

THIS IS A PRELIMINARY RENDERING. IT IS NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

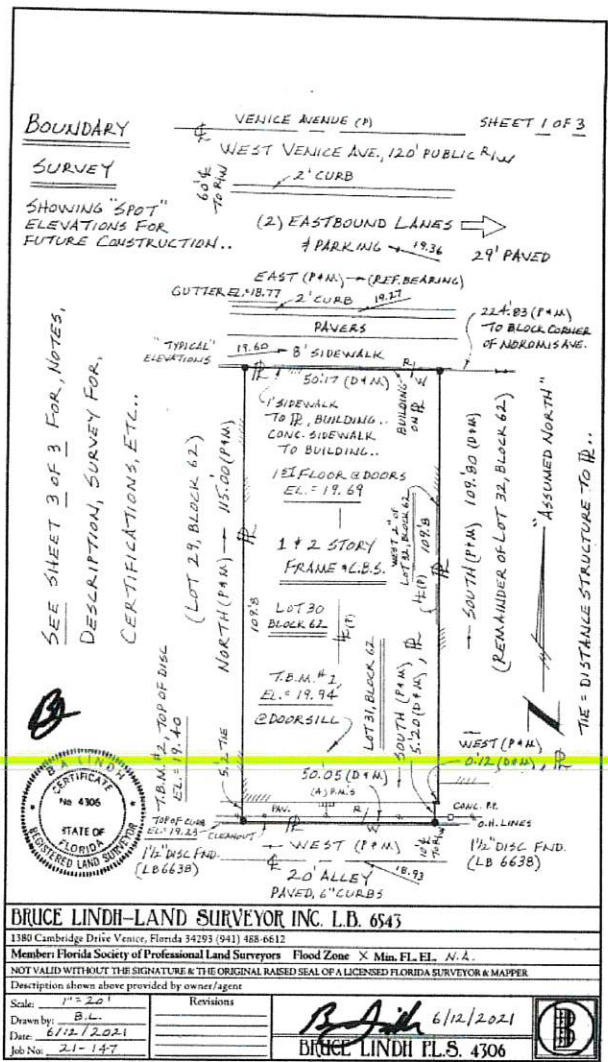
NO.	DATE	REVISIONS	DESCRIPTION

PROJECT
219 W. Venice Ave.
 Venice, Florida
 RENDERING

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR00050695
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 TEL: (727) 327-1996 FAX: (727) 826-0988

DRAWN BY: AT/JB
 UPDATED ON: Jan. 4, 23
 DATE: 10 - 2020
 JOB PROJECT #: 2020-051
 SHEET #

RE3



BOUNDARY SURVEY
 VENICE AVENUE (P)
 WEST VENICE AVE., 120' PUBLIC R/W
 2' CURB
 (2) EASTBOUND LANES
 # PARKING → 1936 29' PAVED
 EAST (P.M.) → (REF. BEARING)
 GUTTER EL. 18.77 2' CURB 19.37
 PAVERS
 19.60 = 8' SIDEWALK
 50.05 (D.M.)
 1' SIDEWALK TO BLDG.
 CONC. SIDEWALK TO BUILDING
 1ST FLOOR DOORS
 EL. = 19.69
 1 + 2 STORY FRAME & C.B.S.
 T.B.M. #2
 EL. = 19.94
 @ DOOR SILL
 LOT 30 BLOCK 62
 SOUTH (P.M.) 109.80 (P.M.)
 (REMAINDER OF LOT 32, BLOCK 62)
 "ASSUMED NORTH"
 THE = DISTANCE STRUCTURE TO BLDG.

SEE SHEET 3 OF 3 FOR NOTES, DESCRIPTION, SURVEY FOR, CERTIFICATIONS, ETC.



BRUCE LINDH - LAND SURVEYOR INC. L.B. 6543
 1380 Cambridge Drive Venice, Florida 34293 (941) 488-6612
 Member Florida Society of Professional Land Surveyors Flood Zone X Min. FL. EL. N.A.
 NOT VALID WITHOUT THE SIGNATURE & THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR & MAPPER
 Description shown above provided by owner/agent
 Scale: 1" = 20'
 Drawn by: B.L.
 Date: 6/12/2021
 Job No: 21-147
 Revisions:
 Bruce Lindh 6/12/2021
 BRUCE LINDH P.L.S. 4306

BRUCE LINDH
LAND SURVEYOR, INC.
 (941) 488-6612
 1380 CAMBRIDGE DRIVE
 VENICE, FLORIDA 34293
 JOB NO: 21-147 CLIENT: HANNEMAN
 SHEET 2 OF 3

ABBREVIATION'S
 (P)= PLAT;(M)= MEASURED;(D)= DEED;(C)= CALCULATED; R = PROPERTY LINE;
 CL = CENTERLINE; P.B.= PLAT BOOK; P.= PAGE; BLK.= BLOCK; P.O.B.= POINT OF BEGINNING; P.O.C.= POINT OF COMMENCEMENT; S.D.= SUBDIVISION; R/W= RIGHT-OF-WAY; P.R.M.= PERMANENT REFERENCE MONUMENT; EL.= ELEVATION;
 FL.= FLOOR; FND.= FOUND; B.M.= BENCH MARK; T.B.M.= TEMPORARY BENCH MARK; INV.= INVERT; I.R.= IRON ROD; S.F.= SQUARE FEET; P.P.= POWER POLE; P.C.P.= PERMANENT CONTROL POINT; C.M.= CONCRETE MONUMENT;
 CONC.= CONCRETE; DESC.= DESCRIPTION; COR.= CORNER; CO.= COUNTY; EASE.= EASEMENT; COV.= COVERED; O.H.= OVERHEAD; O.A.= OVERALL;
 ANT.= ANTENNA; P.M.= POWER METER; BUILD.= BUILDING; PAV.= PAVEMENT;
 (C.B.)= CATCH BASIN; ATTN.= ATTENTION; CERT.= CERTIFIED; N.T.S.= NOT TO SCALE; TOPO.= TOPOGRAPHICAL; C.B.S.= CONCRETE BLOCK STRUCTURE;
 M.H.W.L.= MEAN HIGH WATER LINE; N.G.V.D.= NATIONAL GEODETIC VERTICAL DATUM; S.T.= SEPTIC TANK; D.F.= DRAIN FIELD; D.N.R.= DEPARTMENT OF NATURAL RESOURCES; ALUM.= ALUMINUM; P.C.= POINT OF CURVE; P.T.= POINT OF TANGENCY; P.R.C.= POINT OF REVERSE CURVATURE; A= ARC; C= CHORD; T= TANGENT; Δ= CENTRAL ANGLE; C.B.= CHORD BEARING; P.C.C.= POINT OF COMPOUND CURVATURE; P.L.S.= PROFESSIONAL LAND SURVEYOR;
 C.C.C.L.= COASTAL CONSTRUCTION CONTROL LINE; AVG.= AVERAGE;
 R.L.S.= REGISTERED LAND SURVEYOR; L.P.= LIGHT POLE; M.H.= MAN HOLE;
 L.L.= LOT LINE; I.P.= IRON PIPE; SCAT.= SCATTERED; D.H.= DRILL HOLE;
 W.M.= WATER METER; A/C= AIR CONDITIONER; F.H.= FIRE HYDRANT;
 F.Z.= FLOOD ZONE; REF.= REFERENCE; O = ROUND; □ = SQUARE;
 SECT.= SECTION; T.= TOWNSHIP; R.= RANGE; P.S.M.= PROFESSIONAL SURVEYOR AND MAPPER; I.D.#= IDENTIFICATION NUMBER; MIN.= MINIMUM; S.S.= STATE STATUTE; F.A.C.= FLORIDA ADMINISTRATIVE CODE; P.I.= POINT OF INTERSECTION; #= NUMBER; ADD'L.= ADDITIONAL; ADDN.= ADDITION; N.= NAIL;
 C.L.= CHAIN LINK; D.A.U.= DRAINAGE AND UTILITY; F.E.M.A.= FEDERAL EMERGENCY MANAGEMENT AGENCY; P.K.= PARKER KALON; TYP.= TYPICAL;
 W.V.= WATER VALVE; L.B.= CERTIFICATE OF AUTHORIZATION NUMBER;
 F.B.= FIELD BOOK; CONDO.= CONDOMINIUM; SHN.= SHOWN; PROP.= PROPERTY;
 O.R.B.= OFFICIAL RECORD BOOK; W/C= WATER CONDITIONER; T.= TRAVERSE LINE; BLVD.= BOULEVARD; DR.= DRIVE; RD.= ROAD; H.W.= HEAD WALL;
 T.V.= TELEVISION; L.S.= LAND SURVEYOR

B.L.



