

PRELIMINARY PLAT PLANS FOR

# VILLAGES OF MILANO PHASE 2

PART OF SECTION 35, TOWNSHIP 38 SOUTH, RANGE 19 EAST,  
CITY OF VENICE  
SARASOTA COUNTY, FLORIDA

A DEVELOPMENT BY  
**NEAL COMMUNITIES OF  
SOUTHWEST FLORIDA, LLC**  
5800 LAKEWOOD RANCH BLVD  
SARASOTA, FLORIDA 34240  
(941) 328-1111

LAND USE	PUD REZONE		PRELIMINARY PLAT PHASE 1A & 1B		PRELIMINARY PLAT TRACT 200		PRELIMINARY PLAT PHASE 2	
	AREA (AC)	%	AREA (AC)	%	AREA (AC)	%	AREA (AC)	%
RESIDENTIAL	130	35%	21.96	25%	4.53	46%	39.59	34%
AMENITY AREA	1	0.3%	2.26	3%	N/A	0%	0	0%
ROAD ROW	34	9%	8.03	9%	.44	4%	11.87	10%
WETLANDS	112		34.11		N/A		21.50	
CONSERVATION	9		6.38		2.00		5.76	
LAKES	33		5.56		1.93		25.80	
OTHER OPEN SPACE	49		8.61		0.13		13.63	
TOTAL OPEN SPACE	203	55%	54.66	63%	4.06	42%	66.69	56%
IMPERVIOUS	N/A		18.52	21%	3.16	33%	46.28	39%
TOTAL AREA	368	100%	87.01	100%	9.66	100%	118.15	100%

\* % ARE BASED ON THE "TOTAL AREA" I.E. RESIDENTIAL AREA = 39.59/118.15AC = 34%

LOT TYPE	#	#	#	#
SINGLE FAMILY DETACHED A LOTS	N/A	34	27	178
SINGLE FAMILY DETACHED B LOTS	N/A	61	0	38
SINGLE FAMILY ATTACHED (PAIRED VILLA)	N/A	60	0	66
MULTI FAMILY	N/A	0	0	0
LOT TOTAL	700	155	27	282
DU/AC	1.90	1.78	2.80	2.39

**SITE DEVELOPMENT DATA:**

PROJECT: VILLAGES OF MILANO PHASE 2  
 ENGINEER: STANTEC, INC  
 6900 PROFESSIONAL PKWY EAST  
 SARASOTA, FL 34240  
 SURVEYOR: BRITT SURVEYING, INC  
 606 CYPRESS AVE  
 VENICE, FL 34285  
 DEVELOPER/OWNER: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
 5800 LAKEWOOD RANCH BLVD  
 SARASOTA, FL 34240  
 ZONING: PUD  
 FLOOD ZONE: 'X'  
 EXISTING LAND USE: PASTURE - AGRICULTURE - VACANT  
 PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL  
 SEWER PROVIDER: SARASOTA COUNTY UTILITIES  
 WATER PROVIDER: CITY OF VENICE UTILITIES  
 ELECTRIC PROVIDER: FLORIDA POWER & LIGHT  
 GARBAGE: CITY OF VENICE  
 PROJECT AREA: 118.15 AC  
 PROPOSED IMPERVIOUS: 46.28 AC

DEVELOPMENT ON THE 118.15 ACRES IS CONSISTENT WITH THE LAND USE ILLUSTRATED ON THE PUD PLAN.

**GENERAL NOTES:**

THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON AREAS, STORMWATER MANAGEMENT SYSTEM AND ROADS. THE WATER SYSTEM SHALL BE TURNED OVER TO THE CITY OF VENICE FOR OWNERSHIP AND MAINTENANCE. THE SANITARY SEWER SYSTEM SHALL BE TURNED OVER TO SARASOTA COUNTY FOR OWNERSHIP AND MAINTENANCE.

THE HOA DOCUMENTS SHALL BE CONSISTENT WITH THE HOA MAINTENANCE RESPONSIBILITIES IDENTIFIED.

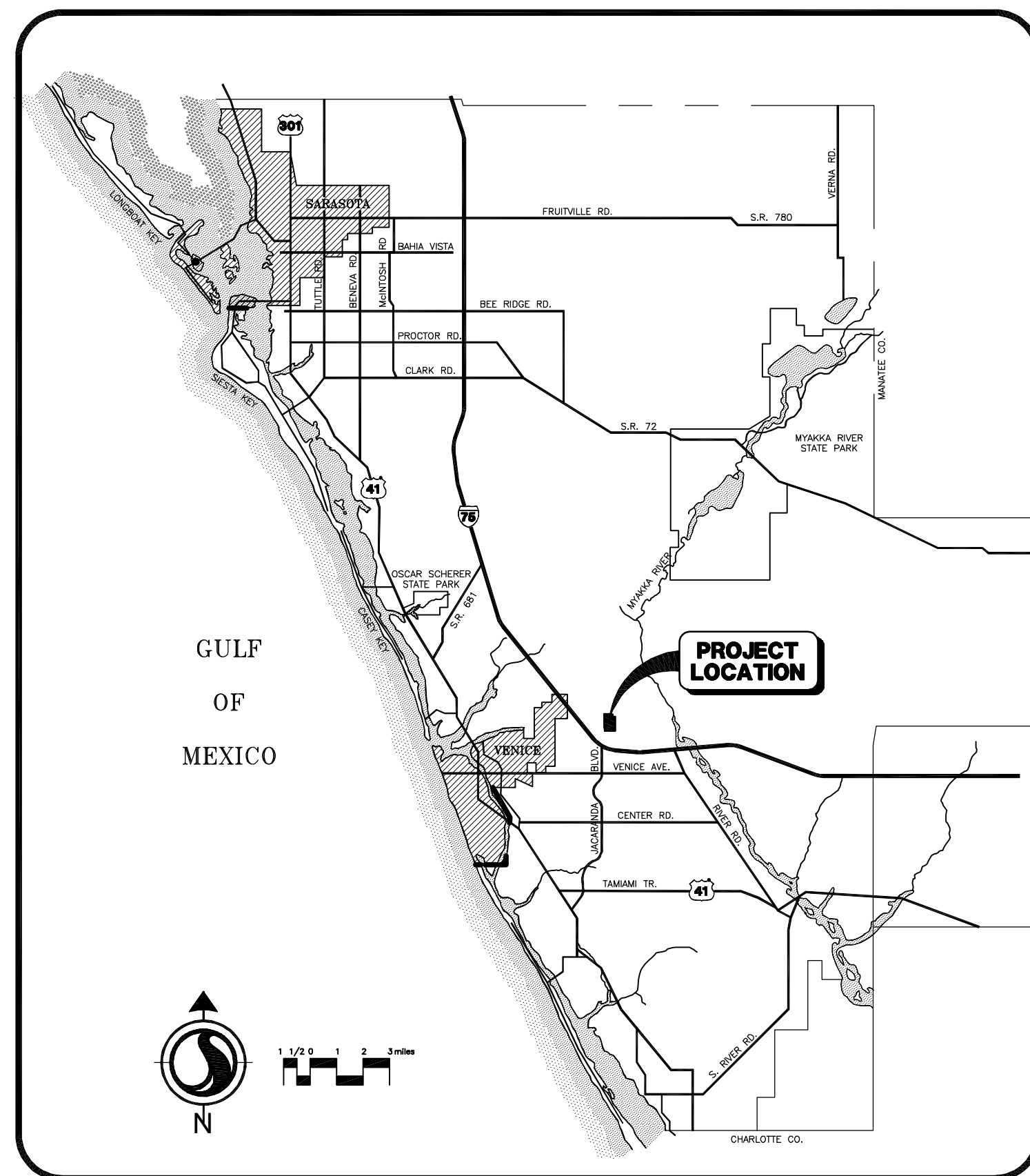
EXCAVATION OF EXISTING LAKE #JAC-5P IN THE JACARANDA R-O-W SHALL NOT COMMENCE UNTIL THE JOINT USE AGREEMENT IS APPROVED BY SARASOTA COUNTY.

