

SITE AND DEVELOPMENT PLANS FOR:
VENICE MRT LAWN AND
GARDEN CENTER
385 & 395 US-41 BYPASS N VENICE, FL 34285

PARCEL ID NUMBER 0407090004 & 0407090005

LEGAL DESCRIPTION:

DESCRIPTION:

LOTS 1 AND 2, HOWARD'S SUBDIVISION, AS RECORDED IN PLAT BOOK 27, PAGE 18, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
BEING IN SECTION 7, TOWNSHIP 39 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA.

GENERAL STATEMENT:

THE PROPOSED DEVELOPMENT IS OF 2.06 ACRES (89,478 SF) WHICH CONSISTS OF A 2,354 SF AND 6,943 SF GARDEN CENTER BUILDINGS. THE EXISTING PARKING LOT WILL BE USED FOR THE PROPOSED USE.

UTILITY PROVIDERS:

FIBER	UNITI FIBER LLC 1715 NORTH WESTSHORE BLVD, SUITE 410 TAMPA, FL 33607 PHONE: (251) 214-7059
GAS	TECO PEOPLES GAS-SARASOTA 8281 VICO CT SARASOTA, FL 34240 PHONE: (813) 743-7164
ELECTRIC	FLORIDA POWER & LIGHT-SARASOTA 5657 MCINTOSH RD SARASOTA, FL 34233 PHONE: (386) 586-6403
RE-USE LINES/ SEWER/WATER	CITY OF VENICE UTILITIES DEPARTMENT 200 WARFIELD AVE N VENICE, FL 34285 PHONE: (941) 882-7316

BENCHMARK:

NAIL & DISK
ON US 41 BYPASS NORTH AND SOUTH OF ALBEE FARM ROAD
EL. 12.34' (NAVD88)
EL. 12.67' (NAVD88)
EL. 13.72' (NAVD88)

FLOOD NOTE:

THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION "X"; BY THE FEDERAL MANAGEMENT AGENCY (FEMA) AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 12115C0331G, DATED MARCH 27, 2024, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY THIS PARCEL IS SITUATED IN.

BUILDING HEIGHT:

BUILDING HEIGHT SHALL BE DEFINED AS THE VERTICAL DISTANCE MEASURED 18 INCHES ABOVE THE BENCH MARK ELEVATION OF THE ADJACENT ROAD.

LAND SURVEYOR:

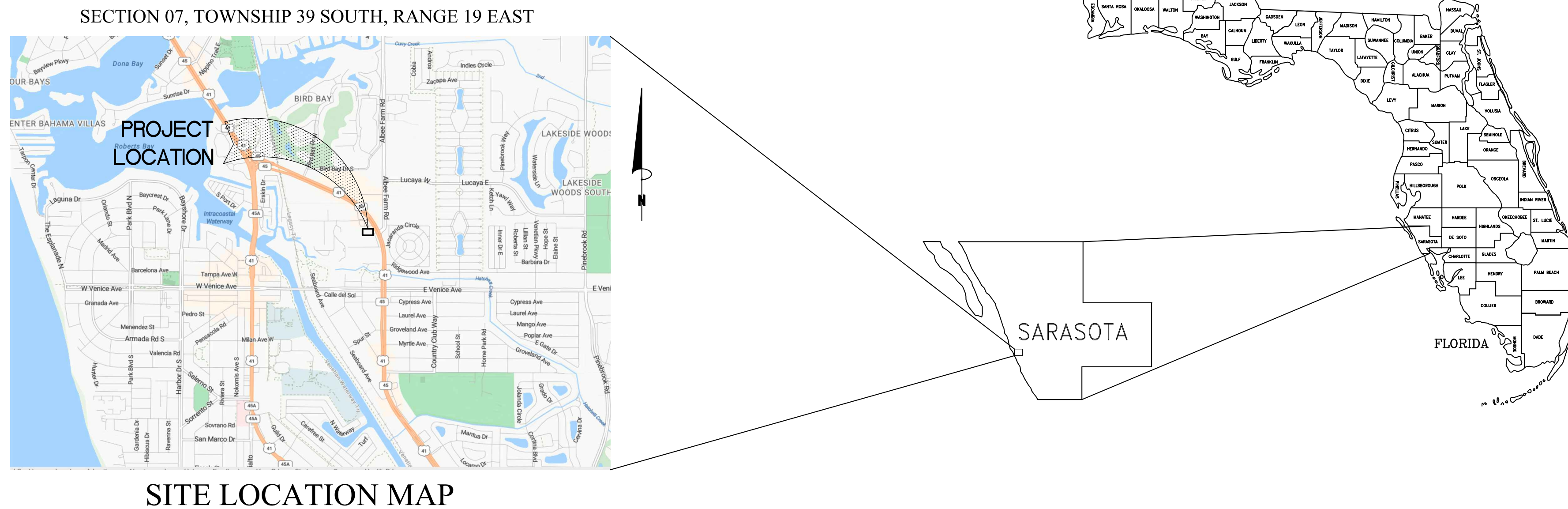
BRITT SURVEYING
COLLIN B. NAAMAN
680 US-41 BYPASS N.
SUITE #1
VENICE, FL - 34285
PHONE: (941) 493-1396

BUILDING ARCHITECT:

CHRISTOPHER J. SLOAN
NCIDQ, ASID PROFESSIONAL
ID 6596
BUILT ON DESIGN
SARASOTA, FL
PHONE: (260)-750-4500

LANDSCAPE ARCHITECT:

JOHN T. SWEN LANDSCAPE ARCHITECT
JOHN T. SWEN
P.O. BOX 494466
PORT CHARLOTTE, FL - 33949
PHONE: (941) 626-7365



DIRECTIONS TO PROJECT SITE:

FROM INTERSTATE 75 (I-75), TAKE EXIT 195 TOWARD NOKOMIS/LAUREL RD. TURN LEFT ONTO LAUREL RD FOR 1.7 MILES. TURN LEFT ONTO ALBEE FARM RD N FOR 2.3 MILES. TURN LEFT ONTO U.S. 41 BYPASS N/VENICE BYPASS. SITE WILL BE ON THE RIGHT.

OWNER / DEVELOPER

MRT LAWN & GARDEN CENTER INC.
2775 EL JOBEAN RD
PORT CHARLOTTE, FLORIDA 34285

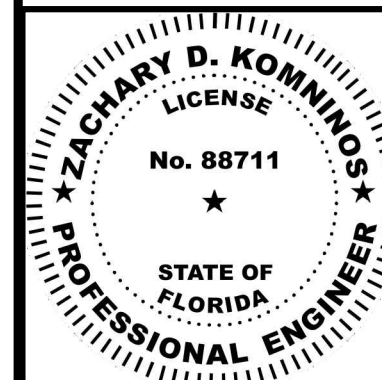
CIVIL ENGINEER:
BOWMAN CONSULTING
ENGINEER OF RECORD:
ZACHARY KOMNINOS
4450 W. EAU GALLIE BLVD.
SUITE 144
MELBOURNE, FL - 32934
PHONE: (321) 255-5434

Bowman

CONSULTING

[illegible]

Sheet Number	Sheet Title
C0	COVER SHEET
1-1	SURVEY
DM1.0	DEMOLITION PLAN
ES1.0	EROSION CONTROL PLAN
ES2.0	EROSION CONTROL DETAILS
C1.0	SITE PLAN
C1.1	TRUCK ROUTE
C2.0	GRADING & DRAINAGE PLAN
D1.0	DETAILS
PH1.0	PHOTOMETRIC PLAN
PH1.1	PHOTOMETRIC DETAILS
LP1.0	EXISTING TREE PLAN
LP2.0	LANDSCAPE PLAN
LP3.0	LANDSCAPE DETAILS



ZACHARY D. KOMNINO
LICENSE NO. 88711

[illegible]

DATE	DESCRIPTION	
ALW DESIGN	EC DRAWN	ZK CHKD
SCALE: AS SHOWN		

JOB No. 011527-01-00
DATE: 3/17/2025

010527-01-D-CP-001-01-CO-COV.DWG

SHEET C0



Certificate of Authorization License No. 30462

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

COVER SHEET

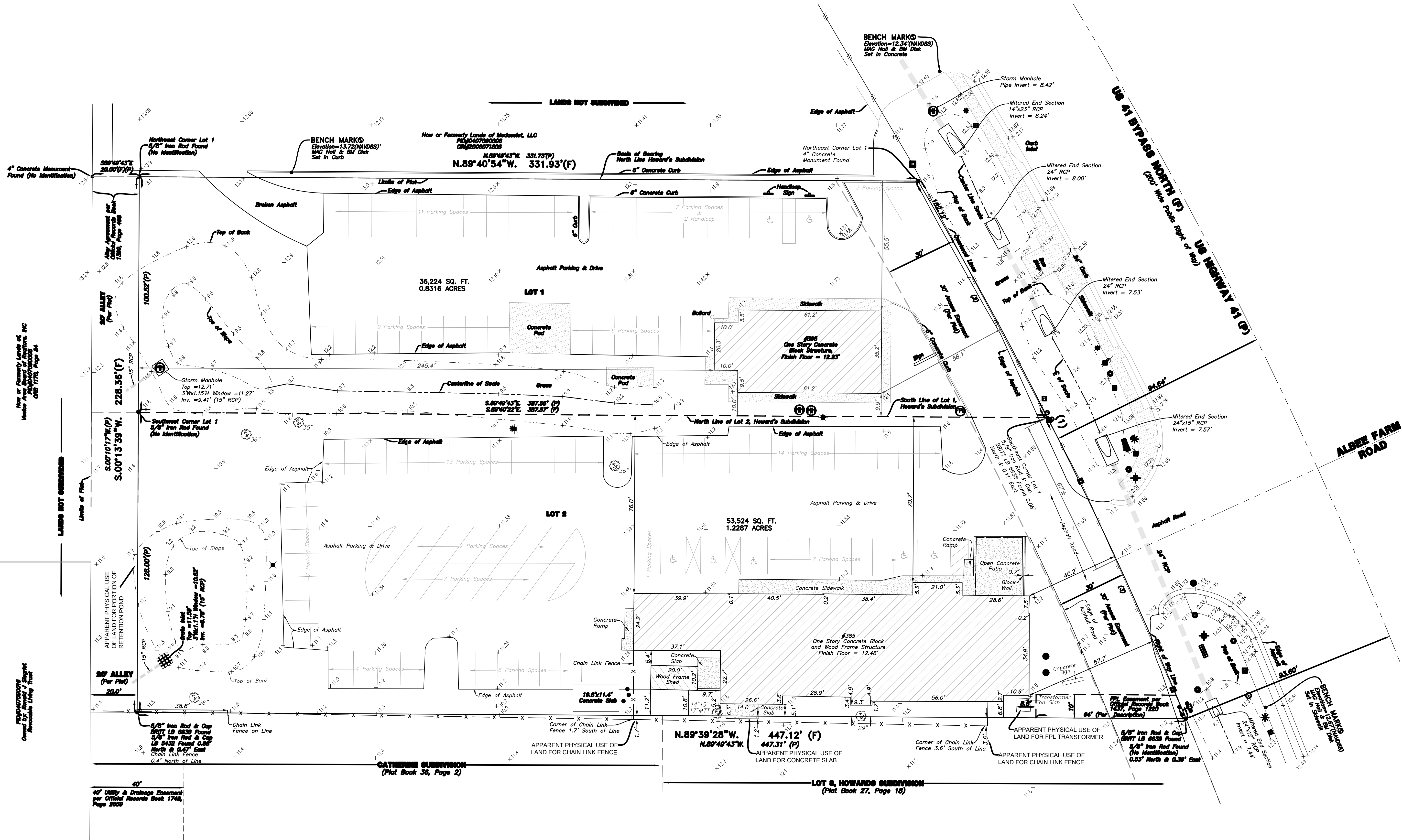
MRT LAWN AND GARDEN CENTER

385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285

CITY OF VENICE
FLORIDA COUNTY

C:\CAD file name: V:\11527 - MRT Low and Garden Center Inc\11527-01-001 (ENG) - Comm Development US-41 Bypass N Venice\Engineering\Engineering Plans\11527-01-01-D-CP-001-01-CO-COV.dwg, AELANGOVAN 3/17/2025