Bruce Lindh 6/12/2021
 BRUCE LINDH P.L.S. #4306, L.B. #6543

SHEET 3 OF 3

DESCRIPTION: LOTS 30, 31 & A STRIP ALONG THE WEST SIDE OF LOT 32 OF THE NORTH 109.80 FOOT STRIP BEING 2 INCHES (0.17) WIDE ON THE NORTH & 5/8 OF AN INCH (0.05) TO THE SOUTH, BLOCK 62, GULF VIEW SECTION OF VENICE, PER PLAT BOOK 2, PAGE 77 & 77A, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.. PROPERTY IN SECTION 7, TOWNSHIP 39 SOUTH, RANGE 19 EAST.

SURVEY FOR & CERTIFIED TO: HANNEMAN FAMILY TRUST.
CERTIFIED TO:

BRUCE LINDH - LAND SURVEYOR INC. L.B. 6543
 1380 Cambridge Drive Venice, Florida 34293 (941) 488-6612
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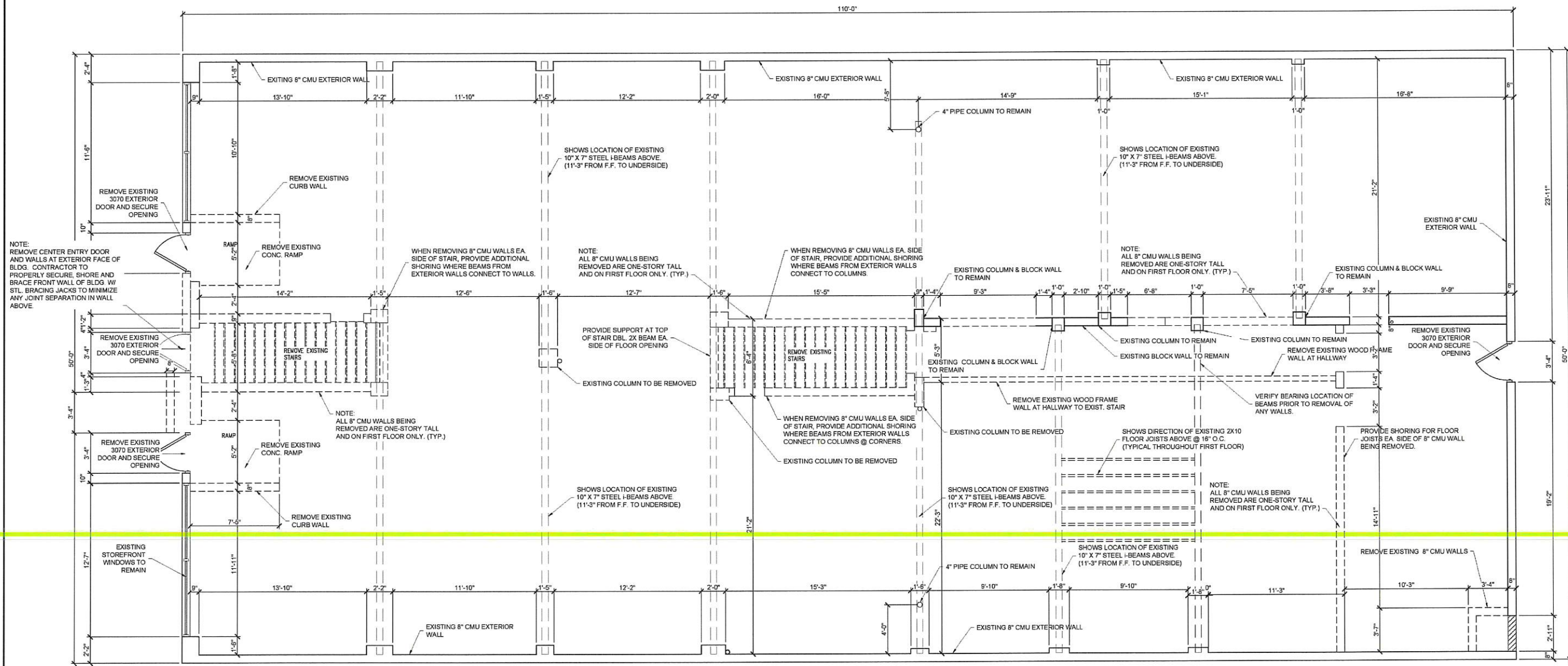
PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSURE AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE LOCAL ORDINANCES AND REGULATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

NO.	DATE	DESCRIPTION

PROJECT
219 W. Venice Ave.
 Venice, Florida
SURVEY

JOHN A. BODZIAK
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DRAWN BY: AT/JB
 UPDATED ON: Aug. 4, 22
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 JOB PROJECT #: 2020-051
 SHEET #
SUR



NOTE: REMOVE CENTER ENTRY DOOR AND WALLS AT EXTERIOR FACE OF BLDG. CONTRACTOR TO PROPERLY SECURE, SHORE AND BRACE FRONT WALL OF BLDG. W/ STL BRACING JACKS TO MINIMIZE ANY JOINT SEPARATION IN WALL ABOVE

NOTE: ALL 8" CMU WALLS BEING REMOVED ARE ONE-STORY TALL AND ON FIRST FLOOR ONLY. (TYP.)

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1 AS-BUILT / DEMO PLAN - GROUND FLOOR
A-1.0 SCALE: 1/4" = 1'-0"

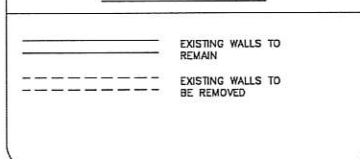
DEMOLITION NOTES:

- IN COMPANY WITH THE OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE.
- SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
- COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
- THE DEMOLITION WORK IS NOT LIMITED TO DEMOLITION ITEMS LISTED OR SPECIFICALLY IDENTIFIED ON THE CONSTRUCTION DOCUMENTS, BUT SHALL INCLUDE THOSE ITEMS NECESSARY FOR A FINISHED AND COMPLETE PROJECT.
- GENERAL CONTRACTOR TO INCLUDE ALL INTERIOR AND EXTERIOR PATCHING, REPAIRING AND PAINTING TO PROVIDE A PROFESSIONAL AND COMPLETELY FINISHED PROJECT ACCEPTABLE TO THE OWNER
- USE PROPERLY DESIGNED SHORING, BRACING, UNDERPINNING, ETC. AS NECESSITATED BY CONDITIONS OR AS REQUIRED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION OR ANY DEMOLITION.
- NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY ARCHITECT. THIS INCLUDES (BUT IS NOT LIMITED TO) REVISIONS DUE TO MISLOCATION, MISFIT OR ANY OTHER CONSTRUCTION ERRORS OR DISCOVERIES DURING DEMOLITION.
- BRACE ALL WALLS DURING CONSTRUCTION TO PREVENT DAMAGE FROM WIND, WATER, EARTH PRESSURE AND CONSTRUCTION LOADS UNTIL ALL SUPPORTING ELEMENTS ARE IN PLACE AND OF SUFFICIENT STRENGTH.
- NO OPENING OR DEMOLITION SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN INDICATED ON APPROVED DRAWINGS) UNTIL LOCATION HAS BEEN APPROVED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARD BUILDING CODE.
- ALSO, PROVIDE DIAGONAL BRACING AT ANY BRACING OR SHORING THAT IS LOCATED AT ANY STRUCTURAL ELEMENT OR ANY LOAD BEARING WALL BEING REMOVED FROM THE TOP OF SHORING OR BRACING DOWN TO THE FLOOR.