THE BORDER ROAD AND JACARANDA RESTRIPIING IMPROVEMENTS (NOTED ON SHEET #4) SHALL BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY FOR VILLAGES OF MILANO, PHASE 2.

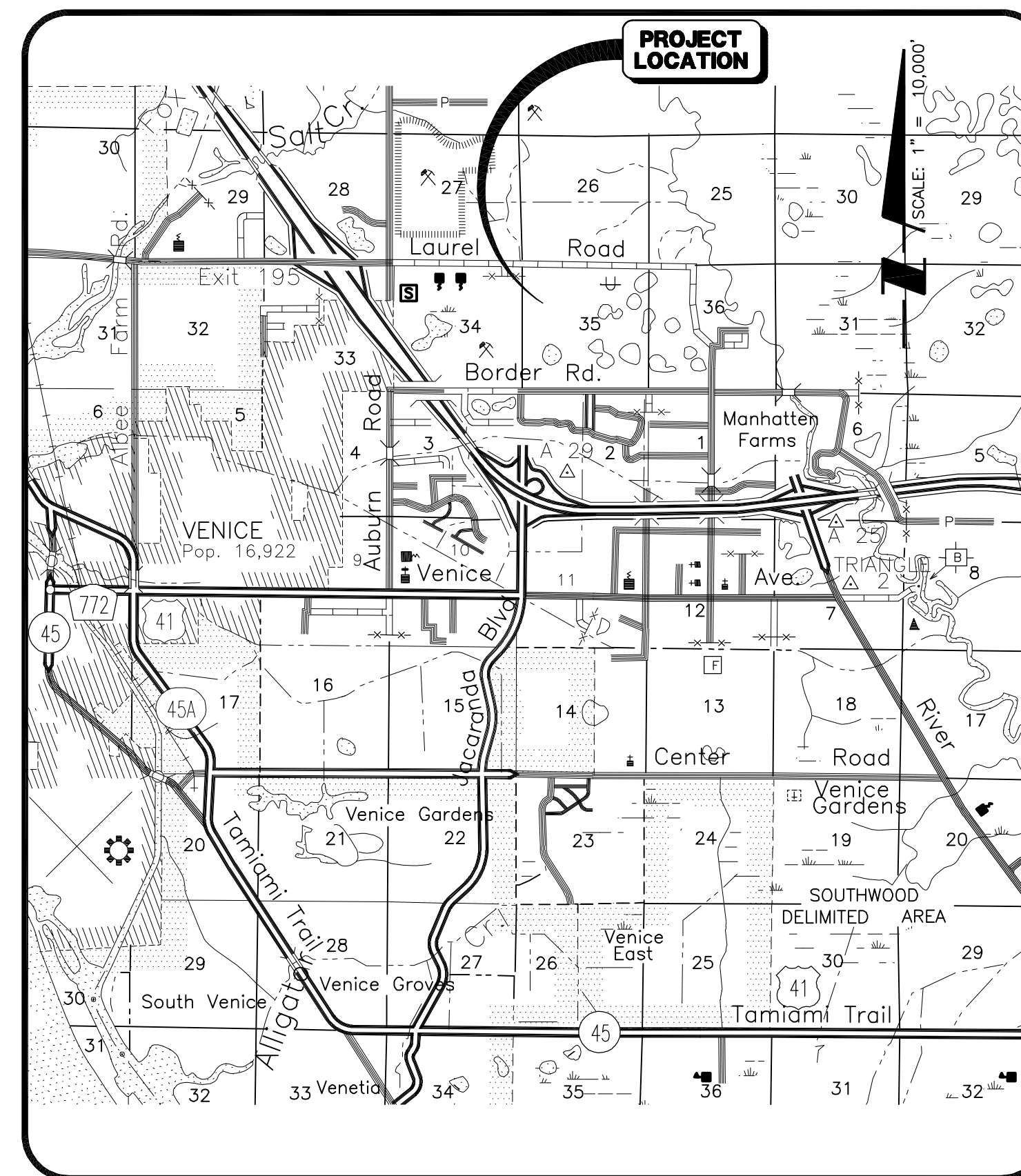
THE DATUM OF THE ELEVATIONS SHOWN ARE NGVD 1929

**CITY OF VENICE NOTES:**

- ALL WORK CONDUCTED IN THE CITY OF VENICE RIGHT-OF-WAY (ROW) WILL REQUIRE THE ISSUANCE OF A ROW PERMIT.
- ALL WORK CONDUCTED IN SARASOTA COUNTY AND/OR FDOT ROW SHALL REQUIRE A COPY OF THE ISSUED PERMITS.
- TREE REMOVAL PERMIT MUST BE OBTAINED FROM SARASOTA COUNTY NATURAL RESOURCES DEPARTMENT.
- POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF VOLUME OR RATE FOR A 24-HOUR, 25-YEAR STORM EVENT.
- ALL FIRE SERVICE BACKFLOW ASSEMBLIES SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR WITH A CLASS I, II, OR V CERTIFICATE OF COMPETENCY ISSUED BY THE STATE FIRE MARSHALL AS PER F.S. 633.521
- CONSTRUCTION SITE MUST BE POSTED WITH 24-HOUR CONTACT INFORMATION
- ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL MEET CITY OF VENICE AND / OR SARASOTA COUNTY STANDARDS.
- CONTACT PUBLIC WORKS SOLID WASTE DIVISION (941-486-2422) FOR APPROVAL OF DUMPSTER LOCATION AND LAYOUT PRIOR TO CONSTRUCTION.
- ENGINEER'S QUANTITY ESTIMATE OF INFRASTRUCTURE IMPROVEMENTS:  
 ON SITE:  
 LINEAR FEET OF RECLAIMED WATER 0 LF  
 LINEAR FEET OF POTABLE WATER MAIN 10,735 LF  
 LINEAR FEET OF GRAVITY SEWER MAIN 10,055 LF  
 LINEAR FEET OF FORCE MAIN 0 LF  
 NUMBER OF MANHOLES 46



LOCATION MAP



SITE MAP

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	AERIAL LOCATION MAP
3	EXISTING CONDITIONS PLAN
4	MASTER SITE PLAN
5-7	SITE PLAN
8	MASTER GRADING AND DRAINAGE PLAN
9-11	GRADING AND DRAINAGE PLAN
12	MASTER WATER AND SEWER PLAN
13	PLAN AND PROFILE KEY PLAN
14-17	PLAN AND PROFILE - CASSANO DRIVE
18-19	PLAN AND PROFILE - CAPRIANA COURT
20-26	PLAN AND PROFILE - CASALINO DRIVE
27-28	PLAN AND PROFILE - BENEDETTO COURT
29-30	PLAN AND PROFILE - MARCHENO WAY
31-32	PLAN AND PROFILE - LIVORNO WAY
33	PLAN AND PROFILE - LIVORNO WAY
34	PLAN AND PROFILE - BRIONA WAY
35-36	PLAN AND PROFILE - ROSOLINA COURT
37	PAVING DETAILS
38	GRADING DETAILS
39	DRAINAGE CONSTRUCTION DETAILS
40-41	DRAINAGE DATA TABLE
42-43	OUTFALL CONSTRUCTION DETAILS
44-45	OUTFALL WEIR DETAILS
46	GENERAL UTILITY CONSTRUCTION DETAILS
47	WASTEWATER COLLECTION CONSTRUCTION DETAILS
48	WATER DISTRIBUTION CONSTRUCTION DETAILS (WITHIN JACARANDA R-O-W)
49	SIGNAGE AND MARKING PLAN
50	BEST MANAGEMENT PRACTICES PLAN AND NOTES
51	BEST MANAGEMENT PRACTICES DETAILS

SUPPLEMENTAL DRAWINGS

LANDSCAPE PLANS	
KEY	KEY PLAN
PL1-6	LANDSCAPE PLANS
L01	ENTRANCE PLAN
1-1	WETLAND 'L' MITIGATION PLAN AND DETAILS
1-1	WETLAND 'M' PLANT SCREENING PLAN AND DETAILS

