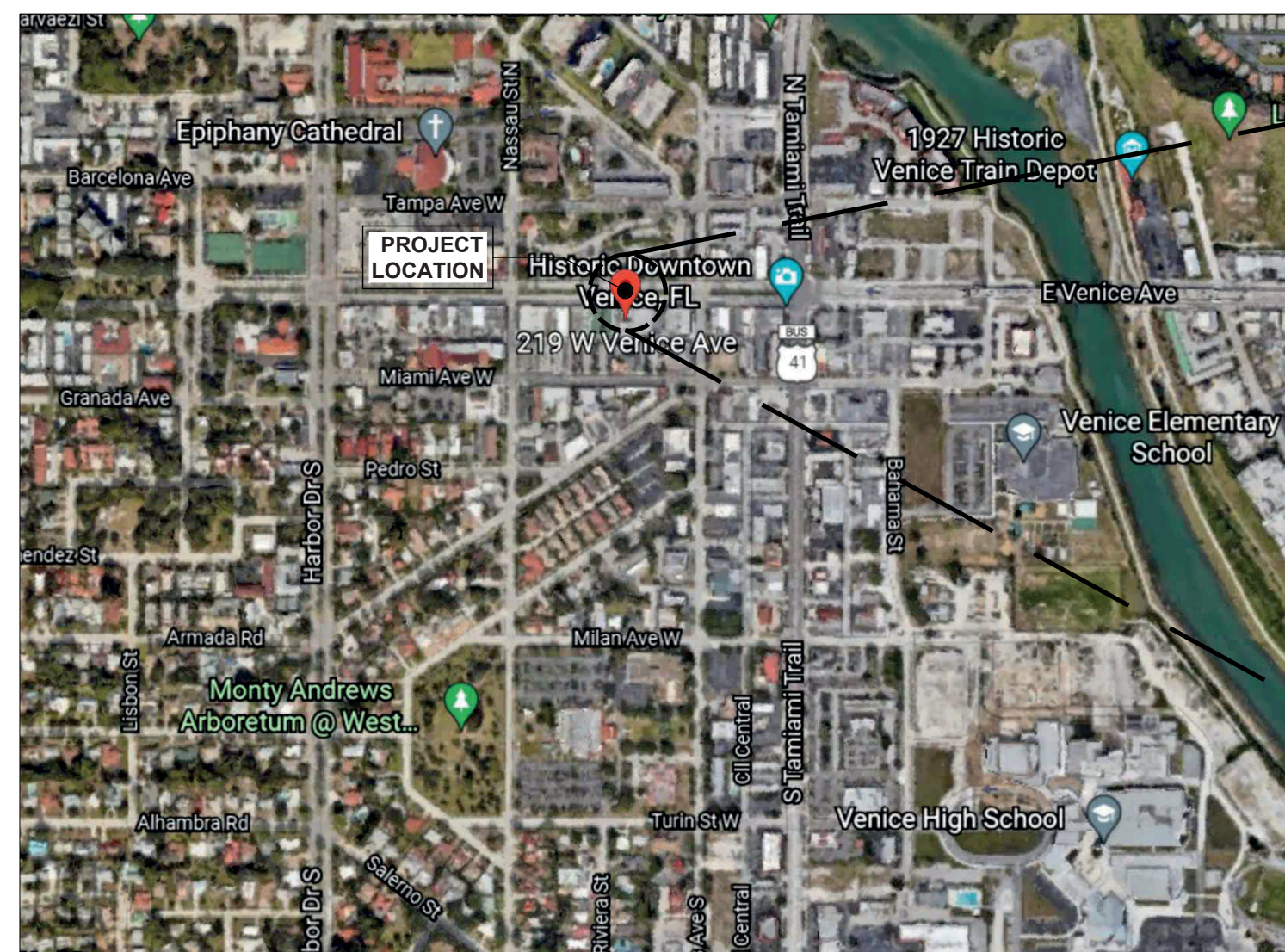


PROPOSED RENOVATION ARCHITECTURAL REVIEW BOARD PLANS

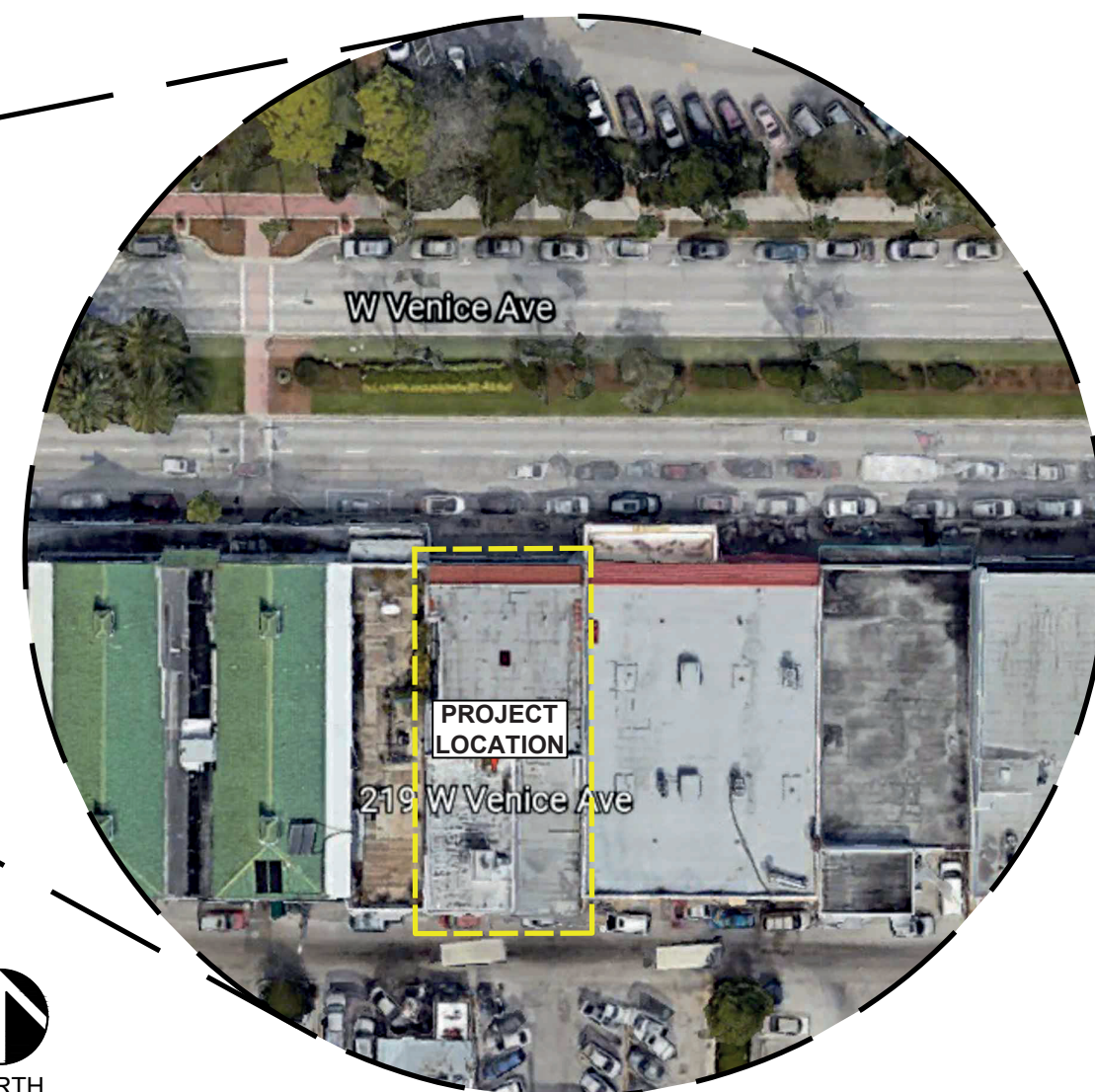
219 West Venice Avenue
Venice, Florida 34285



RENDERING



VICINITY MAP (N.T.S.)



LOCATION MAP (N.T.S.)

SCOPE OF WORK

THESE DOCUMENTS ARE FOR A PROPOSED RENOVATION OF THE EXISTING BUILDING FOR MULTI-FUNCTION USE AS FOLLOWS:

GROUND LEVEL - WHICH IS EXISTING AND IS PROPOSED FOR A COMPLETE LEVEL III ALTERATION OF THE EXISTING 5,750 SQ. FT. SITE AND THE MODIFICATION OF THE EXTENSION OF THE BUILDING SPACE INTO THREE (3) POTENTIAL RETAIL/COMMERCIAL TENANT SPACES. THE EXISTING STAIRWAYS WILL BE REMOVED AND RELOCATED. THE STRUCTURE CARRYING THE FLOOR ABOVE WILL BE MODIFIED TO CARRY THE JOISTS FOR THE FLOOR ABOVE.

SECOND LEVEL - PRESENTLY CONSISTS OF FOUR (4) LIVING UNITS WHICH ARE ALSO IN NEED OF A LEVEL III RENOVATION AND WILL DIVIDE THE SPACE INTO FOUR (4) ONE-BEDROOM APARTMENTS WITH FOUR (4) OFFICES AND A CONFERENCE ROOM. THE NEW UNITS WILL INCLUDE EXPANSION ONTO THE REAR ROOF DECK AND NEW ACCESS STAIRS.

THIRD LEVEL/ROOFTOP - THE ROOFTOP AREA IS PROPOSED TO BE CONSTRUCTED AS AN INDOOR/OUTDOOR RESTAURANT/BAR, WHICH WILL BE ENTIRELY NEW CONSTRUCTION. THIS CONSTRUCTION WILL ALSO BE COMPLIANT WITH THE REVISED STRUCTURE BELOW.

BUILDING CODE SUMMARY - COMMERCIAL PROJECTS:

BUILDING DATA:

OCCUPANCY: ASSEMBLY BUSINESS EDUCATIONAL MERCANTILE HAZARDOUS
 FACTORY/INDUSTRIAL INSTITUTIONAL RESIDENTIAL (R-2) UTILITY/MISCELLANEOUS

MIXED OCCUPANCY: YES NO SEPARATION: 2-HOUR FLOOR/CEILING FIRE SEPARATION PER U.L. DETAIL 301
GROUND FLOOR & EGRESS STAIR WALLS + 2-HOUR FIRE SEPARATION PER U.L. DETAIL U905

CONSTRUCTION TYPE: I (A) I (B) II (A) II (B) III (A) III (B) IV (H.T.) V (A) V (B)

MIXED CONSTRUCTION: YES NO

BUILDING HEIGHT: 30'-0" ABOVE GRADE 3 - STORES
BASE FLOOD ELEVATION: FLOOD ZONES X

MEZZANINE: YES NO
HIGH RISE: YES NO
FIRE SPRINKLED: YES NO
FIRE ALARM: YES NO
ZONING DISTRICT: CBD / HV

(E) TOTAL SITE AREA: 5,750 S.F. (0.1320 ACRES)

| BUILDING A/C AREA | |
|------------------------|-----------------------|
| GROUND FLOOR A/C AREA: | 4,573.00 S.F. |
| SECOND FLOOR A/C AREA: | 5,131.44 S.F. |
| ROOF TOP (RESTAURANT) | 3,285.00 S.F. |
| TOTAL A/C AREA | 12,989.44 S.F. |