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS. ACTUAL CONDITIONS ARE TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, TO INCLUDE ALL STATE LAWS, AND LOCAL ORDINANCES.
- REPAIR, PATCH, AND REFINISH ALL EXISTING STRUCTURES AFFECTED BY THIS CONSTRUCTION.
- ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS TO EXPOSE ALL AFFECTED EXISTING CONDITIONS AND RELOCATE, ADJUST, CHANGE OR ABANDON EXISTING CONDITIONS ACCORDING TO ALL APPLICABLE CODES AND LOCAL ORDINANCES

WALL LEGEND



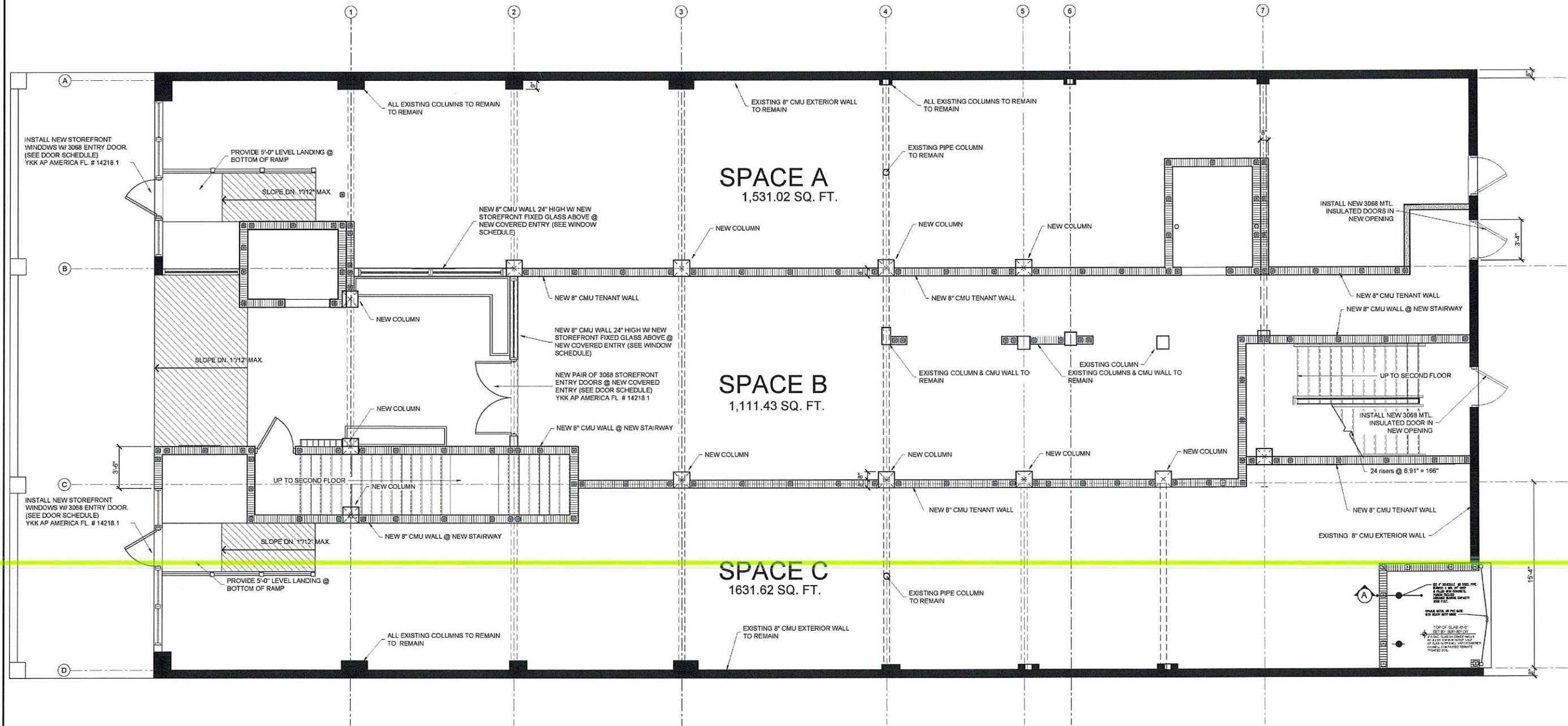
NO.	DATE	DESCRIPTION

PROJECT
219 W. Venice Ave.
Venice, Florida
AS-BUILT / DEMO PLAN - GROUND FLOOR

JOHN A. BODZIAK
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DRAWN BY: AT/JB
UPDATED ON: Sep 23, 22
DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #
A-1.0

PROFESSIONAL STATEMENT: TO THE BEST OF HIS KNOWLEDGE, SKILL AND CARE, THE ARCHITECT HAS PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF PRACTICE FOR ARCHITECTS AND THE APPLICABLE BUILDING CODES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.



1
A-1.1
PROPOSED STRUCTURAL LAYOUT PLAN
SCALE: 3/16" = 1'-0"

NO.	DATE	DESCRIPTION

PROFESSIONAL EXAMINATION TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGAGEMENT, AND CONSCIOUSNESS, THE ARCHITECT HAS REVIEWED THE PROPOSED STRUCTURAL LAYOUT PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE APPLICABLE MINIMUM REQUIREMENTS OF THE FLORIDA BUILDING CODE AND THE APPLICABLE MINIMUM REQUIREMENTS OF THE FLORIDA STRUCTURAL CODE.

THIS DOCUMENT IS THE PROPERTY OF JOHN A. BODZIAK ARCHITECT AIA, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK ARCHITECT AIA, PA.

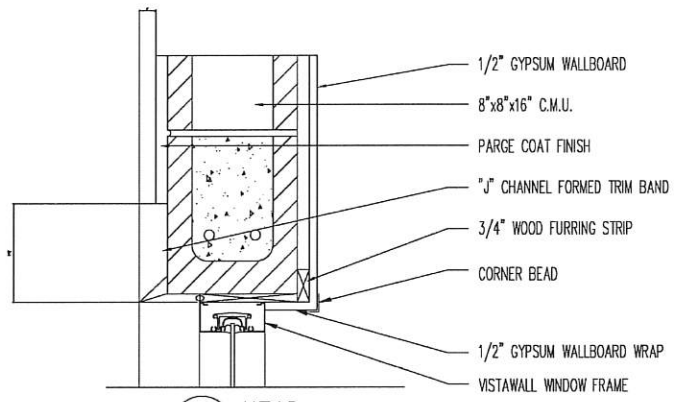
PROJECT
219 W. Venice Ave.
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PROPOSED STRUCTURAL LAYOUT PLAN