NO.	DATE	DESCRIPTION	BY
05/13/16	REVISED PER CITY COMMENTS DATED 5/13/16		RTD/89450
05/04/16	REVISED PER CITY PRELIMINARY PLAT COMMENTS		RTD/89450
04/07/16	REVISED PER CITY PRELIMINARY PLAT COMMENTS		DKL/89396

STATUS : REVISIONS

PROJECT PLANNER	PROJECT DEVELOPER	PROJECT CONSULTANT
JM COLLINS	NEAL COMMUNITIES	STANTEC
PROJECT DESIGNER	PROJECT MANAGER	PROJECT ENGINEER
RUSSELL DICKENS	MILLARD J. YODER, P.E. FLORIDA LICENSE NO. 38765	MELANIE DELEHANTY SMITH, P.E. FLORIDA LICENSE NO. 75447

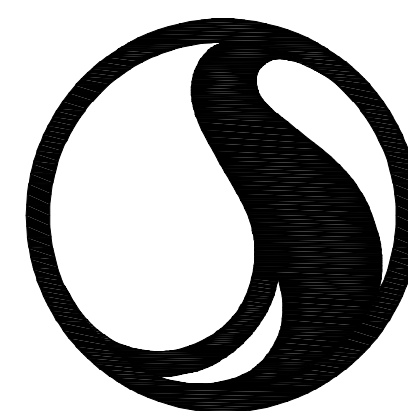
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

MELANIE DELEHANTY SMITH, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 75447. THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MELANIE DELEHANTY SMITH, PE ON XX/XX/XX USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT NUMBER  
**215611819**

DATE  
**FEBRUARY 2016**

INDEX NUMBER  
**215611819-05C-001CV**



# Stantec

6900 Professional Parkway East, Sarasota, FL 34240-8414  
 Phone 941-907-6900 • Fax 941-907-6910  
 Certificate of Authorization #27013 • www.stantec.com

SCALE: 1" = 200'

EVERGLADE ESTATES  
ZONING: OUE  
EXISTING LAND USE:  
RESIDENTIAL

0392-001-000  
NEAL COMMUNITIES OF  
SW FL LLC  
ZONING: RMF1  
EXISTING LAND USE: AG

SWFWM AREA = (PRELIMINARY PLAT + WETLAND L)  
= (118.15 AC + 5.83 AC) = 123.98 AC

0391-00-1030  
CITY OF VENICE  
ZONING: GU  
EXISTING LAND USE:  
FIRE STATION

VENETIAN GOLF &  
RIVER CLUB  
ZONING: PUD  
EXISTING LAND USE:  
RESIDENTIAL/GOLF  
COURSE

0391-00-1010  
FLORIDA POWER & LIGHT CO  
ZONING: OUR  
EXISTING LAND USE: FPL  
TRANSMISSION

0391-00-1020  
HURT TEE SANDRA  
SJMRL LIMITED PARTNERSHIP  
ZONING: OUE  
EXISTING LAND USE: AG



REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	DATE	ACTIVITY	INITIALS/EMP. NO.	DATE
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396			DESIGNED BY:	RTD/89450	2016
						DRAWN BY:	JMC/102924	2016
						CHECKED BY:		
						CONTRACT ADMIN. BY:		
						W/M APPROVED BY:		

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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

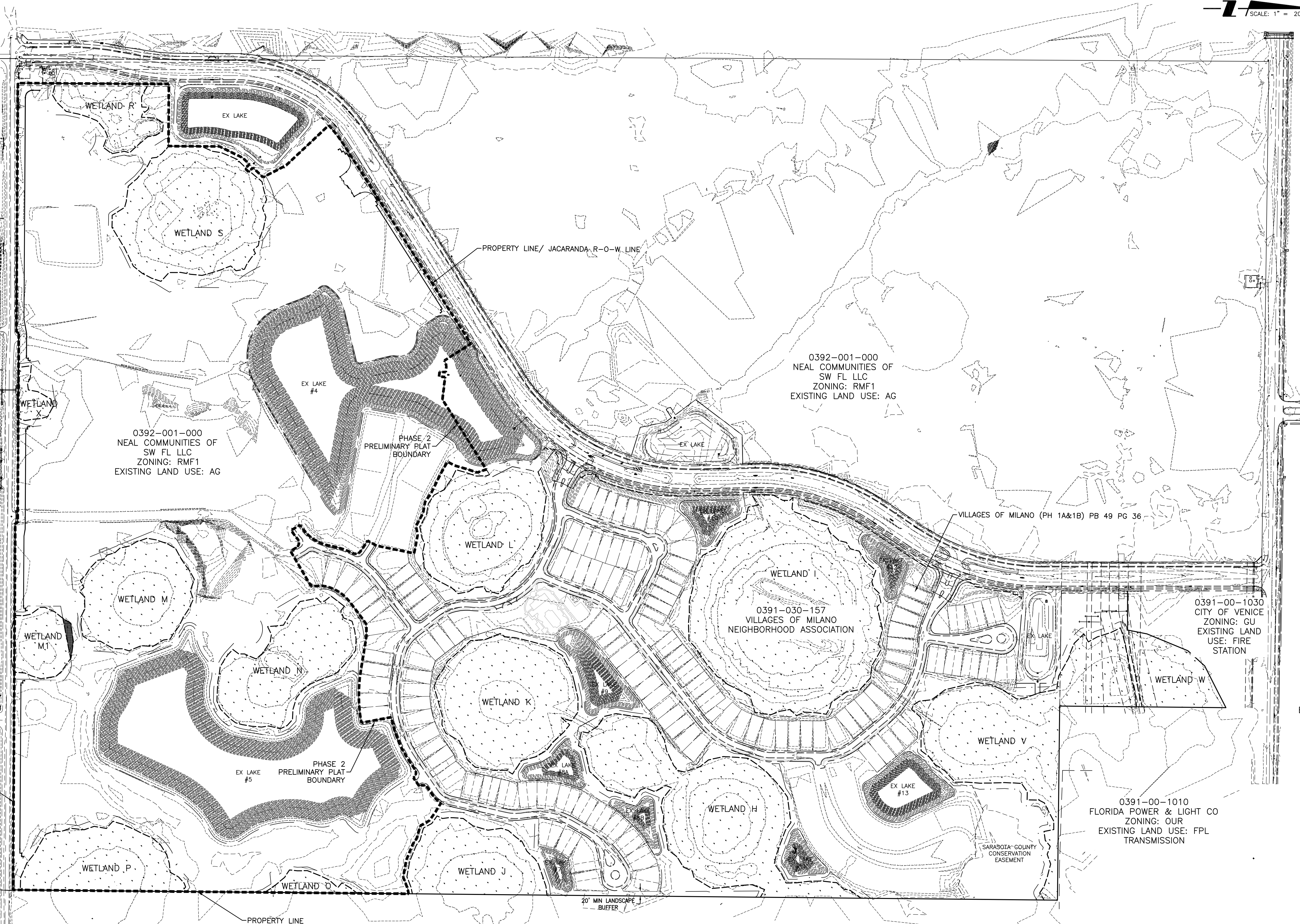
DATE: 2016  
HORIZONTAL SCALE: 1" = 200'  
VERTICAL SCALE: -  
SEC: 35 TWP: 19E