FAR / FLOOR AREA RATIO = 12,989 / 5,750 = 2.259

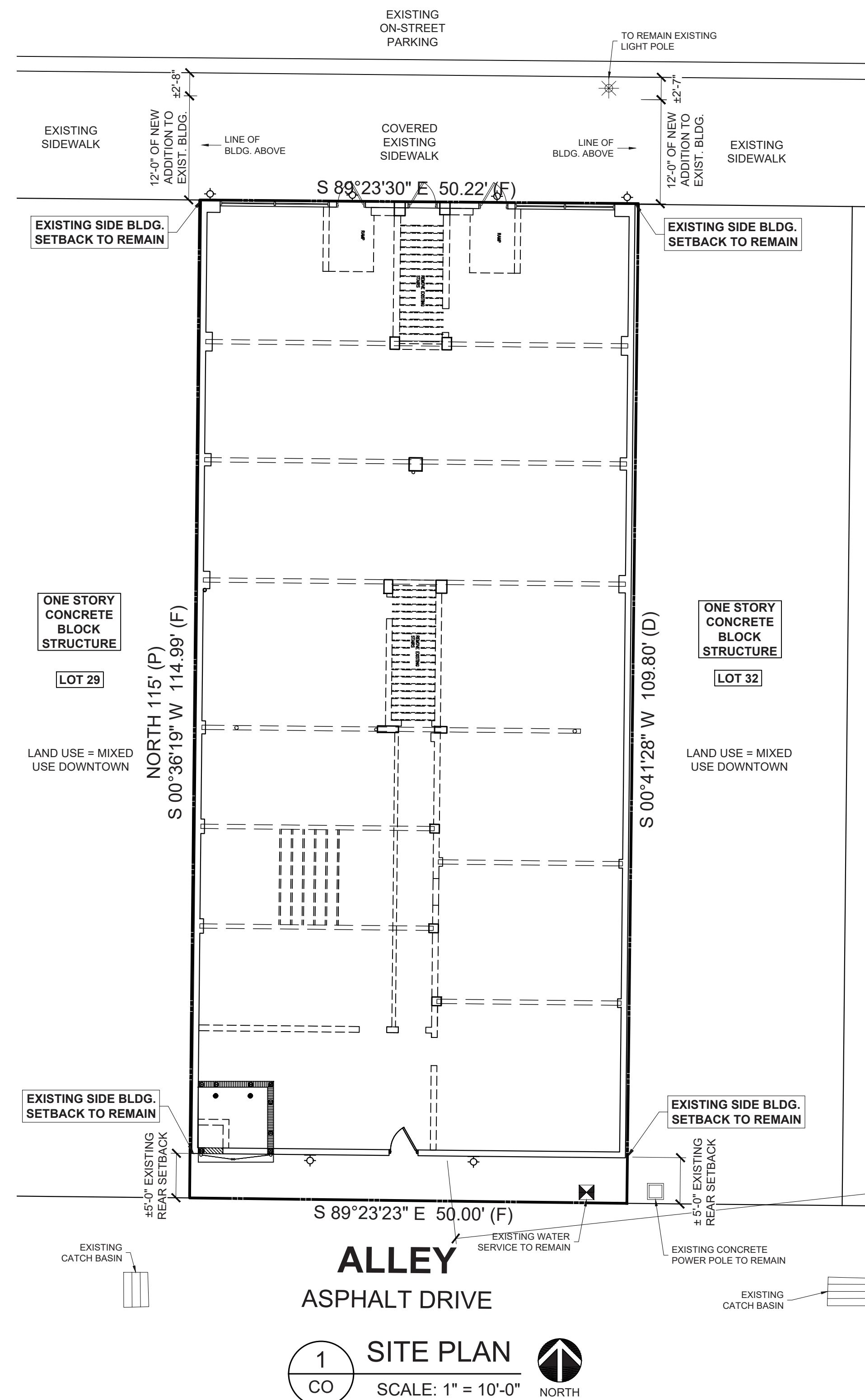
| APARTMENT A/C AREA | |
|--------------------|-------------|
| APARTMENT 1: | 610.00 S.F. |
| APARTMENT 2: | 706.00 S.F. |
| APARTMENT 3: | 690.00 S.F. |
| APARTMENT 4: | 662.00 S.F. |

APPLICABLE CODES:
7th EDITION (2020) FLORIDA BUILDING CODE
7th EDITION (2020) FLORIDA BUILDING CODE (MECHANICAL)
7th EDITION (2020) FLORIDA BUILDING CODE (PLUMBING)
7th EDITION (2020) FLORIDA BUILDING CODE (ACCESSIBILITY)
7th EDITION (2020) FLORIDA BUILDING CODE (ENERGY)
7th EDITION (2020) FLORIDA FIRE PREVENTION CODE
NFPA 2017 NATIONAL ELECTRICAL CODE (NEC 2017)

LIFE SAFETY SYSTEM:
EMERGENCY LIGHTING & EXIT SIGNAGE YES NO
FIRE ALARM YES NO
SMOKE DETECTION SYSTEMS YES NO
PANIC HARDWARE YES NO

PARKING CALCULATOR
4 APARTMENTS = 4 SPACES
7,858 SQ. FT. / 500 = 15.7 SPACES
TOTAL SPACES = 20 SPACES

VENICE AVENUE 120' PUBLIC RIGHT-OF-WAY



WINDS:

WINDS APPLIED PER ASCE7-10, BUILDINGS OF ALL HEIGHTS

ANALYTICAL METHOD

BASIC WIND SPEED: 160 MPH

BUILDING RISK CATEGORY: II

WIND EXPOSURE: D

APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .18 (ENCLOSED)

COMPONENTS AND CLADDING
SEE STRUCTURAL SHEET FOR ALL DESIGN PRESSURES

NOTE: FOLLOW MANUFACTURERS INSTRUCTIONS FOR NUMBER OF JAMB CLIPS, SPACING AND ANCHOR SIZES.

| INDEX OF DRAWINGS | |
|-------------------|------------------------------------|
| SHEET # | DESCRIPTION |
| 1 | CO COVER SHEET |
| 2 | RE FRONT & LEFT RENDERINGS |
| 3 | RE2 REAR & RIGHT RENDERINGS |
| 4 | SUR SURVEY |
| 5 | A-1.0 FIRST FLOOR DEMOLITION PLAN |
| 6 | A-1.1 BEAM FLOOR PLAN |
| 7 | A-1.2 SECOND FLOOR DEMOLITION PLAN |
| 8 | A-2.0 FIRST FLOOR PLAN |
| 9 | A-2.1 SECOND FLOOR PLAN |
| 10 | A-2.2 ROOF DECK PLAN |
| 11 | A-4.0 FRONT ELEVATION |
| 12 | A-4.1 REAR ELEVATION |
| 13 | A-4.2 LEFT ELEVATION |
| 14 | A-4.3 RIGHT ELEVATION |

ABBREVIATIONS:

| | |
|--|-------------------------------|
| A.F.C. ABOVE FINISH CEILING | H.M. HOLLOW METAL |
| A.F.F. ABOVE FINISH FLOOR | IMAG. IMAGE |
| A.C.T. ACOUSTICAL CEILING TILE | INSUL. INSULATION |
| ALLUM. ALUMINUM | JOINT JOINT |
| BLK. BLOCK | K.O. KNOCK OUT |
| BOTT. BOTTOM | LK. LOCK |
| BTM. BOTTOM | MANUF. MANUFACTURER |
| BLDG. BUILDING | M.C. MASONRY CONTROL JOINT |
| CLG. CEILING | M.C.J. MASONRY CONTROL JOINT |
| C. CARPET | M.O. MASONRY OPENING |
| C.T. CERAMIC TILE | MAX. MAXIMUM |
| CHALK BOARD | MECH. MECHANICAL |
| COL. COLUMN | MTL. METAL |
| CONC. CONCRETE | M.L. METAL LATH |
| C.J. CONTROL JOINT | MIN. MINIMUM |
| C.M.U. CONCRETE MASONRY UNIT | MIRR. MIRROR |
| DN. DOWN | N. NORTH |
| D.S. DOWN SPOUT | N.I.C. NOT IN CONTRACT |
| D.F. DRINKING FOUNTAIN | N.T.S. NOT TO SCALE |
| ELAST. ELASTOMERIC | NO. NUMBER |
| ELEV. ELEVATION | O.C. ON CENTER |
| EQ. EQUAL | PT. PAINT |
| EXIST. EXISTING | PLAST. PLASTER |
| EXP. EXPANSION | P.T. PRESSURE TREATED |
| E.J. EXPANSION JOINT | Q.T. QUARRY TILE |
| EXST'G. EXISTING | REINF. REINFORCING |
| E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM | REQ'D. REQUIRED |
| FIN. FINISH | R.D. ROOF DRAIN |
| F.E. FIRE EXTINGUISHER | RFG. ROOFING |
| F.A. FIRE ALARM | RM. ROOM |
| PLAS. PLASTER | R.T. RUBBER TILE |
| FL. FLOOR | SPECS. SPECIFICATIONS |
| FLR. FLOOR | STL. STEEL |
| FTG. FOOTING | TACK BOARD |
| FT. FOOT OR FEET | TYP. TYPICAL |
| FDN. FOUNDATION | U.N.O. UNLESS NOTED OTHERWISE |
| GALV. GALVANIZED | VERT. VERTICAL |
| GA. GAUGE | V.C.T. VINYL COMPOSITION TILE |
| G.W.B. GYPSUM WALL BOARD | WG. WEIGHT |
| HDW. HARDWARE | W.C. WATER CLOSET |
| HGT. HEIGHT | WDW. WINDOW |
| | WD. WOOD |

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAWS OF FLORIDA.

DATE: _____

NO. _____

DESCRIPTION: _____

CLIENT: _____

PROJECT: **219 W. Venice Ave.**
Venice, Florida

COVER SHEET

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR00050065
EMAIL: JACK@ABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: AT/JB
UPDATED ON: Sep. 23, 22
DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #: CO



1 FRONT RENDERING
RE SCALE: N.T.S.



2 LEFT RENDERING
RE SCALE: N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 630 AND 632, LAWS OF FLORIDA.

JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

STATE OF FLORIDA
 JOHN A. BODZIAK
 ARCHITECT
 09/23/2022
 REGISTERED ARCHITECT

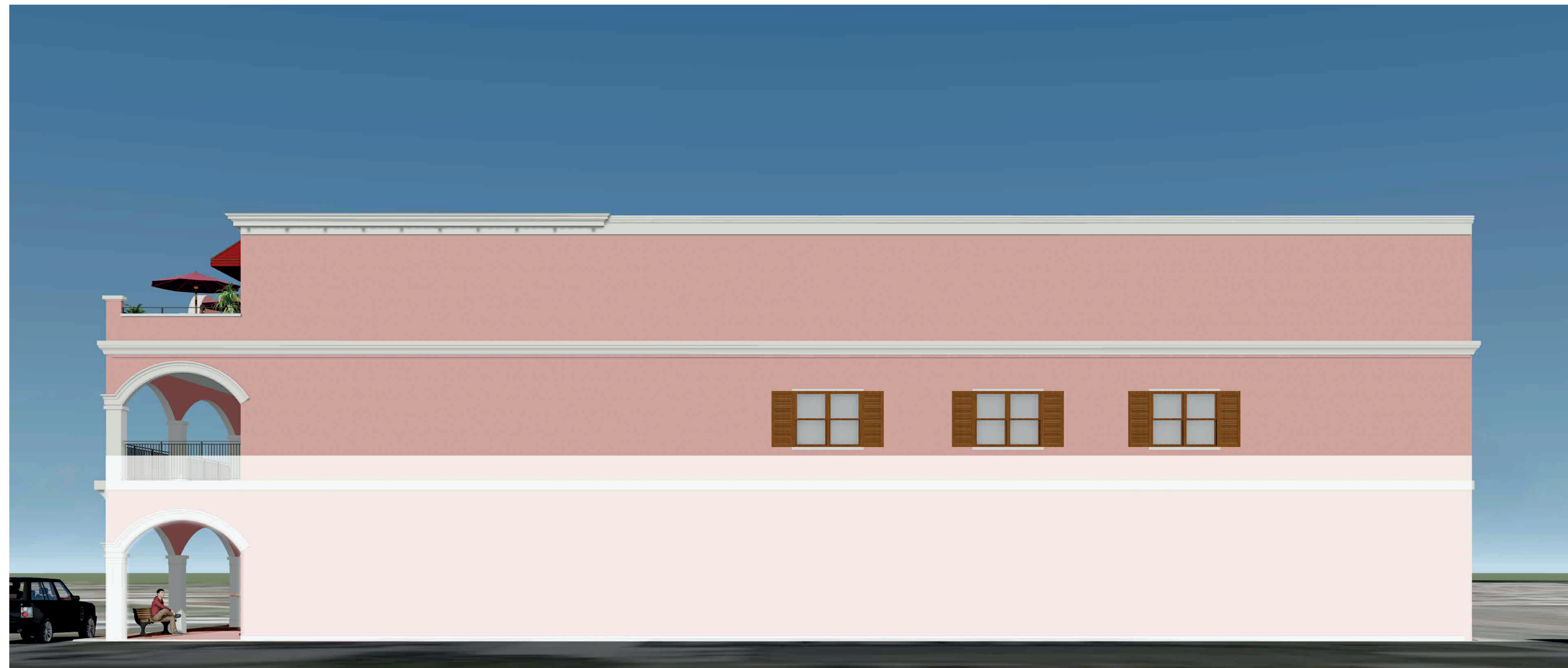
PROJECT
219 W. Venice Ave.
 Venice, Florida
 RENDERING

| NO. | DATE | REVISIONS | DESCRIPTION |
|-----|------|-----------|-------------|
| | | | |
| | | | |
| | | | |

DRAWN BY AT/JB
 UPDATED ON Sep. 23, 22
 DATE 10 - 2020
 JOB PROJECT # 2020-051
 SHEET # RE



1 REAR RENDERING
RE SCALE: N.T.S.



2 RIGHT RENDERING
RE SCALE: N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 630 AND 632, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - ARCHITECT
 COMPANY AND CONTRACTS AND OTHER PROPERTY
 SHALL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC.
 AND SHALL NOT BE LOANED, REPRODUCED, COPIED, OR
 REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN
 CONSENT AND APPROVED COMPENSATION TO
 JOHN A. BODZIAK, INC. ANY REPRODUCTION OR
 USE OF THESE PLANS WITHOUT THE WRITTEN
 CONSENT OF JOHN A. BODZIAK, INC. SHALL
 BE AT THE USER'S SOLE RISK AND WITHOUT
 LIABILITY TO JOHN A. BODZIAK, INC. OR ITS
 OFFICERS, EMPLOYEES, AGENTS, OR REPRESENTATIVES.