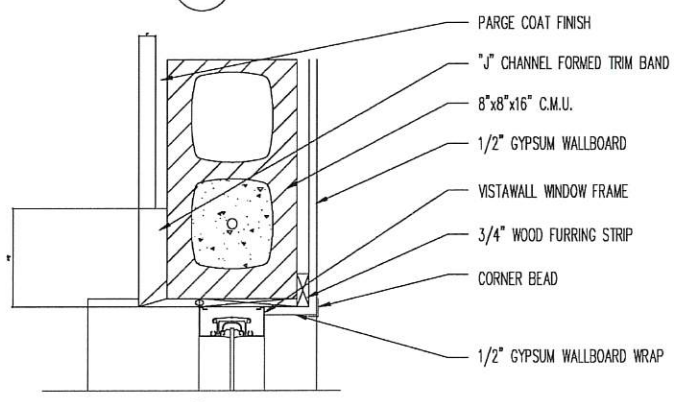
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNRESOLVED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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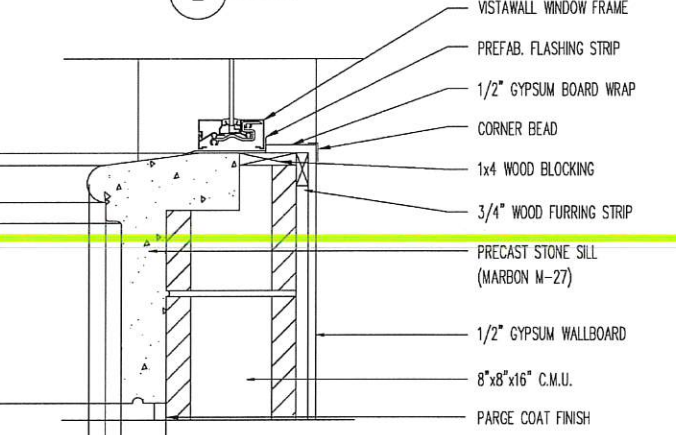
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1 HEAD

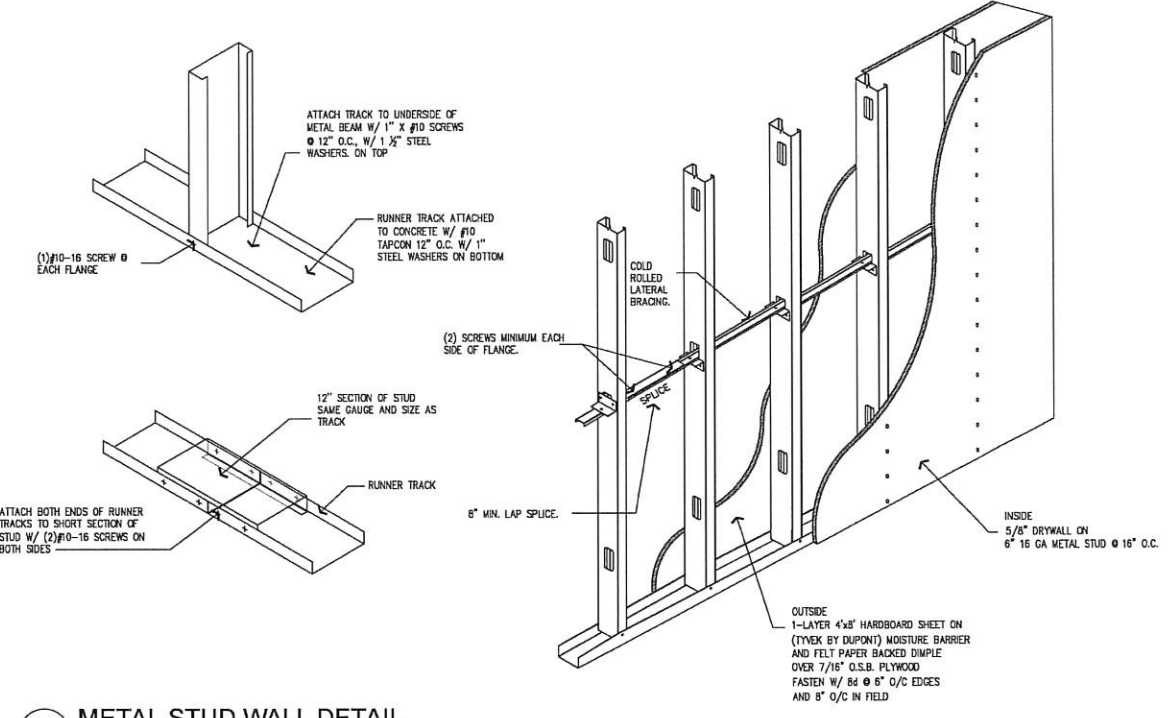


2 JAMB

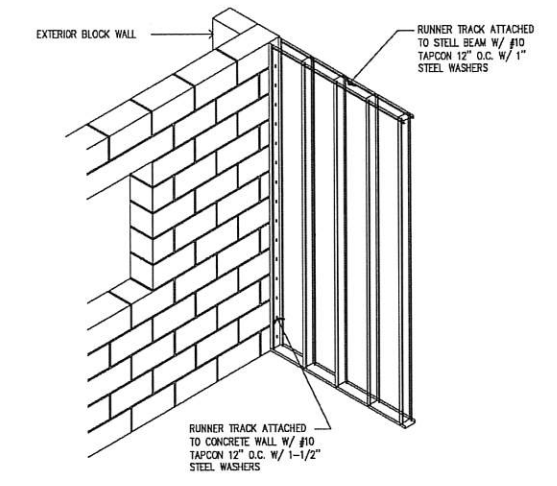


3 SILL

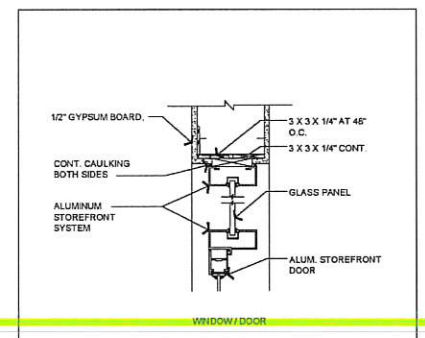
MASONRY WALL FRAMING DETAIL
N.T.S.



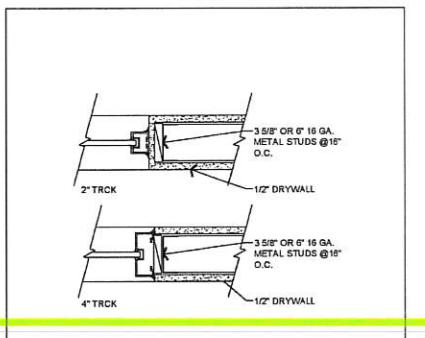
B METAL STUD WALL DETAIL
SCALE: NTS



C FRM TO BLK CONNECTION

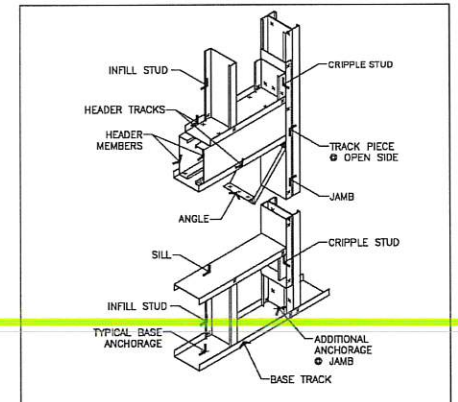


1 HEADER DETAIL
N.T.S.



2 WINDOW JAMB & SILL DETAIL
N.T.S.

METAL WALL FRAMING DETAIL
N.T.S.