TITLE: AERIAL LOCATION MAP  
PROJECT NUMBER: 215611819  
CROSS REFERENCE FILE NO.:  
SHEET NUMBER: 2 OF 51

INDEX NUMBER: 215611819-05C-002PL  
SHEET NUMBER: 2 OF 51

EVERGLADE ESTATES  
ZONING: OUE  
EXISTING LAND USE:  
RESIDENTIAL

PHASE 2  
PRELIMINARY PLAT  
BOUNDARY



0392-001-000  
NEAL COMMUNITIES OF  
SW FL LLC  
ZONING: RMF1  
EXISTING LAND USE: AG

0392-001-000  
NEAL COMMUNITIES OF  
SW FL LLC  
ZONING: RMF1  
EXISTING LAND USE: AG

0391-030-157  
VILLAGES OF MILANO  
NEIGHBORHOOD ASSOCIATION

0391-00-1030  
CITY OF VENICE  
ZONING: GU  
EXISTING LAND  
USE: FIRE  
STATION

0391-00-1010  
FLORIDA POWER & LIGHT CO  
ZONING: OUR  
EXISTING LAND USE: FPL  
TRANSMISSION

0391-00-1020  
HURT TEE SANDRA  
SJMR LIMITED PARTNERSHIP  
ZONING: OUE  
EXISTING LAND USE: AG

VENETIAN GOLF &  
RIVER CLUB  
ZONING: PUD  
EXISTING LAND USE:  
RESIDENTIAL/GOLF  
COURSE

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM. APPROVED BY:
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

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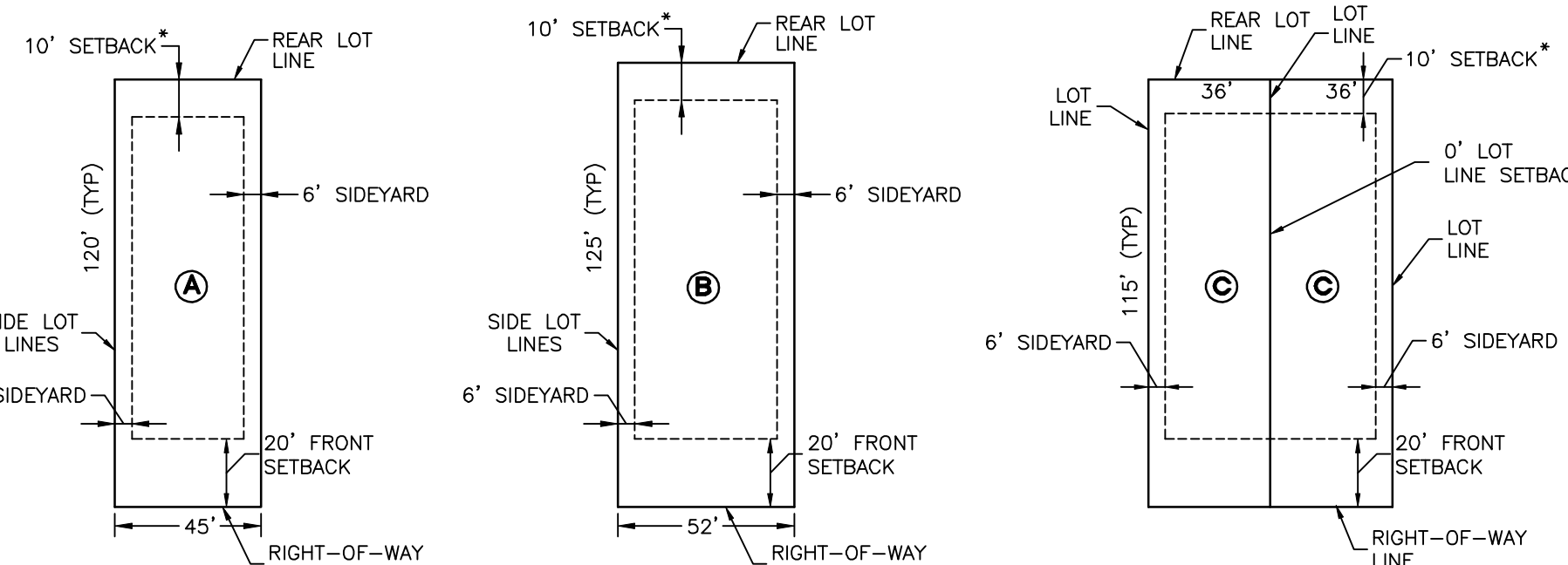
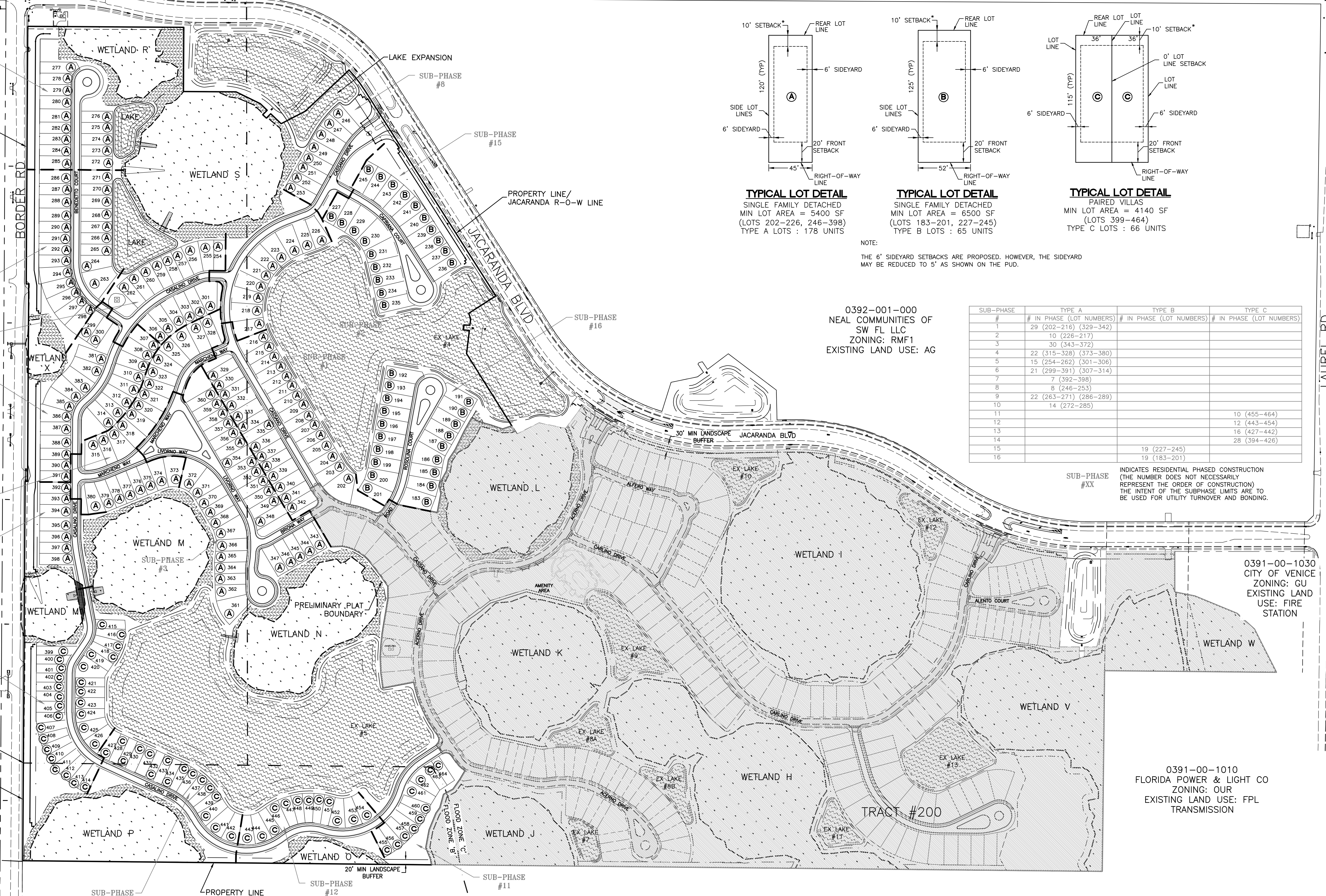
CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
HORIZONTAL SCALE: 1" = 200'  
VERTICAL SCALE: 35' 38S 19E

TITLE: EXISTING CONDITIONS PLAN  
PROJECT NUMBER: 215611819  
CROSS REFERENCE FILE NO.:  
INDEX NUMBER: 215611819-05C-003TX  
SHEET NUMBER: 3 OF 51

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RESTRIPING IMPROVEMENTS AS DESCRIBED IN THE PUD TRAFFIC STUDY  
 "RESTRIPE NORTHBOUND APPROACH TO AN EXCLUSIVE LEFT, A SHARED THROUGH/RIGHT LANE, AND A BIKE LANE."  
 (SEE COVER NOTE FOR SCHEDULE OF IMPROVEMENT)"



**TYPICAL LOT DETAIL**  
 SINGLE FAMILY DETACHED  
 MIN LOT AREA = 5400 SF  
 (LOTS 202-226, 246-398)  
 TYPE A LOTS : 178 UNITS

**TYPICAL LOT DETAIL**  
 SINGLE FAMILY DETACHED  
 MIN LOT AREA = 6500 SF  
 (LOTS 183-201, 227-245)  
 TYPE B LOTS : 65 UNITS

**TYPICAL LOT DETAIL**  
 PAIRED VILLAS  
 MIN LOT AREA = 4140 SF  
 (LOTS 399-464)  
 TYPE C LOTS : 66 UNITS

NOTE:  
 THE 6' SIDERYARD SETBACKS ARE PROPOSED. HOWEVER, THE SIDERYARD MAY BE REDUCED TO 5' AS SHOWN ON THE PUD.