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

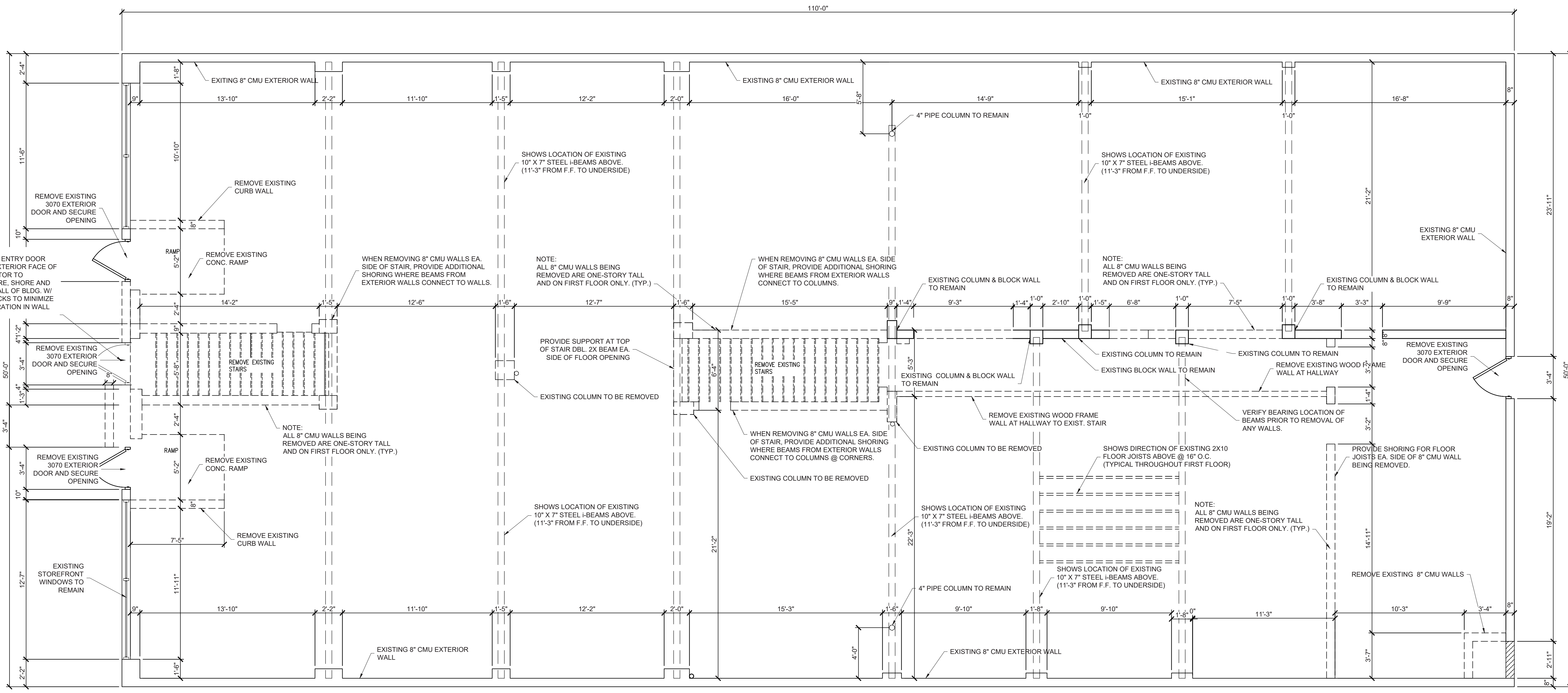
CLIENT

PROJECT
219 W. Venice Ave.
 Venice, Florida
 RENDERING

STATE OF FLORIDA
 JOHN A. BODZIAK
 ARCHITECT
 09/23/2022
 REGISTERED ARCHITECT

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@BODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY AT/JB
 UPDATED ON Sep. 23, 22
 DATE 10 - 2020
 JOB PROJECT # 2020-051
 SHEET # RE2



NOTE:
REMOVE CENTER ENTRY DOOR
AND WALLS AT EXTERIOR FACE OF
BLDG. CONTRACTOR TO
PROPERLY SECURE, SHORE AND
BRACE FRONT WALL OF BLDG. W/
STL. BRACING JACKS TO MINIMIZE
ANY JOINT SEPARATION IN WALL
ABOVE.

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

NOTE:
ALL 8\"/>

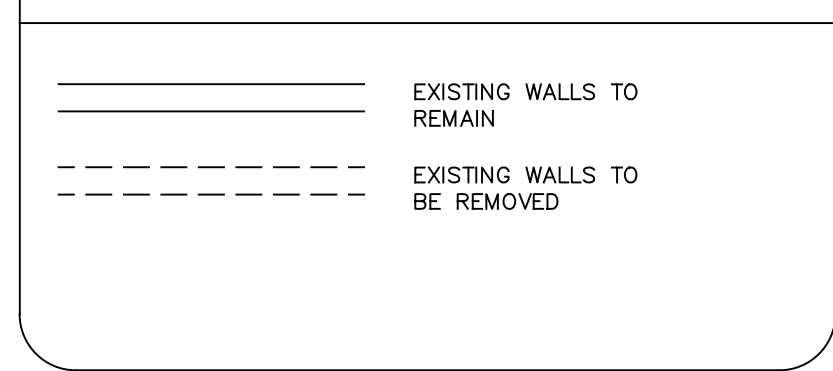
DEMOLITION NOTES:

- IN COMPANY WITH THE OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE.
- SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
- COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
- THE DEMOLITION WORK IS NOT LIMITED TO DEMOLITION ITEMS LISTED OR SPECIFICALLY IDENTIFIED ON THE CONSTRUCTION DOCUMENTS, BUT SHALL INCLUDE THOSE ITEMS NECESSARY FOR A FINISHED AND COMPLETE PROJECT.
- GENERAL CONTRACTOR TO INCLUDE ALL INTERIOR AND EXTERIOR PATCHING, REPAIRING AND PAINTING TO PROVIDE A PROFESSIONAL AND COMPLETELY FINISHED PROJECT ACCEPTABLE TO THE OWNER.
- USE PROPERLY DESIGNED SHORING, BRACING, UNDERPINNING, ETC. AS NECESSITATED BY CONDITIONS OR AS REQUIRED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION OR ANY DEMOLITION.
- NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY ARCHITECT. THIS INCLUDES (BUT IS NOT LIMITED TO) REVISIONS DUE TO MISLOCATION, MISFIT OR ANY OTHER CONSTRUCTION ERRORS OR DISCOVERIES DURING DEMOLITION.
- BRACE ALL WALLS DURING CONSTRUCTION TO PREVENT DAMAGE FROM WIND, WATER, EARTH PRESSURE AND CONSTRUCTION LOADS UNTIL ALL SUPPORTING ELEMENTS ARE IN PLACE AND OF SUFFICIENT STRENGTH.
- NO OPENING OR DEMOLITION SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN INDICATED ON APPROVED DRAWINGS) UNTIL LOCATION HAS BEEN APPROVED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARD BUILDING CODE.
- ALSO, PROVIDE DIAGONAL BRACING AT ANY BRACING OR SHORING THAT IS LOCATED AT ANY STRUCTURAL ELEMENT OR ANY LOAD BEARING WALL, BEING REMOVED FROM THE TOP OF SHORING OR BRACING DOWN TO THE FLOOR.

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS. ACTUAL CONDITIONS ARE TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, TO INCLUDE ALL STATE LAWS, AND LOCAL ORDINANCES.
- REPAIR, PATCH, AND REFINISH ALL EXISTING STRUCTURES AFFECTED BY THIS CONSTRUCTION.
- ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS TO EXPOSE ALL AFFECTED EXISTING CONDITIONS AND RELOCATE ADJUST, CHANGE OR ABANDON EXISTING CONDITIONS ACCORDING TO ALL APPLICABLE CODES AND LOCAL ORDINANCES.

WALL LEGEND



1 AS-BUILT / DEMO PLAN - GROUND FLOOR
SCALE: 1/4" = 1'-0"

A-1.0

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNEXPECTED DISCREPANCIES AND CONDITIONS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

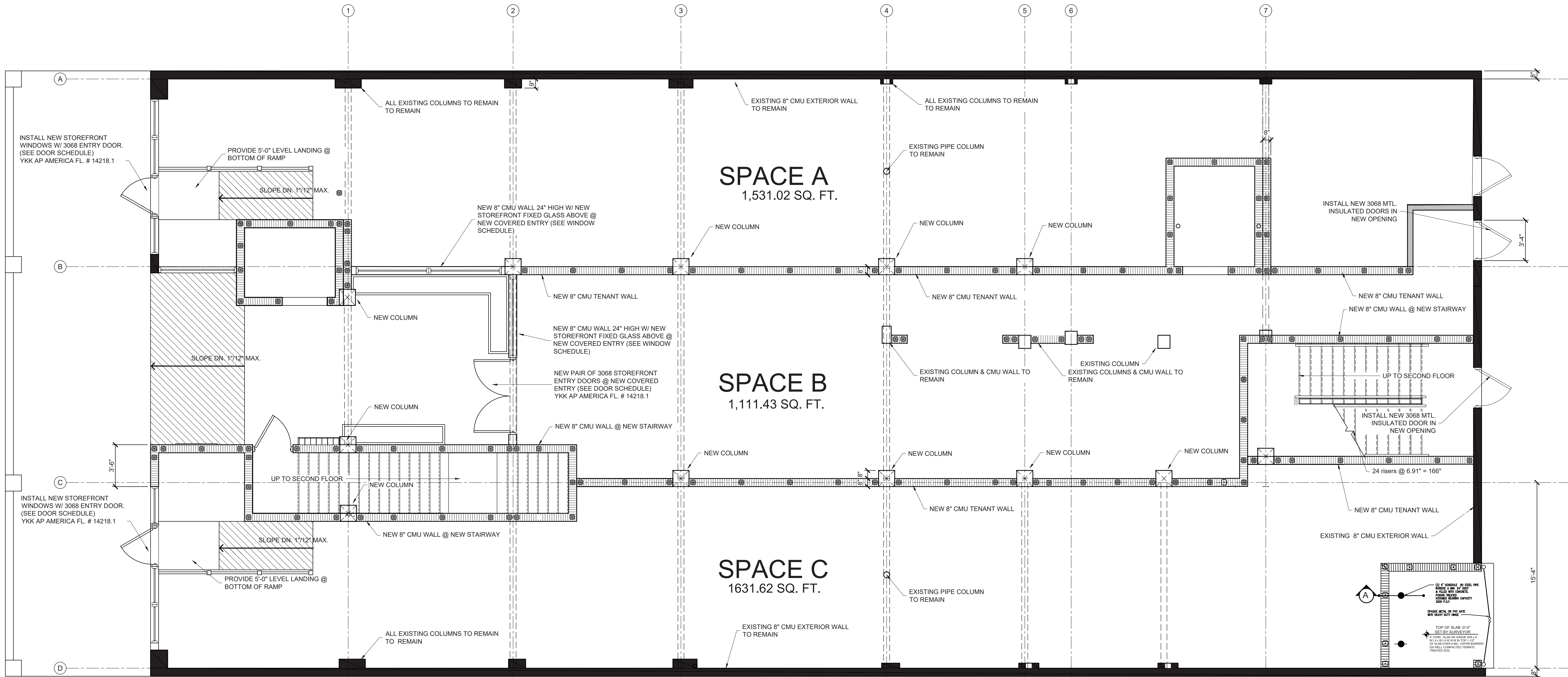
PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR00005065
EMAIL: JACK@BODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10-2020
JOB PROJECT #: 2020-051
SHEET #: A-1.0