3 HEADER BEAM CONNECTIONS DOORS & WINDOWS DETAIL
N.T.S.

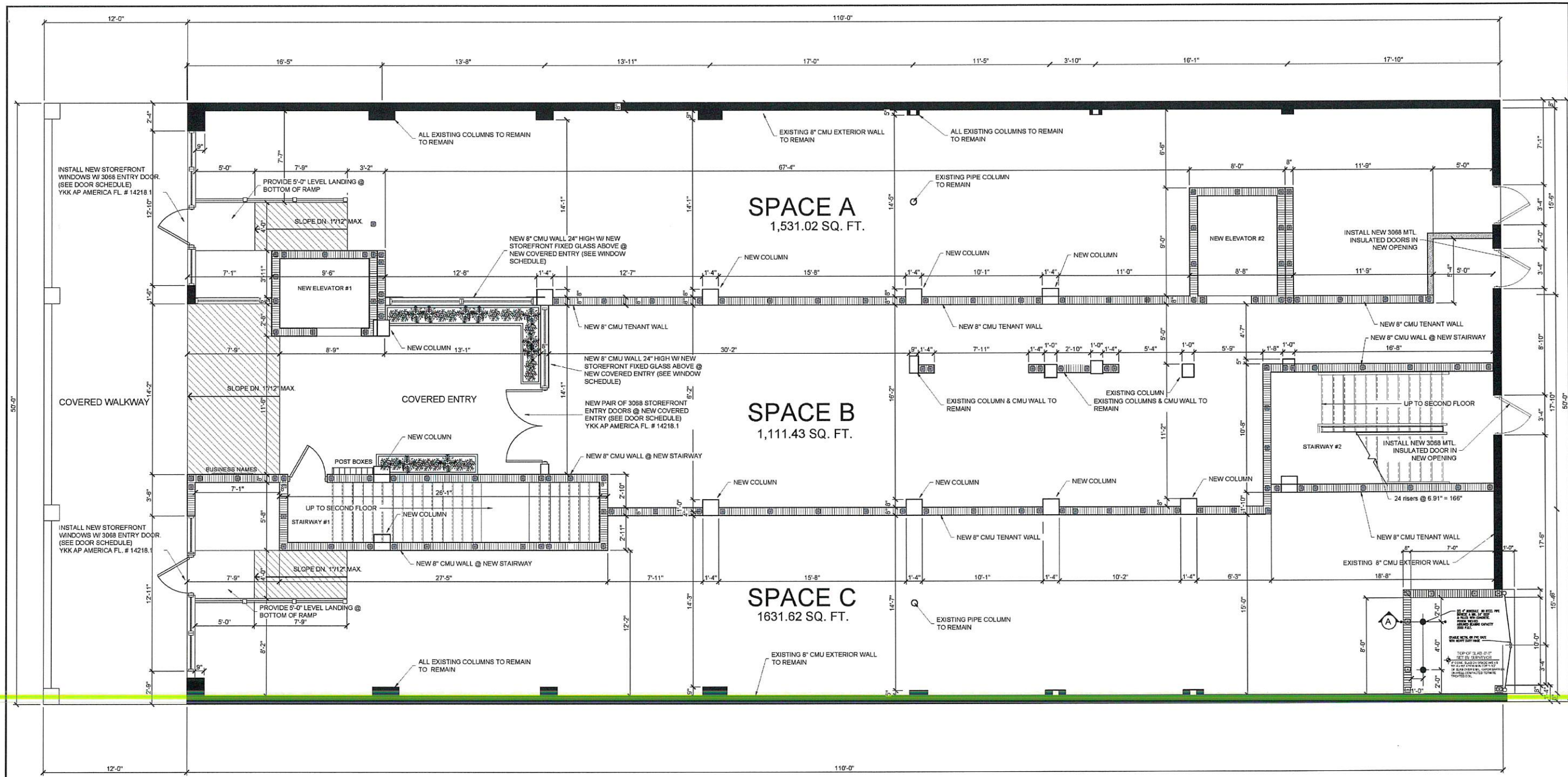
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PROJECT
219 W. Venice Ave.
Venice, Florida
DOOR & WINDOW DETAILS

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DRAWN BY: AT/JB
LOCATED ON: Sep. 23, 22
DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #: **A-1.2**

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DIMENSIONS AND COORDINATIONS SHALL BE REFERRED TO THE ARCHITECT FOR CLARIFICATION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND COORDINATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND COORDINATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND COORDINATIONS.



1 PROPOSED FIRST FLOOR PLAN
 A-2.0 SCALE: 1/4" = 1'-0"

NORTH

SCALE 1/4" = 1'-0"
 GRAPHIC SCALE (IN FEET)

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED 5" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE 5/16" POWERWALL STUCCO OVER 5/16" EXTRASAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" GYPSUM BOARD OVER 1/2" METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENOGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. U904.
	NEW 2x6 5.1/2" INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 5.1/2" INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD W/ 6" R15-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 5.1/2" NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.

WALL LEGEND NOTES:
 1. CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 2. WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 3. DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 4. SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

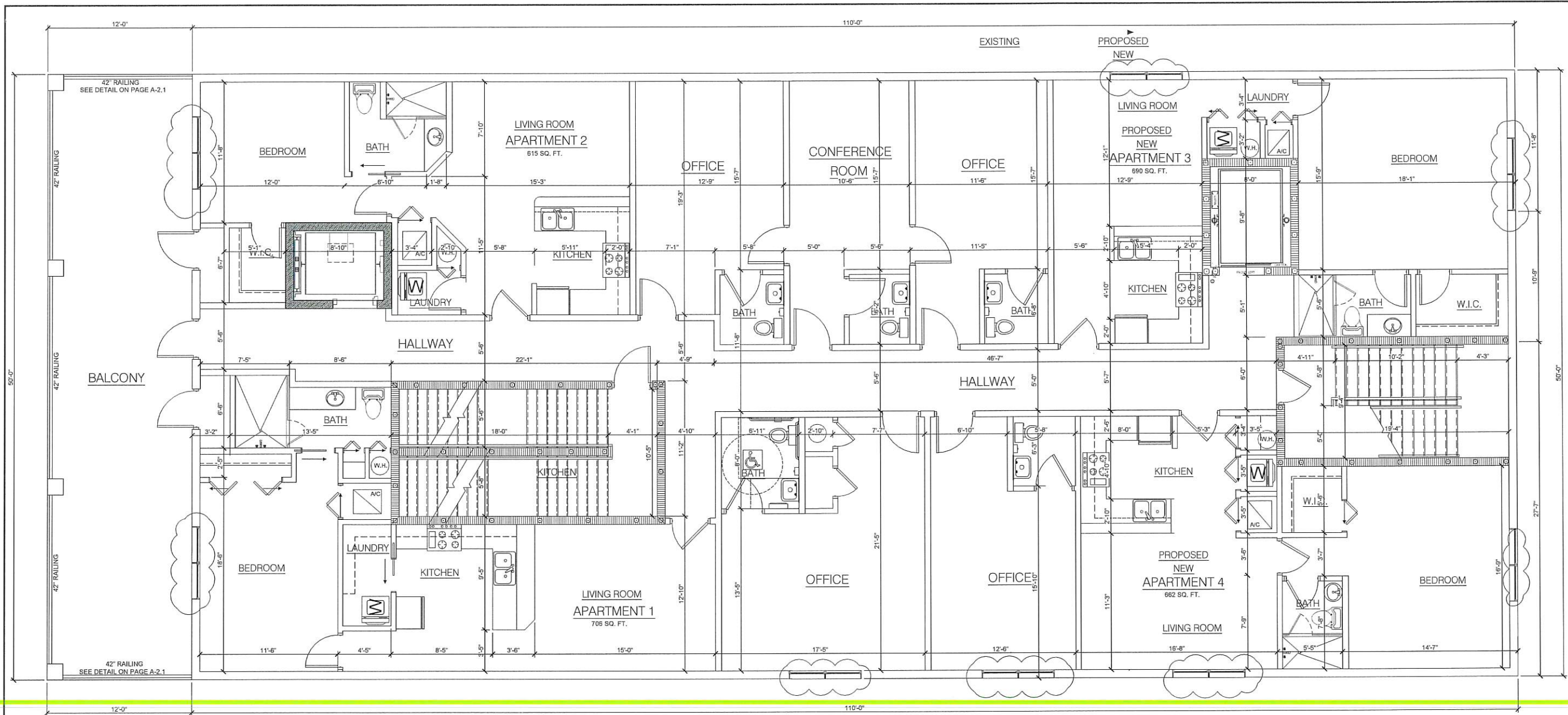
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 PROPOSED FIRST FLOOR PLAN