0392-001-000  
 NEAL COMMUNITIES OF SW FL LLC  
 ZONING: RMF1  
 EXISTING LAND USE: AG

SUB-PHASE #	TYPE A # IN PHASE (LOT NUMBERS)	TYPE B # IN PHASE (LOT NUMBERS)	TYPE C # IN PHASE (LOT NUMBERS)
1	29 (202-216) (329-342)		
2	10 (226-217)		
3	30 (343-372)		
4	22 (315-328) (373-380)		
5	15 (254-262) (301-306)		
6	21 (299-391) (307-314)		
7	7 (392-398)		
8	8 (246-253)		
9	22 (263-271) (286-289)		
10	14 (272-285)		
11			10 (455-464)
12			12 (443-454)
13			16 (427-442)
14			28 (394-426)
15		19 (227-245)	
16		19 (183-201)	

SUB-PHASE #XX INDICATES RESIDENTIAL PHASED CONSTRUCTION (THE NUMBER DOES NOT NECESSARILY REPRESENT THE ORDER OF CONSTRUCTION) THE INTENT OF THE SUBPHASE LIMITS ARE TO BE USED FOR UTILITY TURNOVER AND BONDING.

0391-00-1030  
 CITY OF VENICE  
 ZONING: GU  
 EXISTING LAND USE: FIRE STATION

VENETIAN GOLF & RIVER CLUB  
 ZONING: PUD  
 EXISTING LAND USE: RESIDENTIAL/GOLF COURSE

0391-00-1010  
 FLORIDA POWER & LIGHT CO  
 ZONING: OUR  
 EXISTING LAND USE: FPL TRANSMISSION

0391-00-1020  
 HURT TEE SANDRA  
 SJMR LIMITED PARTNERSHIP  
 ZONING: OUE  
 EXISTING LAND USE: AG

INDICATES AREAS PREVIOUSLY PLATTED - VILLAGES OF MILANO (PH 1A&1B) PB 49 PG 36

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	W/M APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

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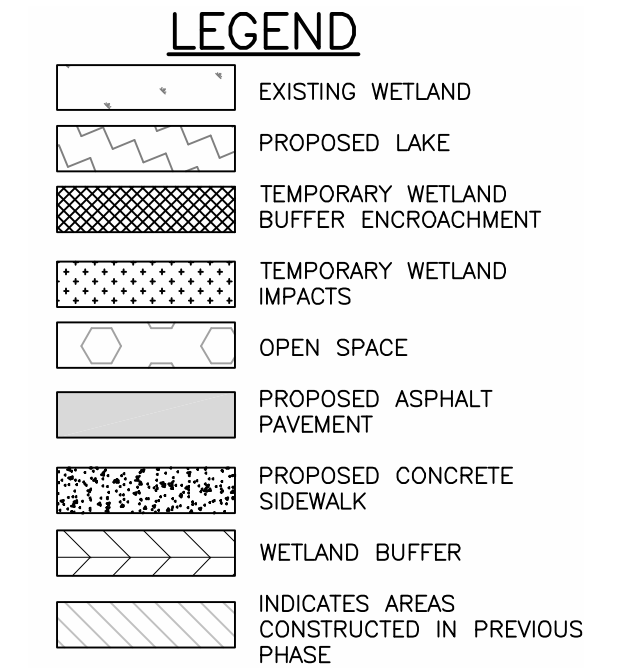
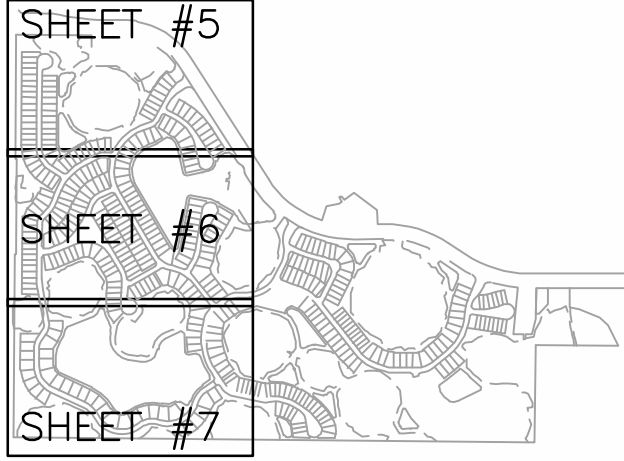
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
 PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
 HORIZONTAL SCALE: 1" = 200'  
 VERTICAL SCALE: -  
 SEC: TWP: RSE: 35 38S 19E

TITLE: MASTER SITE PLAN

CROSS REFERENCE FILE NO.:  
 PROJECT NUMBER: 215611819  
 SHEET NUMBER: 4 OF 51



NOTE: IMPROVEMENTS TO JACARANDA BOULEVARD SHALL BE PERMITTED WITH SARASOTA COUNTY REVISE MEDIAN OPENING

TACTILE SURFACE NOTES:  
SEE UNITED STATES ACCESS BOARD R304 FOR CONFIGURATION  
SEE CITY DETAIL ENG-1 - TYPICAL HANDICAPPED RAMP DETAIL FOR MATERIAL

ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

ADD TURN LANE

PROPERTY LINE/JACARANDA R-O-W LINE

RESTRIPING IMPROVEMENTS AS DESCRIBED IN THE PUD TRAFFIC STUDY  
"RESTRIPE NORTHBOUND APPROACH TO AN EXCLUSIVE LEFT, A SHARED THROUGH/RIGHT LANE, AND A BIKE LANE."



REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

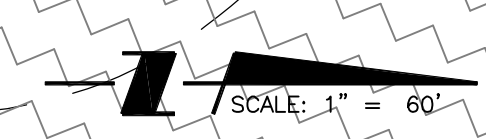
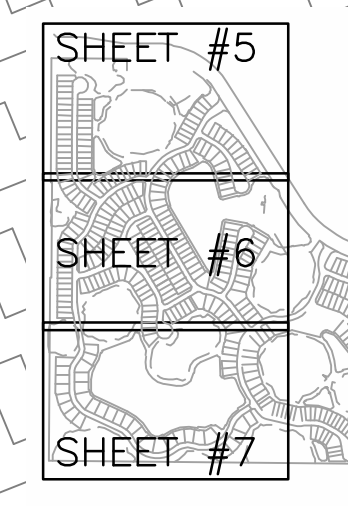
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
HORIZONTAL SCALE: 1" = 60'  
VERTICAL SCALE: -  
SEC: TWP: RSE: 35 38S 19E

TITLE: SITE PLAN  
INDEX NUMBER: 215611819-05C-1115P  
SHEET NUMBER: 5 OF 51



EXISTING 20' DRAINAGE EASEMENT TO BE EXTINGUISHED AND REPLACED WITH 43' ACCESS, UTILITY AND DRAINAGE EASEMENT

VARIABLE WIDTH WETLAND BUFFER (15' MINIMUM, 25' AVERAGE)