SCALE: 1" = 20'



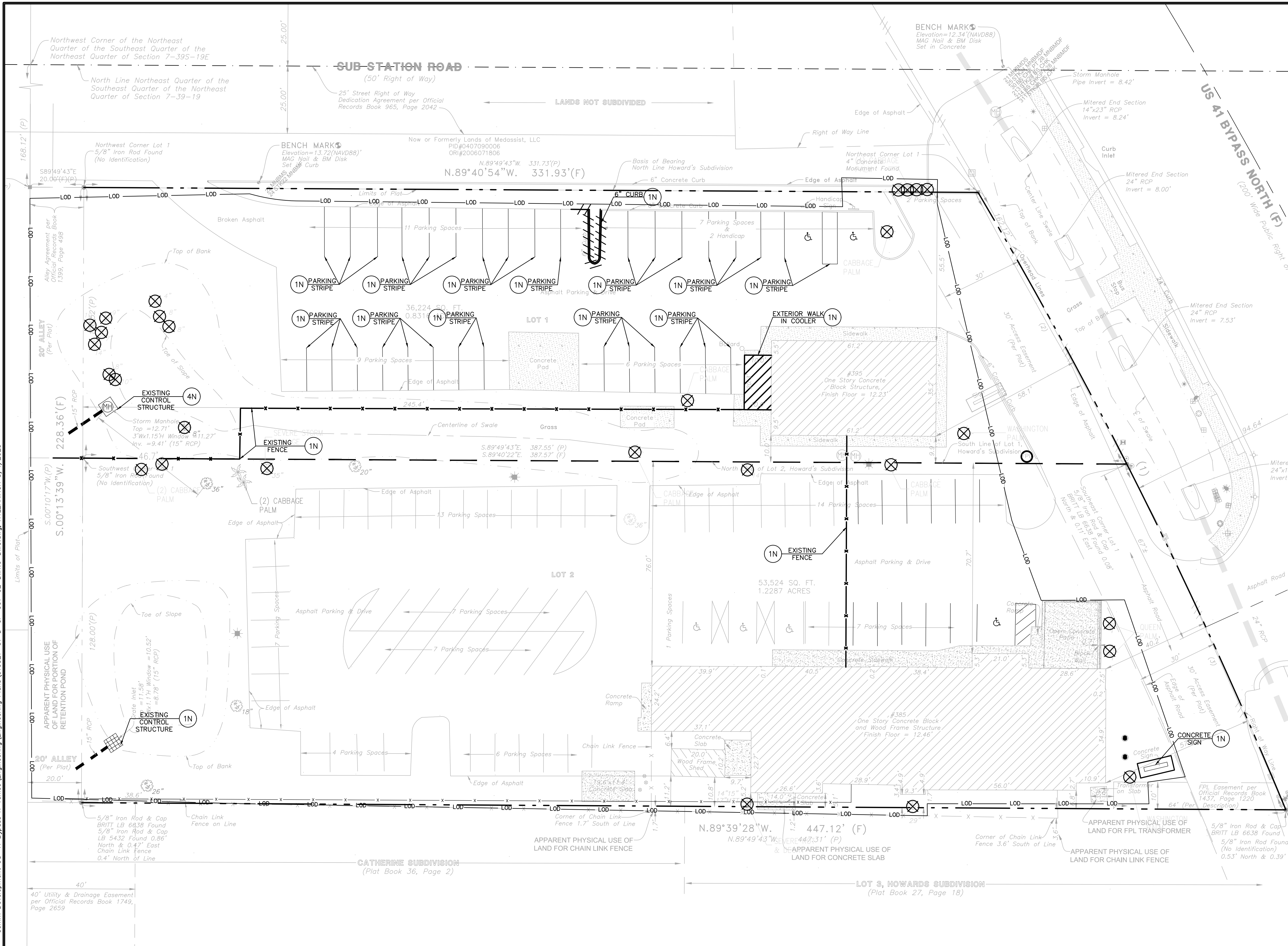
TREE LEGEND
Oak Tree & Size
MTT Multi Trunk Tree

LEGEND:
Florida Power & Light Marshale
Concrete Power Pole
Electric Hand Held
Unknown Manhole
Traffic Control Pole
Light Pole
Back Flow Preventer
Metal Traffic Light Arm
Phone Riser
Storm Sewer Manhole
Water Service
Back Flow Preventer
Concrete Bollard
Electrical Vault
Overhead Power Lines
Mitered End Section
Reinforced Concrete Pipe
Parcel Identification Number
Official Records Book
Official Instrument Number
License Business Number
Reinforced Concrete Pipe

DESCRIPTION:
Lots 1 and 2, HOWARD'S SUBDIVISION, as recorded in Plot Book 27, Page 18, of the Public Records of Sarasota County, Florida.
Being in Section 7, Township 39 South, Range 19 East, Sarasota County, Florida.

REPORT OF SURVEY:
1. This plot represents a Boundary Survey showing visible improvements.
2. Bearings shown hereon refer to an assumed meridian, bearing for the North line of Lot 1, Howard's Subdivision = N.89°40'54"W.
3. There may exist other underground flood interior improvements, which are not visible and are not a part of this survey.
4. Description shown hereon has been prepared for this plot.
5. Subject to easements and rights of way of record, if any. No research has been made of easements or rights of way of record.
6. This plot has been prepared without the benefit of a Commitment for Title Insurance or a Title Policy.
7. Parcel shown hereon is situated in Flood Zone "X", base flood elevation Not Determined, per Flood Insurance Rate Map 12115C03316, Index Map dated March 27, 2024.
8. Accuracy: The expected use of the land is "Suburban". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
9. (P) Denotes information obtained from record Plot.
10. (F) Denotes information obtained from field measurement.
11. Elevations shown hereon refer to NAVD 83, based on CGS Bench Mark X-38, published elevation = 6.63 feet (NAVD 83).







Curve number 1 (F) Radius= 1829.86' Delta= 08°01'31" Arc= 256.30' Chord= 256.09' Chord Brg.= N.26°30'05"W.	Curve number 1 (P) Radius= 1829.86' Delta= 08°01'31" Arc= 256.3' Chord= 256.09' Chord Brg.= N.26°39'34"W.
Curve number 2 (F) Radius= 1829.86' Delta= 03°39'03" Arc= 115.00' Chord= 114.96' Chord Brg.= N.26°42'49"W.	Curve number 2 (P) Radius= 1829.86' Delta= 03°39'03" Arc= 115.0' Chord= 114.96' Chord Brg.= N.26°52'18"W.
Curve number 3 (F) Radius= 1829.86' Delta= 04°25'28" Arc= 141.31' Chord= 141.27' Chord Brg.= N.24°42'04"W.	Curve number 3 (P) Radius= 1829.86' Delta= 04°25'28" Arc= 141.3' Chord= 141.27' Chord Brg.= N.24°51'32"W.



DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY THE GOVERNING AUTHORITIES) OF ALL MATERIALS, SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS ARE NOT BEING OBSTRUCTED. THE CONTRACTOR IS RESPONSIBLE TO DEMOLISH ALL OF THE SUSTAINABLE MATERIAL, AND BROUGHT TO A CLOSE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETTED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS AGREED BY CONSTRUCTION MANAGER.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT & PAYMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PROPERTY, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/UTILITY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE STORE AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE CITY/UTILITY DURING CONSTRUCTION, ANY COSTS ASSOCIATED WITH WATER MAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. DAMAGE TO ALL EXISTING FACILITIES AND IMPROVEMENTS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
14. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES TANKS, ETC.
15. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
16. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
17. EXISTING PERIMETER TREES & LANDSCAPING TO REMAIN WHEREVER POSSIBLE.

LEGEND - PROPOSED

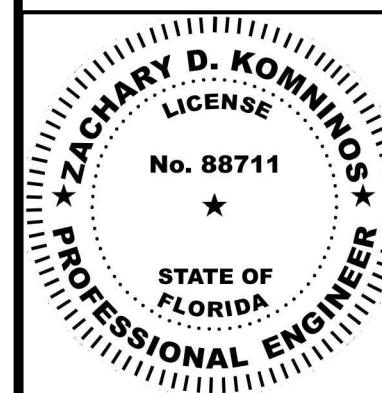
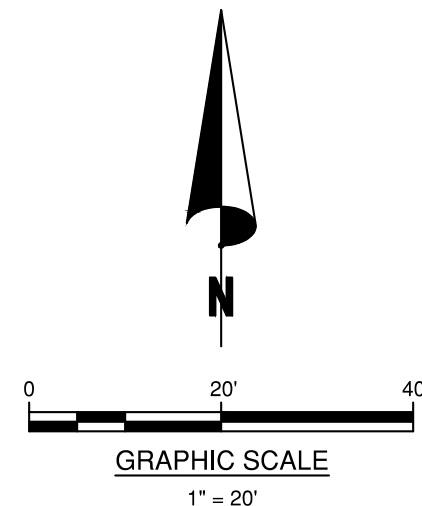
- PROPERTY LINE
 LIMITS OF DISTURBANCE
 SAWCUT LINE
 REMOVAL
 REMOVE ASPHALT, UTILITIES,
CONCRETE, GRAVEL, AND BUILDINGS
 TEMPORARY SILT FENCE
 TREE REMOVAL - REFER TO LANDSCAPE PLANS

○ NOTES

- 1N EXISTING TO BE REMOVED
2N PROTECT EXISTING UTILITIES TO REMAIN
3N SAWCUT LINE
4N REMOVE AND RELOCATE

ALERT TO CONTRACTOR:
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM BCG AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLANS. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. BCG AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

DISTURBED AREA
84,703 SF
(± 1.94 AC)