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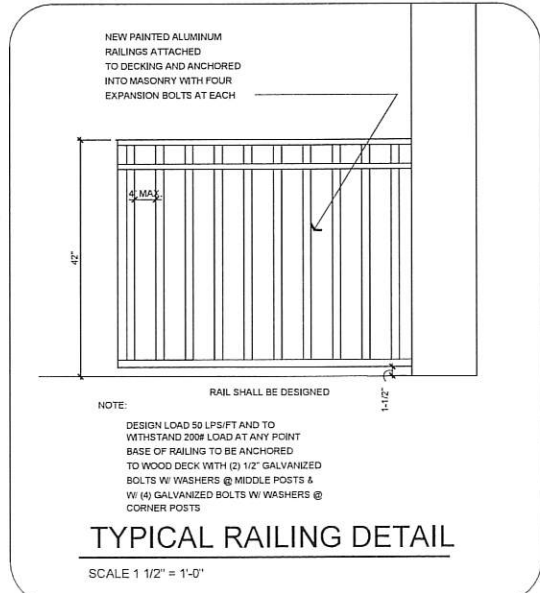
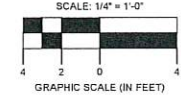
PROFESSIONAL STATEMENT TO THE BEST OF HIS KNOWLEDGE, THE ARCHITECT HAS PREPARED THESE PLANS IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTURAL BOARD OF FLORIDA AND THE APPLICABLE CODES AND REGULATIONS. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE CONSTRUCTION OF THE EXISTING STRUCTURE AND HAS FOUND NO MAJOR DEFICIENCIES. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE CONSTRUCTION OF THE EXISTING STRUCTURE AND HAS FOUND NO MAJOR DEFICIENCIES. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE CONSTRUCTION OF THE EXISTING STRUCTURE AND HAS FOUND NO MAJOR DEFICIENCIES.

GROUND FLOOR SHELL & FACADE RENOVATION
219 W. Venice Ave.
 Venice, Florida
PROPOSED SECOND FLOOR PLAN

1
A-2.1

PROPOSED SECOND FLOOR PLAN
 (4) ONE BEDROOM

SCALE: 1/4" = 1'-0"



WALL LEGEND

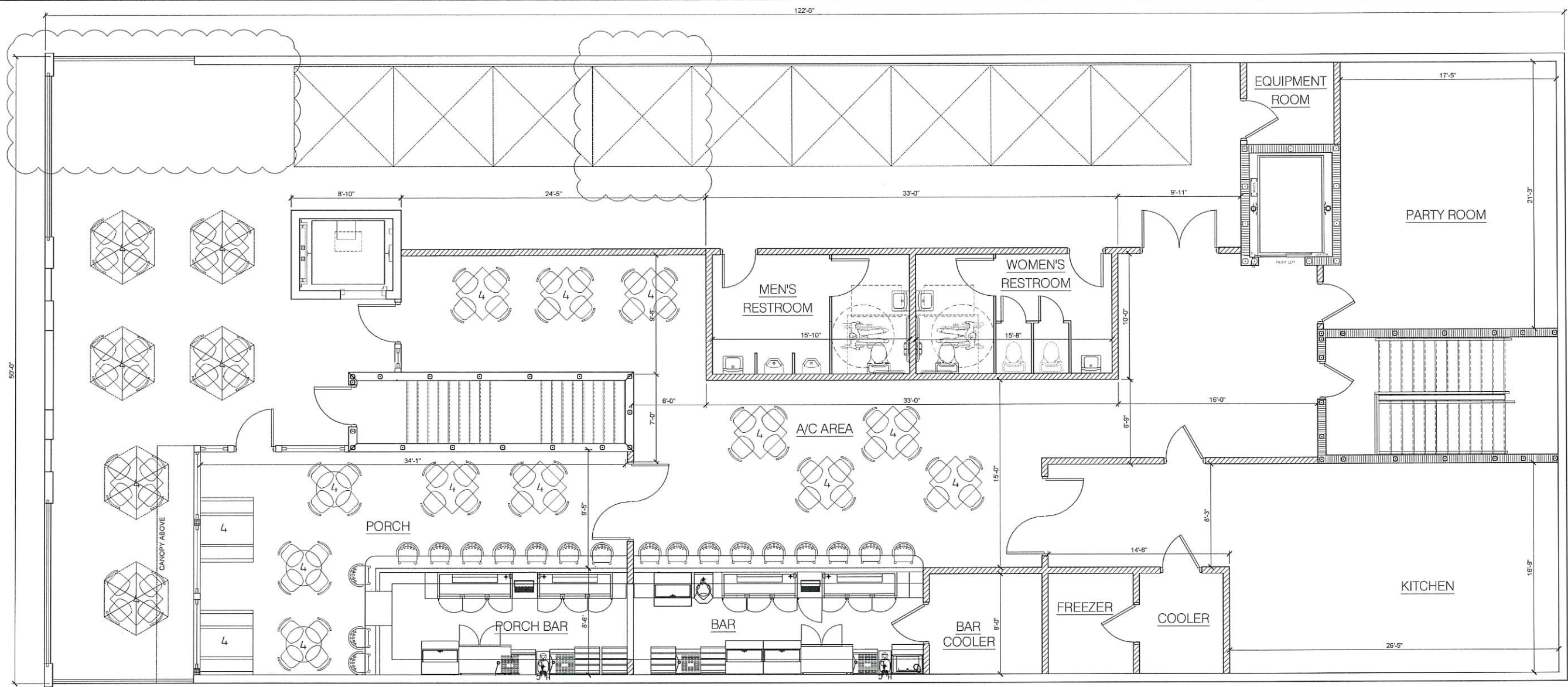
	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED 6" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 6" CMU WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE 5/8" POWERWALL STUCCO OVER 5/8" EXTRUDED WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1/2" METAL Furring OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. SEE U.I. DESIGN NO. 13024.
	NEW 2x6 5-Y.F. INTERIOR WALL W STUDS AT 24" O.C. ON P.T. PLATE @ C.N.C., BOTH SIDES FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x4 5-Y.F. INTERIOR WALL W STUDS AT 12" O.C. ON P.T. PLATE @ C.N.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD W/ 6" R-19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 5-Y.F. NON BEARING WOOD STUD WALL W P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.

