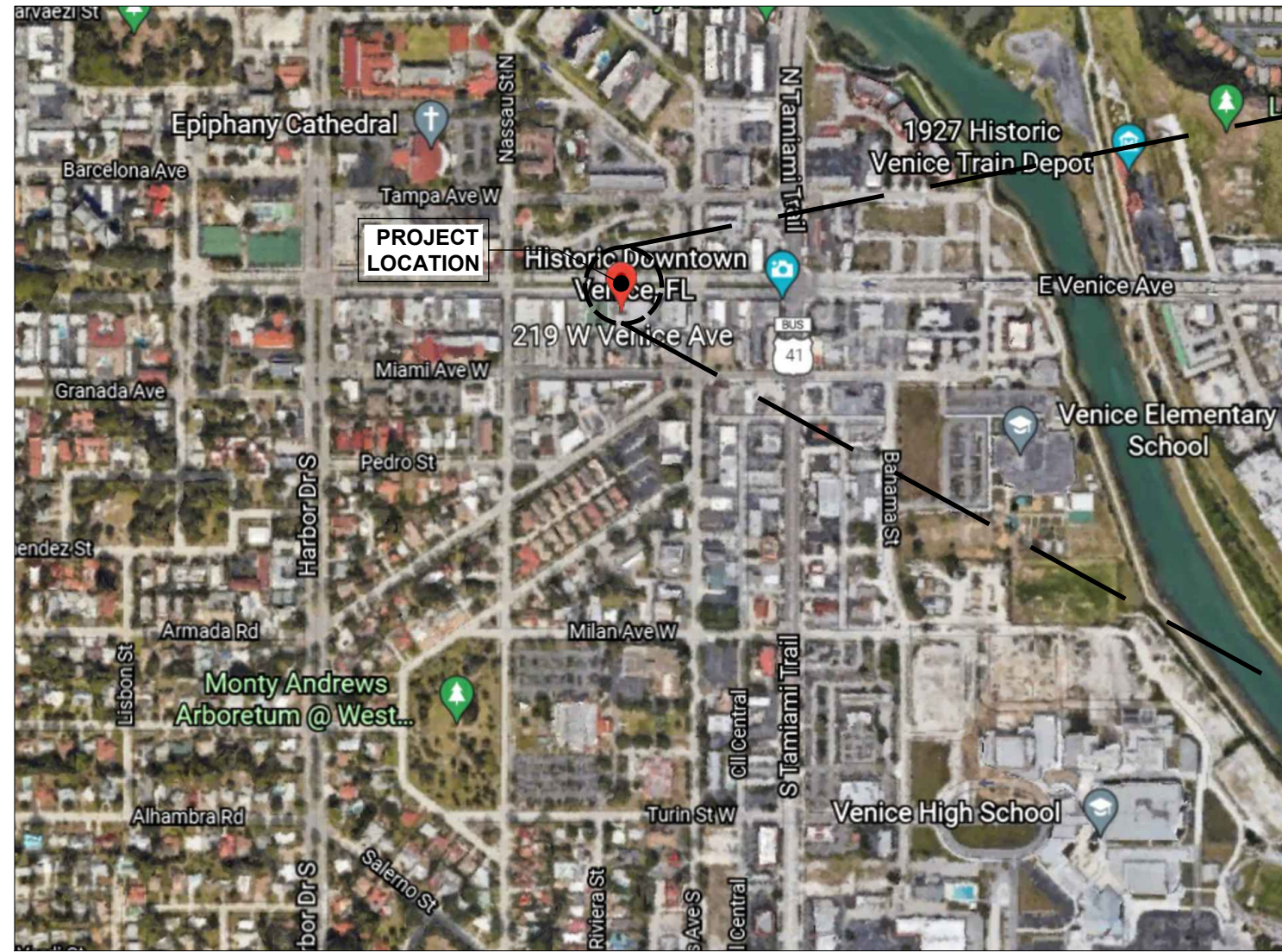


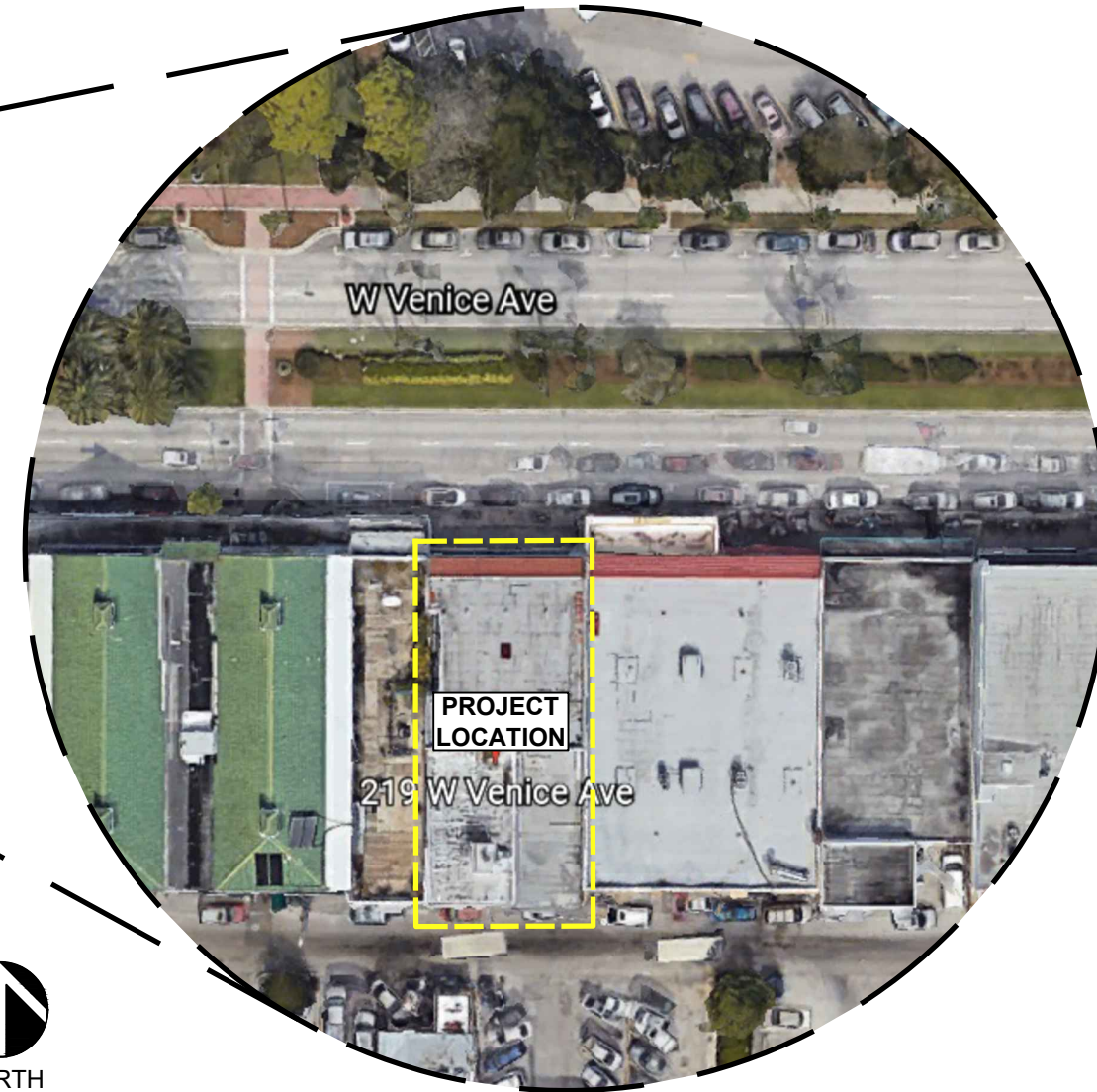
PROPOSED RENOVATION ARCHITECTURAL REVIEW BOARD PLANS 219 West Venice Avenue



RENDERING



VICINITY MAP (N.T.S.)



LOCATION MAP (N.T.S.)

SCOPE OF WORK

THESE DOCUMENTS ARE FOR A PROPOSED RENOVATION OF THE EXISTING BUILDING FOR MULTI-FUNCTION USE AS FOLLOWS:

GROUND LEVEL - WHICH IS EXISTING AND IS PROPOSED FOR A COMPLETE LEVEL III ALTERATION OF THE EXISTING 5,750 SQ. FT. SITE AND THE MODIFICATION OF THE EXTENSION OF THE BUILDING SPACE INTO THREE (3) POTENTIAL RETAIL/COMMERCIAL TENANT SPACES. THE EXISTING STAIRWAYS WILL BE REMOVED AND RELOCATED. THE STRUCTURE CARRYING THE FLOOR ABOVE WILL BE MODIFIED TO CARRY THE JOISTS FOR THE FLOOR ABOVE.

SECOND LEVEL - PRESENTLY CONSISTS OF FOUR (4) LIVING UNITS WHICH ARE ALSO IN NEED OF A LEVEL III RENOVATION AND WILL DIVIDE THE SPACE INTO FOUR (4) ONE-BEDROOM APARTMENTS WITH FOUR (4) OFFICES AND A CONFERENCE ROOM. THE NEW UNITS WILL INCLUDE EXPANSION ONTO THE REAR ROOF DECK AND NEW ACCESS STAIRS.

THIRD LEVEL/ROOFTOP - THE ROOFTOP AREA IS PROPOSED TO BE CONSTRUCTED AS AN INDOOR/OUTDOOR RESTAURANT/BAR, WHICH WILL BE ENTIRELY NEW CONSTRUCTION. THIS CONSTRUCTION WILL ALSO BE COMPLIANT WITH THE REVISED STRUCTURE BELOW.

BUILDING CODE SUMMARY - COMMERCIAL PROJECTS:

BUILDING DATA:

OCCUPANCY: ASSEMBLY BUSINESS EDUCATIONAL MERCANTILE HAZARDOUS
 FACTORY/INDUSTRIAL INSTITUTIONAL RESIDENTIAL (R-2) UTILITY/MISCELLANEOUS

MIXED OCCUPANCY: YES NO SEPARATION: 2-HOUR FLOOR/CEILING FIRE SEPARATION PER U.L. DETAIL 301
GROUND FLOOR & EGRESS STAIR WALLS = 2-HOUR FIRE SEPARATION PER U.L. DETAIL U905

CONSTRUCTION TYPE: I (A) I (B) II (A) II (B) III (A) III (B) IV (H.T.) V (A) V (B)

MIXED CONSTRUCTION: YES NO

BUILDING HEIGHT: 30'-0" ABOVE GRADE 3 - STORES
BASE FLOOD ELEVATION: FLOOD ZONES X

MEZZANINE: YES NO
HIGH RISE: YES NO
FIRE SPRINKLED: YES NO
FIRE ALARM: YES NO
ZONING DISTRICT: CBD / HV

(E) TOTAL SITE AREA: 5,750 S.F. (0.1320 ACRES)

BUILDING A/C AREA	
GROUND FLOOR A/C AREA:	4,573.00 S.F.
SECOND FLOOR A/C AREA:	5,131.44 S.F.
ROOF TOP (RESTAURANT):	3,285.00 S.F.
TOTAL A/C AREA:	12,989.44 S.F.

FAR / FLOOR AREA RATIO = 12,950 / 5,750 = 2.259

APARTMENT A/C AREA	
APARTMENT 1:	610.00 S.F.
APARTMENT 2:	706.00 S.F.
APARTMENT 3:	690.00 S.F.
APARTMENT 4:	662.00 S.F.

APPLICABLE CODES:

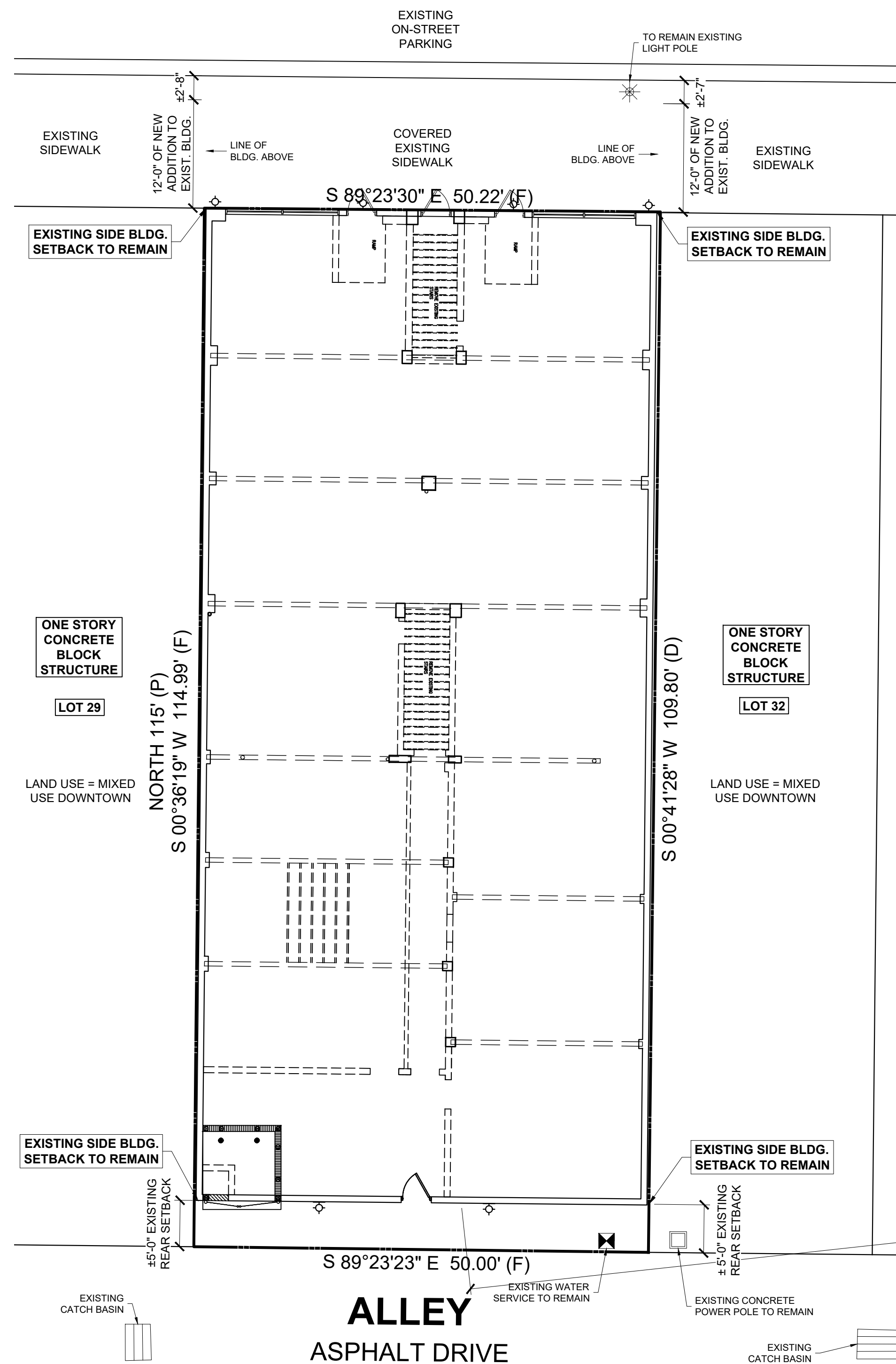
7th EDITION (2020) FLORIDA BUILDING CODE
7th EDITION (2020) FLORIDA BUILDING CODE (MECHANICAL)
7th EDITION (2020) FLORIDA BUILDING CODE (PLUMBING)
7th EDITION (2020) FLORIDA BUILDING CODE (ACCESSIBILITY)
7th EDITION (2020) FLORIDA BUILDING CODE (ENERGY)
7th EDITION (2020) FLORIDA FIRE PREVENTION CODE
NFPA 2017 NATIONAL ELECTRICAL CODE (NEC 2017)

LIFE SAFETY SYSTEM:

EMERGENCY LIGHTING & EXIT SIGNAGE: YES NO
FIRE ALARM: YES NO
SMOKE DETECTION SYSTEMS: YES NO
PANIC HARDWARE: YES NO

PARKING CALCULATOR
4 APARTMENTS = 4 SPACES
7,858 SQ. FT. / 500 = 15.7 SPACES
TOTAL SPACES = 20 SPACES

VENICE AVENUE 120' PUBLIC RIGHT-OF-WAY



1 SITE PLAN SCALE: 1" = 10'-0" NORTH

WINDS:

WINDS APPLIED PER ASCE7-10, BUILDINGS OF ALL HEIGHTS

ANALYTICAL METHOD: BASIC WIND SPEED: 160 MPH

BUILDING RISK CATEGORY: II

WIND EXPOSURE: D

APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .18 (ENCLOSED)

COMPONENTS AND CLADDING: SEE STRUCTURAL SHEET FOR ALL DESIGN PRESSURES

NOTE: FOLLOW MANUFACTURERS INSTRUCTIONS FOR NUMBER OF JAMB CLIPS, SPACING AND ANCHOR SIZES.