PROJECT: 219 W. Venice Ave., Venice, Florida
AS-BUILT / DEMO PLAN - GROUND FLOOR

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |



1
A-1.1 PROPOSED STRUCTURAL LAYOUT PLAN
SCALE: 3/16" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

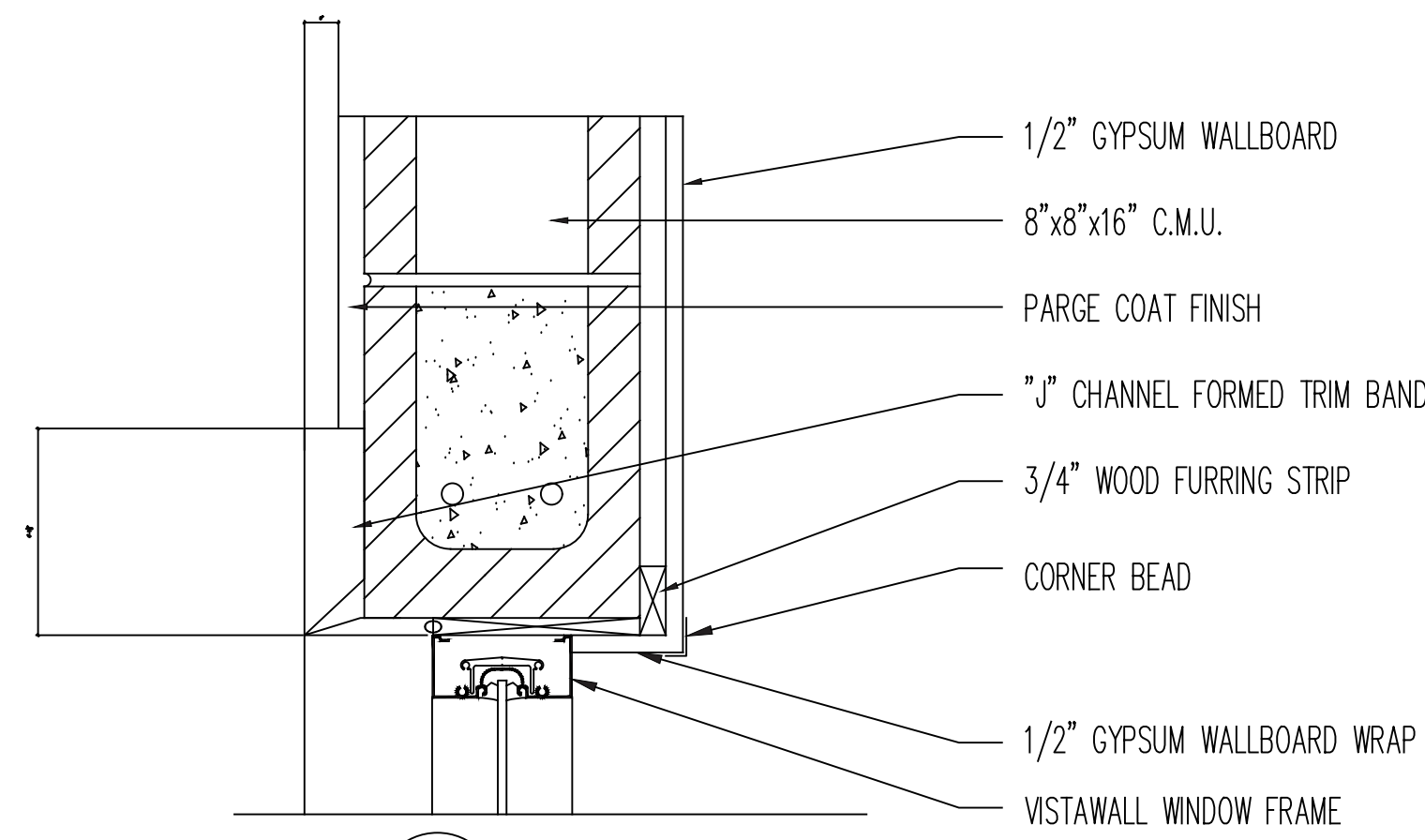
PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENGINEERING SKILLS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 635 AND 637, LAWS OF FLORIDA.

JOHN A. BODZIAK ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

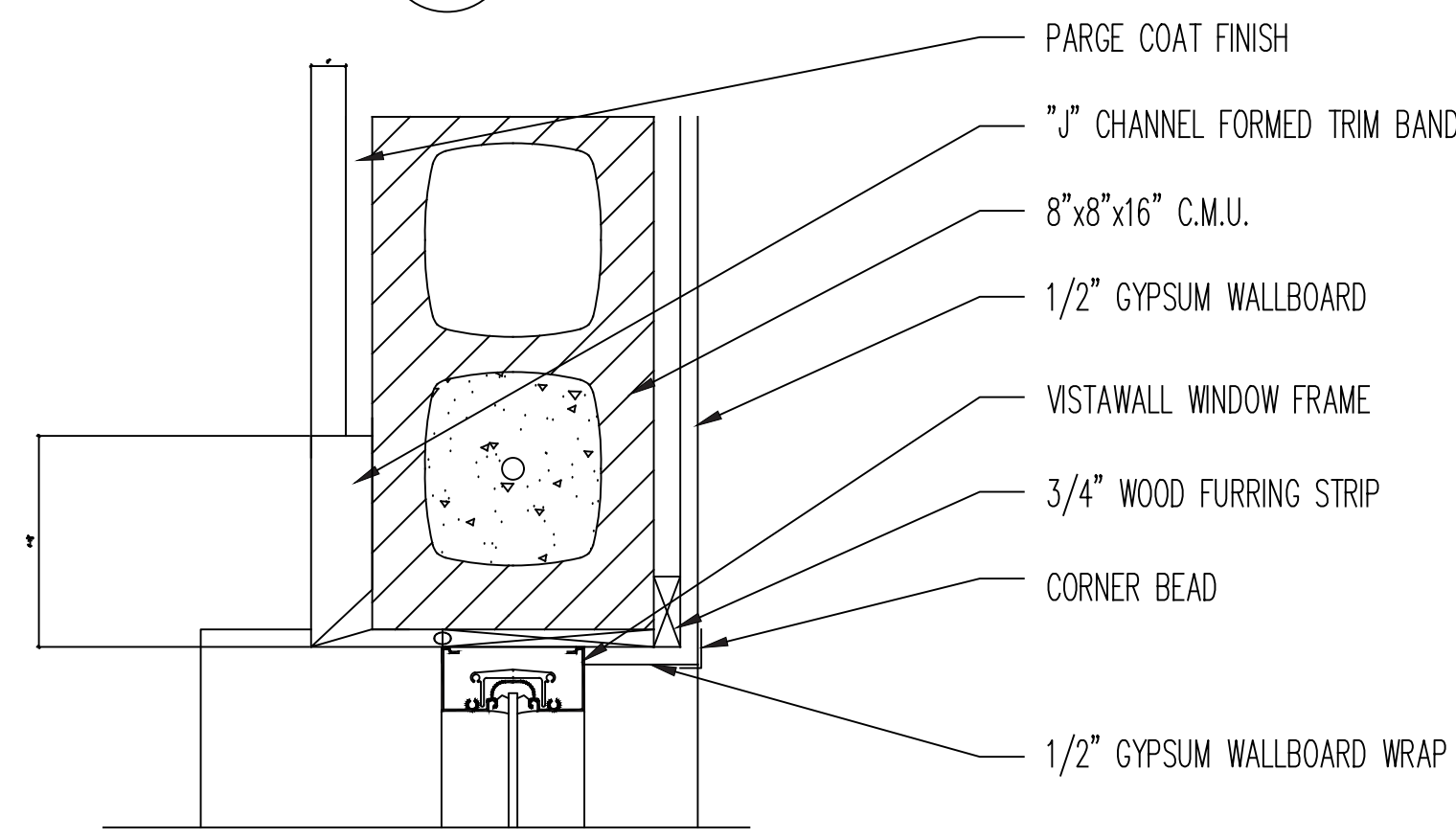
DATE: 10-2020
JOB PROJECT #: 2020-051
SHEET #: A-1.1

PROJECT: 219 W. Venice Ave., Venice, Florida
PROPOSED STRUCTURAL LAYOUT PLAN

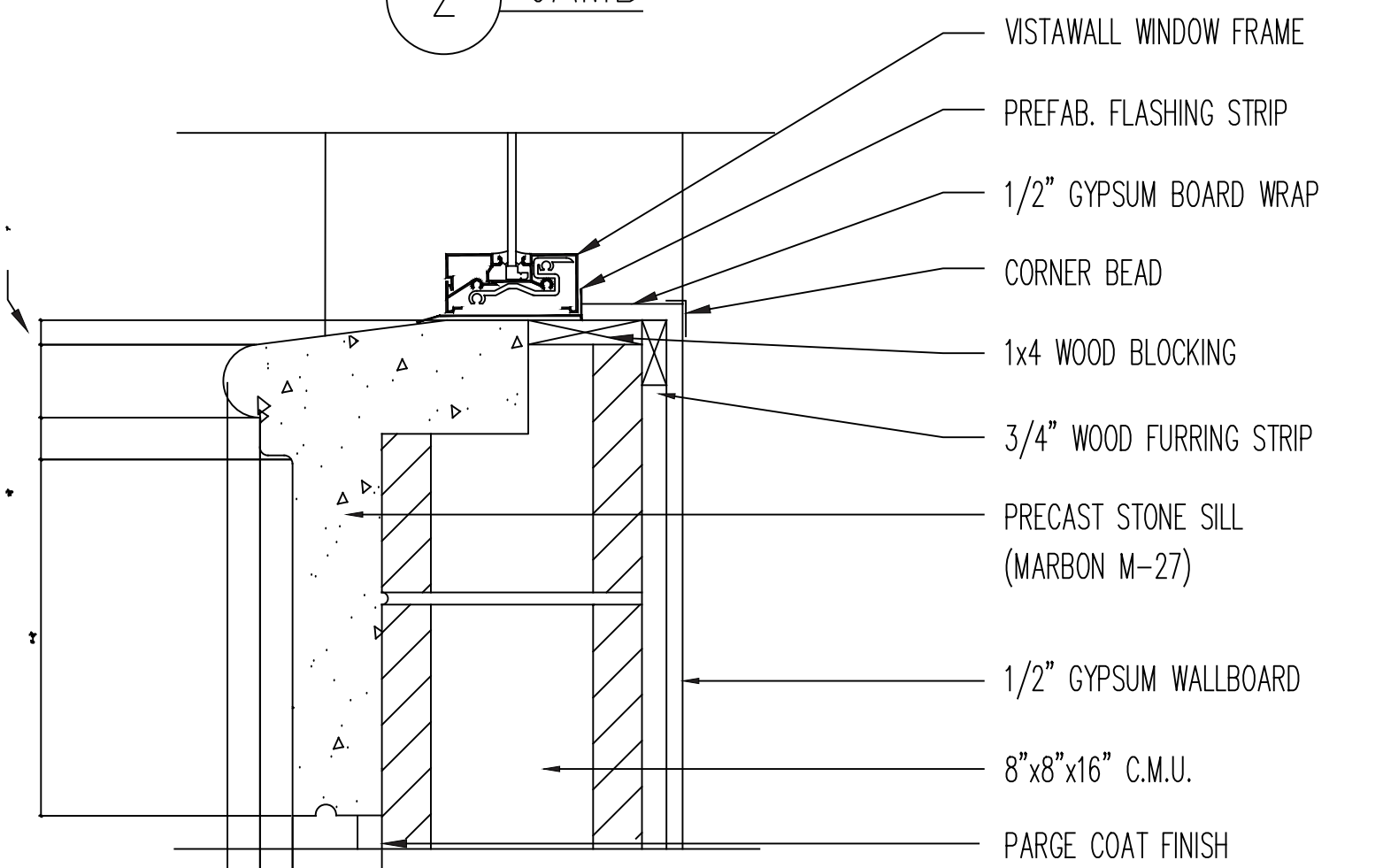
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |



1 HEAD



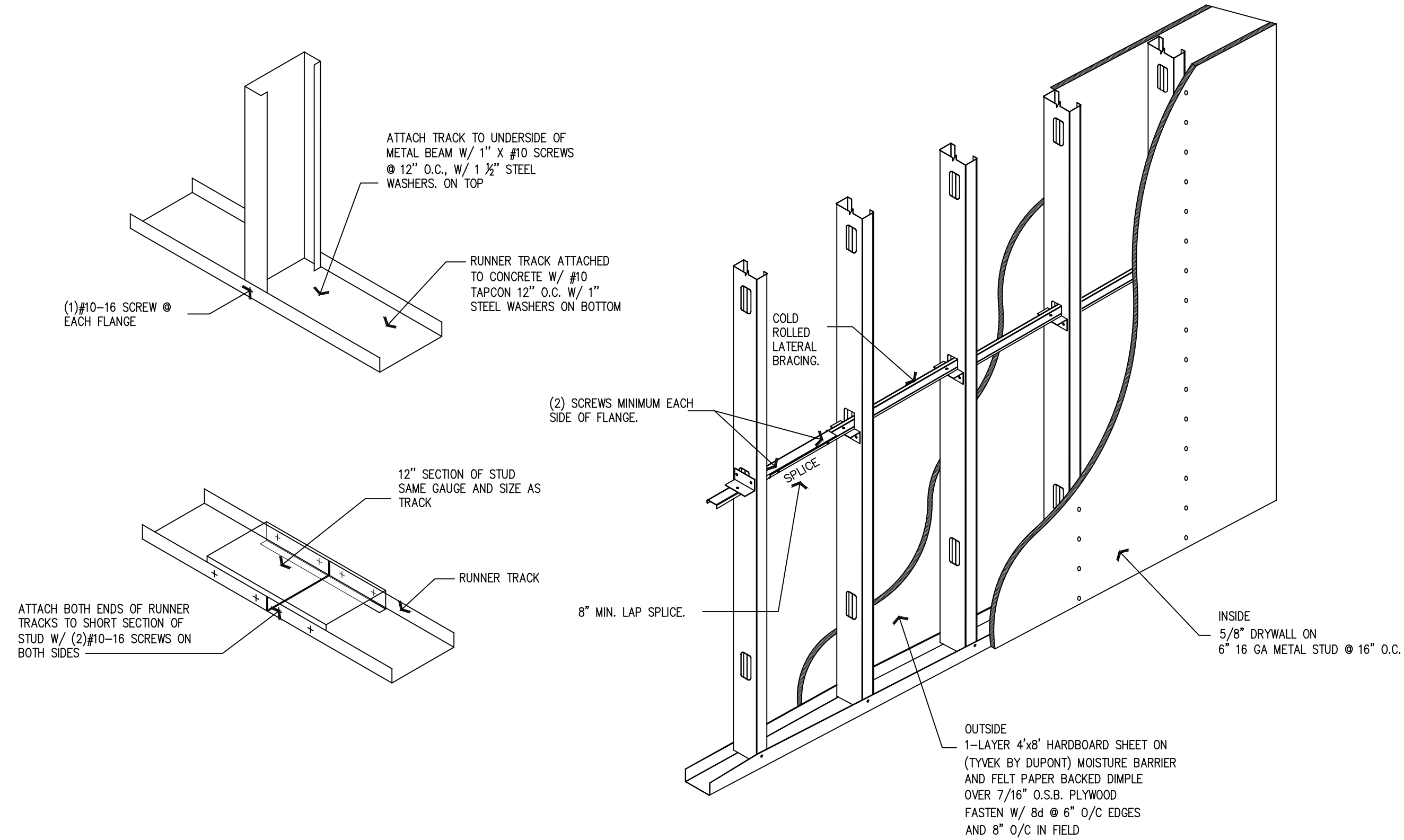
2 JAMB



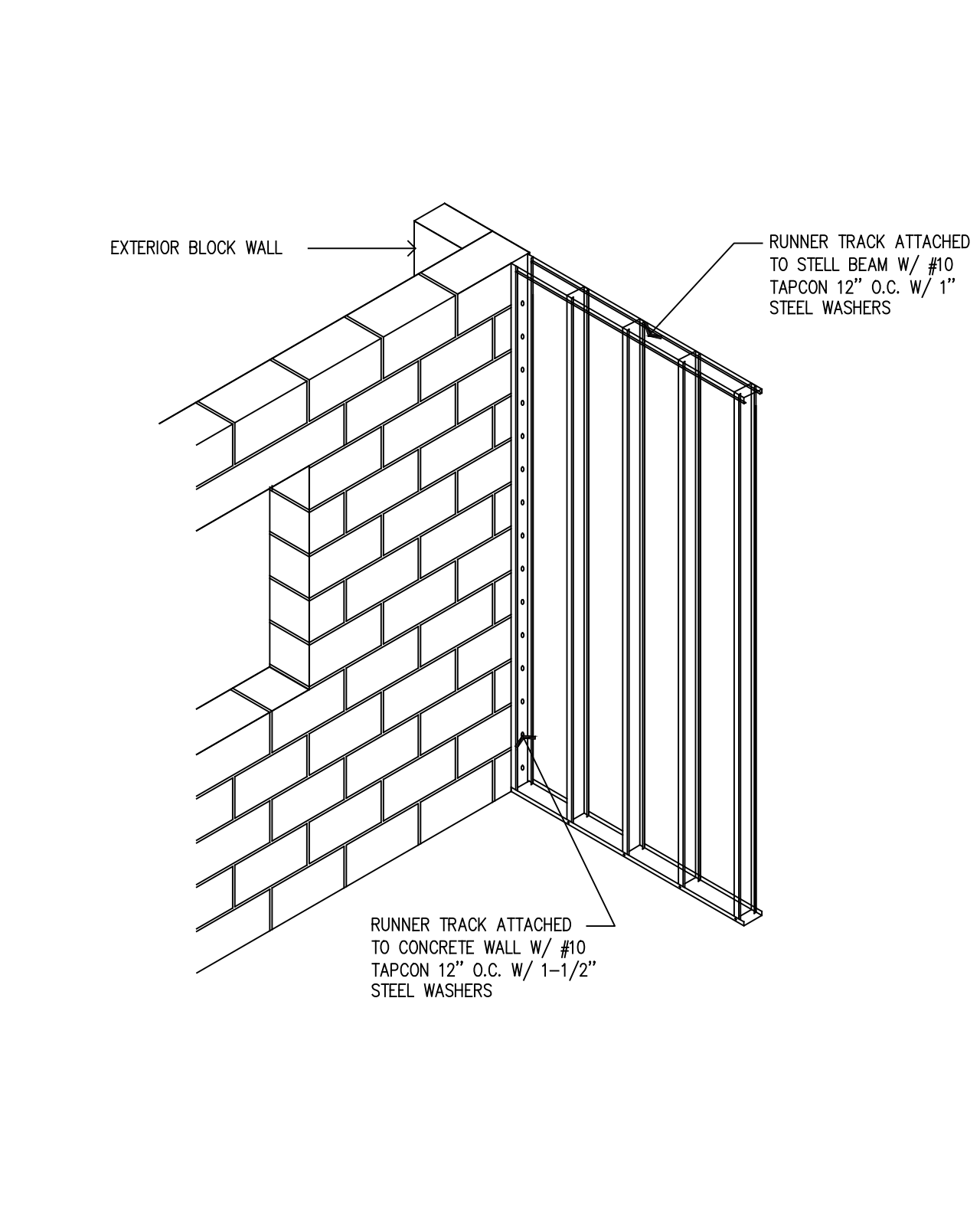
3 SILL

MASONRY WALL FRAMING DETAIL

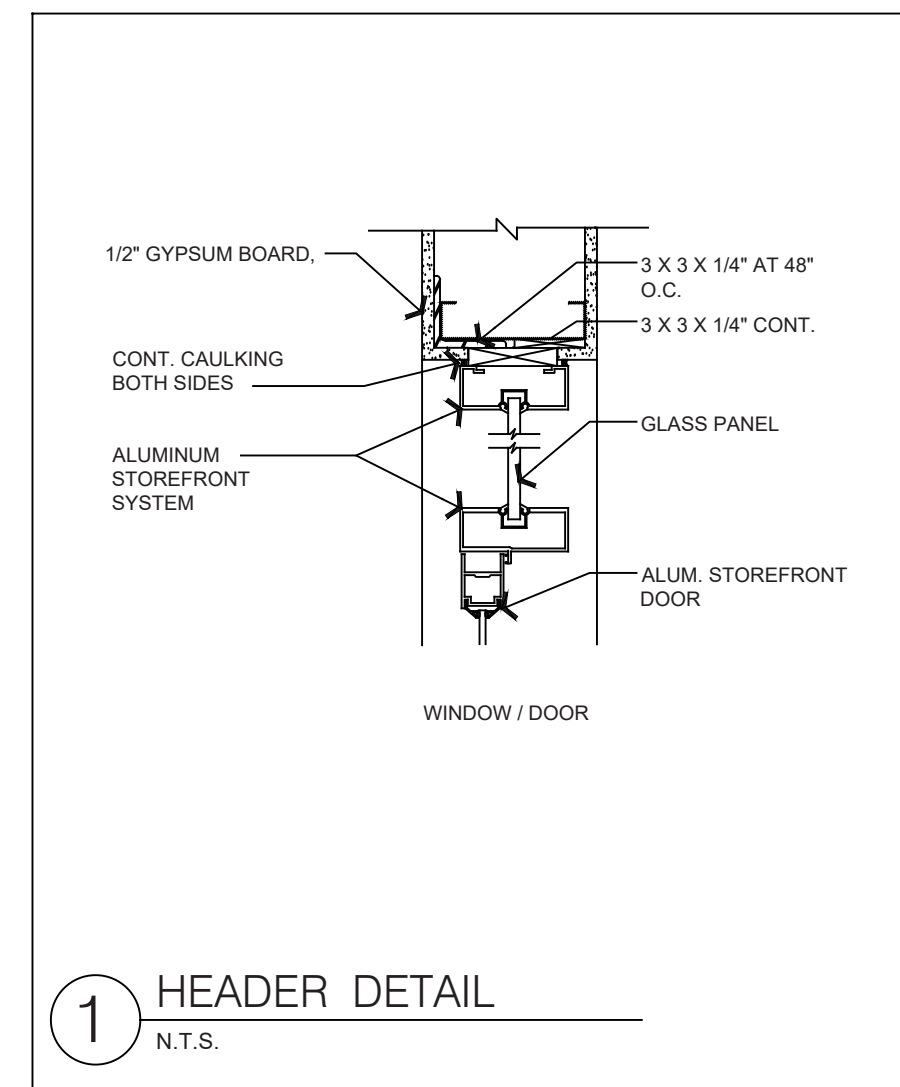
N.T.S.