- WALL LEGEND NOTES:
- CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 - WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 - DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 - SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

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DRAWN BY: AT/JB
 UPDATED: Jan. 4, 23
 DATE: 10 - 2020
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A-2.1



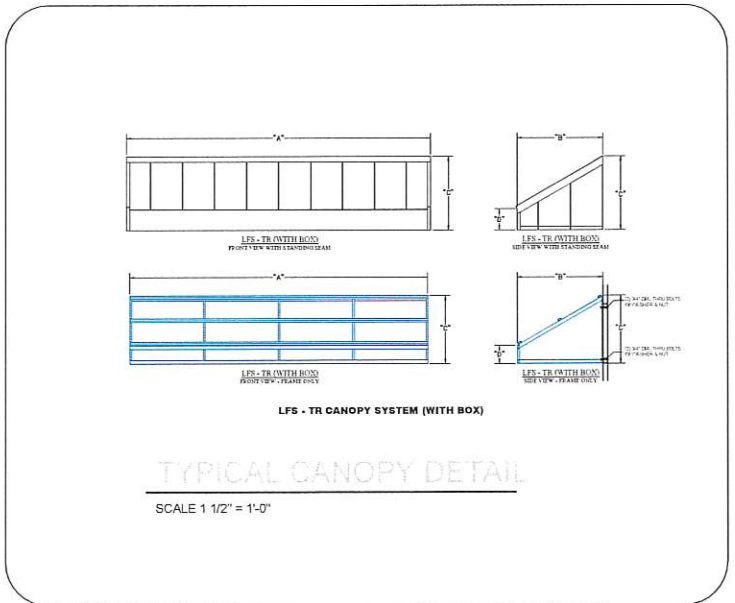
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

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GROUND FLOOR SHELL & FACADE RENOVATION
219 W. Venice Ave.
 Venice, Florida
PROPOSED ROOF TOP PLAN

1
 A-2.2
FUTURE RESTAURANT
PROPOSED ROOF TOP PLAN
 SCALE: 1/4" = 1'-0"
 NORTH
 SCALE: 1/4" = 1'-0"
 GRAPHIC SCALE (IN FEET)



WALL LEGEND

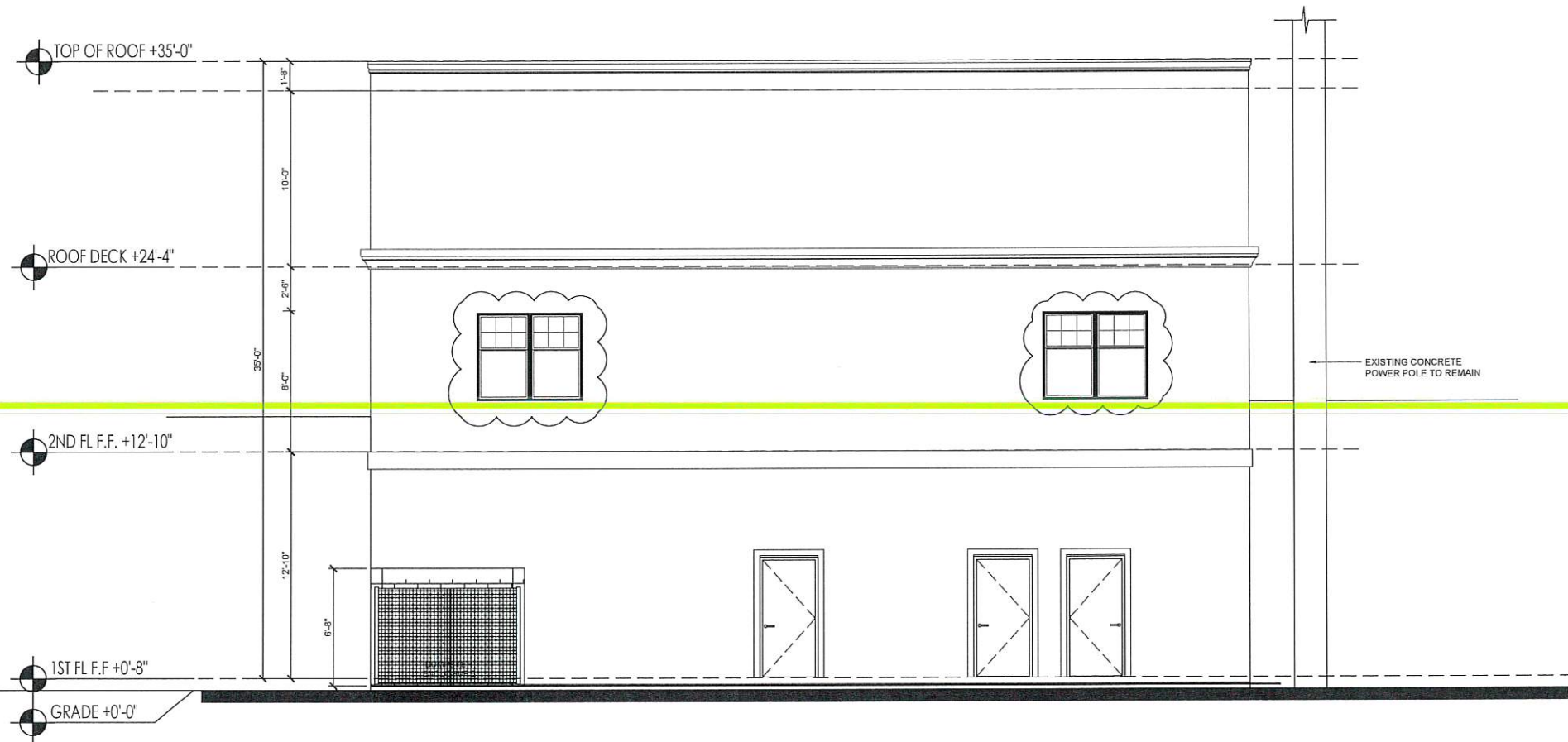
	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED FURRED BY REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE 5/8" POWERWALL STUCCO OVER 5/8" EXTRUSION WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" X GYPSUM BOARD OVER 1/2" METAL Furring OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE, ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. U904.
	NEW 2x4 5.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 5/2" TYPE X GYPSUM BOARD.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x4 5.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/2" TYPE X GYPSUM BOARD W/ 6" R-19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 5.Y.P. NON-BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/2" TYPE X GYPSUM BOARD.

- WALL LEGEND NOTES:
 1. CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 2. WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 3. DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 4. SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

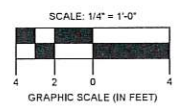
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 UPDATED ON: Jan. 4, 23
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 SHEET #