INDEX OF DRAWINGS

SHEET #	DESCRIPTION
1	CO COVER SHEET
2	RE FRONT & LEFT RENDERINGS
3	RE2 REAR & RIGHT RENDERINGS
4	RE3 3D MODEL
5	SUR SURVEY
6	A-1.0 FIRST FLOOR DEMOLITION PLAN
7	A-1.1 PROPOSED STRUCTURAL LAYOUT PLAN
8	A-1.2 DOOR & WINDOW DETAILS
9	A-2.0 PROPOSED FIRST FLOOR PLAN
10	A-2.1 PROPOSED SECOND FLOOR
11	A-2.2 PROPOSED ROOF DECK PLAN
12	A-4.0 FRONT ELEVATION
13	A-4.1 REAR ELEVATION
14	A-4.2 LEFT ELEVATION
15	A-4.3 RIGHT ELEVATION

ABBREVIATIONS:

A.F.C.	ABOVE FINISH CEILING	H.M.	HOLLOW METAL
A.F.F.	ABOVE FINISH FLOOR	IMAG.	IMAGE
A.C.T.	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
ALUM.	ALUMINUM	JT.	JOINT
BLK.	BLOCK	K.O.	KNOCK OUT
BOTT.	BOTTOM	L.K.	LOCK
BTM.	BOTTOM	MANUF.	MANUFACTURER
BLDG.	BUILDING	M.C.	MEDICAL CLOSET
CLS.	CEILING	M.C.J.	MASONRY CONTROL JOINT
C.	CARPET	M.O.	MASONRY OPENING
C.T.	CERAMIC TILE	MAX.	MAXIMUM
C.B.	CHALK BOARD	MECH.	MECHANICAL
COLUMN.	COLUMN	MTL.	METAL
CONC.	CONCRETE	M.L.	METAL LATH
C.J.	CONTROL JOINT	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	MIRR.	MIRROR
DN.	DOWN	N.	NORTH
D.S.	DOWN SPOUT	N.I.C.	NOT IN CONTRACT
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE
ELAST.	ELASTOMERIC	NO.	NUMBER
ELEV.	ELEVATION	O.C.	ON CENTER
EQ.	EQUAL	P.T.	PAINT
EXP.	EXPANSION	PLAST.	PLASTER
E.J.	EXPANSION JOINT	P.T.	PRESSURE TREATED
EXST'G.	EXISTING	Q.T.	QUARRY TILE
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	REINF.	REINFORCING
FIN.	FINISH	REQD.	REQUIRED
F.E.	FIRE EXTINGUISHER	R.F.D.	ROOF DRAIN
F.A.	FIRE ALARM	RFG.	ROOFING
PLAS.	PLASTER	RM.	ROOM
FLR.	FLOOR	R.T.	RUBBER TILE
FTS.	FOOTING	SPECS.	SPECIFICATIONS
FLR.	FLOOR	STL.	STEEL
FT.	FOOT OR FEET	T.B.	TACK BOARD
FDN.	FOUNDATION	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
GA.	GALVEY	VERT.	VERTICAL
G.W.B.	GYPSUM WALL BOARD	V.C.T.	VINYL COMPOSITION TILE
HDW.	HARDWARE	WGT.	WEIGHT
HGT.	HEIGHT	W.C.	WATER CLOSET
		WDW.	WINDOW
		W.	WITH
		WD.	WOOD

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAWS OF FLORIDA.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRESOLVED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DATE: 10 - 2020

JOB PROJECT #: 2020-051

SHEET #: CO

PROJECT: 219 W. Venice Ave., Venice, Florida

COVER SHEET

ARCHITECT: JOHN A. BODZIAK ARCHITECT AIA, PA

ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT

FLORIDA REGISTRATION NO. AR00050065

EMAIL: JACK@ABODZIAK.COM

743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710

TEL: (727) 327-1966 FAX: (727) 826-0968

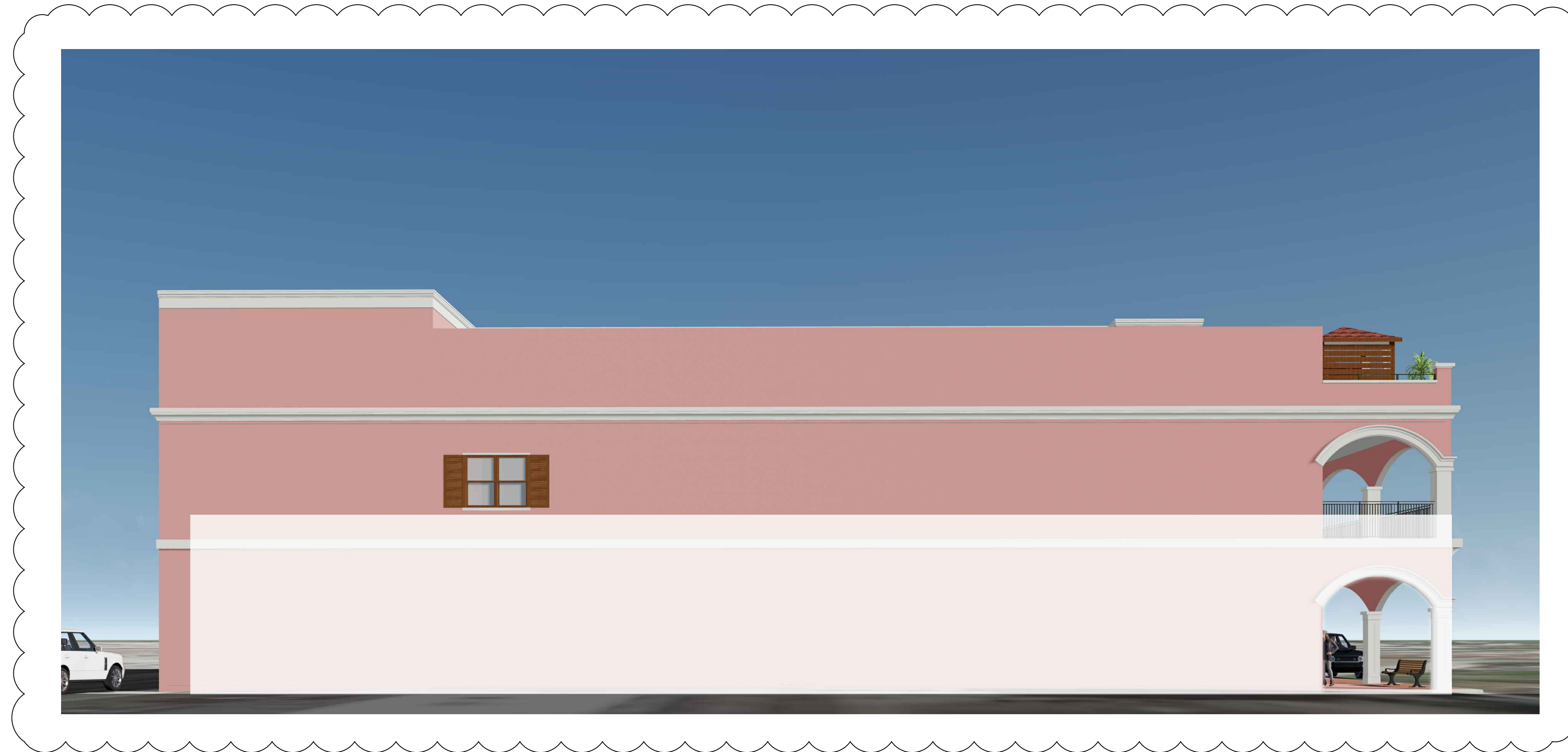
DRAWN BY: AT/JB

UPDATED ON: Jan. 4, 23



1 FRONT RENDERING
RE

SCALE: N.T.S.



2 LEFT RENDERING
RE

SCALE: N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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JOHN A. BODZIAK, INC. - ARCHITECT
 COMPANY AND CONTRACTS ARE OTHER PROPERTY
 AND ARE NOT TO BE REPRODUCED OR COPIED
 WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 ANY REUSE OR MODIFICATION OF THESE PLANS
 WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT
 IS STRICTLY PROHIBITED. CONTRACTOR SHALL
 VERIFY AND BE RESPONSIBLE FOR DIMENSIONS
 AND CONDITIONS OF ALL EXISTING CONDITIONS.
 MAKE NO REVISIONS IN WRITING OF ANY MANNER
 WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS.

NO.	DATE	REVISIONS	DESCRIPTION

PROJECT
219 W. Venice Ave.
 Venice, Florida
 RENDERING

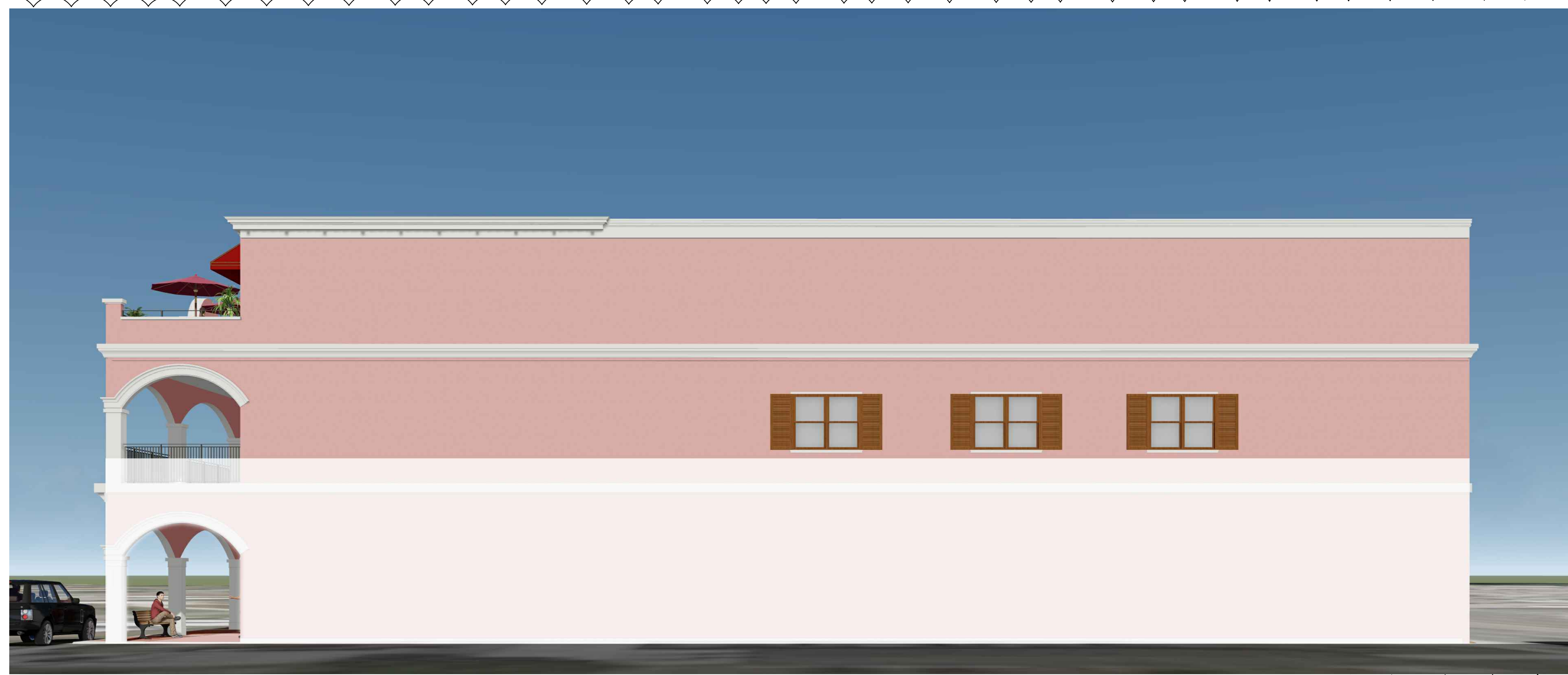
CLIENT

ARCHITECT
JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@BODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY AT/JB
 UPDATED ON Jan. 4, 23
 DATE 10 - 2020
 JOB PROJECT # 2020-051
 SHEET # RE



1 REAR RENDERING
SCALE: N.T.S.



2 RIGHT RENDERING
SCALE: N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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JOHN A. BODZIAK, INC. - ARCHITECT
 COMPANY AND CONTRACTS AND OTHER PROPERTY
 SHALL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC.
 ANY REUSE OR REPRODUCTION OF ANY PART OR
 PORTION OF THESE PLANS WITHOUT THE WRITTEN
 CONSENT AND APPROVED SIGNATURE OF THE
 ARCHITECT SHALL BE CONSIDERED A VIOLATION OF
 THE PROFESSIONAL ETHICS OF THE ARCHITECTURE
 BOARD OF FLORIDA. ANY SUCH REUSE OR
 REPRODUCTION SHALL BE REPORTED TO THE BOARD
 OF ARCHITECTS IN WRITING OF ANY VIOLATION
 OF THE PROFESSIONAL ETHICS OF THE ARCHITECTURE
 BOARD OF FLORIDA.

