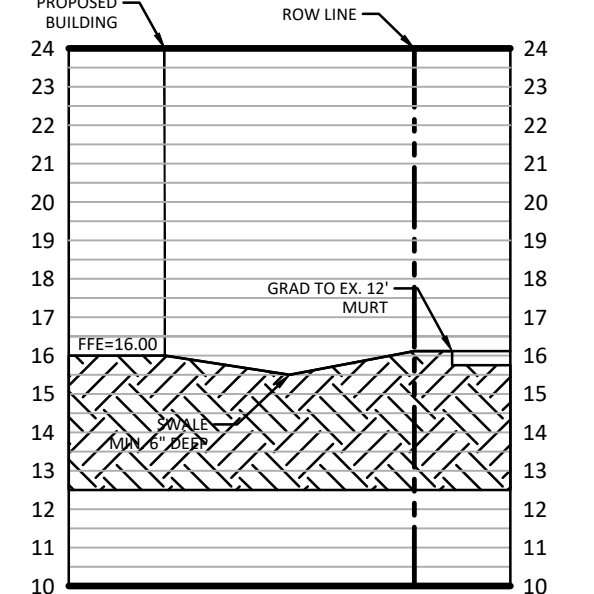
A CROSS SECTION
4

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'



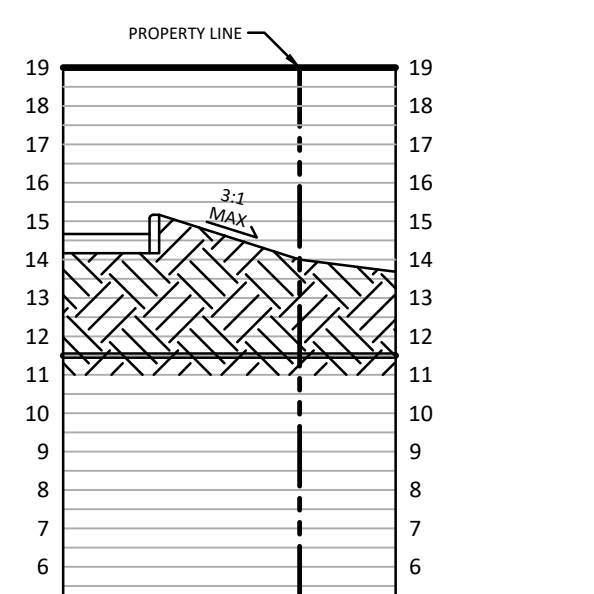
B CROSS SECTION
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HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'



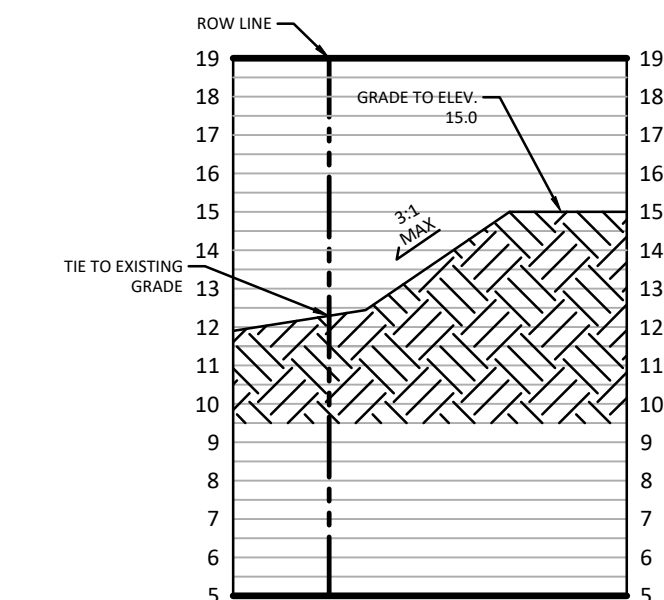
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HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'