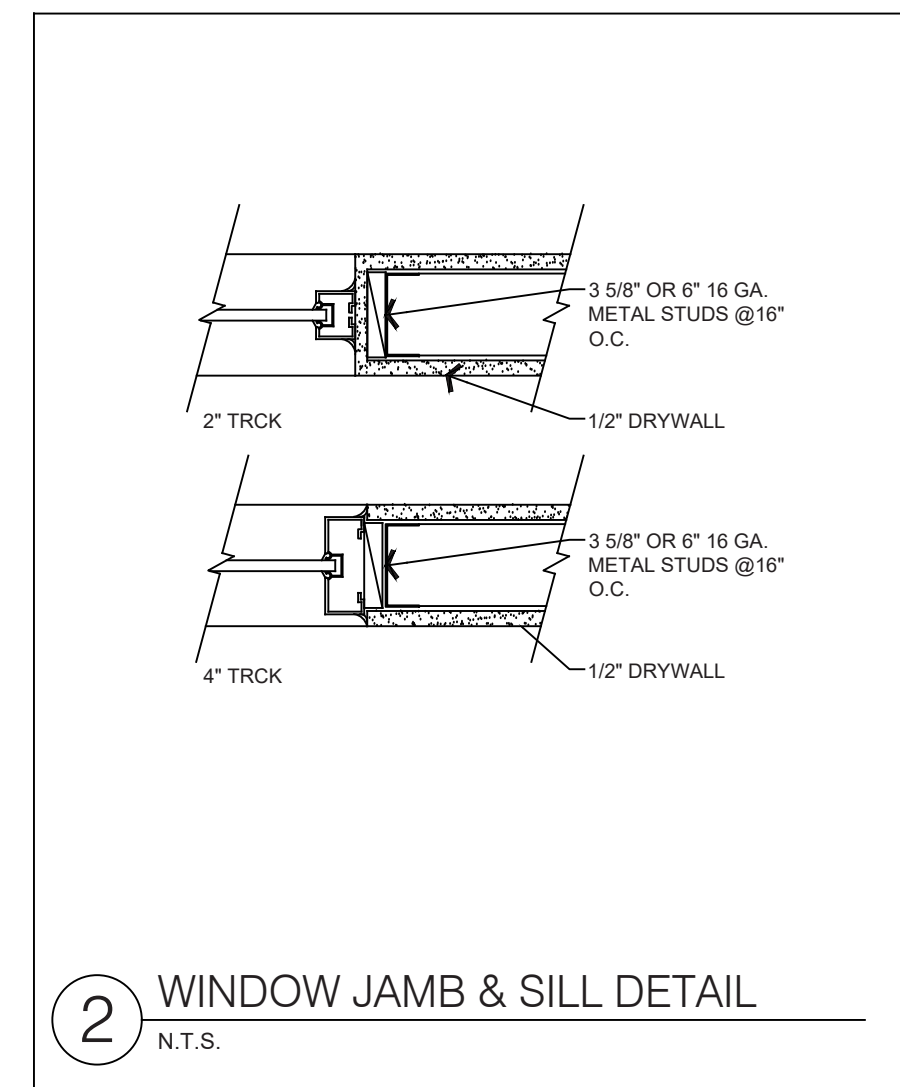
B METAL STUD WALL DETAIL
SCALE: NTS



C FRM TO BLK CONNECTION



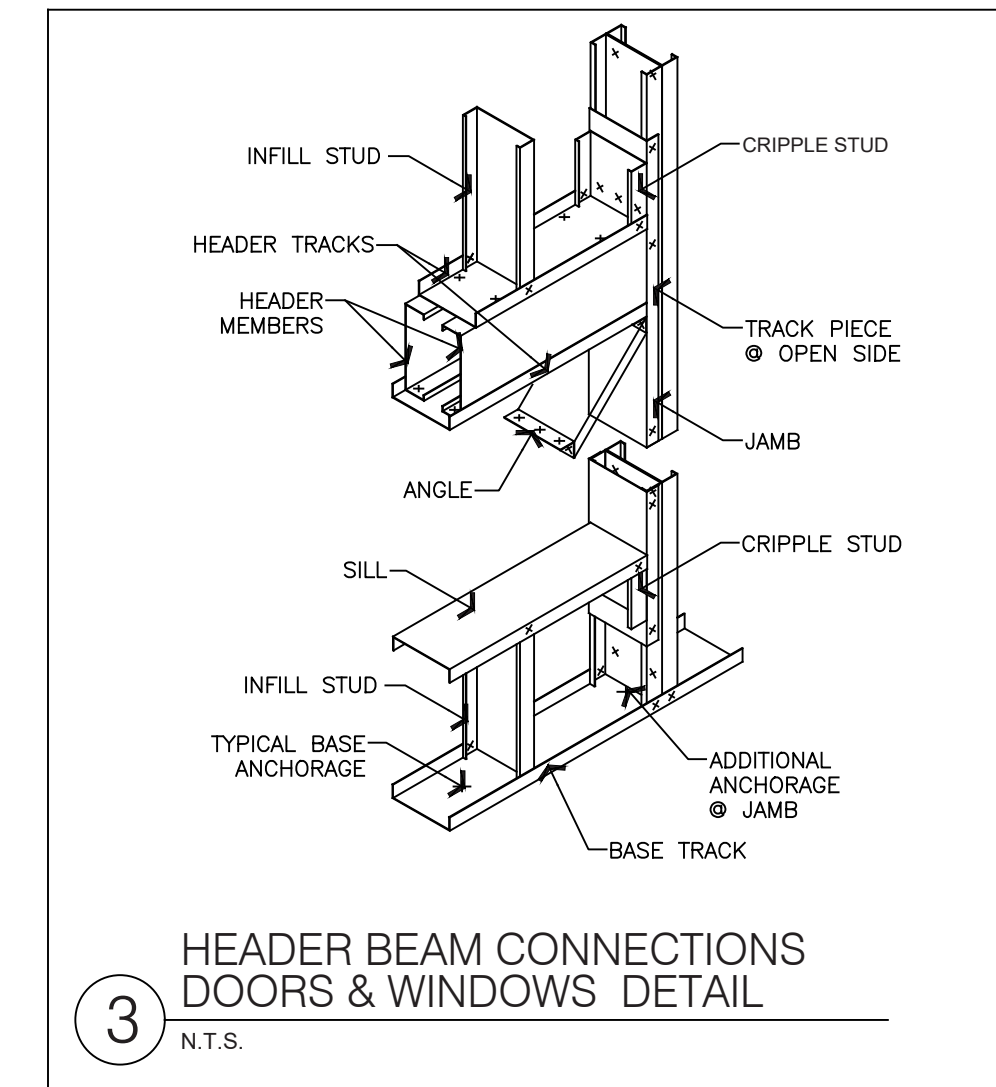
1 HEADER DETAIL
N.T.S.



2 WINDOW JAMB & SILL DETAIL
N.T.S.

METAL WALL FRAMING DETAIL

N.T.S.



3 HEADER BEAM CONNECTIONS DOORS & WINDOWS DETAIL
N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRECORDED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

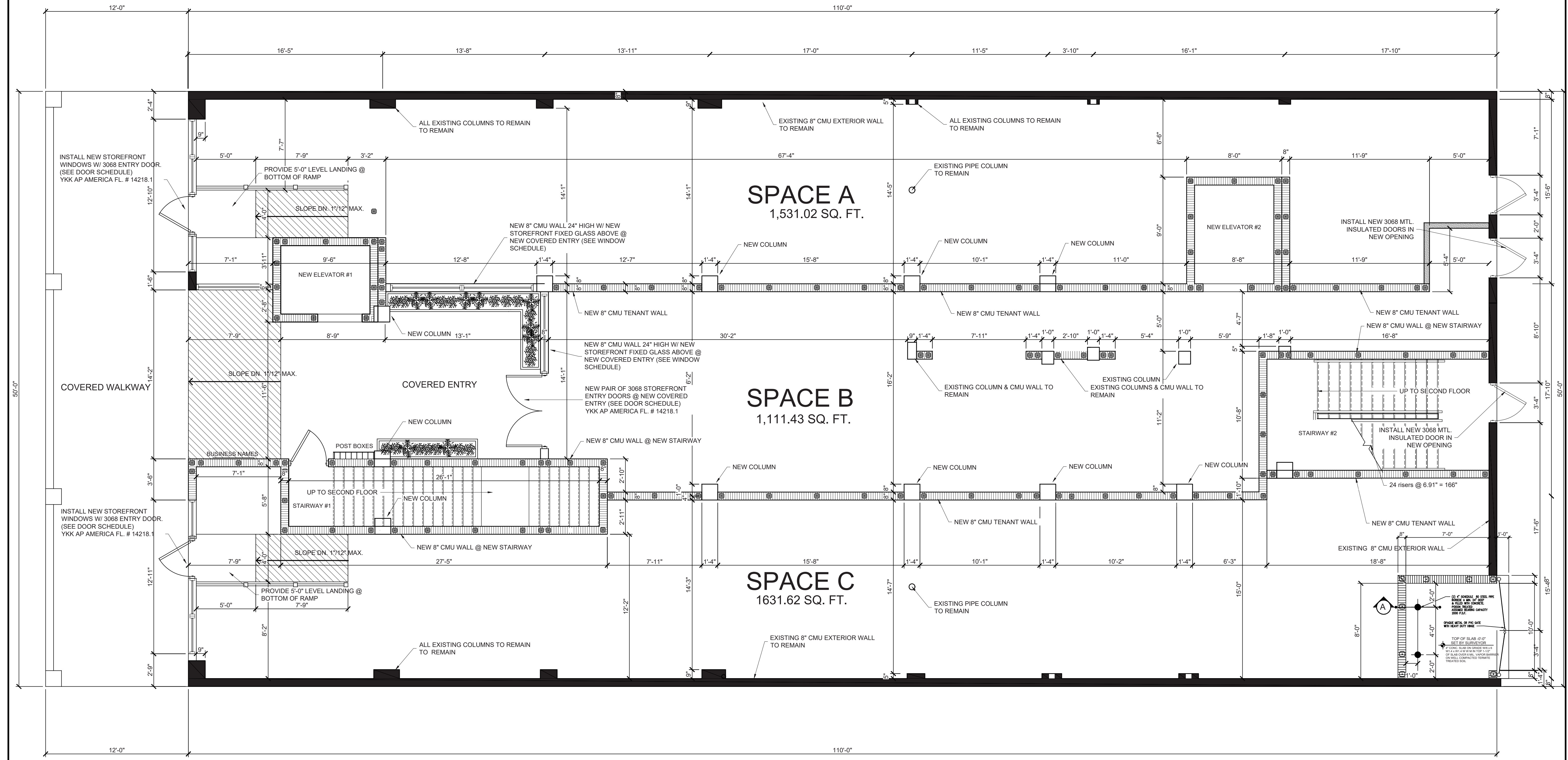
JOHN A. BODZIAK ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR00050065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10-2020
JOB PROJECT #: 2020-051
SHEET #: A-1.2

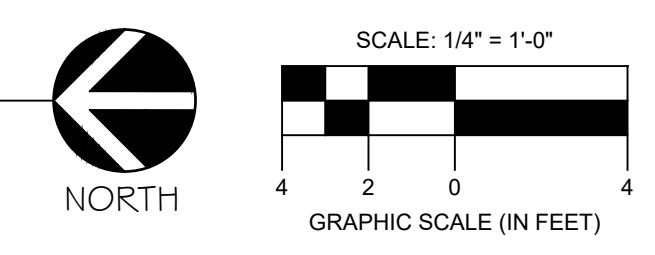
REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

CLIENT: DOOR & WINDOW DETAILS



1
A-2.0
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



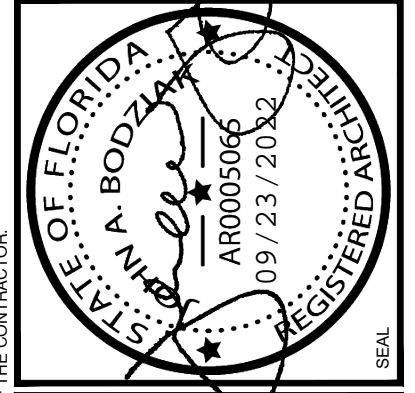
| WALL LEGEND | |
|-------------|--|
| | EXISTING WALLS TO REMAIN |
| | POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED FOURED 8" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS |
| | TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE STU POWERWALL STUCCO OVER STU EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1x2 METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. U904. |
| | NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. |
| | ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W/ 6" R19-BATT INSULATION IN WALL. |
| | NEW INTERIOR 2x4 S.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. |

- WALL LEGEND NOTES:
 1. CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 2. WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 3. DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 4. SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENGINEERING TRAINING AND SPECIFICATIONS, THE ARCHITECT HAS REVIEWED THE CONTRACT DOCUMENTS WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAWS OF FLORIDA.