NO.	DATE	DESCRIPTION

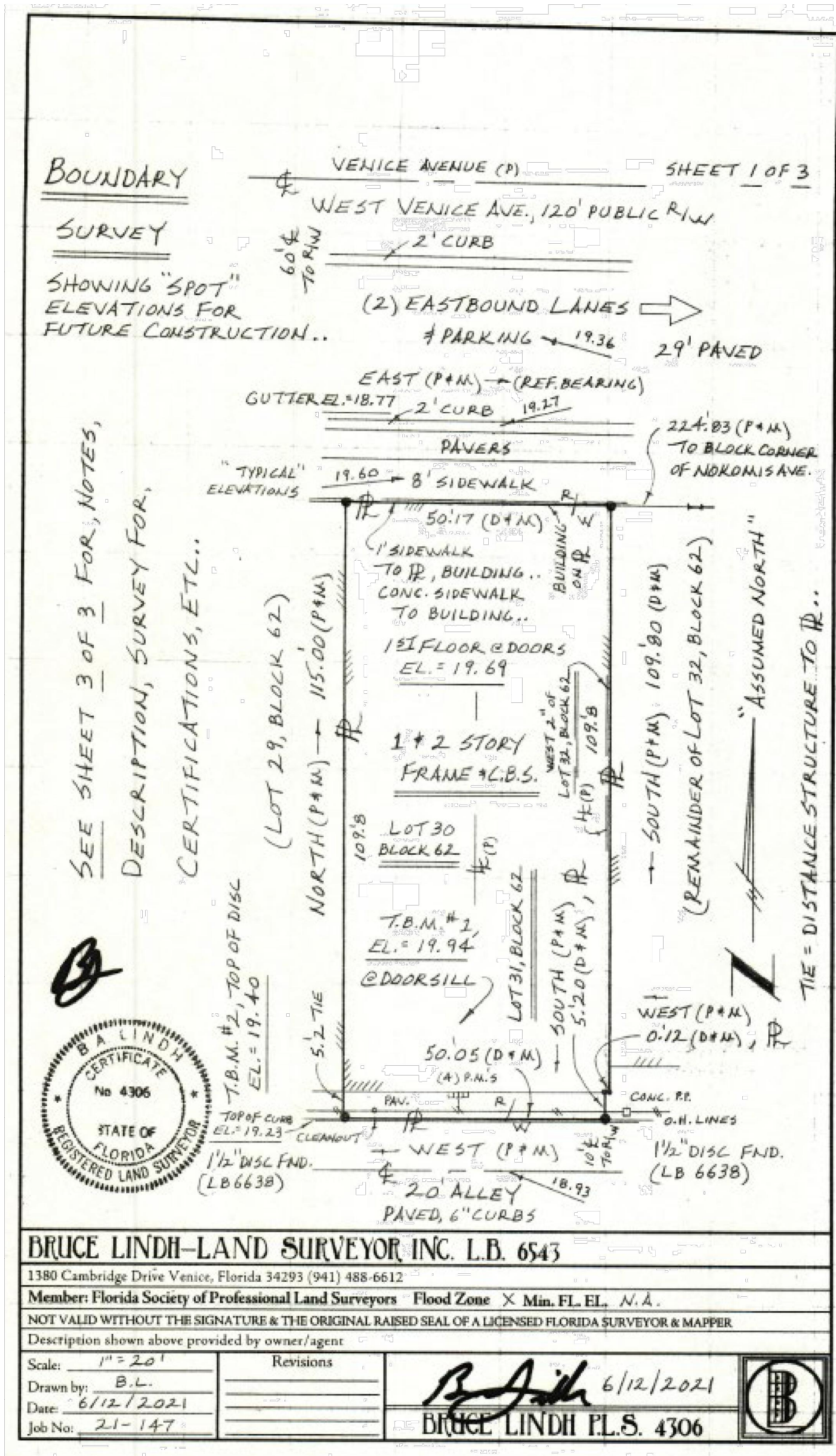
PROJECT
219 W. Venice Ave.
 Venice, Florida
 RENDERING

CLIENT

SEAL

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@BODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY AT/JB
 UPDATED ON Jan. 4, 23
 DATE 10 - 2020
 JOB PROJECT # 2020-051
 SHEET # RE2



BRUCE LINDH
 LAND SURVEYOR, INC. (941) 488-6612
 1380 CAMBRIDGE DRIVE
 VENICE, FLORIDA 34293

JOB NO: 21-147 CLIENT: HANNEMAN SHEET 2 OF 3

ABBREVIATION'S

(P)= PLAT;(M)= MEASURED;(D)= DEED;(C)= CALCULATED; R = PROPERTY LINE;
 C = CENTERLINE; P.B.= PLAT BOOK; P.= PAGE; BLK = BLOCK; P.O.B.= POINT OF BEGINNING; P.O.C.= POINT OF COMMENCEMENT; S.D.= SUBDIVISION; R/W= RIGHT-OF-WAY; P.R.M.= PERMANENT REFERENCE MONUMENT; EL.= ELEVATION; FL.= FLOOR; FND.= FOUND; B.M.= BENCH MARK; T.B.M.= TEMPORARY BENCH MARK; INV.= INVERT; I.R.= IRON ROD; S.F.= SQUARE FEET; P.P.= POWER POLE; P.C.P.= PERMANENT CONTROL POINT; C.M.= CONCRETE MONUMENT; CONC.= CONCRETE; DESC.= DESCRIPTION; COR.= CORNER; CO.= COUNTY; EASE.= EASEMENT; COV.= COVERED; O.H.= OVERHEAD; O.A.= OVERALL; ANT.= ANTENNA; P.M.= POWER METER; BUILD.= BUILDING; PAV.= PAVEMENT; (C.B.)= CATCH BASIN; ATTN.= ATTENTION; CERT.= CERTIFIED; N.T.S.= NOT TO SCALE; TOPO.= TOPOGRAPHICAL; C.B.S.= CONCRETE BLOCK STRUCTURE; M.H.W.L.= MEAN HIGH WATER LINE; N.G.V.D.= NATIONAL GEODETIC VERTICAL DATUM; S.T.= SEPTIC TANK; D.F.= DRAIN FIELD; D.N.R.= DEPARTMENT OF NATURAL RESOURCES; ALUM.= ALUMINUM; P.C.= POINT OF CURVE; P.T.= POINT OF TANGENCY; P.R.C.= POINT OF REVERSE CURVATURE; A= ARC; C= CHORD; T.= TANGENT; A= CENTRAL ANGLE; C.B.= CHORD BEARING; P.C.C.= POINT OF COMPOUND CURVATURE; P.L.S.= PROFESSIONAL LAND SURVEYOR; C.C.C.L.= COASTAL CONSTRUCTION CONTROL LINE; AVG.= AVERAGE; R.L.S.= REGISTERED LAND SURVEYOR; L.P.= LIGHT POLE; M.H.= MAN HOLE; L.= LOT LINE; I.P.= IRON PIPE; SCAT.= SCATTERED; D.H.= DRILL HOLE; W.M.= WATER METER; A/C= AIR CONDITIONER; F.H.= FIRE HYDRANT; F.Z.= FLOOD ZONE; REF.= REFERENCE; O.= ROUND; □= SQUARE; SECT.= SECTION; T.= TOWNSHIP; R.= RANGE; P.S.M.= PROFESSIONAL SURVEYOR AND MAPPER; I.D.#= IDENTIFICATION NUMBER; MIN.= MINIMUM; S.S.= STATE STATUTE; F.A.C.= FLORIDA ADMINISTRATIVE CODE; P.I.= POINT OF INTERSECTION; #= NUMBER; ADD'L.= ADDITIONAL; ADDN.= ADDITION; N.= NAIL; C.L.= CHAIN LINK; D.&U.= DRAINAGE AND UTILITY; F.E.M.A.= FEDERAL EMERGENCY MANAGEMENT AGENCY; P.K.= PARKER KALON; TYP.= TYPICAL; W/V= WATER VALVE; L.B.= CERTIFICATE OF AUTHORIZATION NUMBER; F.B.= FIELD BOOK; CONDO.= CONDOMINIUM; SHN.= SHOWN; PROP.= PROPERTY; O.R.B.= OFFICAL RECORD BOOK; W/C= WATER CONDITIONER; T.= TRAVERSE LINE; BLVD.= BOULEVARD; DR.= DRIVE; RD.= ROAD; H.W.= HEAD WALL; T.V.= TELEVISION; L.S.= LAND SURVEYOR

SHEET 3 OF 3

DESCRIPTION: LOTS 30, 31 + A STRIP ALONG THE WEST SIDE OF LOT 32 OF THE NORTH 109.80 FOOT STRIP BEING 2 INCHES (0.17) WIDE ON THE NORTH + 5/8 OF AN INCH (0.05) TO THE SOUTH, BLOCK 62, GULF VIEW SECTION OF VENICE, PER PLAT BOOK 2, PAGE 77 + 77A, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.. PROPERTY IN SECTION 7, TOWNSHIP 39 SOUTH, RANGE 19 EAST..

SURVEY FOR + CERTIFIED TO: HANNEMAN FAMILY TRUST.
CERTIFIED TO:

BRUCE LINDH - LAND SURVEYOR INC. L.B. 6543
 1380 Cambridge Drive Venice, Florida 34293 (941) 488-6612
 Member: Florida Society of Professional Land Surveyors Flood Zone X Min, FL, EL. N.A.
 NOT VALID WITHOUT THE SIGNATURE & THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR & MAPPER
 Description shown above provided by owner/agent
 Scale: N.A. Revisions: _____
 Drawn by: B.L. _____
 Date: 6/12/2021 _____
 Job No: 21-147 _____
 BRUCE LINDH P.L.S. 4306

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRECORDED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	REVISIONS	DESCRIPTION

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005005
 EMAIL: JACK@ABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT
219 W. Venice Ave.
 Venice, Florida
 SURVEY

DRAWN BY: AT/JB
 UPDATED ON: Aug. 4, 22
 DATE: 10 - 2020
 JOB PROJECT #: 2020-051
 SHEET #: SUR

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NO.	DATE	REVISIONS	DESCRIPTION

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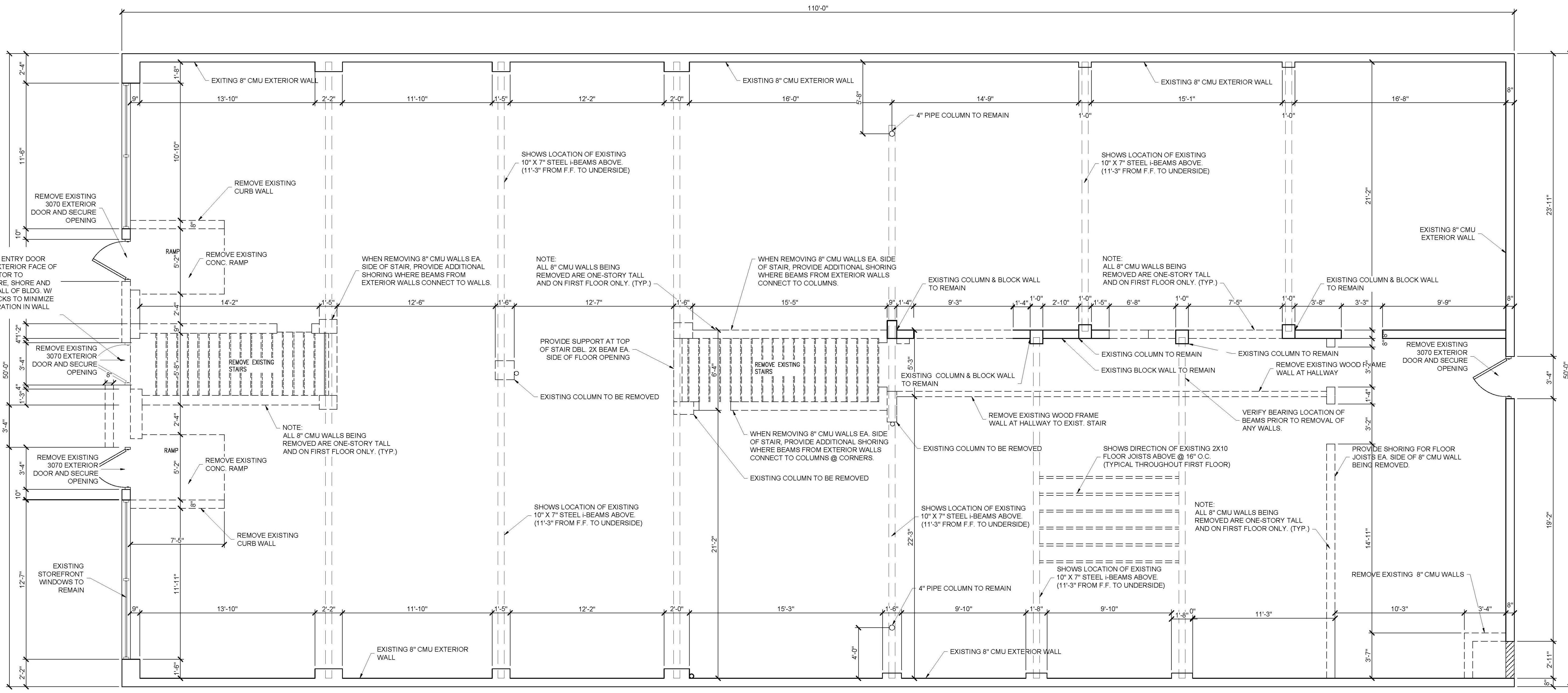
PROJECT
219 W. Venice Ave.
 Venice, Florida
 AS-BUILT / DEMO PLAN - GROUND FLOOR

SCALE: 1/4" = 1'-0"

JOHN A. BODZIAK
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 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: AT/JB
 UPDATED ON: Sep 23, 22
 DATE: 10 - 2020
 JOB PROJECT #: 2020-051
 SHEET #

A-1.0



NOTE:
 REMOVE CENTER ENTRY DOOR AND WALLS AT EXTERIOR FACE OF BLDG. CONTRACTOR TO PROPERLY SECURE, SHORE AND BRACE FRONT WALL OF BLDG. W/ STL BRACING JACKS TO MINIMIZE ANY JOINT SEPARATION IN WALL ABOVE.

NOTE:
 ALL 8" CMU WALLS BEING REMOVED ARE ONE-STORY TALL AND ON FIRST FLOOR ONLY. (TYP.)