ZACHARY D. KOMNINO
LICENSE NO. 88711

PLAN STATUS

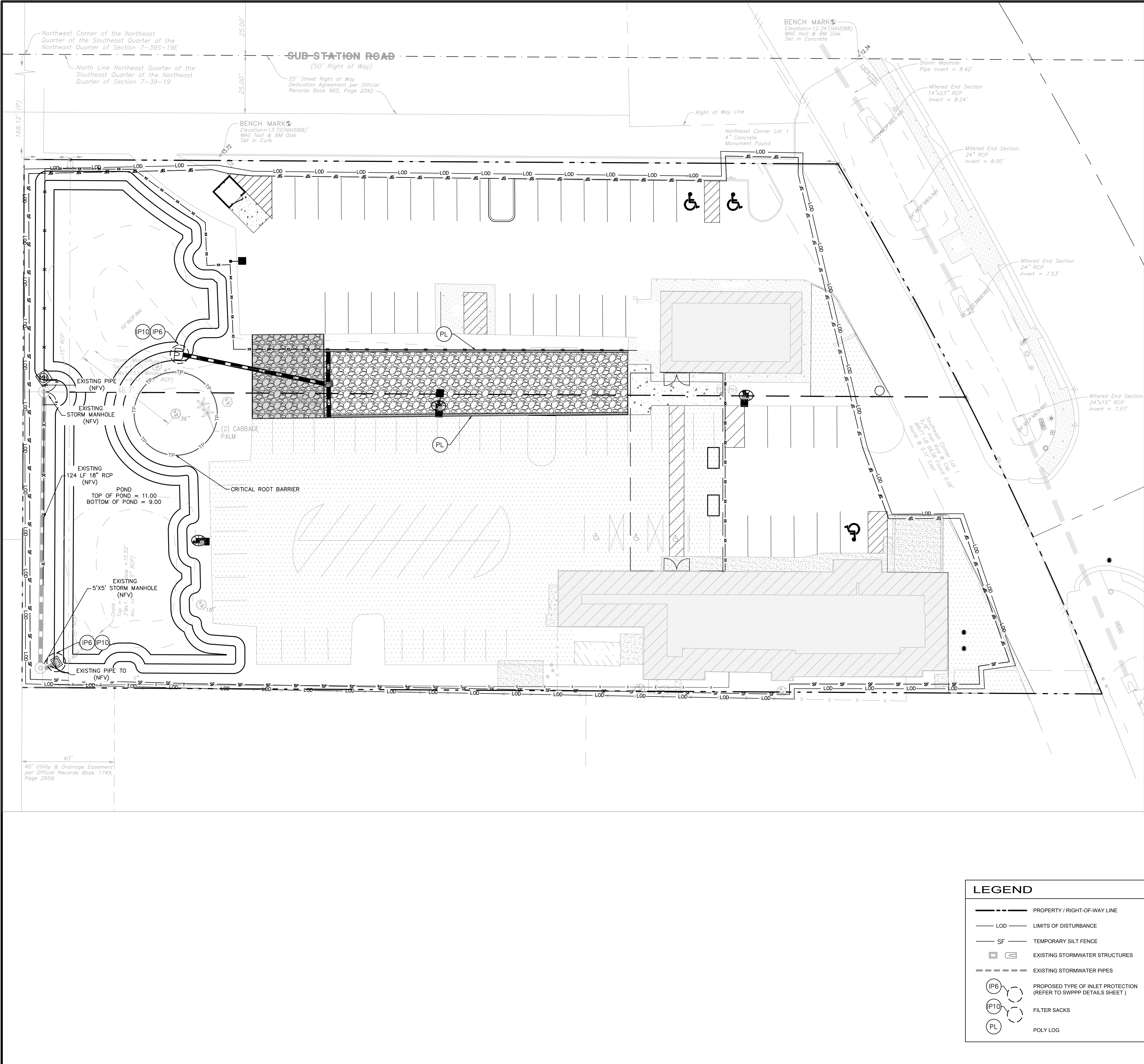
DATE	DESCRIPTION	
ALW DESIGN	EC DRAWN	ZK CHKD
SCALE: AS SHOWN		

JOB No. 011527-01-001

DATE: 03/04/2025

010527-01-D-CP-001-02-DM1.0-DMO.DWG

SHEET **DM1.0**



EROSION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SOODED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON SITE PAVED SURFACES AS WELL AS ALL ADJUTING CITY STREETS, COUNTY ROADS AND STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OF TEXAS TO THE CITY STORM WATER SYSTEM.
- ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.

BMP MAINTENANCE NOTES

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
4. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
7. ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

CONSTRUCTION SEQUENCE

- CONDUCT PRE-CONSTRUCTION MEETING WITH THE CITY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
- INSTALL STABILIZED CONSTRUCTION EXIT AND POST SWPPP AND SITE COMPLIANCE SIGNAGE THAT IS PUBLICLY VISIBLE.
- INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
- INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN WITHIN THE CONSTRUCTION LIMITS.
- PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
- BEGIN GRADING THE SITE.
- BEGIN CONSTRUCTION OF UTILITIES.
- BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
- BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
- COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
- COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

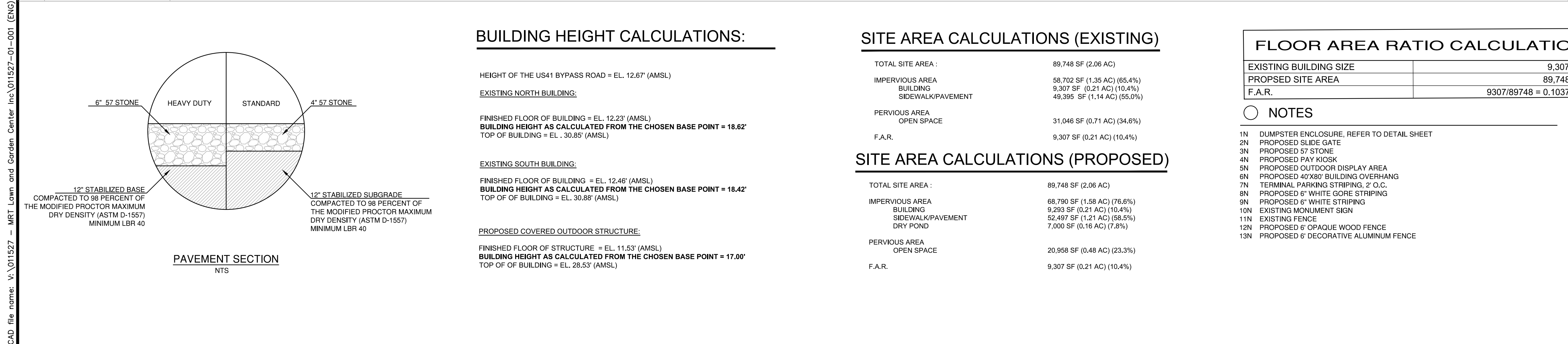
THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

DISTURBED AREA
84,703 SF
(1.94 ± AC)

811
KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's free-lance.
www.callsunshine.com

0 20' 40'

GRAPHIC SCALE
1" = 20'



REFER TO TOPOGRAPHIC PLAN FOR ADDITIONAL INFORMATION AND EXISTING SYMBOL LEGEND. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.

1. IN GENERAL, THE CONSTRUCTION OF THE PROPOSED FEATURES TO BE CONSTRUCTED AS PART OF THIS PROJECT, UNLESS NOTED OTHERWISE, SIMILARLY, SHADED LINEWORK TYPICALLY REPRESENTS EXISTING FEATURES OR ITEMS SHOWN FOR INFORMATIONAL PURPOSES ONLY.

2. THE STRUCTURE, LOCATION OR FLOWLINE OF CIRCULAR OR OTHER CURVED FEATURES, UNLESS NOTED OTHERWISE, PROPOSED DIMENSIONS ARE SHOWN AT THE CENTERLINE OF ITEMS AND TO THE CENTER OF CURVES.

3. THE CONTRACTOR IS RESPONSIBLE FOR CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING IMPROVEMENTS.

4. PROPOSED MARKINGS SHALL CONFORM TO THE LATEST MUTCD MANUAL AND FOOT DESIGN STANDARDS. ALL TIE LINES SHALL BE REFLECTIVE PER THE LATEST MUTCD MANUAL.

5. SAFE VEHICULAR AND PEDESTRIAN TRAFFIC MUST BE MAINTAINED AT ALL TIMES.

6. DAMAGED SIDEWALK RESULTING FROM CONSTRUCTION ACTIVITY WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED AND REPLACED WITH SIDEWALKS THAT ARE REMOVED MUST BE RESTORED WITH THREE (3) DAYS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL FROM THE SITE IN THE EVENT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO THE PROJECT COMPLETION.

9. CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS AVAILABLE WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.

10. CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS TO BE ENCOUNTERED.

13. NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE APPROVAL OF THE ENGINEER OF RECORD.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL OBSTRUCTIONS.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

16. ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.

17. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

18. ALL EXISTING SIDEWALK ALONG THE PROJECT FRONTAGE SHALL MEET ADA REQUIREMENTS. ANY DAMAGE SECTIONS SHALL BE REPLACED.

19. SAW CUT THE EDGE OF PAVEMENT PRIOR TO REMOVING THE EXISTING CURB.

20. THE TRUNCATED DOMES SHALL BE LIQUID YELLOW TRUNCATED DOMES AND MUST CONFORM TO THE REQUIREMENTS OF CITY STANDARD DETAIL EN-1.

21. SEE DETAIL SHEET D3.0 FOR FOOT CURB CONSTRUCTION NOTES.

22. THE APPROVED LANDSCAPE AND TREE PROTECTION PLANS AND SPECIFICATIONS MUST BE FOLLOWED CLOSELY. TREE PROTECTION SPECIFICATIONS, PLANT MATERIAL QUALITY AND SIZE, MULCH AND SOIL SPECIFICATION, AND THE SPECIFICATIONS OF THE PLANTS OVERALL, WILL BE STRICTLY ENFORCED BY THE CITY.

23. THE CITY WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

24. ANY CHANGES OR REVISIONS TO THE APPROVED PLANS ARISE DURING CONSTRUCTION PHASE, THESE CHANGES MUST BE REVIEWED BY THE CITY PRIOR TO INSTALLATION. COMMUNICATING CHANGES TO THE CITY DURING THE CONSTRUCTION PHASE COULD AVOID DELAYS WITH THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. MINOR ALTERATIONS TO ACCOMMODATE FACILITIES ARE UNDERSTOOD, BUT MUST BE REVIEWED BEFORE ANY SUCH ALTERATIONS ARE MADE.

PARCEL AREA	2.06 AC (89,748 SF)
PARCEL IDENTIFICATION NUMBER	0407090004, 0407090005
EXISTING ADDRESS	385 & 395 U.S. HWY 41 BYPASS
LOCAL JURISDICTION	CITY OF VENICE
ZONING DESIGNATION	COMMERCIAL (CM)
FEMA FLOOD ZONE DESIGNATION	ZONE "X" (EL 10')
COUNTY FLOOD ELEVATION	9.31'
EXISTING USE	COMMERCIAL
PROPOSED USE	COMMERCIAL
EXISTING BUILDING AREA	9,307 SF
EXISTING BUILDING HEIGHT	AS EXISTING
FLOOR AREA RATIO (LOT COVERAGE)	0.1037
LANDSCAPE BUFFERS REQUIRED / PROVIDED	5 FT / 5 FT
FRONT (EAST)	5 FT / 5 FT
FRONT (SOUTH)	5 FT / 101 FT
BACK (WEST)	5 FT / 5 FT
SIDE (NORTH)	
BUILDING SETBACKS REQUIRED / PROVIDED	
FRONT (EAST)	20 FT / 78 FT
FRONT (SOUTH)	20 FT / 45 FT
BACK (WEST)	10 FT / 196 FT
SIDE (NORTH)	8 FT / 67 FT
PARKING (4 SP / 1,000 SF)	
TOTAL STANDARD PARKING REQUIRED / PROPOSED	38 / 38
TOTAL ADA PARKING REQUIRED / PROPOSED	1 / 3
PARKING STALL DIMENSIONS / ADA PAKING (L x W)	18 FT x 10 FT / 18 FT x 12 FT

DIRECTION	CURRENT ZONING	FUTURE LAND USE
N	CM	CM
NW	OPI	INSTITUTIONAL PROFESSIONAL
W	RMF-4	HIGH DENSITY RESIDENTIAL
SW	RMF-3	HIGH DENSITY RESIDENTIAL
S	RMF-4	HIGH DENSITY RESIDENTIAL
E	RMH	MODERATE DENSITY RESIDENTIAL

PROPERTY / RIGHT-OF-WAY
LINE

PROPOSED FENCES

ACCESSIBLE PARKING SPACE

DIRECTIONAL ARROWS

STREET SIGN LOCATION

PROPOSED BUILDING FOOTPRINT

CONCRETE SIDEWALK

STANDARD STONE

HEAVY DUTY STONE

DISPLAY AREA

PROPOSED SITE LIGHTING
(REFERENCE PHOTOMETRIC PLAN
AT SHEET PH1.0)