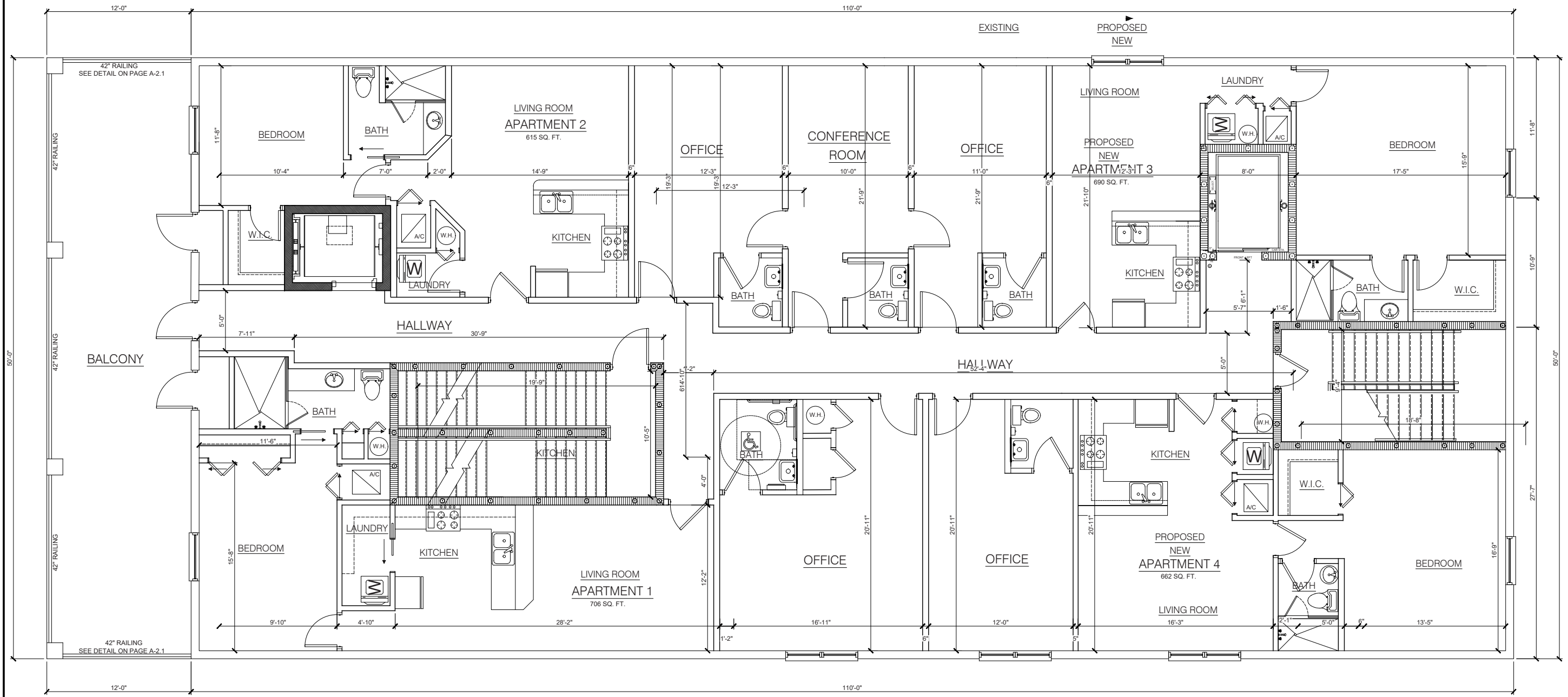
PROJECT
219 W. Venice Ave.
 Venice, Florida
 PROPOSED FIRST FLOOR PLAN



JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@ABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: AT/JB
 UPDATED ON: Sep. 23, 22
 DATE: 10 - 2020
 JOB PROJECT #: 2020-051
 SHEET #

A-2.0

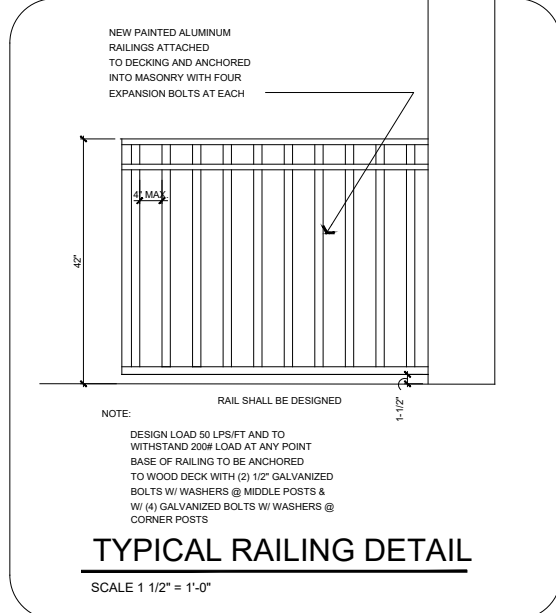
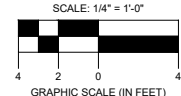


1
A-2.1

PROPOSED SECOND FLOOR PLAN

(4) ONE BEDROOM

SCALE: 1/4"=1'-0"



WALL LEGEND

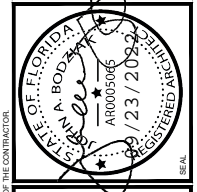
| | |
|--|--|
| | EXISTING WALLS TO REMAIN |
| | POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED 6" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS |
| | TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 6" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE STUCCO OVER 5/8" STUCCO OVER 5/8" EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" GYPSUM BOARD OVER 1x2 METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. U904. |
| | NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. |
| | ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W/ 6" R-19 BATT INSULATION IN WALL. |
| | NEW INTERIOR 2x4 S.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. |

- WALL LEGEND NOTES:
- CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 - WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 - DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 - SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

| NO. | DATE | REVISIONS | DESCRIPTION |
|-----|------|-----------|-------------|
| | | | |

PROJECT
219 W. Venice Ave.
Venice, Florida

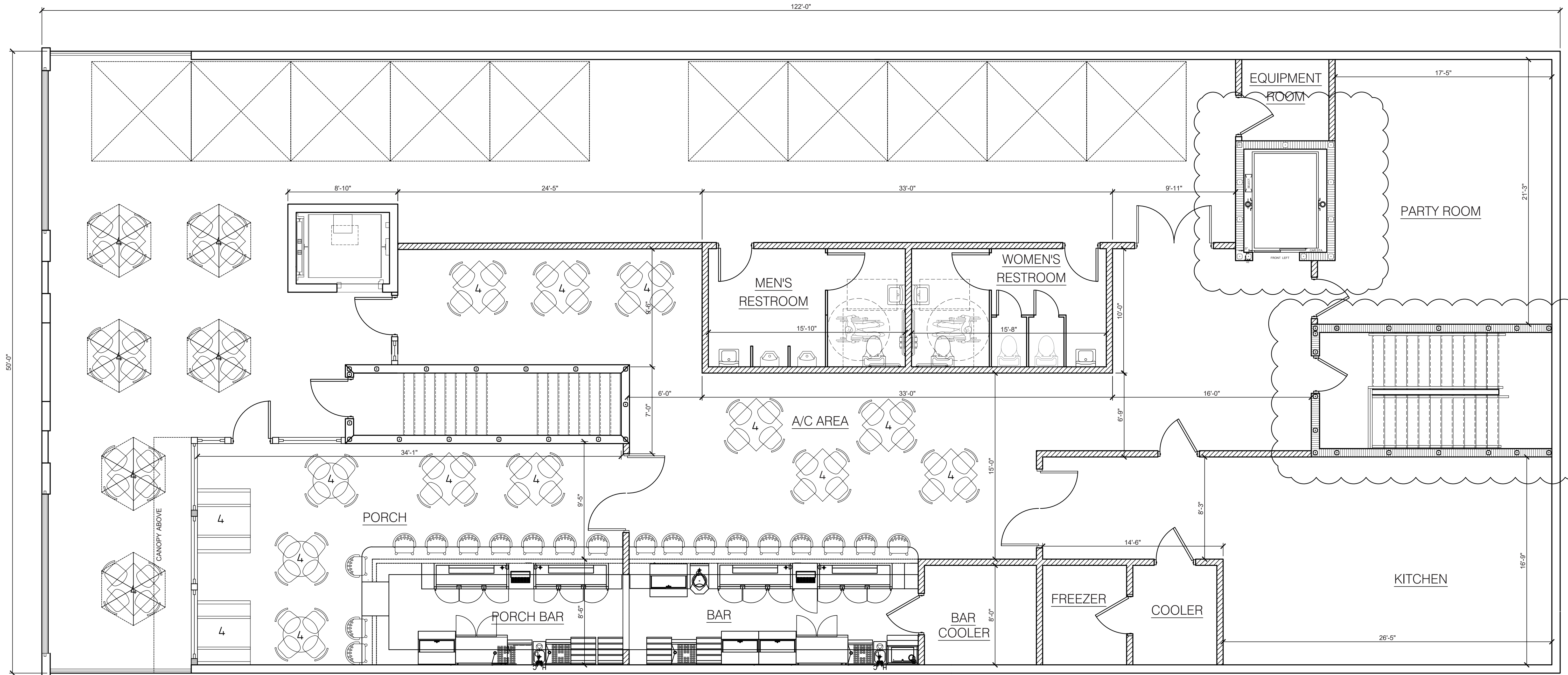
PROPOSED SECOND FLOOR PLAN



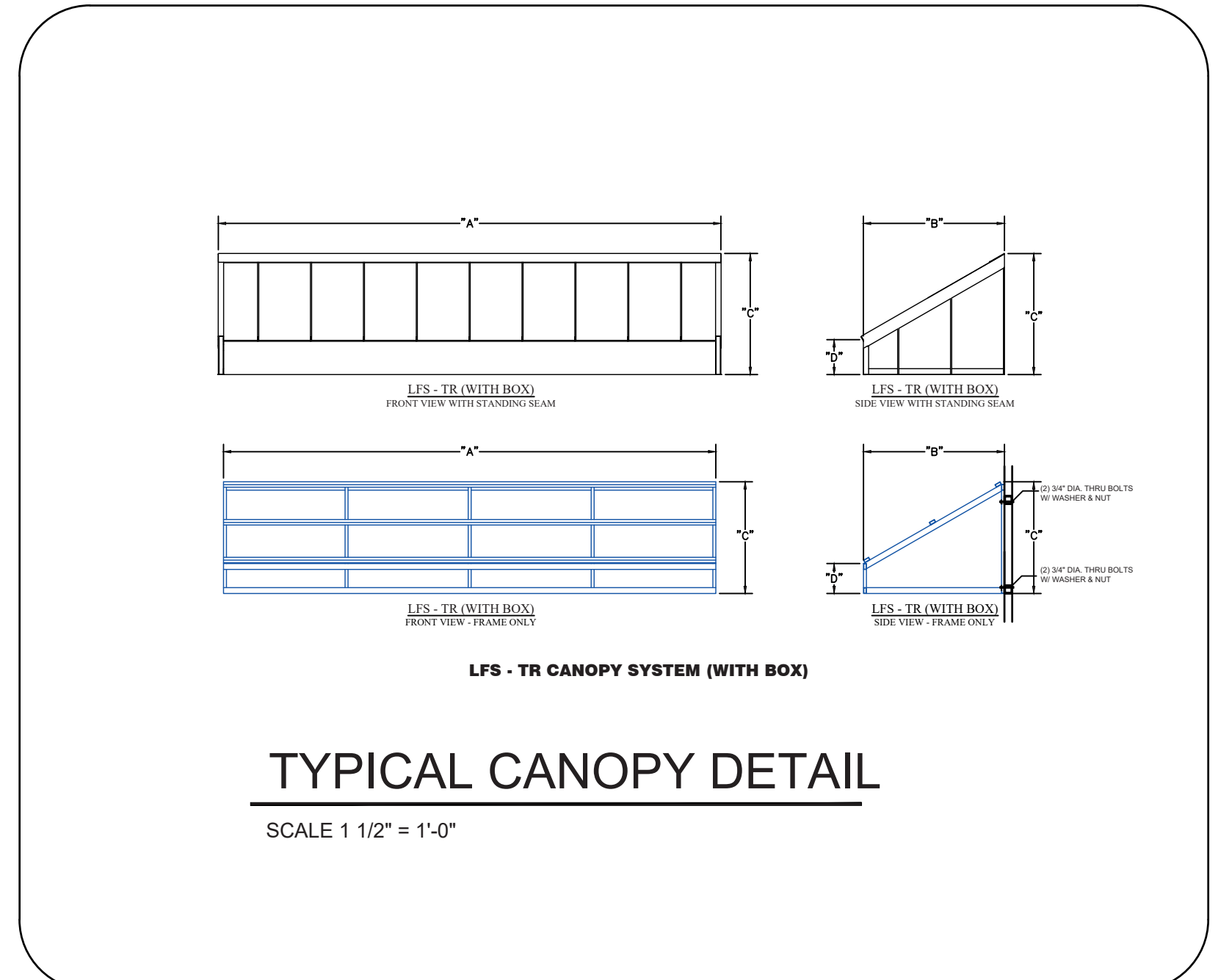
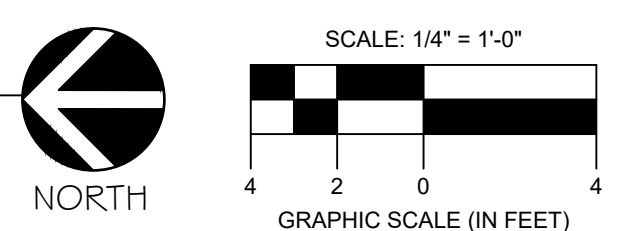
JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@BODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 828-0968

DRAWN BY: AT/JB
UPDATED ON: Sep. 23, 22
DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #

A-2.1



1
A-2.2
FUTURE RESTAURANT
PROPOSED ROOF TOP PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

| | |
|--|---|
| | EXISTING WALLS TO REMAIN |
| | TWO HOUR RATED POURED OR REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS -SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS |
| | TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE STUO POWERWALL STUCCO OVER STUO EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1x2 METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENGLOSS IN ALL TILED WALLS. SEE U.L. DESIGN NO. 19004. |
| | NEW 2x6 5.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 1/2" TYPE 'X' GYPSUM BOARD. |
| | ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 5.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 1/2" TYPE 'X' GYPSUM BOARD W/ 6" R19-BATT INSULATION IN WALL. |
| | NEW INTERIOR 2x4 5.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 1/2" TYPE 'X' GYPSUM BOARD. |

- WALL LEGEND NOTES:
- CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIZE ORIENTED TO CORRIDOR SURFACE.
 - WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 - DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 - SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND COMMENTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND COMMENTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 635 AND 637, LAWS OF FLORIDA.