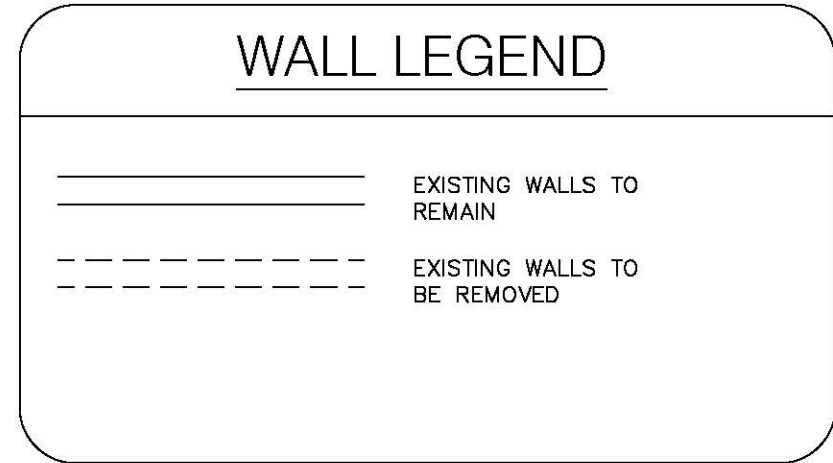
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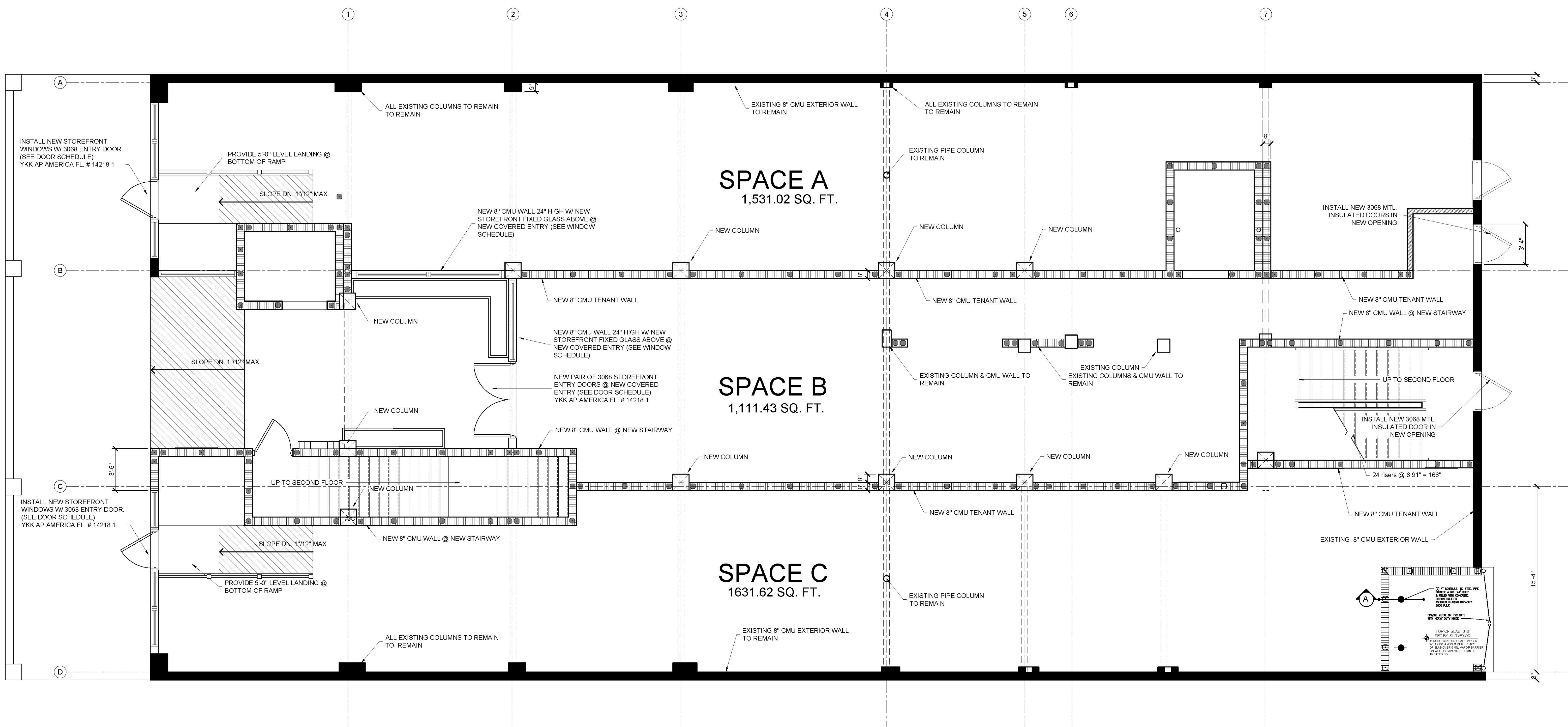
NOTE:
 ALL 8" CMU WALLS BEING REMOVED ARE ONE-STORY TALL AND ON FIRST FLOOR ONLY. (TYP.)

- DEMOLITION NOTES:**
- IN COMPANY WITH THE OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE.
 - SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
 - COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
 - ALL DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
 - IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
 - ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
 - THE DEMOLITION WORK IS NOT LIMITED TO DEMOLITION ITEMS LISTED OR SPECIFICALLY IDENTIFIED ON THE CONSTRUCTION DOCUMENTS, BUT SHALL INCLUDE THOSE ITEMS NECESSARY FOR A FINISHED AND COMPLETE PROJECT.
 - GENERAL CONTRACTOR TO INCLUDE ALL INTERIOR AND EXTERIOR PATCHING, REPAIRING AND PAINTING TO PROVIDE A PROFESSIONAL AND COMPLETELY FINISHED PROJECT ACCEPTABLE TO THE OWNER.
 - USE PROPERLY DESIGNED SHORING, BRACING, UNDERPINNING, ETC. AS NECESSITATED BY CONDITIONS OR AS REQUIRED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION OR ANY DEMOLITION.
 - NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY ARCHITECT. THIS INCLUDES (BUT IS NOT LIMITED TO) REVISIONS DUE TO MISLOCATION, MISFIT OR ANY OTHER CONSTRUCTION ERRORS OR DISCOVERIES DURING DEMOLITION.
 - BRACE ALL WALLS DURING CONSTRUCTION TO PREVENT DAMAGE FROM WIND, WATER, EARTH PRESSURE AND CONSTRUCTION LOADS UNTIL ALL SUPPORTING ELEMENTS ARE IN PLACE AND OF SUFFICIENT STRENGTH.
 - NO OPENING OR DEMOLITION SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN INDICATED ON APPROVED DRAWINGS) UNTIL LOCATION HAS BEEN APPROVED.
 - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARD BUILDING CODE.
 - ALSO, PROVIDE DIAGONAL BRACING AT ANY BRACING OR SHORING THAT IS LOCATED AT ANY STRUCTURAL ELEMENT OR ANY LOAD BEARING WALL BEING REMOVED FROM THE TOP OF SHORING OR BRACING DOWN TO THE FLOOR.

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS. ACTUAL CONDITIONS ARE TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR.
 - ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, TO INCLUDE ALL STATE LAWS, AND LOCAL ORDINANCES.
 - REPAIR, PATCH, AND REFINISH ALL EXISTING STRUCTURES AFFECTED BY THIS CONSTRUCTION.
 - ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS TO EXPOSE ALL AFFECTED EXISTING CONDITIONS AND RELOCATE, ADJUST, CHANGE OR ABANDON EXISTING CONDITIONS ACCORDING TO ALL APPLICABLE CODES AND LOCAL ORDINANCES.



1 AS-BUILT / DEMO PLAN - GROUND FLOOR
 A-1.0 SCALE: 1/4" = 1'-0"



1
A-1.1 PROPOSED STRUCTURAL LAYOUT PLAN
SCALE: 3/16" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND/OR OMISSIONS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGAGED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 630 AND 631, LAWS OF FLORIDA.

DATE: 10-2020

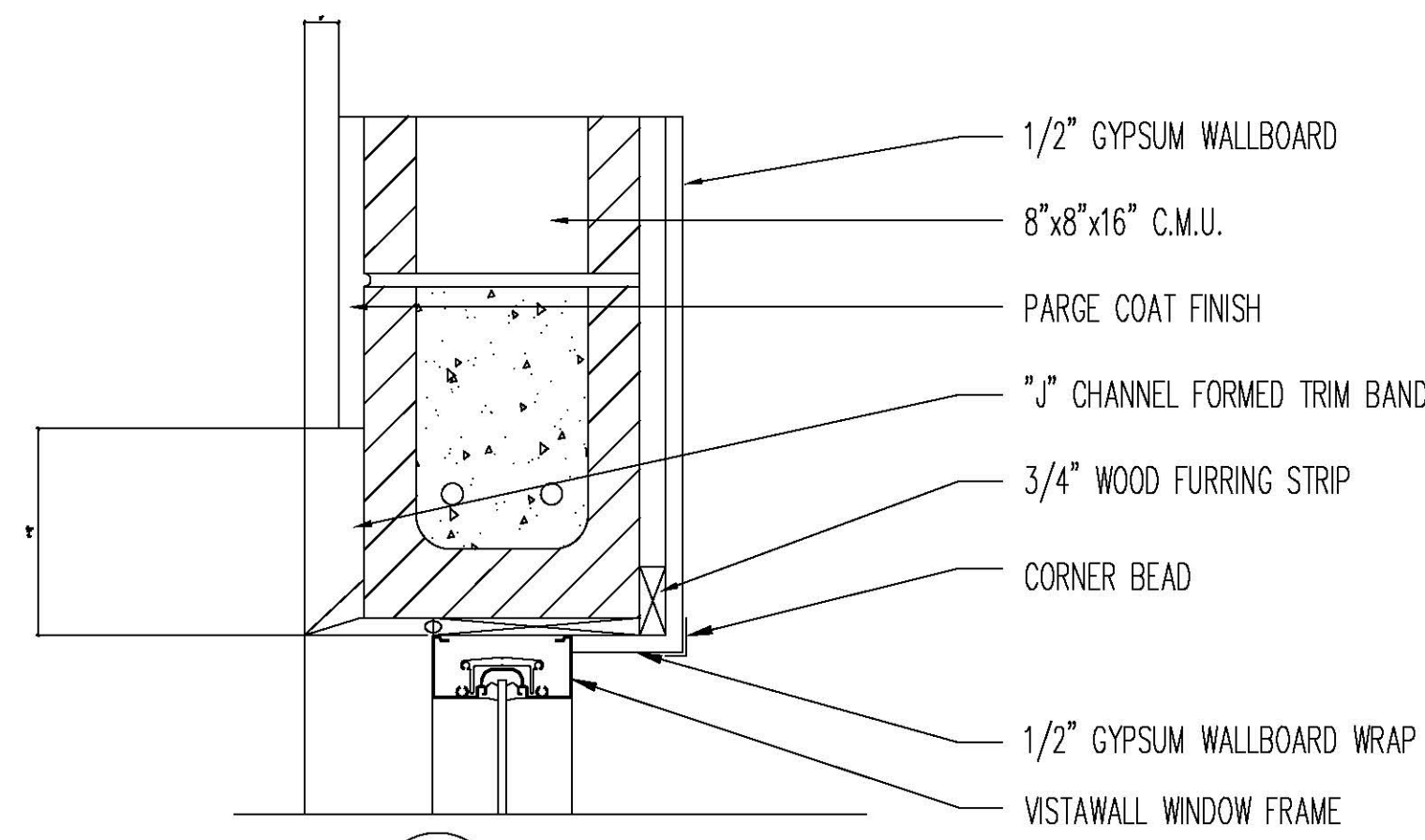
NO. 2020-051

DESCRIPTION: PROPOSED STRUCTURAL LAYOUT PLAN

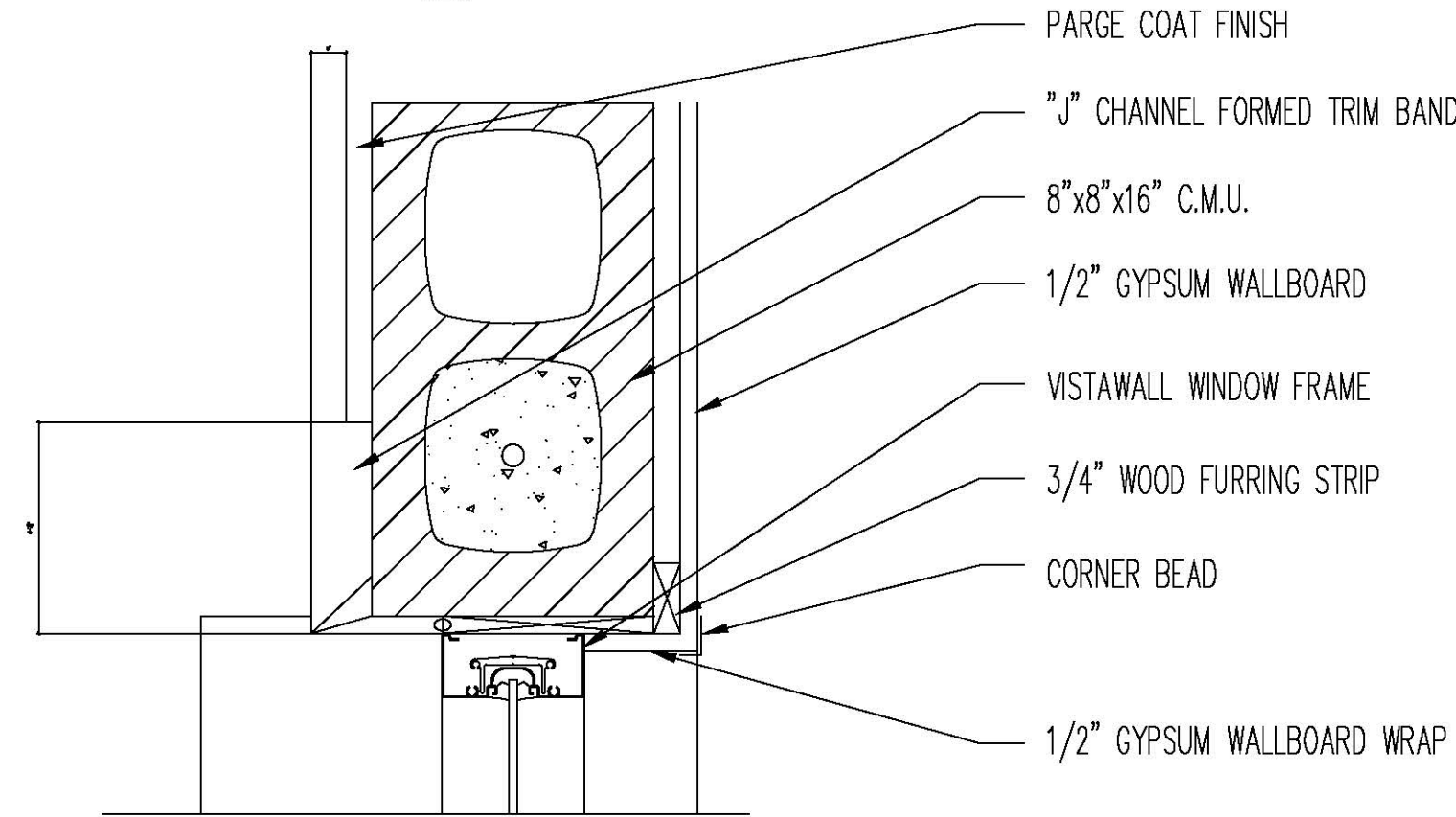
PROJECT: 219 W. Venice Ave., Venice, Florida