- LEGEND**
- EXISTING WETLAND
  - PROPOSED LAKE
  - TEMPORARY WETLAND BUFFER ENCROACHMENT
  - TEMPORARY WETLAND IMPACTS
  - OPEN SPACE
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - WETLAND BUFFER
  - INDICATES AREAS CONSTRUCTED IN PREVIOUS PHASE
  - PHASE 1 BOUNDARY
  - SUB-PHASE BOUNDARY

TACTILE SURFACE NOTES:  
 SEE UNITED STATES ACCESS BOARD R304 FOR CONFIGURATION  
 SEE CITY DETAIL ENG-1 - TYPICAL HANDICAPPED RAMP DETAIL FOR MATERIAL

ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929

EVERGLADE ESTATES ZONING: OUE EXISTING LAND USE: RESIDENTIAL

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

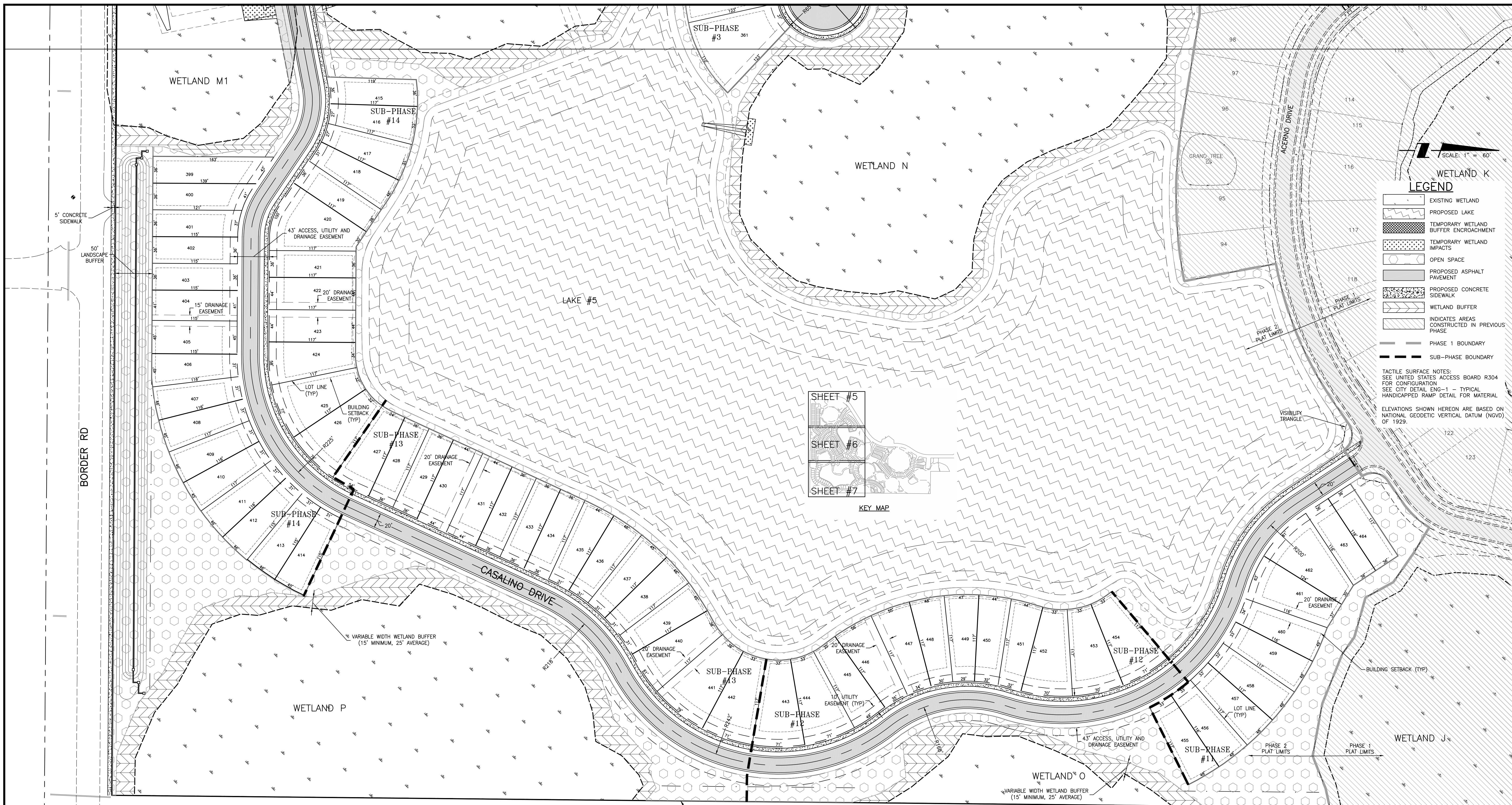
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
 PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
 HORIZONTAL SCALE: 1" = 60'  
 VERTICAL SCALE: -  
 SEC: 35 TWP: 19E CROSS REFERENCE FILE NO.: 215611819-05C-1115P

TITLE: SITE PLAN  
 INDEX NUMBER: 215611819-05C-1115P  
 SHEET NUMBER: 6 OF 51

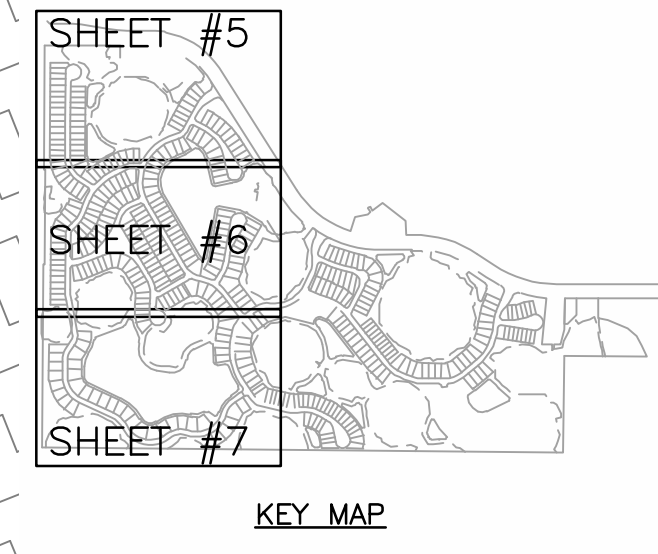


SCALE: 1" = 60'

- LEGEND**
- EXISTING WETLAND
  - PROPOSED LAKE
  - TEMPORARY WETLAND BUFFER ENCROACHMENT
  - TEMPORARY WETLAND IMPACTS
  - OPEN SPACE
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - WETLAND BUFFER
  - INDICATES AREAS CONSTRUCTED IN PREVIOUS PHASE
  - PHASE 1 BOUNDARY
  - SUB-PHASE BOUNDARY

TACTILE SURFACE NOTES:  
SEE UNITED STATES ACCESS BOARD R304 FOR CONFIGURATION  
SEE CITY DETAIL ENG-1 - TYPICAL HANDICAPPED RAMP DETAIL FOR MATERIAL

ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



0391-00-1020  
HURT TTEE SANDRA  
SJMRL LIMITED PARTNERSHIP  
ZONING: OUE  
EXISTING LAND USE: AG

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

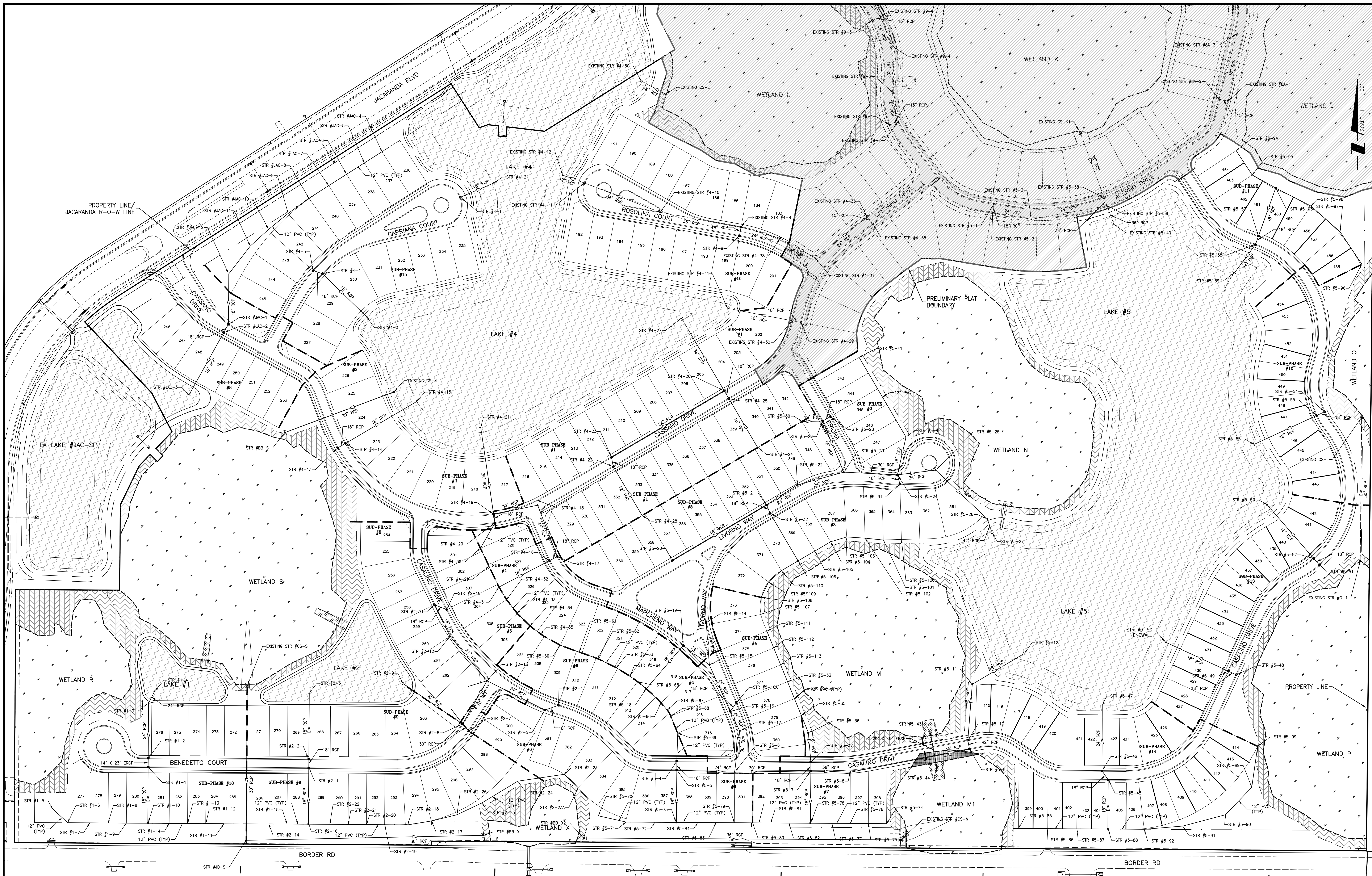
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
HORIZONTAL SCALE: 1" = 60'  
VERTICAL SCALE: -  
SEC: 35 385 19E

TITLE: SITE PLAN  
INDEX NUMBER: 215611819-05C-1111SP  
SHEET NUMBER: 7 OF 51

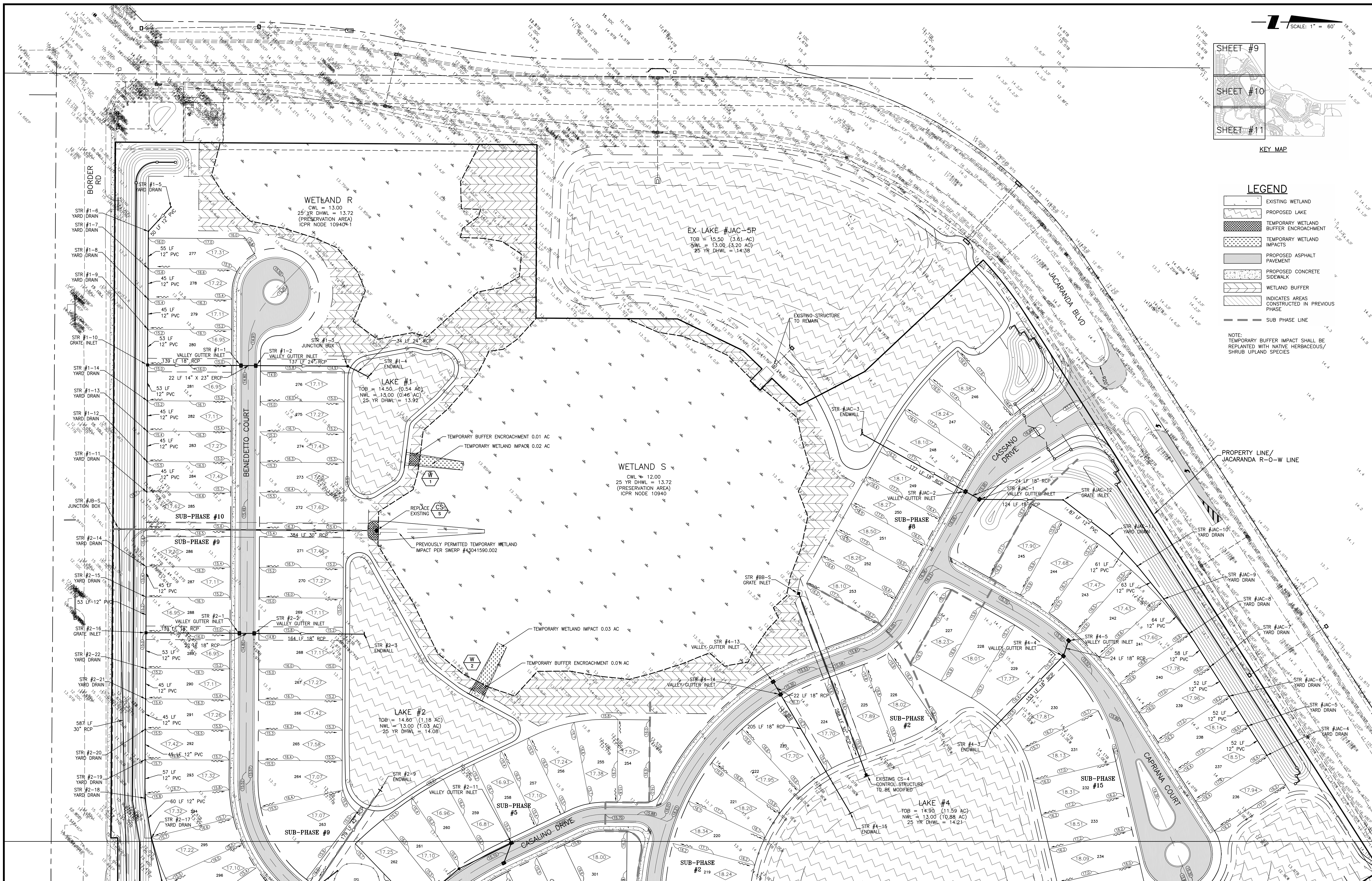


<b>REVISIONS</b> A REVISED PER CITY PRELIMINARY PLAT COMMENTS 04/07/16 DKL/89396		<b>ACTIVITY</b> DESIGNED BY: RTO/89450 2016 DRAWN BY: JMC/102924 2016 CHECKED BY: CONTRACT ADMIN. BY: W/M APPROVED BY:		6900 Professional Parkway East, Sarasota, FL 34240-8414 Phone 941-907-6000 • Fax 941-907-6910 Certificate of Authorization #27013 • www.stantec.com		<b>CLIENT:</b> NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC <b>PROJECT:</b> VILLAGES OF MILANO PHASE 2		<b>DATE:</b> 2016 <b>HORIZONTAL SCALE:</b> 1" = 100' <b>VERTICAL SCALE:</b> 1" = 10' <b>SECTION:</b> TWP. 28S. R. 19E. CROSS REFERENCE FILE NO.: 35_38S_19E		<b>TITLE:</b> MASTER GRADING AND DRAINAGE PLAN <b>PROJECT NUMBER:</b> 215611819-05C-121SD <b>SHEET NUMBER:</b> 8 OF 51	
---	--	---	--	---	--	---	--	--	--	--	--