A-2.2



1 REAR ELEVATION
A-4.1 SCALE: 1/4" = 1'-0"



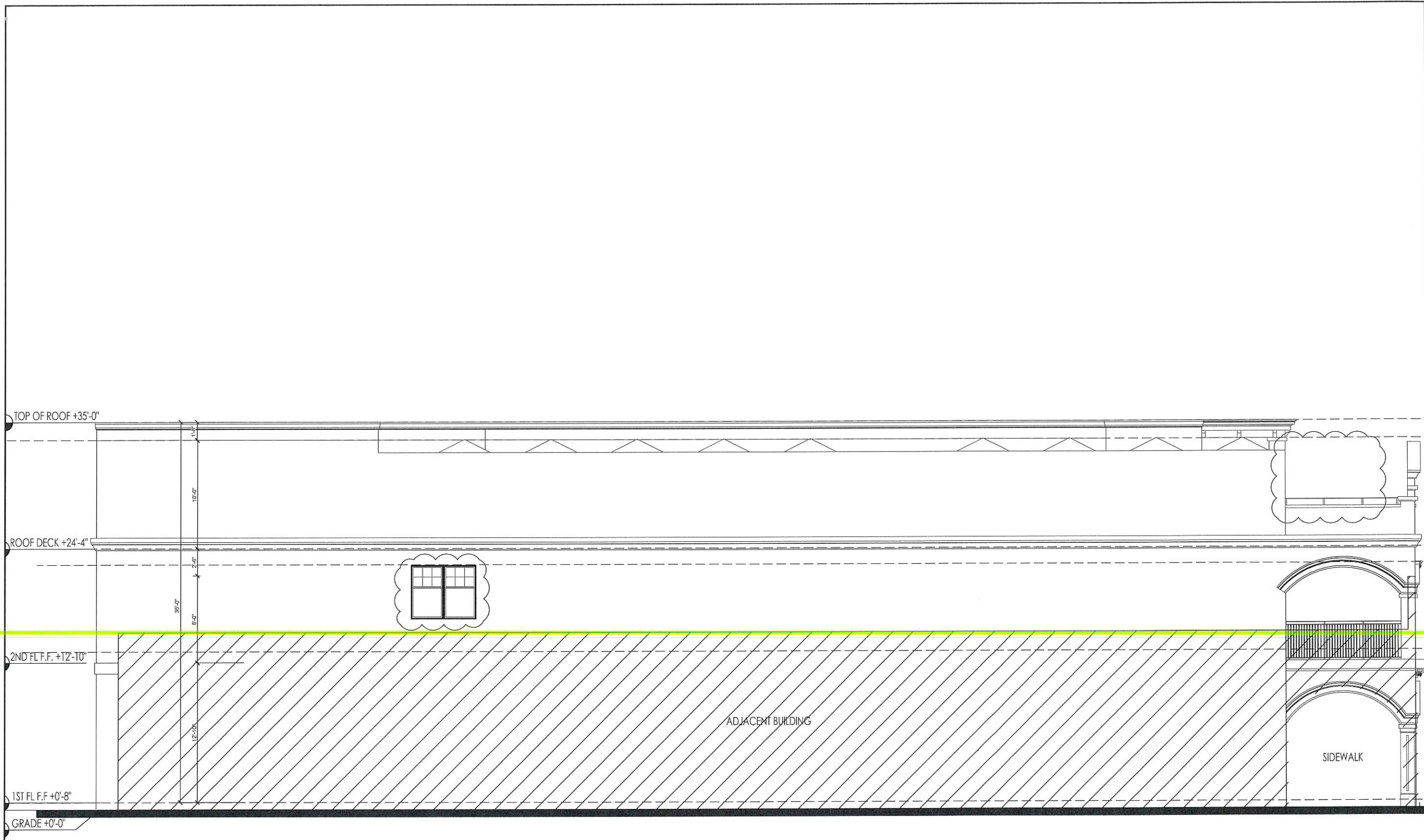
PROFESSIONAL STATEMENT: TO THE BEST OF HIS DIRECT KNOWLEDGE, THE DESIGNER HAS PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND THE PROFESSIONAL ENGINEERING BOARD RULES AND REGULATIONS, AND HAS NOT BEEN ADVISED OF ANY FACTS OR CIRCUMSTANCES WHICH WOULD MAKE THESE PLANS AND SPECIFICATIONS UNREASONABLY DESIGN OR CONSTRUCTION. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE AND HAS NOT BEEN ADVISED OF ANY FACTS OR CIRCUMSTANCES WHICH WOULD MAKE THESE PLANS AND SPECIFICATIONS UNREASONABLY DESIGN OR CONSTRUCTION. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE AND HAS NOT BEEN ADVISED OF ANY FACTS OR CIRCUMSTANCES WHICH WOULD MAKE THESE PLANS AND SPECIFICATIONS UNREASONABLY DESIGN OR CONSTRUCTION.

NO.	DATE	REVISIONS	DESCRIPTION

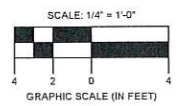
PROJECT
219 W. Venice Ave.
Venice, Florida
ELEVATIONS

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DATE	10 - 2020
JAB PROJECT #	2020-051
SHEET #	A-4.1



1 LEFT SIDE ELEVATION
A-4.2 SCALE: 1/4" = 1'-0"



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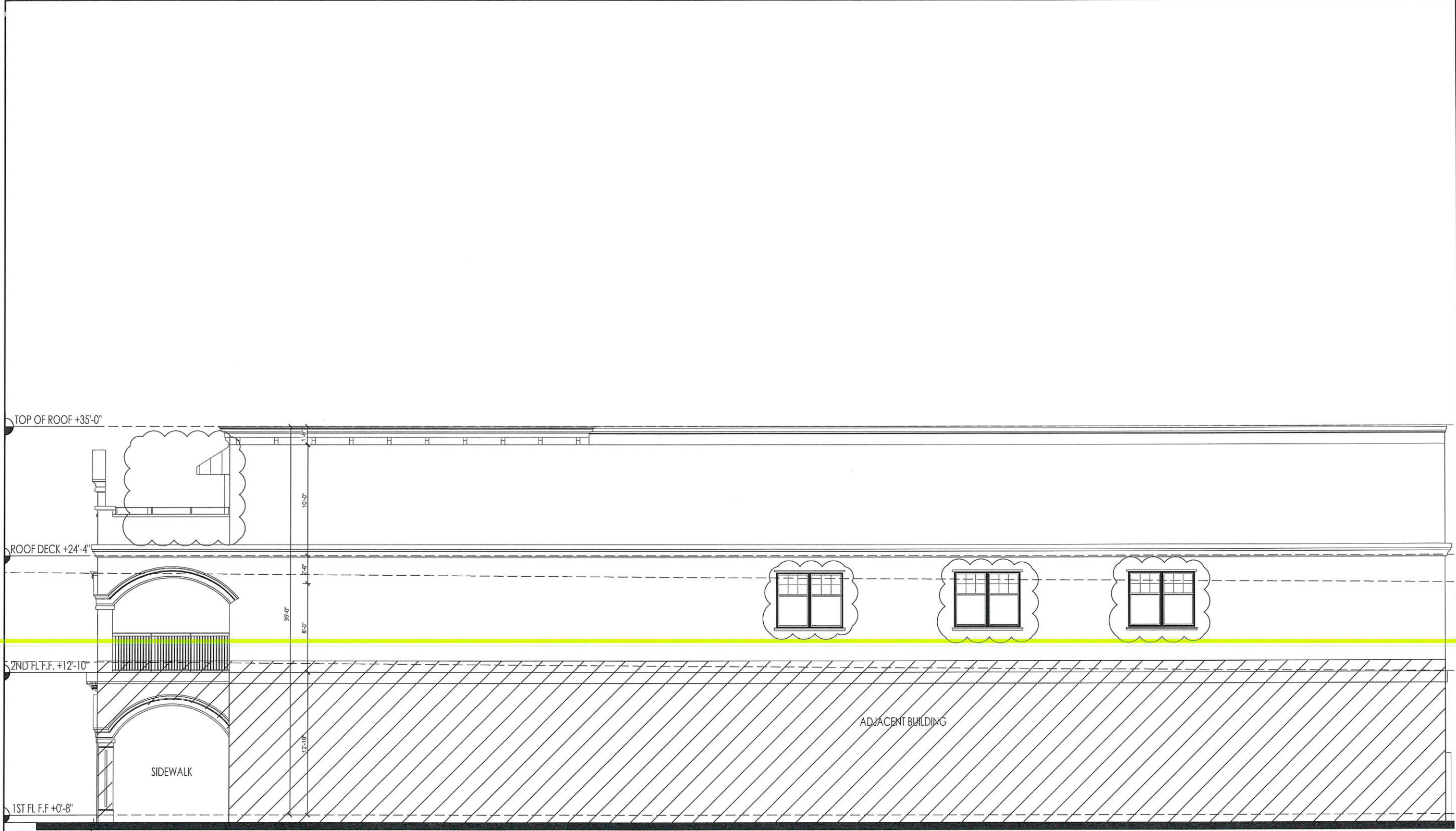
NO.	DATE	DESCRIPTION

PROJECT
219 W. Venice Ave.
Venice, Florida

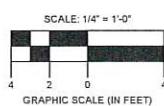
LEFT SIDE ELEVATION

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1
A-4.3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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PROJECT
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Venice, Florida

RIGHT SIDE ELEVATION

12/24

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SHEET #
A-4.3