ARCHITECT: JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

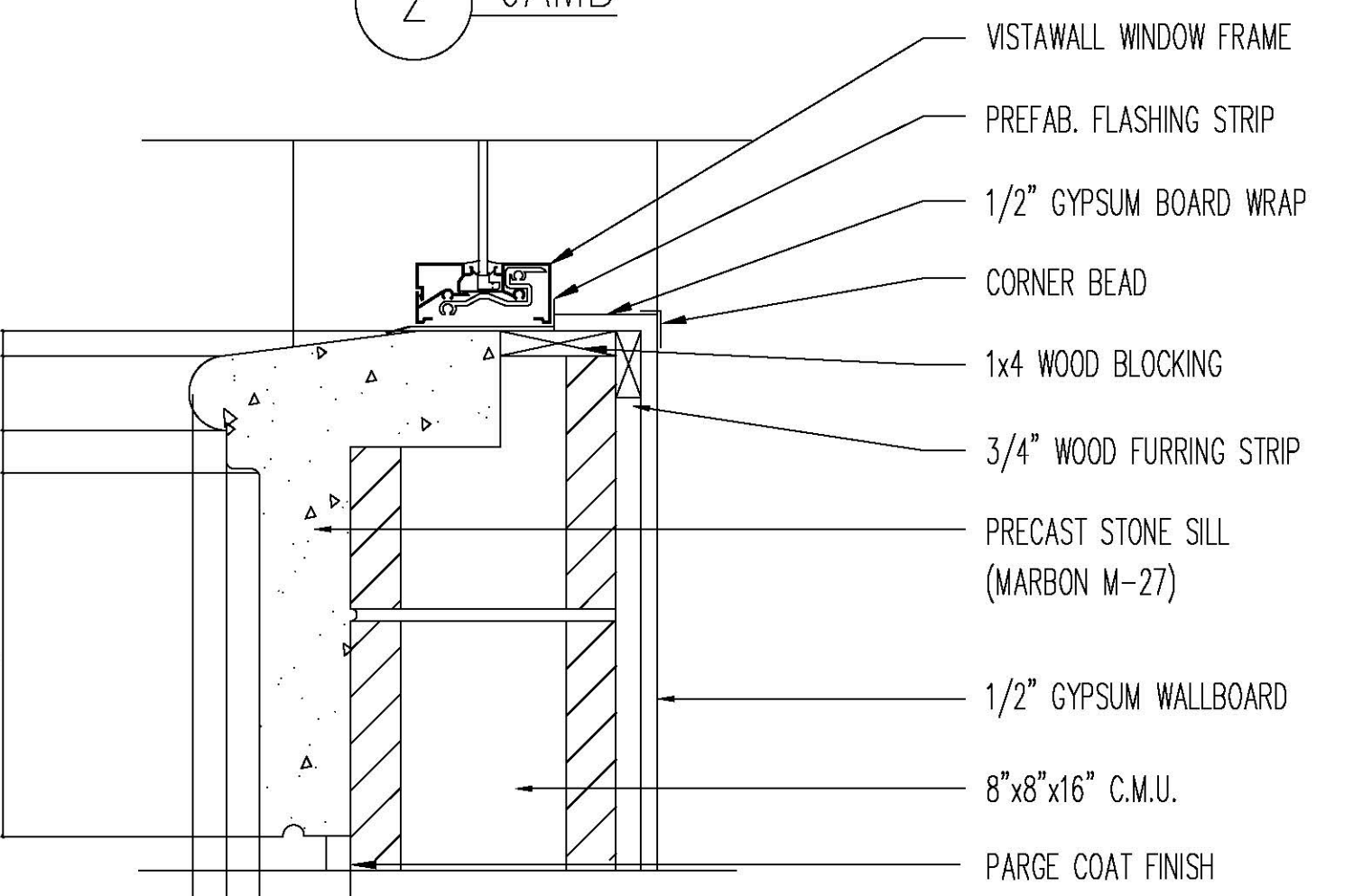
DRAWN BY: AT/JB
 UPDATED ON: Sep 23, 22
 DATE: 10-2020
 JOB PROJECT #: 2020-051
 SHEET #: A-1.1



1 HEAD

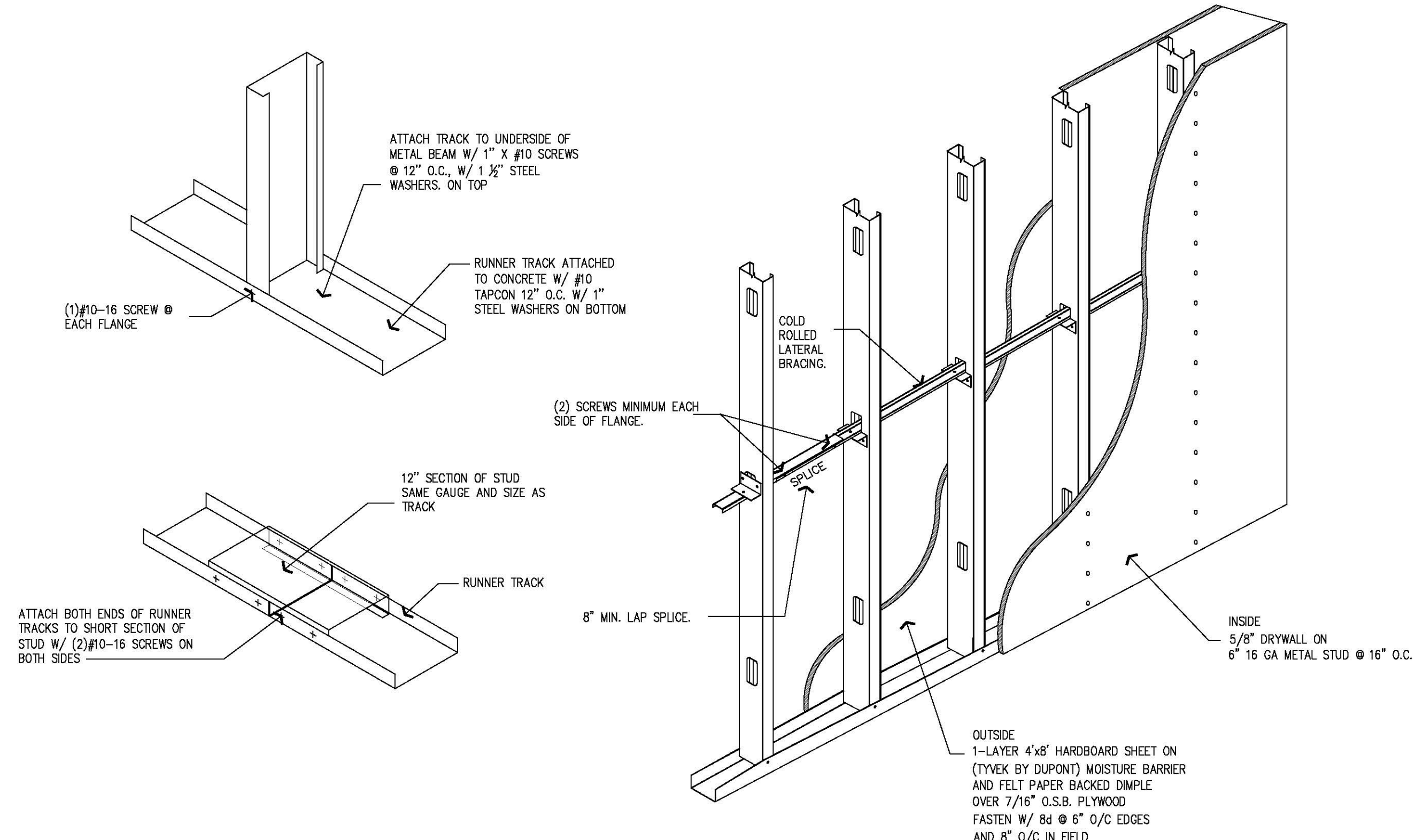


2 JAMB

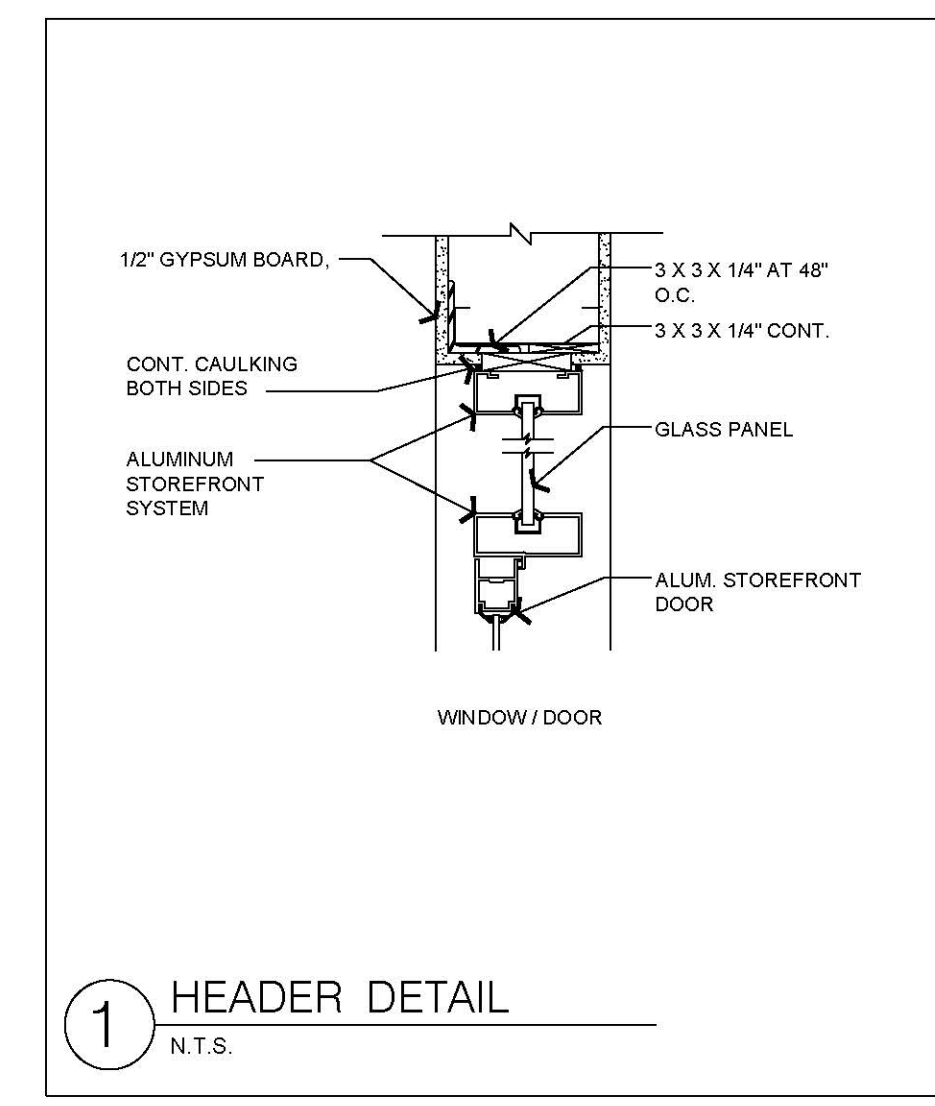


3 SILL

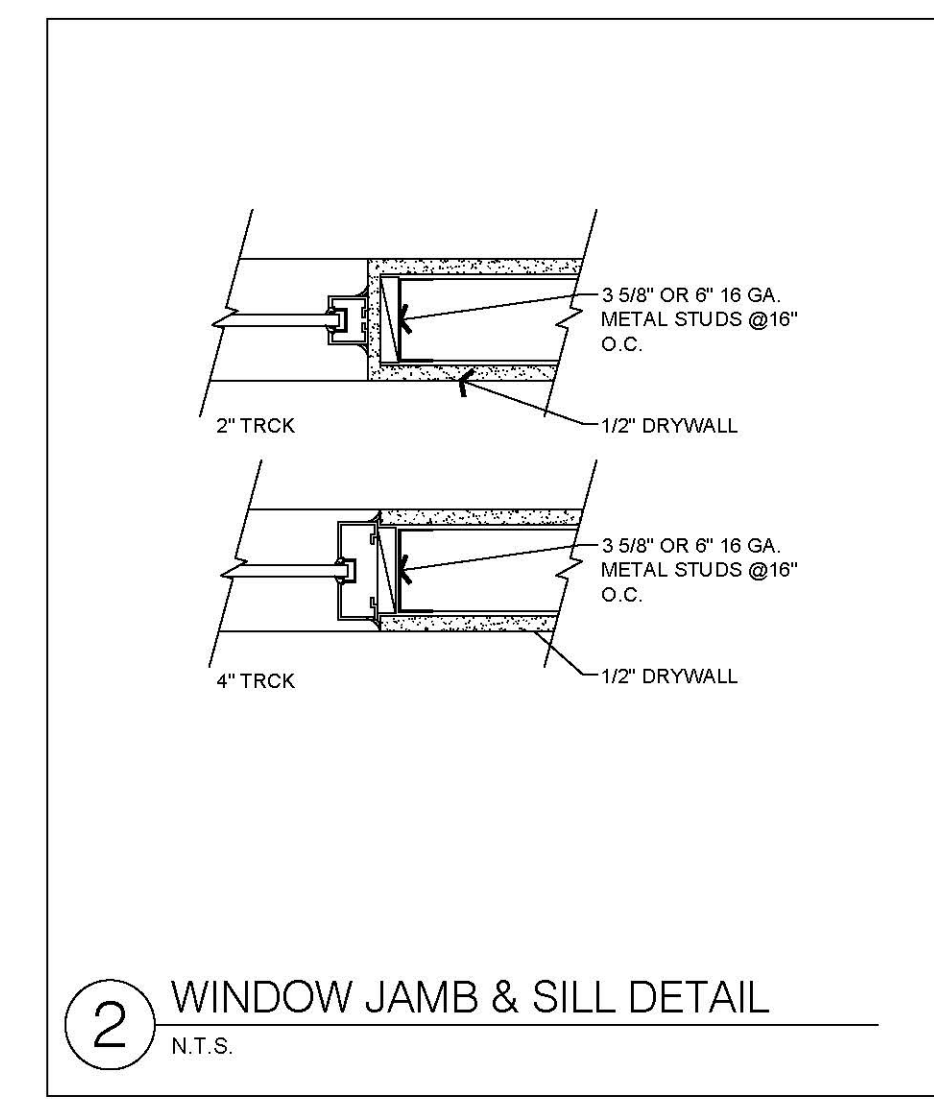
MASONRY WALL FRAMING DETAIL
N.T.S.



B METAL STUD WALL DETAIL
SCALE: N.T.S.