STORM MANHOLE

EXISTING BUILDING SIZE	9,307 SF
PROPOSED SITE AREA	89,748 SF
F.A.R.	$9307/89748 = 0.1037$ SF

- 1N DUMPSTER ENCLOSURE, REFER TO DETAIL SHEET
- 2N PROPOSED SLIDE GATE
- 3N PROPOSED 57 STONE
- 4N PROPOSED PAY KIOSK
- 5N PROPOSED OUTDOOR DISPLAY AREA
- 6N PROPOSED 40'X80' BUILDING OVERHANG
- 7N TERMINAL PARKING STRIPING, 2 O.C.
- 8N PROPOSED 6" WHITE GORE STRIPING
- 9N PROPOSED 6" WHITE STRIPING
- 10N EXISTING MONUMENT SIGN
- 11N EXISTING FENCE
- 12N PROPOSED 6" OPAQUE WOOD FENCE
- 13N PROPOSED 6" DECORATIVE ALUMINUM FENCE

TOTAL SITE AREA :	89,748 SF (2.06 AC)
IMPERVIOUS AREA	58,702 SF (1.35 AC) (65.4%)
BUILDING	9,307 SF (0.21 AC) (10.4%)
SIDEWALK/PAVEMENT	49,395 SF (1.14 AC) (55.0%)

TOTAL SITE AREA :	89,748 SF (2.06 AC)
IMPERVIOUS AREA	68,790 SF (1.58 AC) (76.6%)
BUILDING	9,293 SF (0.21 AC) (10.4%)
SIDEWALK/PAVEMENT	52,497 SF (1.21 AC) (58.5%)
DRY POND	7,000 SF (0.16 AC) (7.8%)
PERVIOUS AREA	
OPEN SPACE	20,958 SF (0.48 AC) (23.3%)
F.A.R.	9.307 SF (0.21 AC) (10.4%)

HEIGHT OF THE US41 BYPASS ROAD = EL. 12.67' (AMSL)

EXISTING NORTH BUILDING:

FINISHED FLOOR OF BUILDING = EL. 12.23' (AMSL)

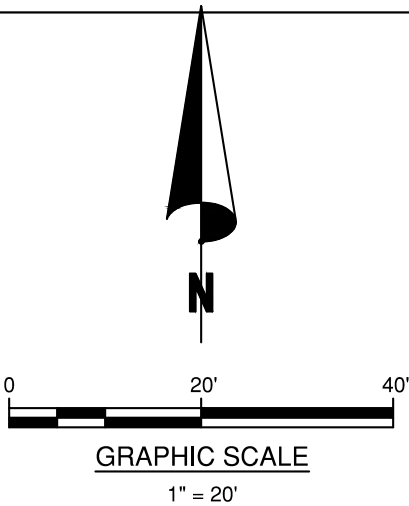
BUILDING HEIGHT AS CALCULATED FROM THE CHOSEN BASE POINT = 18.62'

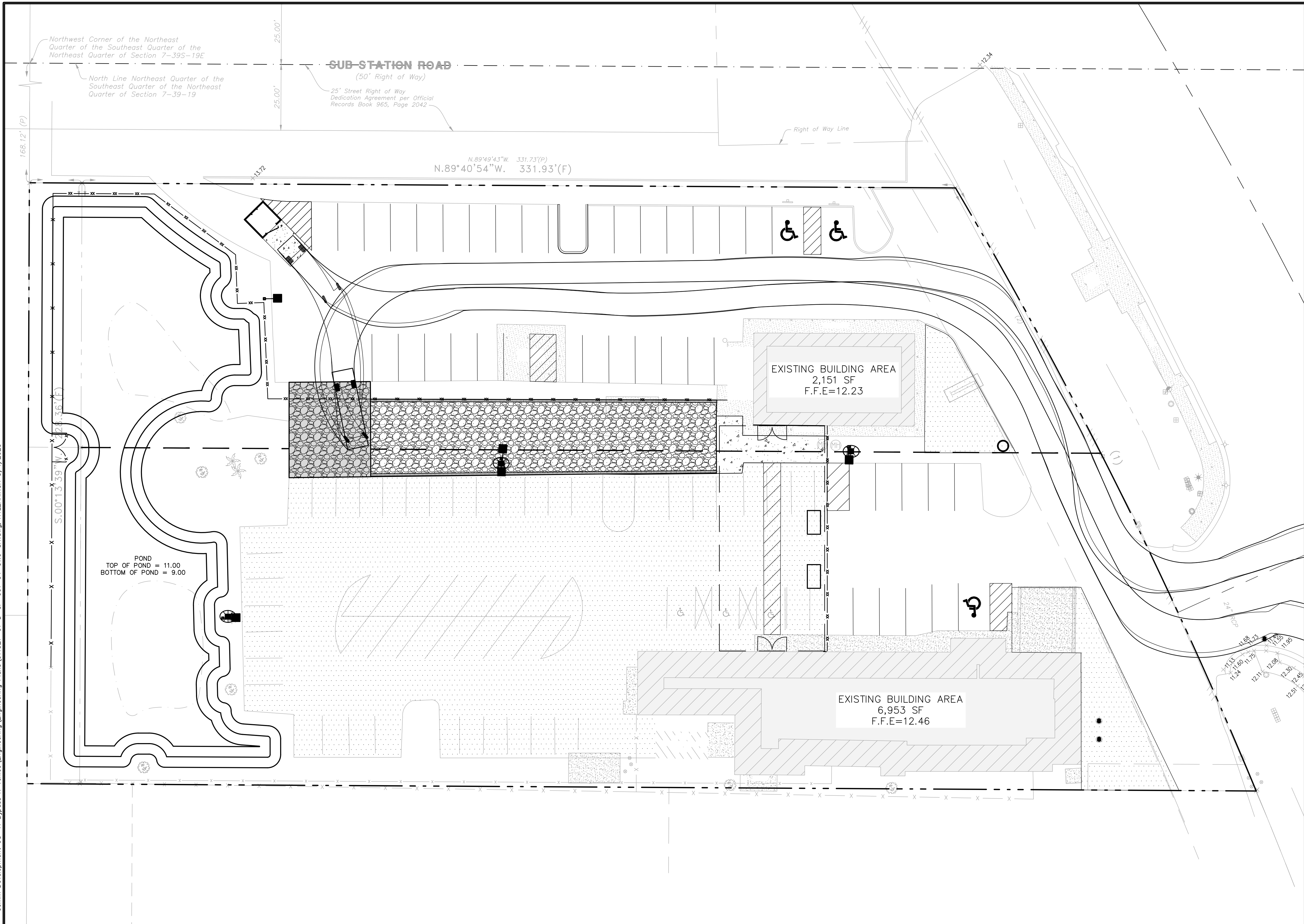
TOP OF BUILDING = EL. 30.85' (AMSL)

FINISHED FLOOR OF BUILDING = EL. 12.46' (AMSL)
BUILDING HEIGHT AS CALCULATED FROM THE CHOSEN BASE POINT = 18.42'
TOP OF OF BUILDING = EL. 30.88' (AMSL)






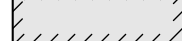




PROPOSED COVERED OUTDOOR STRUCTURE:

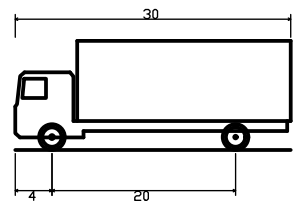
FINISHED FLOOR OF STRUCTURE = EL. 11.53' (AMSL)
BUILDING HEIGHT AS CALCULATED FROM THE CHOSEN BASE POINT = 17.00'
TOP OF OF BUILDING = EL. 28.53' (AMSL)



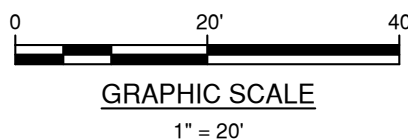


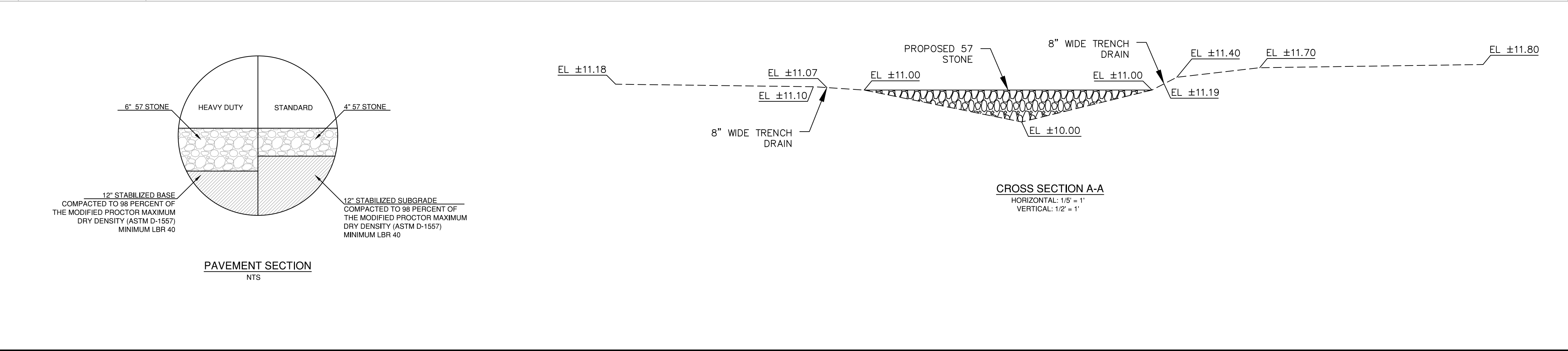
LEGEND

	PROPERTY / RIGHT-OF-WAY LINE
	ACCESSIBLE PARKING SPACE
	DIRECTIONAL ARROWS
	STREET SIGN LOCATION
	STORM MANHOLE
	PROPOSED BUILDING FOOTPRINT
	CONCRETE SIDEWALK
	STANDARD STONE
	HEAVY DUTY STONE
	DISPLAY AREA



SU - Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	11.881ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	0.005s
Max Steering Angle (Virtual)	31.70°