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

CLIENT

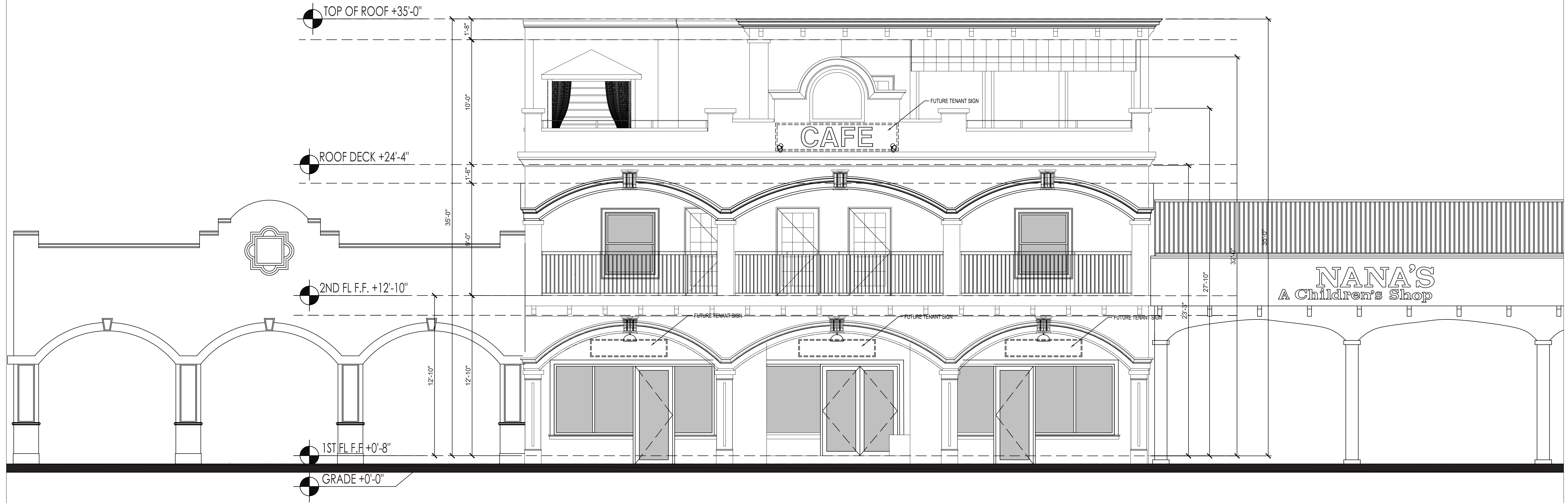
PROJECT
219 W. Venice Ave.
Venice, Florida

PROPOSED ROOF TOP PLAN

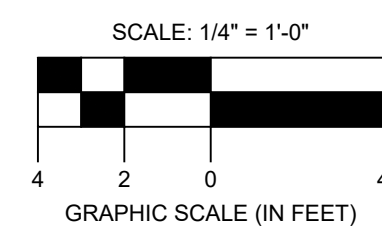
STATE OF FLORIDA
ARCHITECT
A. BODZIAK
AR0005065
09/23/2020
REGISTERED ARCHITECT

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@ABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY AT/JB
UPDATED ON Sep. 23, 22
DATE 10 - 2020
JOB PROJECT # 2020-051
SHEET # A-2.2



1 FRONT ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGINEERING AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

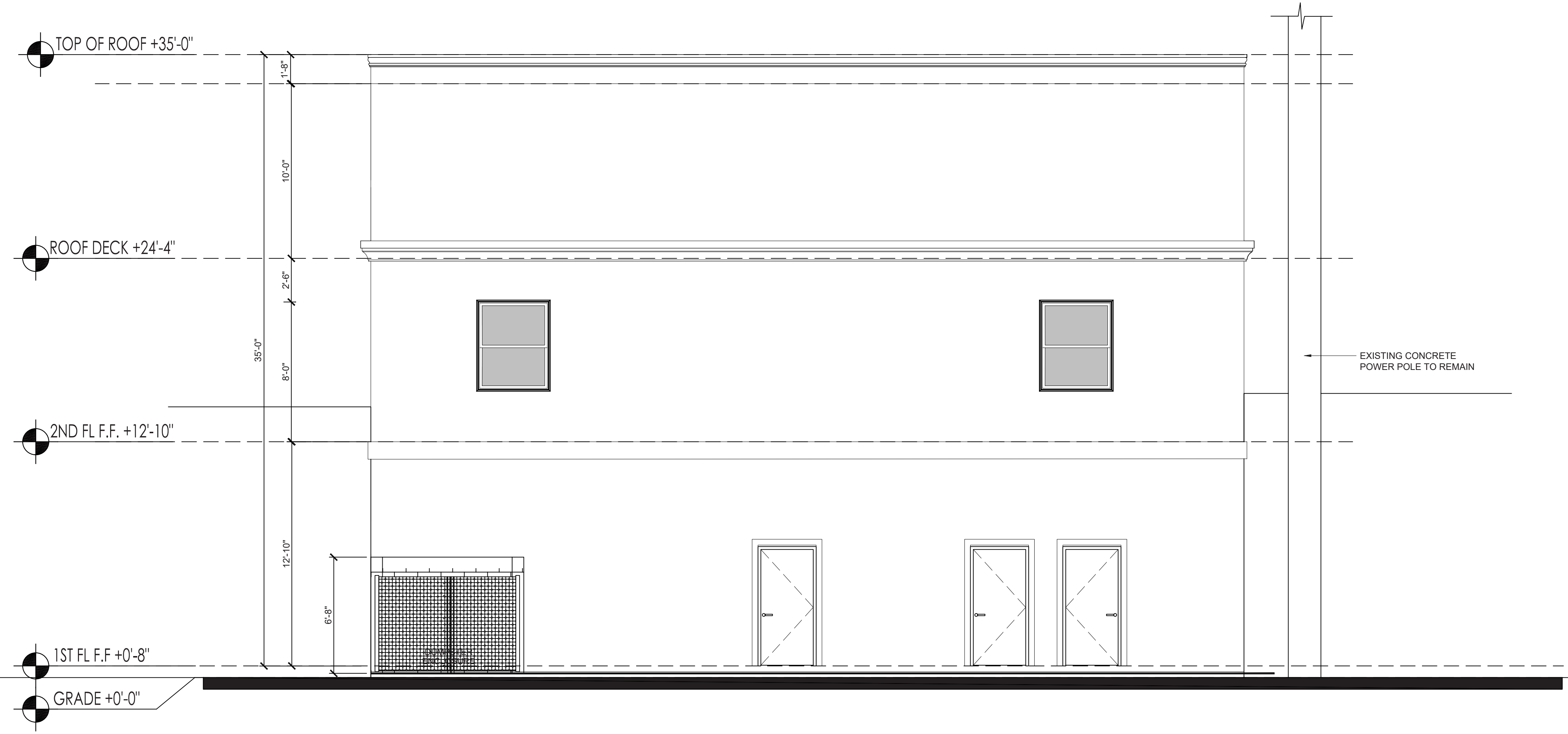
JOHN A. BODZIAK, INC. ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10-2020
JOB PROJECT #: 2020-051
SHEET #: A-4.0

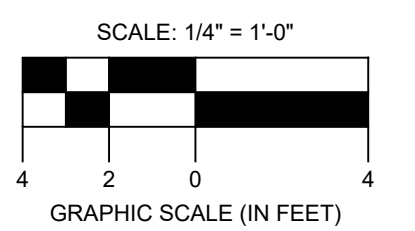
PROJECT: 219 W. Venice Ave.
Venice, Florida
ELEVATIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

CLIENT



1
A-4.1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 62, LAWS OF FLORIDA.

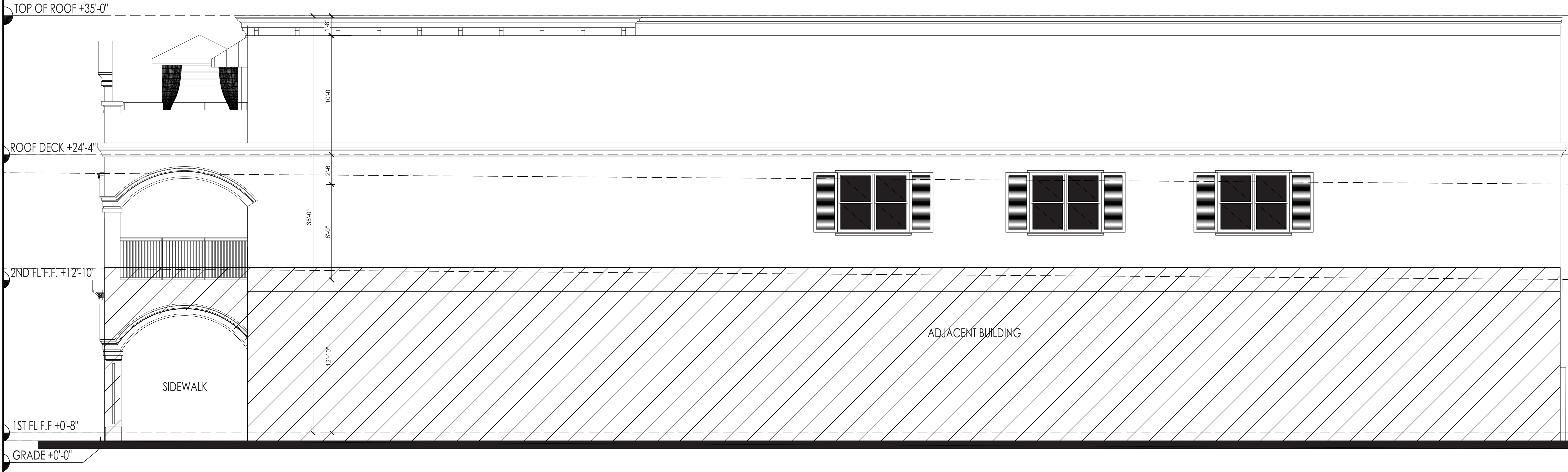
JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DATE: 10-2020
 JOB PROJECT #: 2020-051
 SHEET #: A-4.1

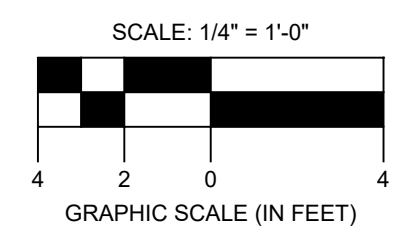
PROJECT
219 W. Venice Ave.
 Venice, Florida
 ELEVATIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

CLIENT



1
A-4.3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - ARCHITECT'S OFFICE
 COMPANY AND CONTRACTS AND OTHER PROPERTY
 SHALL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC.
 UNLESS OTHERWISE SPECIFIED IN WRITING.
 THIS DRAWING IS NOT TO BE REPRODUCED,
 COPIED, OR TRANSMITTED IN ANY FORM OR
 BY ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING, OR BY
 INFORMATION STORAGE AND RETRIEVAL SYSTEMS,
 WITHOUT THE WRITTEN PERMISSION OF JOHN A.
 BODZIAK, INC. ANY VIOLATION OF THESE
 TERMS SHALL BE SUBJECT TO LEGAL ACTION.
 MAKE NO REPLY BY E-MAIL OR BY FAX.
 CONTACT ARCHITECT AT THE PHONE NUMBER
 LISTED ON THESE PLANS.

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

CLIENT

PROJECT
219 W. Venice Ave.
 Venice, Florida
RIGHT SIDE ELEVATION

STATE OF FLORIDA
 JOHN A. BODZIAK
 ARCHITECT
 09/23/2020
 REGISTERED ARCHITECT
 8574

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JOBODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

| | |
|---------------|-------------|
| DRAWN BY | AT/JB |
| UPDATED ON | Sep. 23, 22 |
| DATE | 10 - 2020 |
| JOB PROJECT # | 2020-051 |
| SHEET # | A-4.3 |