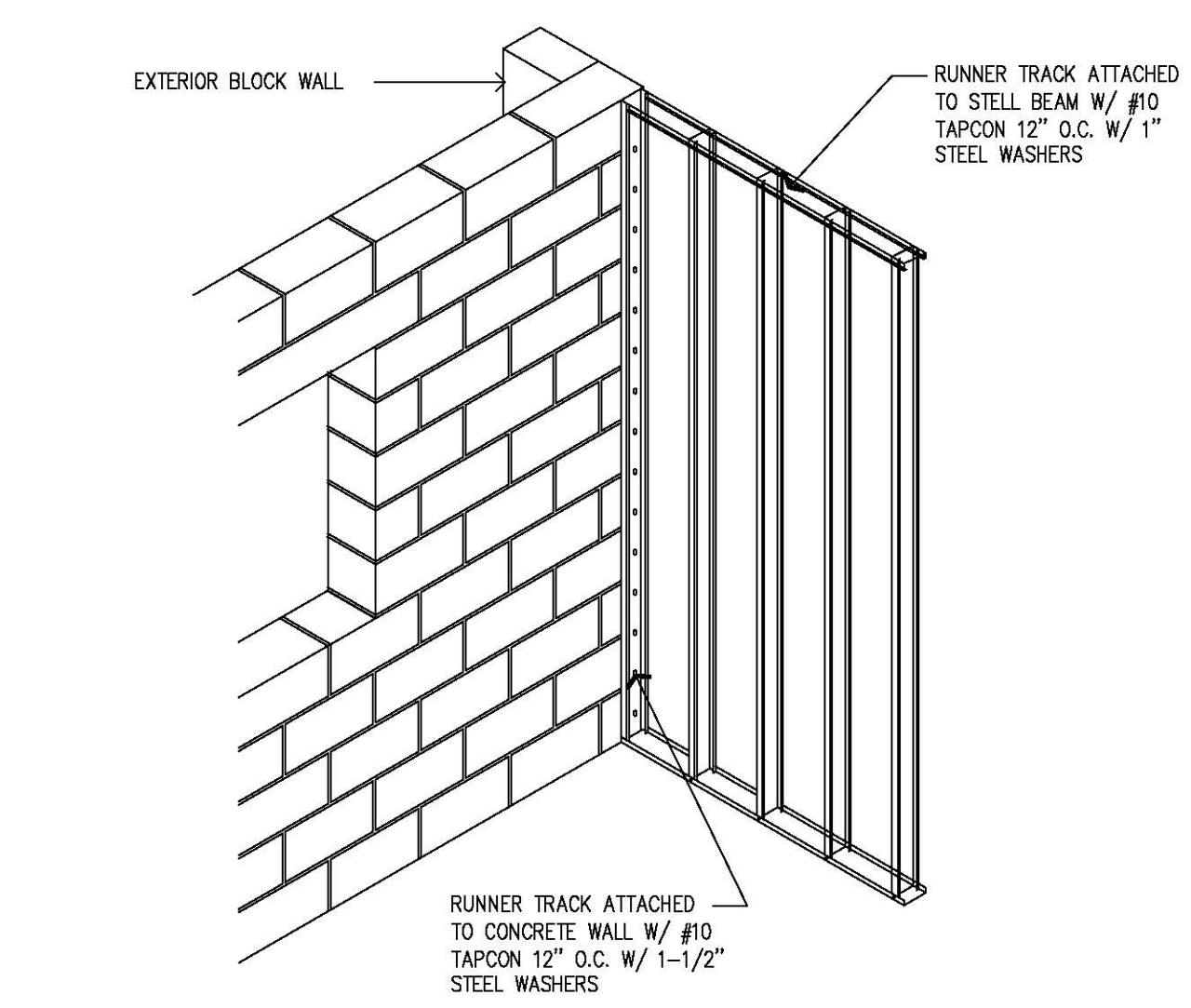


1 HEADER DETAIL
N.T.S.

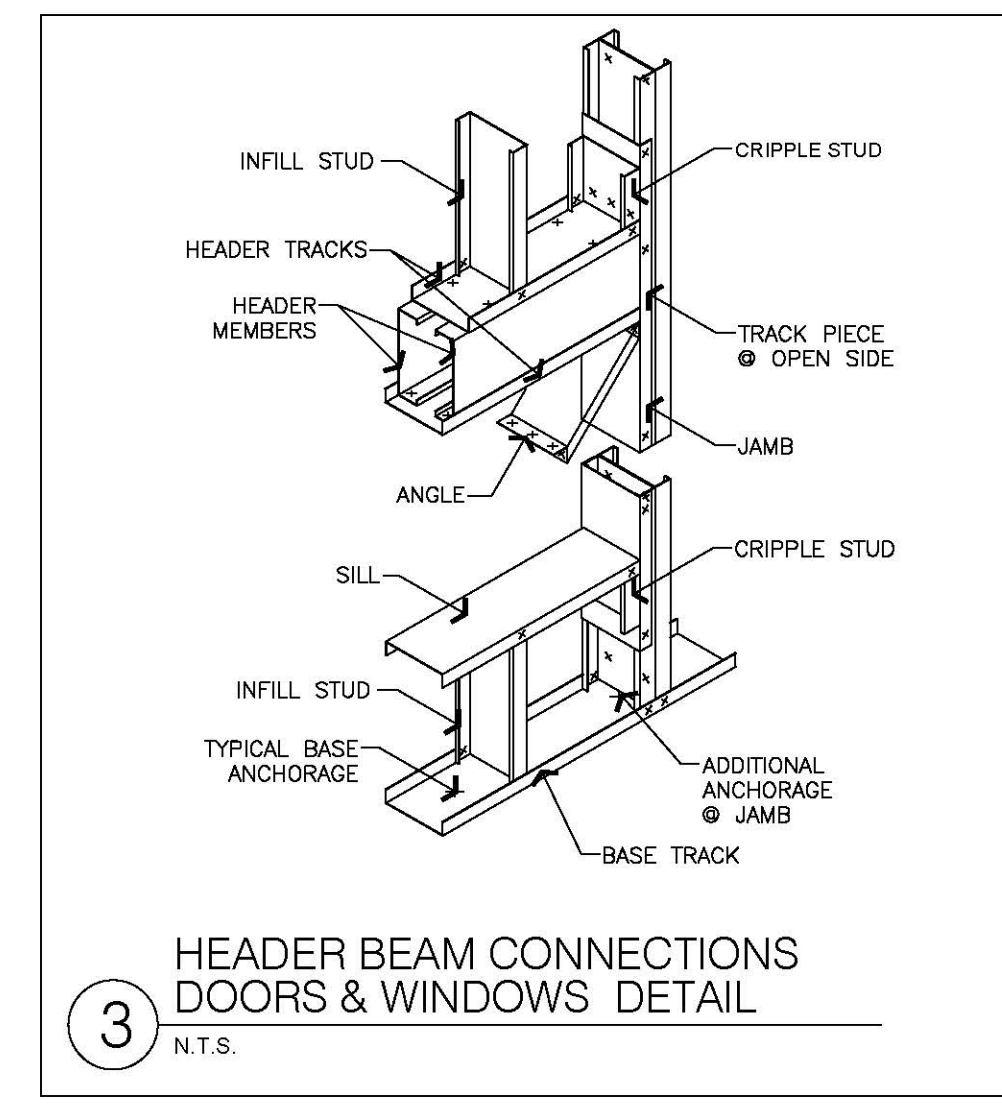


2 WINDOW JAMB & SILL DETAIL
N.T.S.

METAL WALL FRAMING DETAIL
N.T.S.



C FRM TO BLK CONNECTION



3 HEADER BEAM CONNECTIONS
DOORS & WINDOWS DETAIL
N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND/OR CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND/OR CONDITIONS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

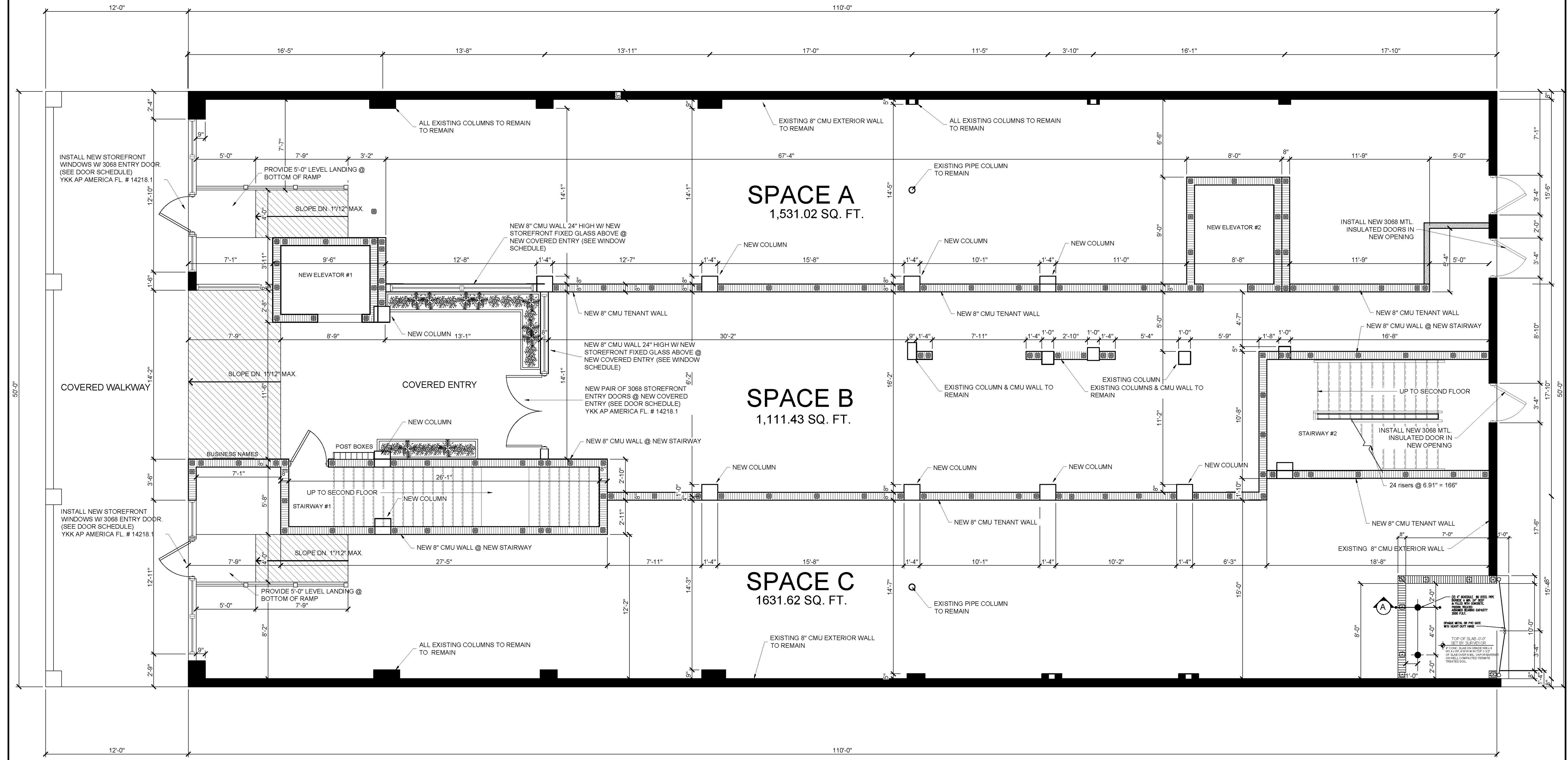
PROFESSIONAL STAMP AND SEAL TO THE LEFT OF THIS ARCHITECT'S SIGNATURE. ALL DIMENSIONS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 607, LAWS OF FLORIDA.

NO.	DATE	REVISIONS	DESCRIPTION

JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: AT/JB
 UPDATED ON: Sep 23, 22
 DATE: 10-2020
 JOB PROJECT #: 2020-051
 SHEET #: A-1.2

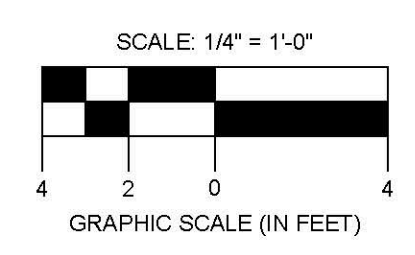
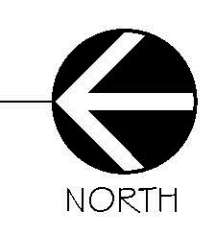
PROJECT: **219 W. Venice Ave.**
 Venice, Florida
 DOOR & WINDOW DETAILS



1
A-2.0

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS TO REMAIN
	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED 8" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE 5/8" POWERSHALL STUCCO OVER 5/8" EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1/2" METAL FLOORING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. SEE U.L. DESIGN NO. U904.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD W/ 6" R19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 S.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE X GYPSUM BOARD.

- WALL LEGEND NOTES:
- CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 - WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 - DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 - SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

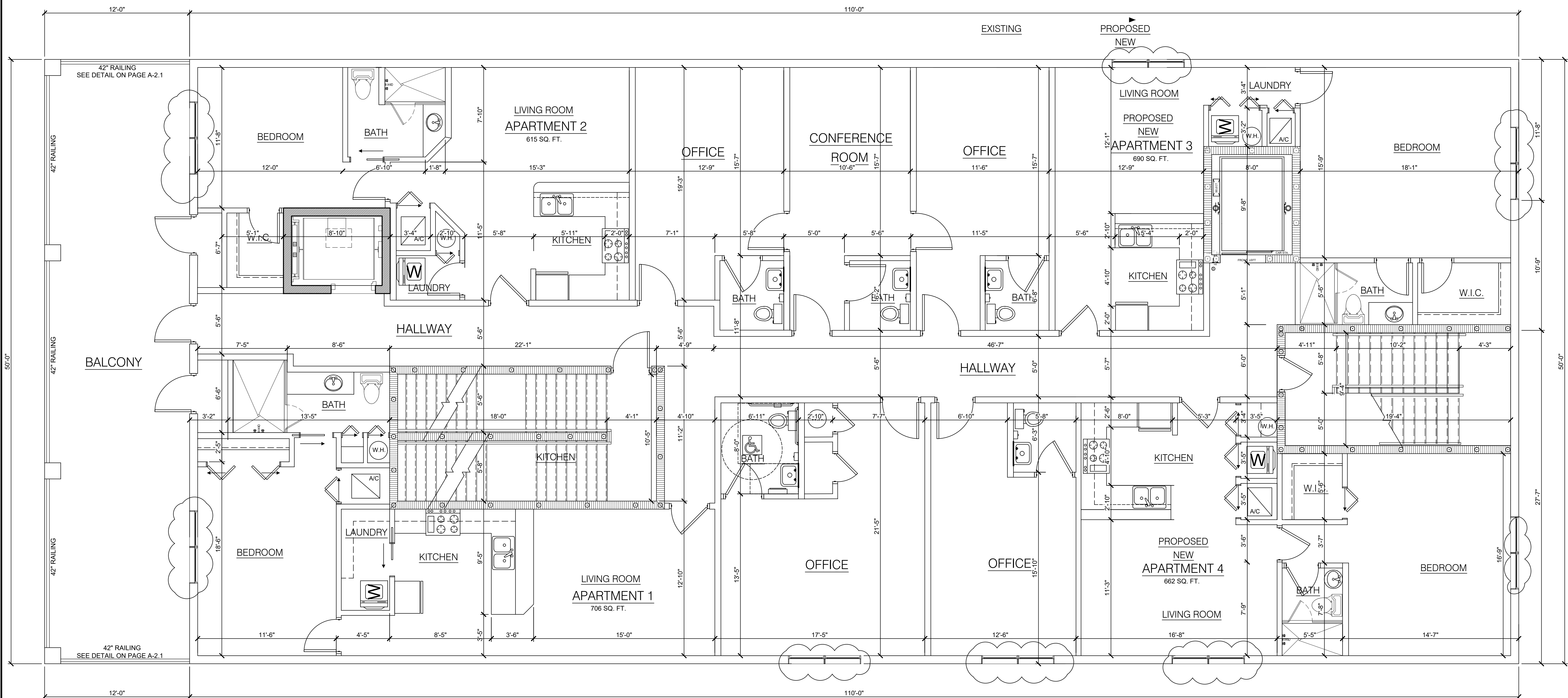
NO.	DATE	REVISIONS	DESCRIPTION

PROJECT
219 W. Venice Ave.
Venice, Florida
PROPOSED FIRST FLOOR PLAN

ARCHITECT
JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@BODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONDITIONS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DESIGNED BY: AT/JB
UPDATED ON: Sep 23, 22
DATE: 10 - 2020
JOB PROJECT #: 2020-051
SHEET #: A-2.0