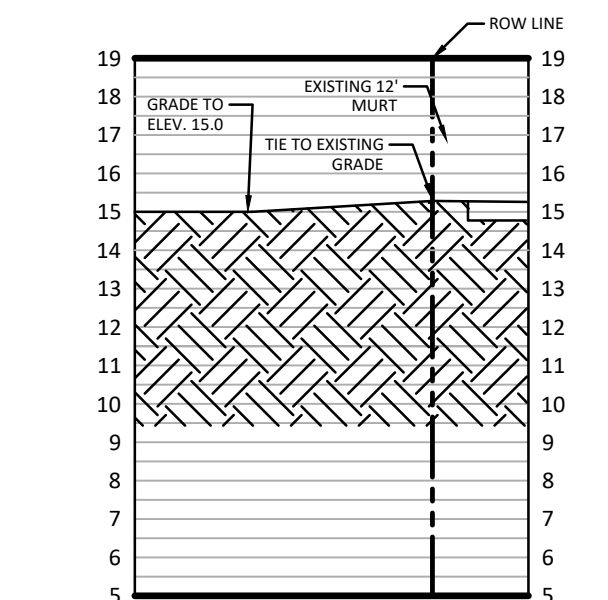
D CROSS SECTION
4

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'



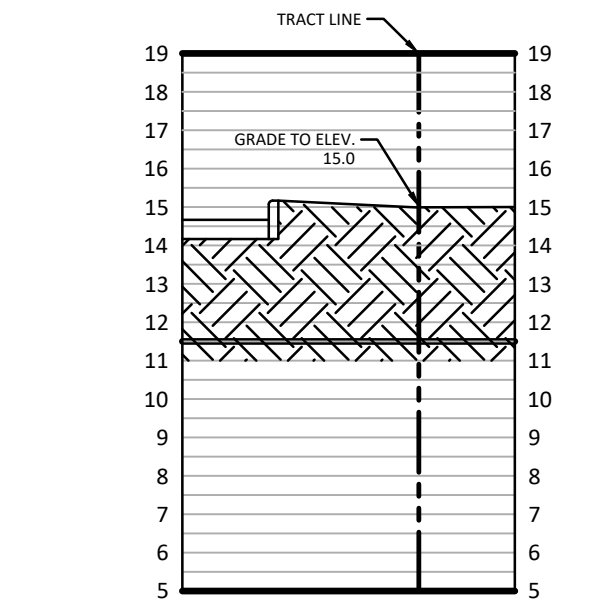
E CROSS SECTION
4

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'



F CROSS SECTION
4

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'



G CROSS SECTION
4

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'

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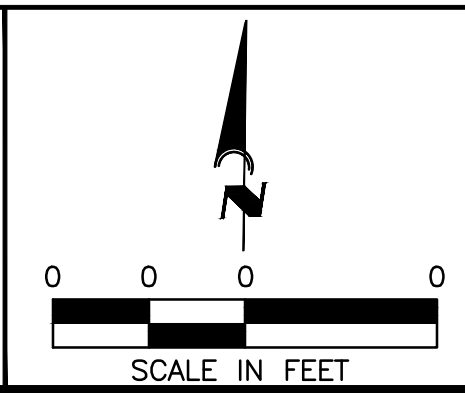
REV. No.	REV. DATE	REVISION DESCRIPTION	BY	REV. No.	REV. DATE	REVISION DESCRIPTION	BY
1	3/06/24	REV. PER PPL & SWFWD COMMENTS DATED: 10/19/23	RC				
2	3/06/24	REV. PER CITY OF VENICE COMMENTS DATED: 10/19/23	RC				
3	6/12/24	REV. PER CITY OF VENICE COMMENTS DATED: 5/01/24	RC				

CALL BEFORE YOU DIG! "SUNSHINE STATE ONE-CALL CENTER" 1-800-432-4770 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.	
DATE: 6/12/24	RC
CONSTRUCTION PLANS	

Civil Engineering | Land Surveying

AM ENGINEERING, LLC.

8340 Consumer Court Sarasota, FL 34240
Phone: (941) 377-9178 | www.amengift.com
CA #33105 | LB #4334



NEAL COMMUNITIES
THE VILLAGE AT LAUREL AND JACARANDA
PAVING, GRADING AND DRAINAGE DETAILS

HORIZONTAL SCALE: 1"=5'	PROJECT NUMBER: NEAL0026
VERTICAL SCALE: 1"=10'	SHEET NUMBER: 6
DATE: 6/12/24	PROJECT DRAWN BY: D. SHAWN LEINS, P.E.
FLORIDA P.E. No. 41078	