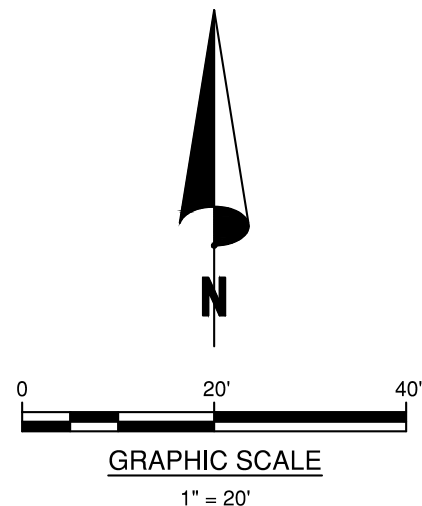




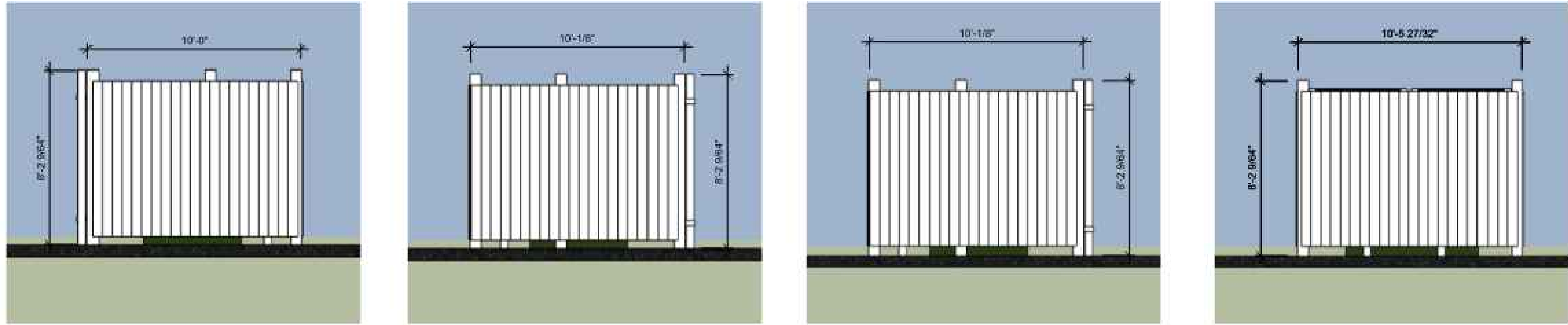
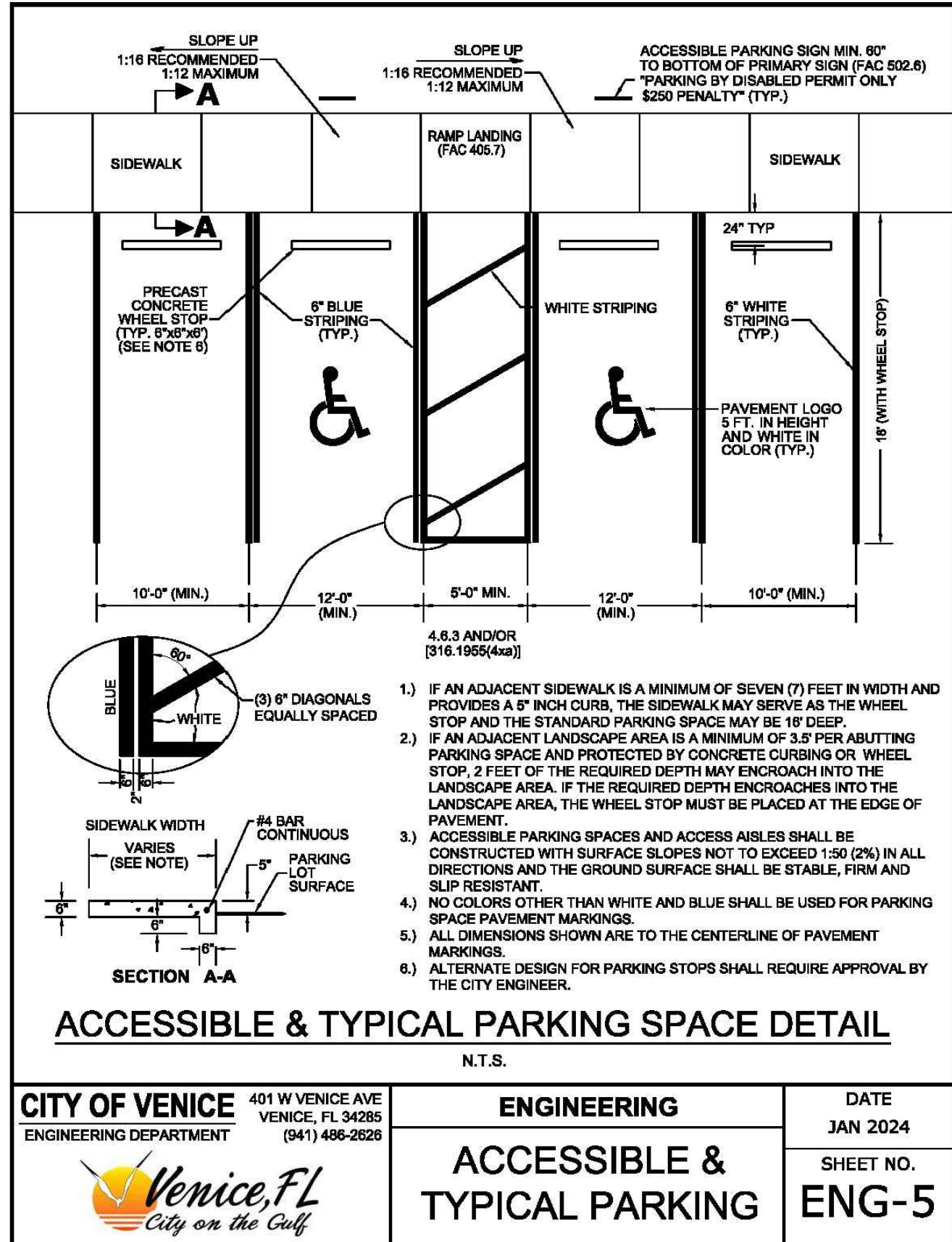
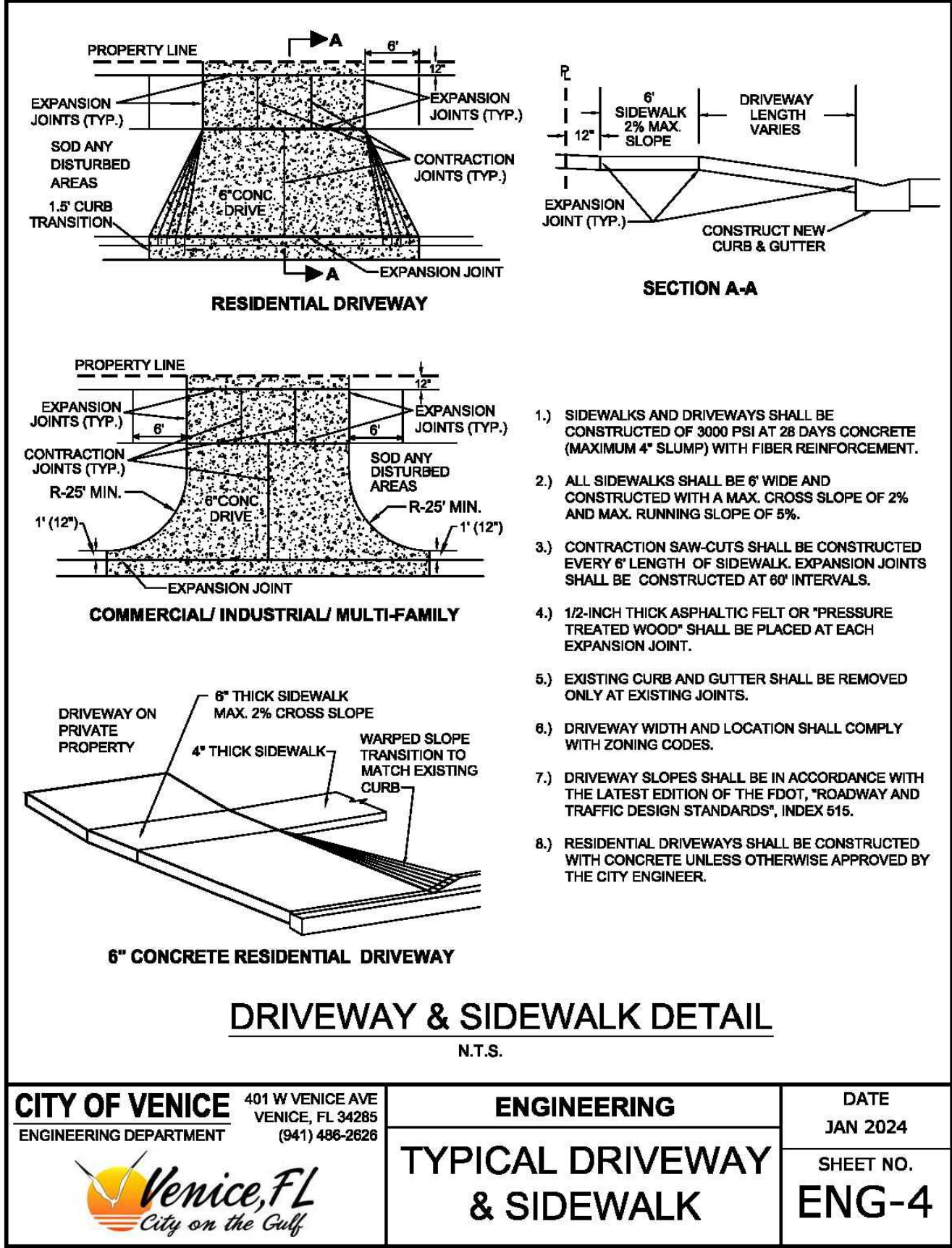
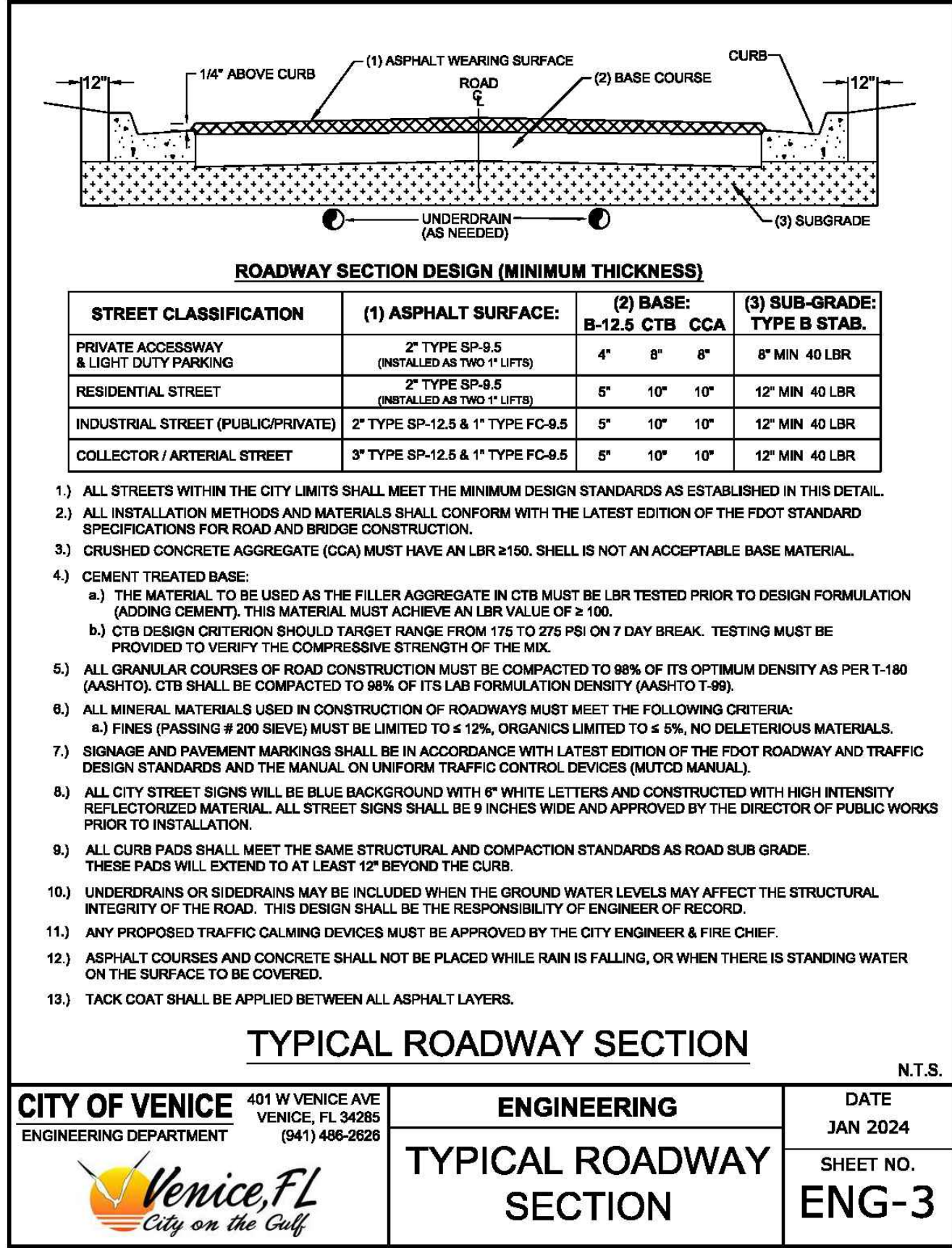
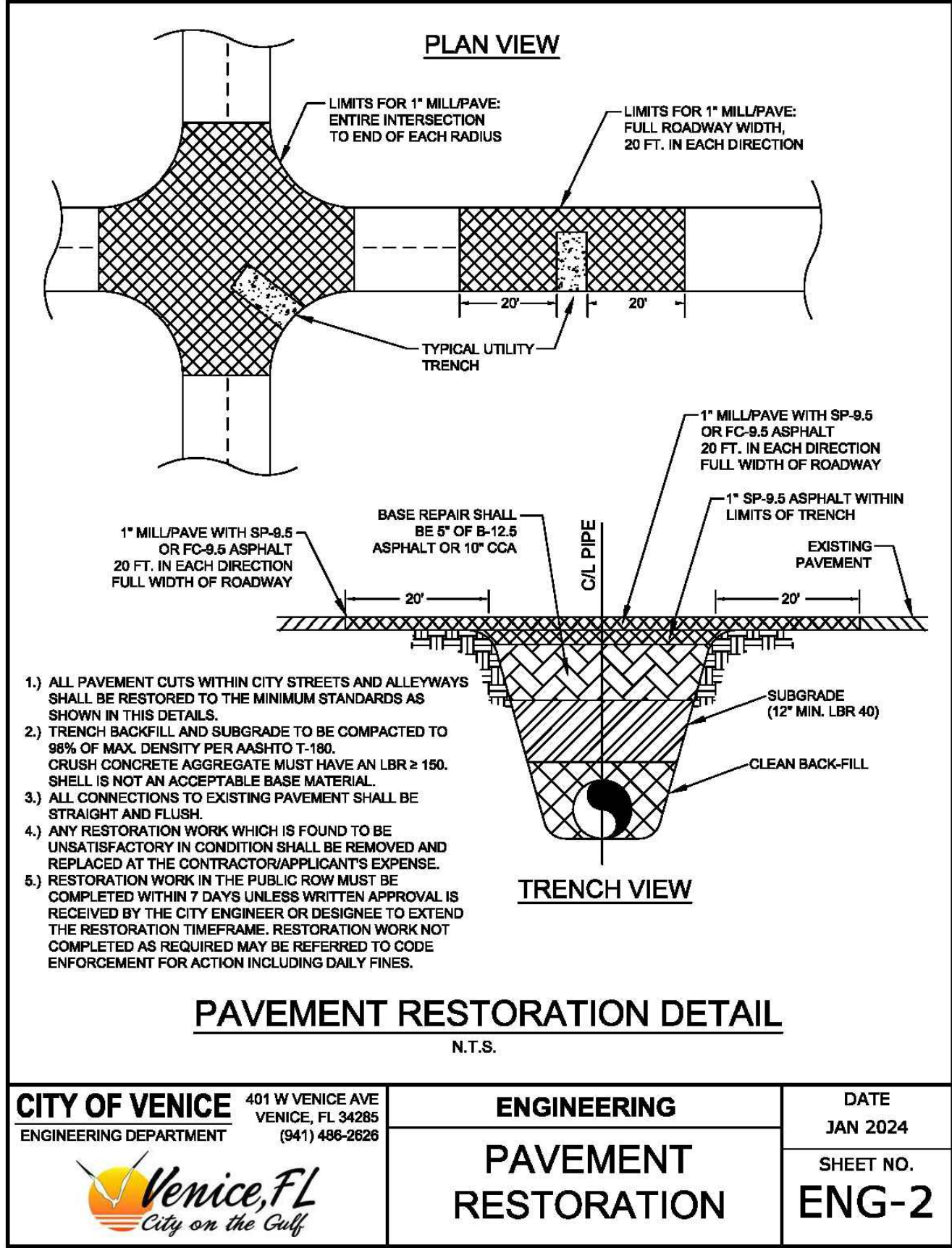
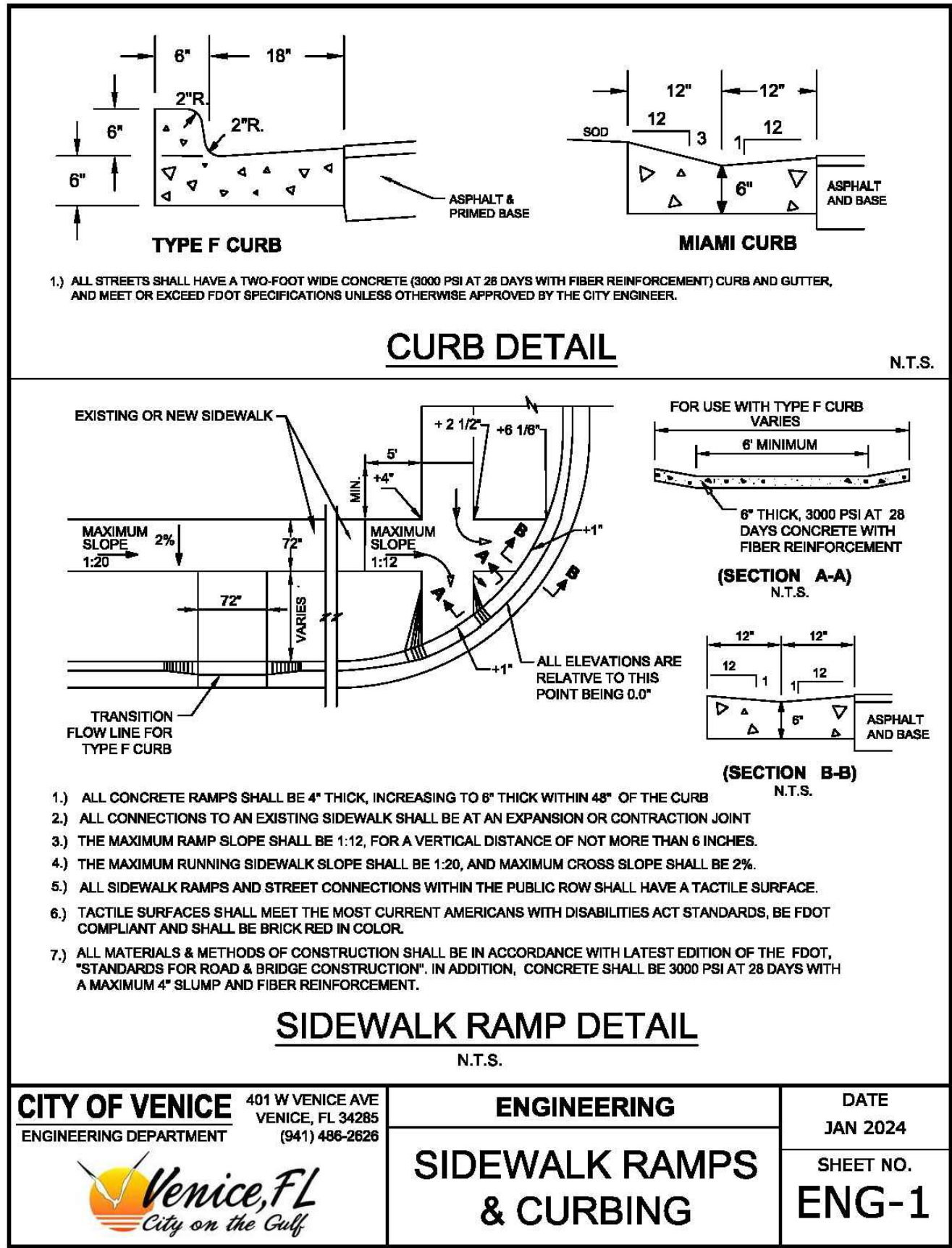
- ## LEGEND
- | | | | |
|----------|------------------------------|------|-----------------------------|
| --- | PROPERTY / RIGHT-OF-WAY LINE | ⊙ | STORM MANHOLE |
| — | PROPOSED CURB | 0.8% | PROPOSED SLOPE |
| --- | PROPOSED STORM PIPE | 10' | PROPOSED CONTOURS |
| —HP— | HIGH POINT | | PROPOSED BUILDING FOOTPRINT |
| —FL— | FLOW LINE | | CONCRETE SIDEWALK |
| XX.XX | PROPOSED GRADE ELEVATION | | STANDARD STONE |
| M.E. | MATCH EXISTING | | HEAVY DUTY STONE |
| TP=XX.XX | TOP OF PAVEMENT | | DISPLAY AREA |
| TC=XX.XX | TOP OF CURB | | |
| B.O.W. | BOTTOM OF WALL | | |
| XX.XX | PROPOSED GRADE ELEVATION | | |
| ■ | STORM CATCH BASIN | | |
| —X—X— | PROPOSED FENCES | | |