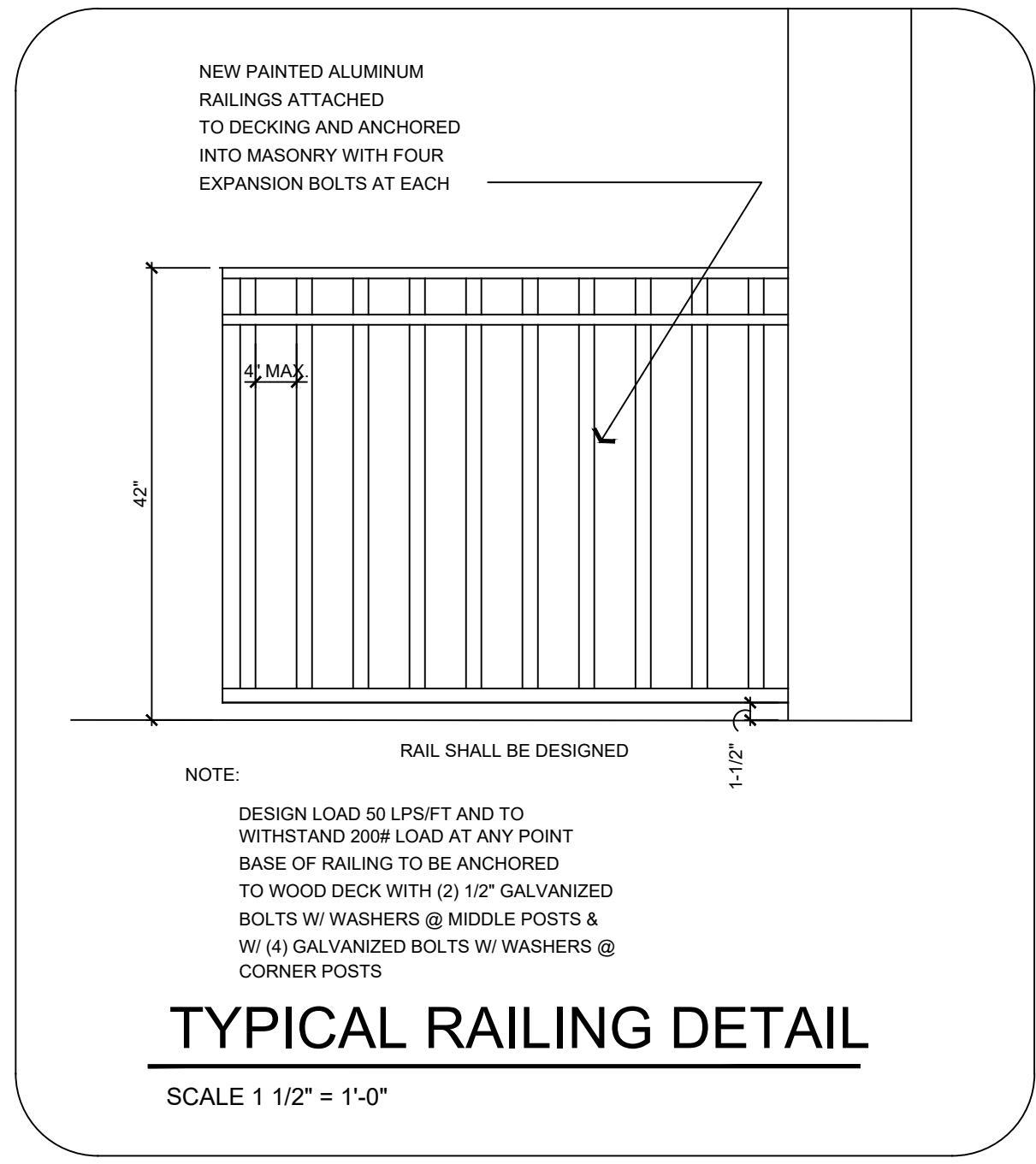


NO.	DATE	DESCRIPTION

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLICED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS ENFORCED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

GROUND FLOOR SHELL & FACADE RENOVATION
219 W. Venice Ave.
 Venice, Florida
PROPOSED SECOND FLOOR PLAN

1
 A-2.1
PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 (4) ONE BEDROOM
 NORTH
 SCALE: 1/4" = 1'-0"
 GRAPHIC SCALE (IN FEET)



WALL LEGEND

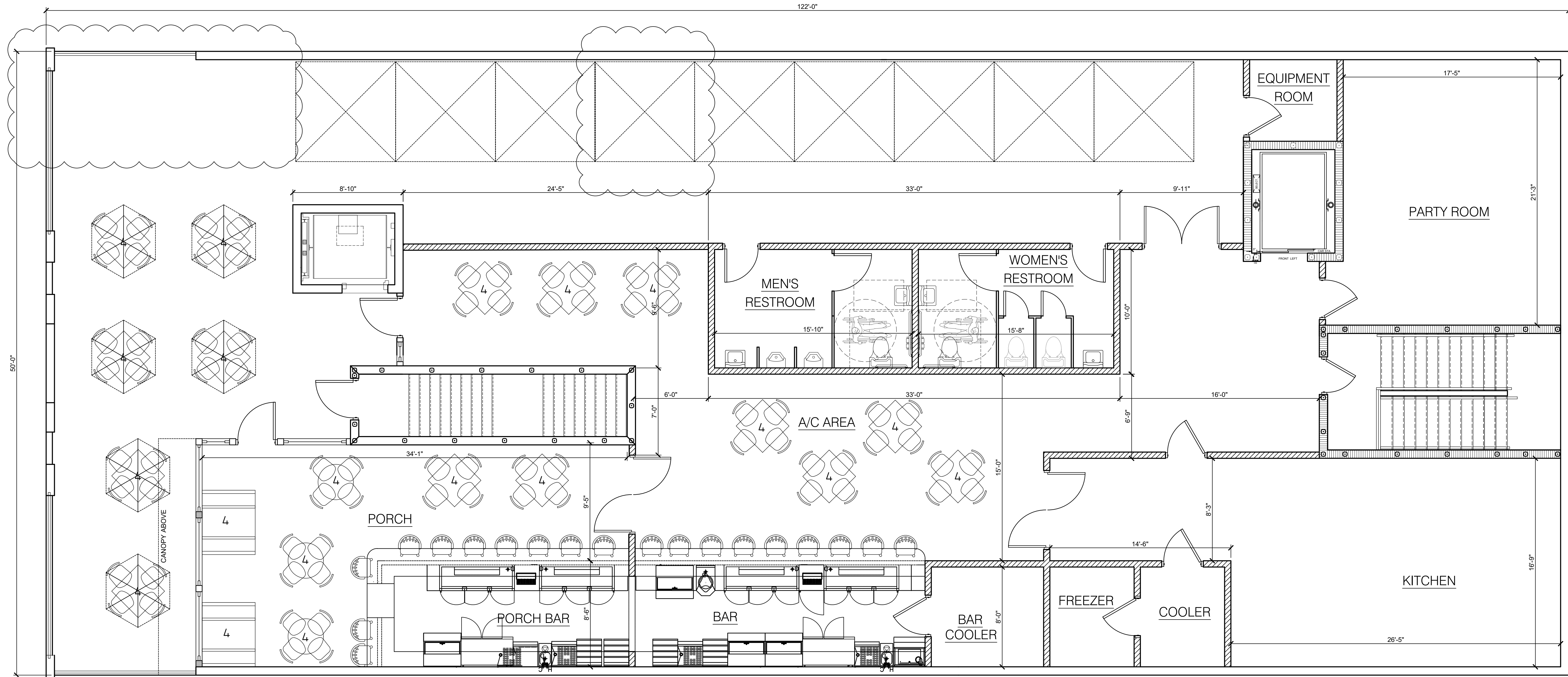
[Symbol]	EXISTING WALLS TO REMAIN
[Symbol]	POURED CONCRETE WALLS AND COLUMNS TWO HOUR RATED POURED 6" REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS - SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
[Symbol]	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 8" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE 5/8" STUCCO OVER 5/8" EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) 1/2" GYPSUM BOARD OVER 1/2" METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENSGLASS IN ALL TILED WALLS. - SEE U.L. DESIGN NO. U504.
[Symbol]	NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC., BOTH SIDES FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.
[Symbol]	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 S.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W/ 6" R19-BATT INSULATION IN WALL.
[Symbol]	NEW INTERIOR 2x4 S.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.

WALL LEGEND NOTES:
 1. CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 2. WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 3. DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 4. SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

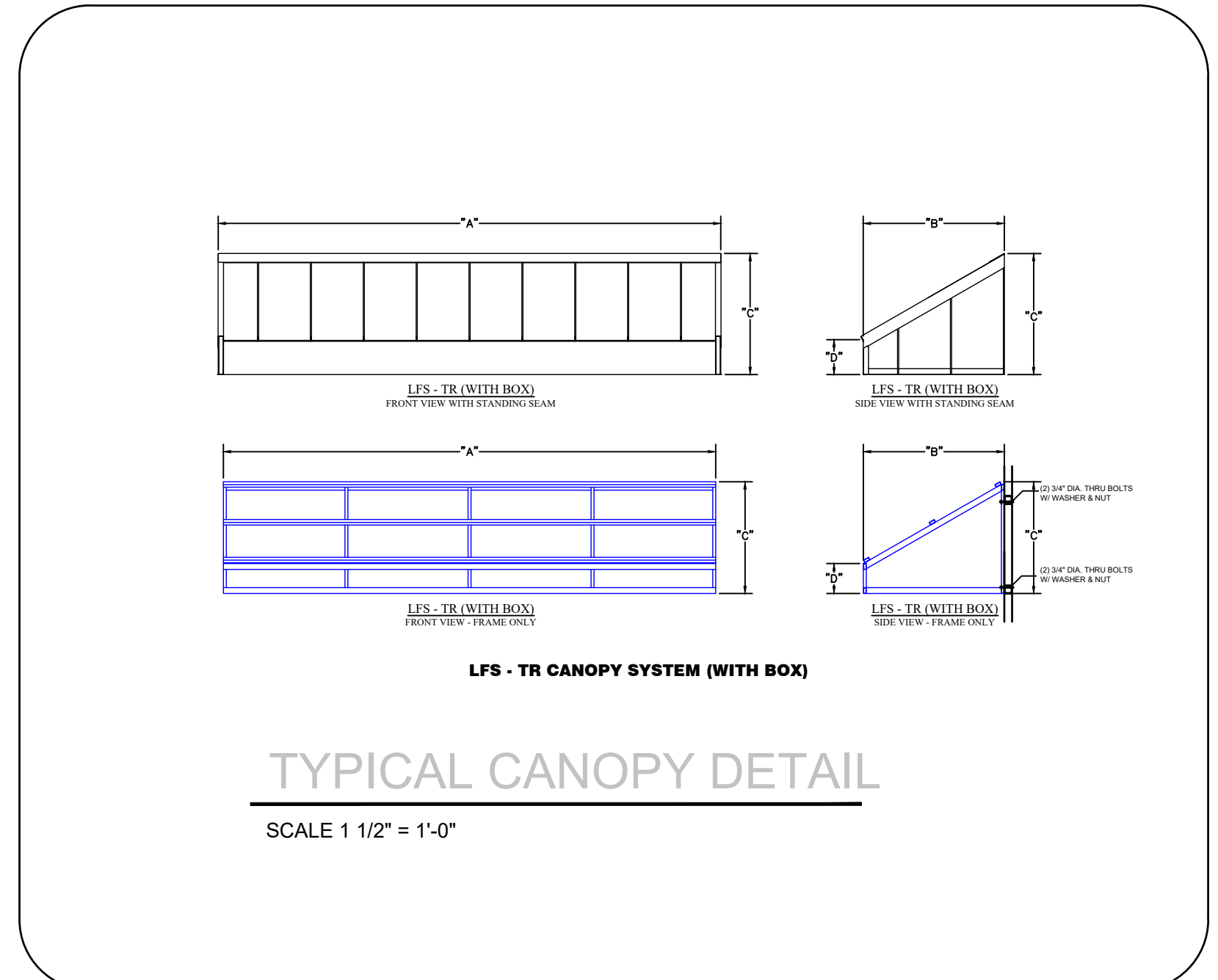
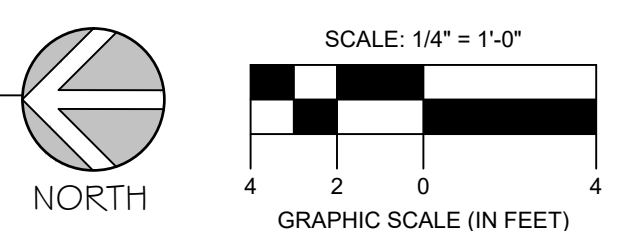
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 48th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: AT/JB
 UPDATED ON: Jan. 4, 23
 DATE: 10 - 2020
 JOB PROJECT #: 2020-051
 SHEET #: A-2.1



1
A-2.2
FUTURE RESTAURANT
PROPOSED ROOF TOP PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

	EXISTING WALLS TO REMAIN
	TWO HOUR RATED POURED & REINFORCED CONCRETE WALLS AND STRUCTURAL SLABS -SEE STRUCTURAL PLANS FOR WALLS AND COLUMNS
	TWO-HOUR MASONRY WALL AND ALL EXTERIOR WALLS 6" C.M.U. WALL W/ ONE (1) #5 REBAR IN CONCRETE FILLED CELLS @ 4'-0" O.C. AND BOTH SIDES OF ALL MASONRY OPENINGS, WITH ALL EXTERIOR SURFACES TO BE STU POWERWALL STUCCO OVER STU EXTRASEAL WATERPROOFING AND ALL INTERIOR SURFACES TO BE ONE (1) LAYER 5/8" FX GYPSUM BOARD OVER 1x2 METAL FURRING OVER 3/4" RIGID INSULATION BOARD, UNLESS NOTED OTHERWISE. ONE (1) LAYER WATER RESISTANT GYPSUM BOARD IN WET AREAS AND DENGLOSS IN ALL TILED WALLS. SEE U.L. DESIGN NO. 19004.
	NEW 2x6 5.Y.P. INTERIOR WALL W/ STUDS AT 24" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.
	ONE-HOUR RATED WOOD STUD FIRE WALL NEW 2x6 5.Y.P. INTERIOR WALL W/ STUDS AT 16" O.C. ON P.T. PLATE @ CONC. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W/ 6" R19-BATT INSULATION IN WALL.
	NEW INTERIOR 2x4 5.Y.P. NON BEARING WOOD STUD WALL W/ P.T. PLATE AT 24" O.C. W/ INTERIOR AND EXTERIOR FINISHED W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.

- WALL LEGEND NOTES:
- CORRIDOR WALLS TO BE CONSTRUCTED WITH DOUBLE 5/8" SIDE ORIENTED TO CORRIDOR SURFACE.
 - WATER RESISTANT (GREEN BOARD) TO BE INSTALLED ON ALL WET WALLS.
 - DURA-ROCK BOARD AT ALL SURFACES TO RECEIVE TILE IN SHOWER ENCLOSURES.
 - SEPARATION WALL BETWEEN GARAGES TO BE 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

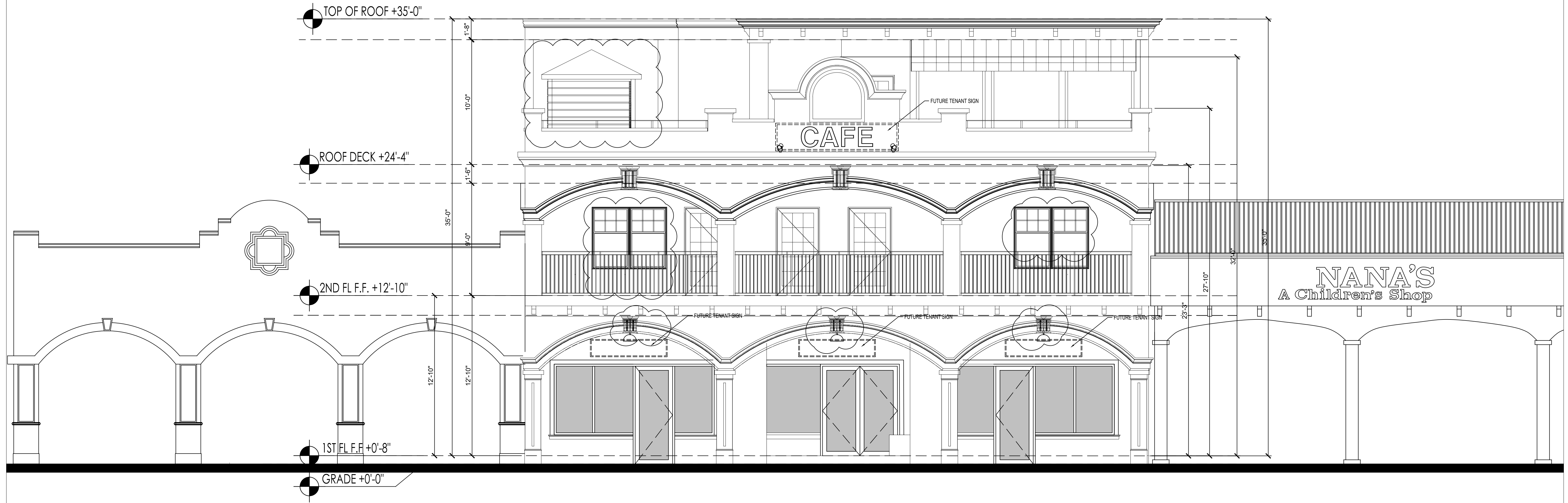
PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAWS OF FLORIDA.

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JOBODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

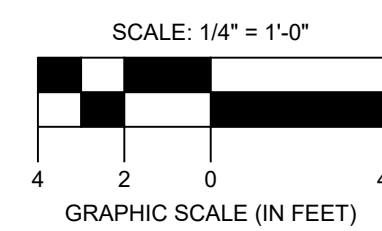
DRAWN BY AT/JB
UPDATED ON Jan. 4, 23
DATE 10 - 2020
JOB PROJECT # 2020-051
SHEET # A-2.2

GROUND FLOOR SHELL & FACADE RENOVATION
219 W. Venice Ave.
Venice, Florida
PROPOSED ROOF TOP PLAN

NO.	DATE	DESCRIPTION



1 FRONT ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGINEERING AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

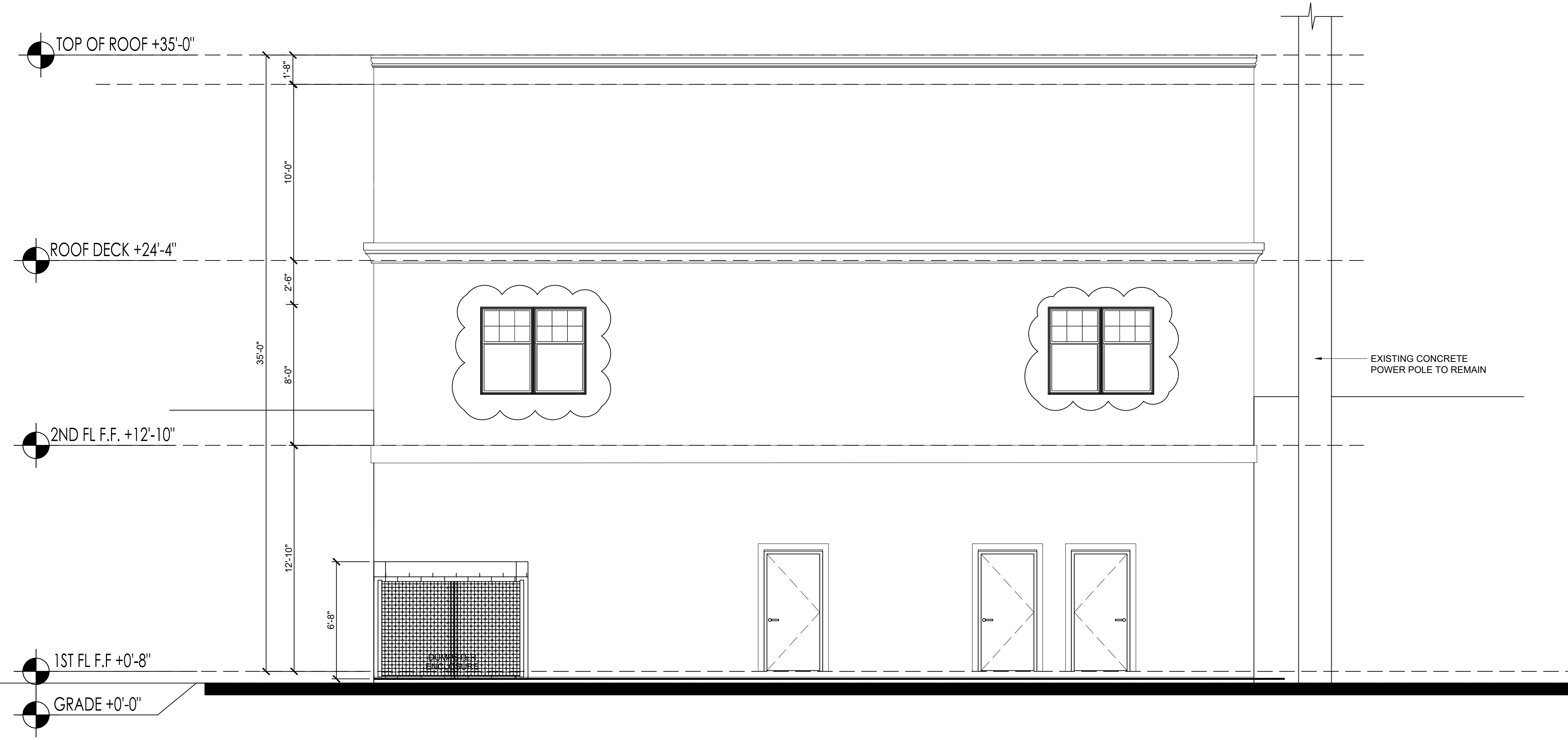
JOHN A. BODZIAK ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT
219 W. Venice Ave.
Venice, Florida
ELEVATIONS

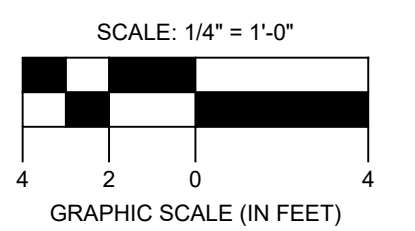
NO.	DATE	REVISIONS	DESCRIPTION

DRAWN BY AT/JB
UPDATED ON Jan. 5, 23
DATE 10 - 2020
JOB PROJECT # 2020-051
SHEET # A-4.0

CLIENT



1
A-4.1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

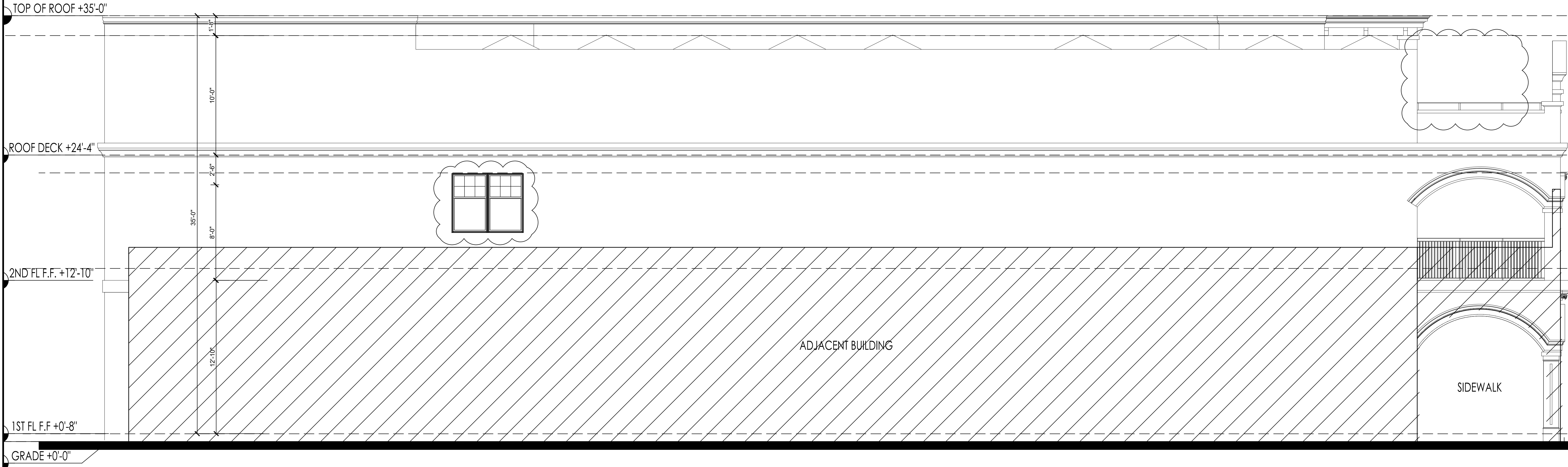
PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 65, LAWS OF FLORIDA.

JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
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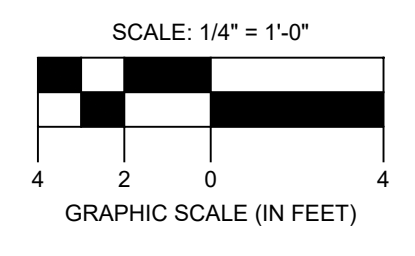
PROJECT
219 W. Venice Ave.
 Venice, Florida
 ELEVATIONS

NO.	DATE	REVISIONS	DESCRIPTION

DRAWN BY AT/JB
 UPDATED ON Jan. 5, 23
 DATE 10 - 2020
 JOB PROJECT # 2020-051
 SHEET # A-4.1



1
A-4.2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 65, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - ARCHITECT'S OFFICE
 COMPANY AND CONTRACTS AND OTHER PROPERTY
 SHALL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC.
 UNLESS OTHERWISE SPECIFIED IN WRITING.
 THIS DRAWING IS NOT TO BE REPRODUCED OR
 COPIED IN ANY MANNER WITHOUT THE WRITTEN
 PERMISSION OF JOHN A. BODZIAK, INC.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
 COORDINATE ALL FIELD CONDITIONS.
 UNREPORTED DISCREPANCIES AND CONFLICTS
 SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	DESCRIPTION

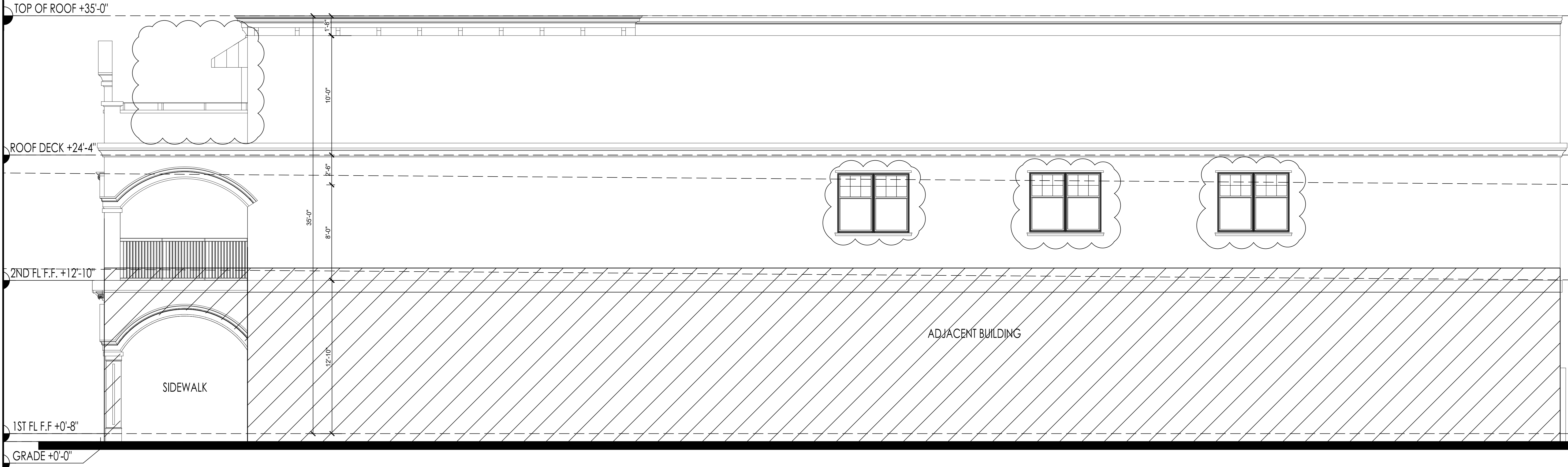
CLIENT

SEAL

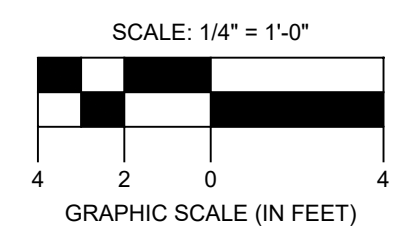
PROJECT
219 W. Venice Ave.
 Venice, Florida
 LEFT SIDE ELEVATION

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY	AT/JB
UPDATED ON	Jan. 5, 23
DATE	10 - 2020
JOB PROJECT #	2020-051
SHEET #	A-4.2



1
A-4.3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONDITIONS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

JOHN A. BODZIAK, ARCHITECT, HAS REVIEWED THESE PLANS AND SPECIFICATIONS AND CONFIRMS THAT THEY COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

NO.	DATE	DESCRIPTION

CLIENT:

PROJECT: **219 W. Venice Ave.**
 Venice, Florida
 RIGHT SIDE ELEVATION

SHEET #
A-4.3

DRAWN BY: AT/JB
 UPDATED ON: Jan. 5, 23
 DATE: 10 - 2020
 JOB PROJECT #: 2020-051
 SHEET #