CONTROL STRUCTURE NOTES:	
CS-1	CONTRACTOR TO USE THE EXISTING PIPE TO CONNECT TO THE PROPOSED CONTROL STRUCTURE
CS-2	CONTRACTOR TO RELOCATE AND MODIFY THE EXISTING CONTROL STRUCTURE AS FOLLOWS: WEIR @ EL = 11.00 PIPE INV = 6.11
EXISTING MH-1 CONTROL STRUCTURE	3"WX1.15'H WEIR @ EL 11.27 PIPE INV = 9.41



CAD file name: V:\01527 - MRT Lawn and Garden Center Inc\01527-01-01 (ENG) - Comm Development US-41 Bypass N Venice\Engineering\Plans\01527-01-01-05-D1-0-DET.dwg, JUAN MAGDAONG 2/10/2025



PVC FENCE DUMPSTER DETAIL



Bowman

Certificate of Authorization License No. 30462

DETAILS

MRT LAWN AND GARDEN CENTER

385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285

CITY OF VENICE

ZACHARY D. KOMINOS
LICENSE
No. 88711
STATE OF FLORIDA
PROFESSIONAL ENGINEER

ZACHARY D. KOMINOS
LICENSE NO. 88711

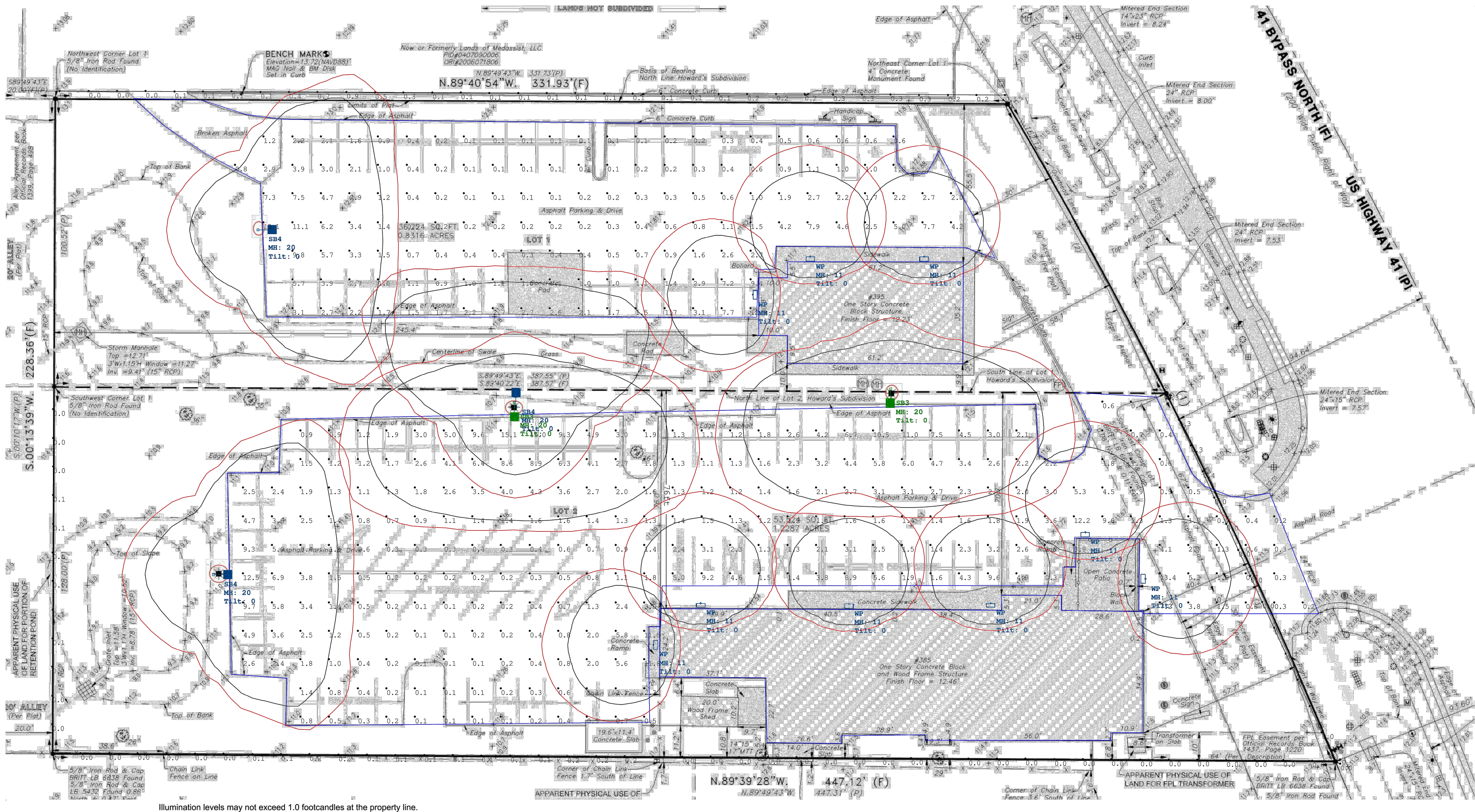
PLAN STATUS

DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025
01527-01-01-05-D1-0-DET	
SHEET	D1.0



SYNERGY LIGHTING
"The Nation's #1 Source For Lighting and Service"
LEADING THE WAY IN LED

LED LIGHTING PLAN



Illumination levels may not exceed 1.0 footcandles at the property line.

Synergy Lighting, Inc. www.SynergyLightingUSA.com

877-220-5483 sales@synergylightingusa.com

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Project Name: Project_1

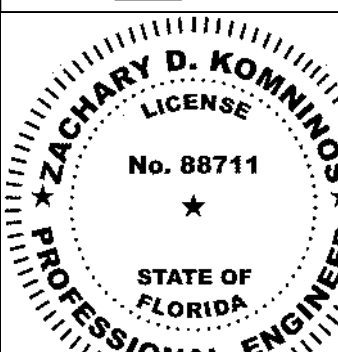
MRT ACE SITE CALC REVISED 121324.AGI

AGi32 Version 16.8.4

12/13/2024

Page 3 of 6

PHOTOMETRIC PLAN
MRT LAWN AND GARDEN CENTER
385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

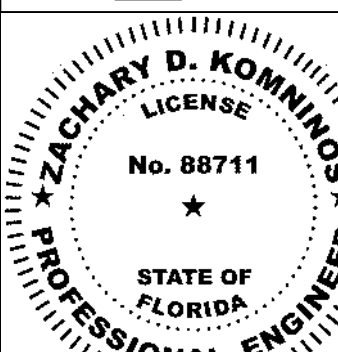
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

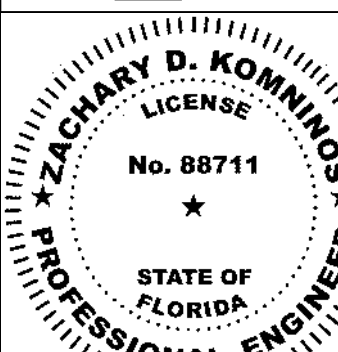
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

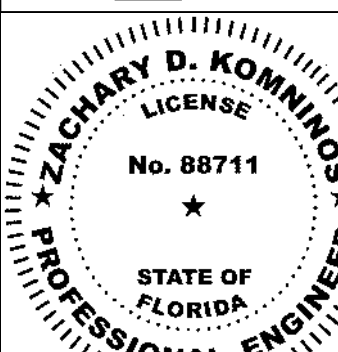
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

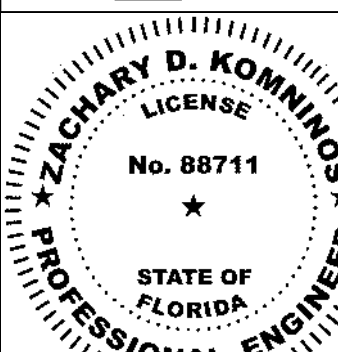
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

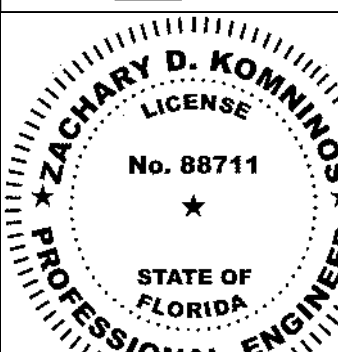
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

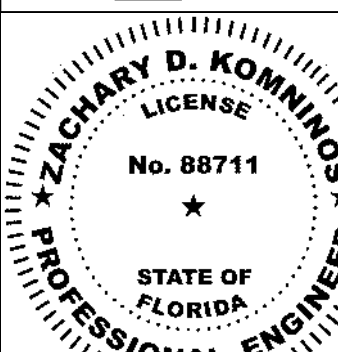
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

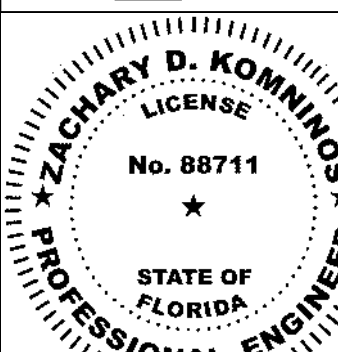
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

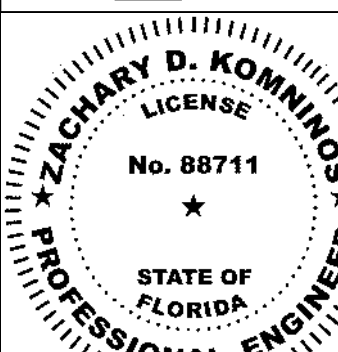
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

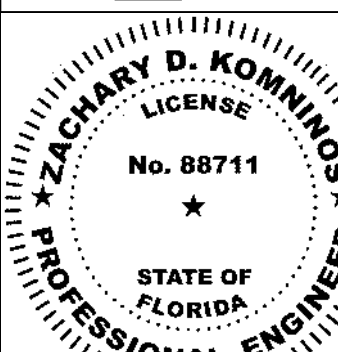
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

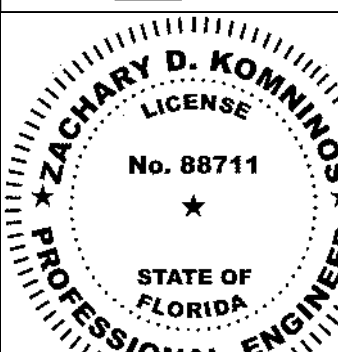
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

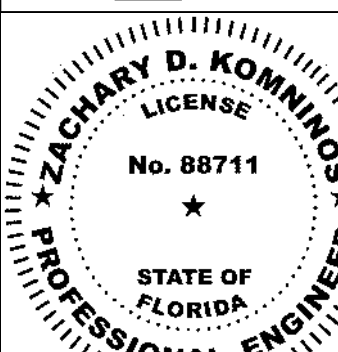
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

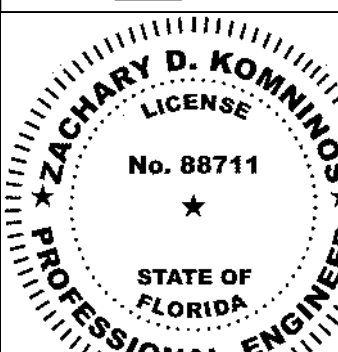
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

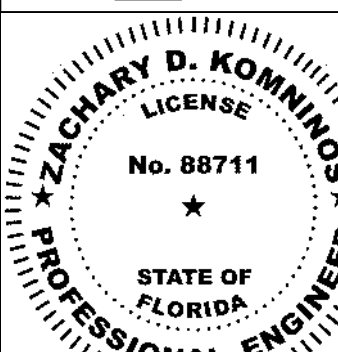
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

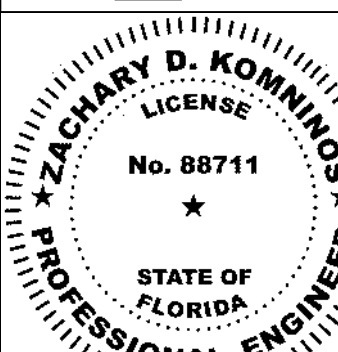
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

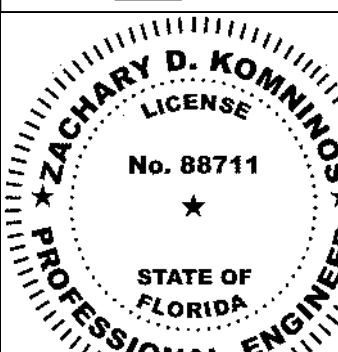
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

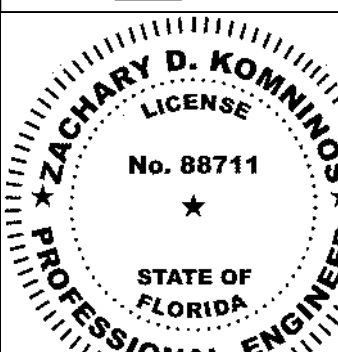
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

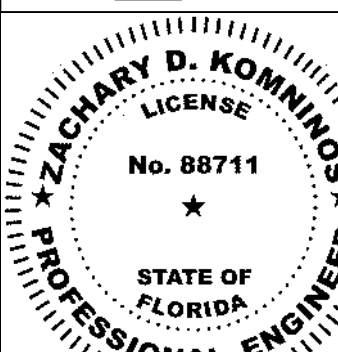
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

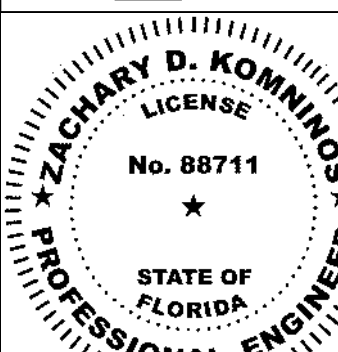
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

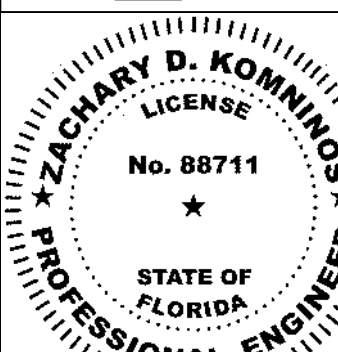
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SARASOTA COUNTY
CITY OF VENICE



ZACHARY D. KOMINIOS
LICENSE NO. 88711

PLAN STATUS

DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025

011527-01-01-CP-001-06-PH1.0-PHOTO

SHEET **PH1.0**

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

CAD file name: V:\011527 - MRT Lawn and Garden Center Inc\011527-01-001 (ENG) - Comm Development US-41 Bypass N Venice Engineering\Engineering Plans\011527-01-0-CP-001-06-PH1.0-PHOTO.dwg, JUAN MAGAONG 2/10/2025



ALCK SERIES

LED HIGH OUTPUT AREA LIGHT



Job Name
MRT ACE PARKING LOT

Catalog Number
ALCK-145W-T3-UNV-50K-BRZ-AA

Specified By
RICHARD RACEY

Notes
TYPE S83

The ALCK Series LED Area Lights bring together modern form and a simple (over engineered) design to compliment any architecturally designed property to provide area lighting uniformly throughout a parking lot or auto dealership. With its light weight construction and mounting versatility, the ALCK Area Light mounts to any type of light pole.

FEATURES

- Modern form factor with cast aluminum housing
- Stainless steel hardware
- Advanced thermal management integral heat sinks
- Lumileds High Performance Diodes
- Integral Inventronics Drivers
- Premium - Corrosion resistant polymer powder coat
- Quick and easy installation
- 100,000 Hour Life with 5 Year Factory Warranty
- Available in: Bronze or Black Finish
- CCT: 4000K or 5000K
- UL Listed For Wet Locations

APPLICATIONS

- Parking Lot Lighting
- Automotive Dealerships
- High Mast Lighting
- Shopping Centers
- Hospitality and Office

ELECTRICAL





- Available in 120/277 or 480 Voltages
- 10KA Surge Protection - Shuts off at end of life
- Optional 0-10V Dimming

ORDERING INFORMATION

ALCK							
SERIES	WATTAGE	DISTRIBUTION	VOLTAGE	COLOR TEMP	FINISH COLOR	OPTIONS	
ALCK	75W G3 - 9,000L 105W G3 - 13,000L 150W G3 - 19,000L 200W G3 - 24,000L 300W G3 - 33,600L 300W G3 - 54,400L 420W G3 - 67,200L	T3M - Type III T4M - Type IV T5M - Type V	UNV - 120/277 Volt HV - 347-480 Volt	3K - 3000K 80 CRI 4K - 4000K 80 CRI 5K - 5000K 90 CRI	BZ - Bronze BK - Black WH - White	DA - Direct Arm Mount AA - Adjustable Arm RA - Round Pole Adapt WM - Wall Mount Adapt	

Note: This product is Imported

CERTIFICATIONS



Synergy Lighting 6015 28th Street East Bradenton, FL 34203 P: 941-756-4844 F: 941-756-4866 www.SynergyLightingUSA.com

REV4-Nov 2016



LED LUMINAIRES

ProLED® WPS Wallpack Series



The ProLED WPS Wallpack Series provides the best value in the Commercial & Industrial Wallpack market to date. The WPS Series products are made of high quality, die-cast aluminum housings and a shatter resistant Borosilicate Glass Lens which offers a traditional, yet robust design. The traditional mounting design with ½" knock outs on sides makes installation a breeze.



Multiple Wattages

4K & 5K Color Temperature

Die Cast Aluminum Housing

Shatter Resistant Borosilicate Glass Diffuser

UL Listed for Wet Locations

Applications:

Building Facade
Industrial Sites
Commercial Sites
Safety & Security
Self Storage Sites

Contact Your Customer Care Specialist
For Pricing, Orders And Technical Support.
800.677.3334 www.halcolighting.com



ALCK SERIES

LED HIGH OUTPUT AREA LIGHT



Job Name
MRT ACE PARKING LOT

Catalog Number
ALCK-145W-T4-UNV-50K-BRZ-AA

Specified By
RICHARD RACEY

Notes
TYPE S84

The ALCK Series LED Area Lights bring together modern form and a simple (over engineered) design to compliment any architecturally designed property to provide area lighting uniformly throughout a parking lot or auto dealership. With its light weight construction and mounting versatility, the ALCK Area Light mounts to any type of light pole.

FEATURES

- Modern form factor with cast aluminum housing
- Stainless steel hardware
- Advanced thermal management integral heat sinks
- Lumileds High Performance Diodes
- Integral Inventronics Drivers
- Premium - Corrosion resistant polymer powder coat
- Quick and easy installation
- 100,000 Hour Life with 5 Year Factory Warranty
- Available in: Bronze or Black Finish
- CCT: 4000K or 5000K
- UL Listed For Wet Locations

APPLICATIONS

- Parking Lot Lighting
- Automotive Dealerships
- High Mast Lighting
- Shopping Centers
- Hospitality and Office

ELECTRICAL





- Available in 120/277 or 480 Voltages
- 10KA Surge Protection - Shuts off at end of life
- Optional 0-10V Dimming

ORDERING INFORMATION

ALCK							
SERIES	WATTAGE	DISTRIBUTION	VOLTAGE	COLOR TEMP	FINISH COLOR	OPTIONS	
ALCK	75W G3 - 9,000L 105W G3 - 13,000L 150W G3 - 19,000L 200W G3 - 24,000L 300W G3 - 33,600L 300W G3 - 54,400L 420W G3 - 67,200L	T3M - Type III T4M - Type IV T5M - Type V	UNV - 120/277 Volt HV - 347-480 Volt	3K - 3000K 80 CRI 4K - 4000K 80 CRI 5K - 5000K 90 CRI	BZ - Bronze BK - Black WH - White	DA - Direct Arm Mount AA - Adjustable Arm RA - Round Pole Adapt WM - Wall Mount Adapt	

Note: This product is Imported

CERTIFICATIONS



Synergy Lighting 6015 28th Street East Bradenton, FL 34203 P: 941-756-4844 F: 941-756-4866 www.SynergyLightingUSA.com

REV4-Nov 2016

ProLED® WPS Wallpack Series

Performance

- Efficacy 125 - 133 LPW
- 4,000 & 5,000K Color Temperatures
- Universal 120-277VAC
- L70 Lumen Maintenance > 50,000 hours at 40C
- CRI > 80
- Type IV Distribution

Construction

- Die-Cast Aluminum Housing
- Hinged Door Frame and Captive Screws
- Shatter Resistant Borosilicate Glass Diffuser
- Textured Architectural Bronze Powder-coat Finish
- Silicone Gasketing
- ½" Knock outs on Top & Sides

Ordering Information

SKU #	Product Code	Product Description	Wattage	CCT
10390	WPS-28-4K-U	ProLED STANDARD WALLPACK 28W 4000K UNV 120-277	28	4000K
10391	WPS-28-5K-U	ProLED STANDARD WALLPACK 28W 5000K UNV 120-277	28	5000K
10392	WPS-40-4K-U	ProLED STANDARD WALLPACK 40W 4000K UNV 120-277	40	4000K
10393	WPS-40-5K-U	ProLED STANDARD WALLPACK 40W 5000K UNV 120-277	40	5000K
10394	WPS-80-4K-U	ProLED STANDARD WALLPACK 80W 4000K UNV 120-277	80	4000K
10395	WPS-80-5K-U	ProLED STANDARD WALLPACK 80W 5000K UNV 120-277	80	5000K
10396	WPS-120-4K-U	ProLED STANDARD WALLPACK 120W 4000K UNV 120-277	120	4000K
10397	WPS-120-5K-U	ProLED STANDARD WALLPACK 120W 5000K UNV 120-277	120	5000K
Accessories				
10141	PC/120-277	BUTTON PHOTOCELL; 120-277VAC		

Performance Table						4000K			5000K		
Product Codes	Voltage	Nominal Wattage	CRI	Power Factor	Distribution	Actual Wattage	Lumens	Efficacy	Actual Wattage	Lumens	Efficacy
WPS-28	120-277 VAC	28W	80	>.9	Type IV	26.5	3514	132	26.4	3609	134
WPS-40		40W				37.9	4885	129	38	4948	130
WPS-80		80W				75.5	9797	130	75	9865	131
WPS-120		120W				113.7	14228	125	114	14465	127

Product #: WPS-40-5K-U Type: WP
Project: MRT ACE Date: _____
Comments: Initials: RR

Controls

120-277V Protocol: The button photocell is designed to control lighting in accordance with ambient light level. It is equipped with quick-response time delay of approximately 3 seconds. The 120-277V operation suits most customer use applications. The product is UL773A listed, as well as CE and RoHS certified.

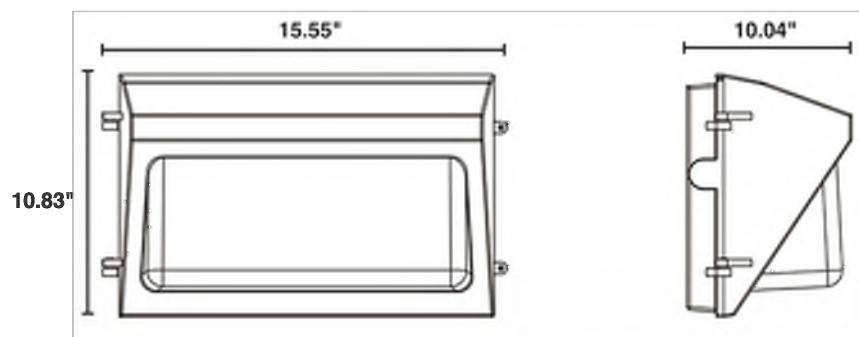
ProLED® WPS Wallpack Series

Specification Table

WPS	4000K				5000K			
Wattage	28	40	80	120	28	40	80	120
Power Factor	<0.9							
L70 Lifetime	>50,000							
Input Voltage	120-277VAC							
Surge Protection	4kV							
Mounting	Traditional - 1/2" Knockouts on top and sides							
CCT	4000K and 5000K							
Warranty	5 Years							
Finish	Bronze							
Ingress Rating	IP65, UL Wet Location							
DLC	Standard							
Lens	Borosilicate Glass							
Housing	Injection Die-Cast Aluminum							
Weight (lbs)	9.59lbs				10.58lbs			
Dimensions	15.55"x10.83"x10.04"				15.55"x10.83"x10.04"			

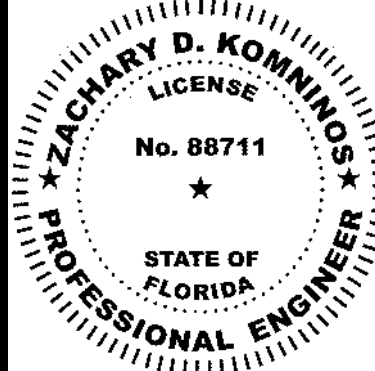
*Useful Life is defined as the point in time at which the lamp will maintain at least 70% of its initial lumens. The lamp will continue to operate past this point at decreased light levels. May not be compatible with all dimming systems. Dimming performance may vary by system.
Warranty - Commercial / Industrial: This product is warranted for 5 years from the date of purchase.

Dimensions



Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd
Suite 144
Melbourne, FL 32934
Phone: (321) 255-5434
Fax: (321) 255-7751
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

PHOTOMETRIC DETAILS
MRT LAWN AND GARDEN CENTER
385 & 395 U.S. HIGHWAY 41 BYPASS N
VENICE, FL 34285
CITY OF VENICE
SARASOTA COUNTY



ZACHARY D. KOMINOS
LICENSE NO. 88711

PLAN STATUS	
DATE	DESCRIPTION
ALW DESIGN	EC DRAWN
SCALE:	AS SHOWN
JOB No.	011527-01-001
DATE:	02/10/2025
SHEET PH1.1	