LEGEND

- EXISTING WETLAND
- PROPOSED LAKE
- TEMPORARY WETLAND BUFFER ENCROACHMENT
- TEMPORARY WETLAND IMPACTS
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- WETLAND BUFFER
- INDICATES AREAS CONSTRUCTED IN PREVIOUS PHASE
- SUB PHASE LINE

NOTE: TEMPORARY BUFFER IMPACT SHALL BE REPLANTED WITH NATIVE HERBACEOUS/SHRUB UPLAND SPECIES



REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

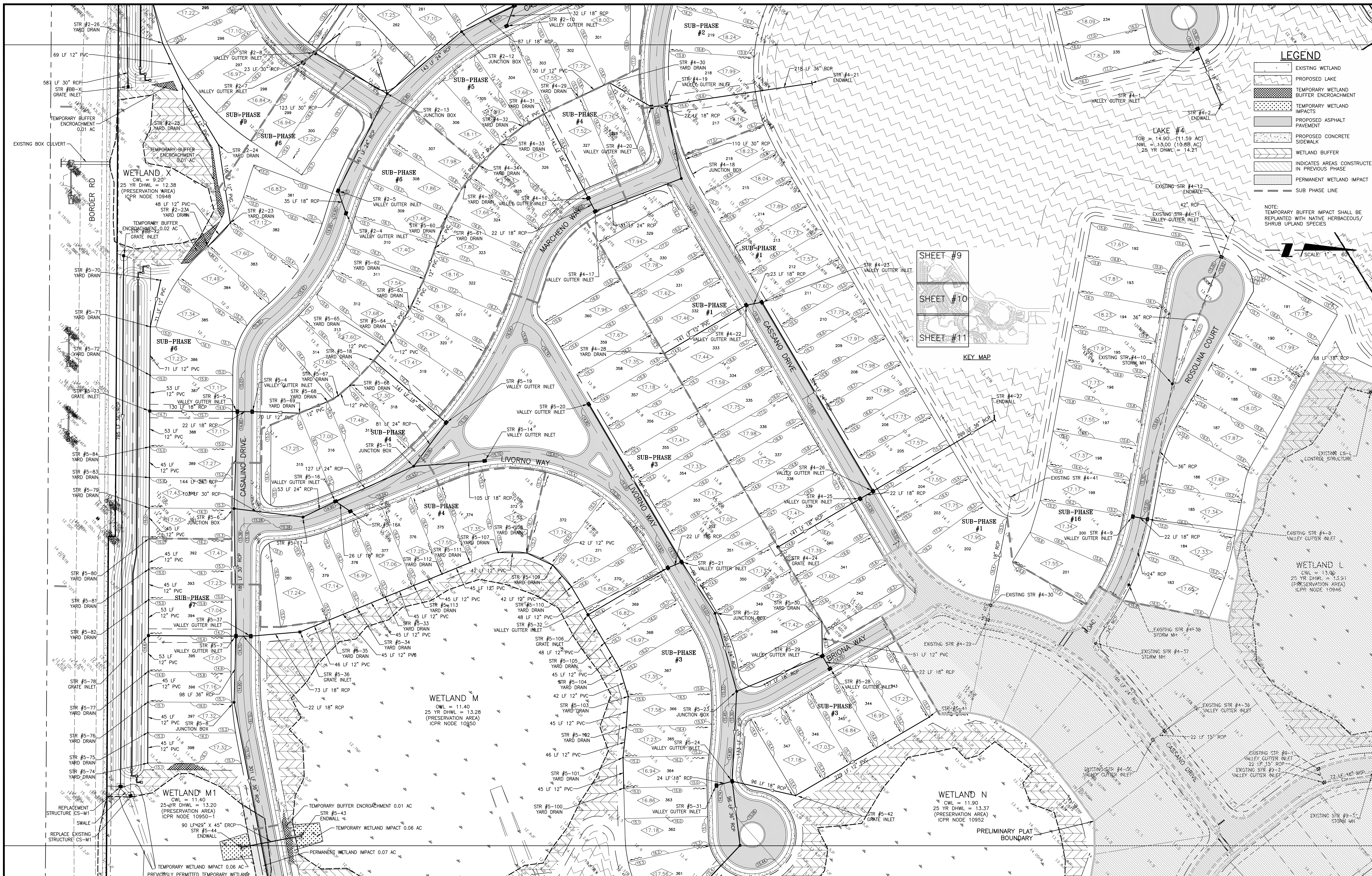
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
HORIZONTAL SCALE: 1" = 60'  
VERTICAL SCALE: 1" = 10'  
SHEET NUMBER: 35 OF 198

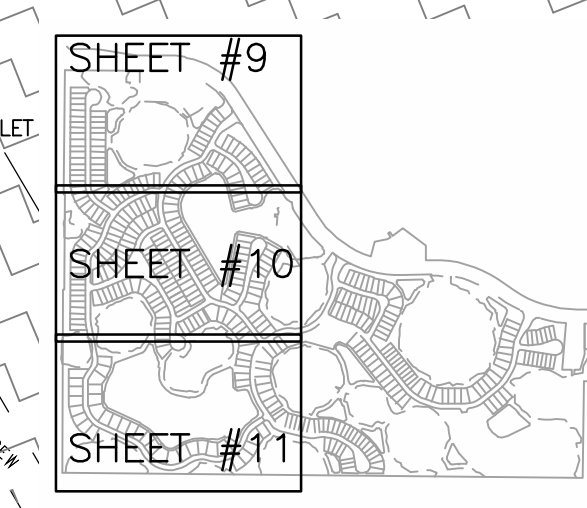
TITLE: GRADING AND DRAINAGE PLAN  
INDEX NUMBER: 215611819-05C-131SD  
SHEET NUMBER: 9 OF 51



**LEGEND**

- EXISTING WETLAND
- PROPOSED LAKE
- TEMPORARY WETLAND BUFFER ENCROACHMENT
- TEMPORARY WETLAND IMPACTS
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- WETLAND BUFFER
- INDICATES AREAS CONSTRUCTED IN PREVIOUS PHASE
- PERMANENT WETLAND IMPACT
- SUB PHASE LINE

NOTE: TEMPORARY BUFFER IMPACT SHALL BE REPLANTED WITH NATIVE HERBACEOUS/SHRUB UPLAND SPECIES



SCALE: 1" = 60'

**LAKE #4**  
 TOB = 14.90 (11.59 AC)  
 NWL = 13.00 (10.88 AC)  
 25 YR DHWL = 14.21

**WETLAND X**  
 CWL = 9.20'  
 25 YR DHWL = 12.38  
 (PRESERVATION AREA)  
 ICPN NODE 10948

**WETLAND M**  
 CWL = 11.40  
 25 YR DHWL = 13.28  
 (PRESERVATION AREA)  
 ICPN NODE 10950

**WETLAND N**  
 CWL = 11.90  
 25 YR DHWL = 13.37  
 (PRESERVATION AREA)  
 ICPN NODE 10952

**WETLAND M1**  
 CWL = 11.40  
 25 YR DHWL = 13.20  
 (PRESERVATION AREA)  
 ICPN NODE 10950-1

TEMPORARY BUFFER ENCROACHMENT 0.01 AC  
 STR #5-43 ENDWALL

TEMPORARY WETLAND IMPACT 0.06 AC

PERMANENT WETLAND IMPACT 0.07 AC

PREVIOUSLY PERMITTED TEMPORARY WETLAND IMPACT PER SWP# 43041590.002

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

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 Phone 941-557-6700 • Fax 941-557-6916  
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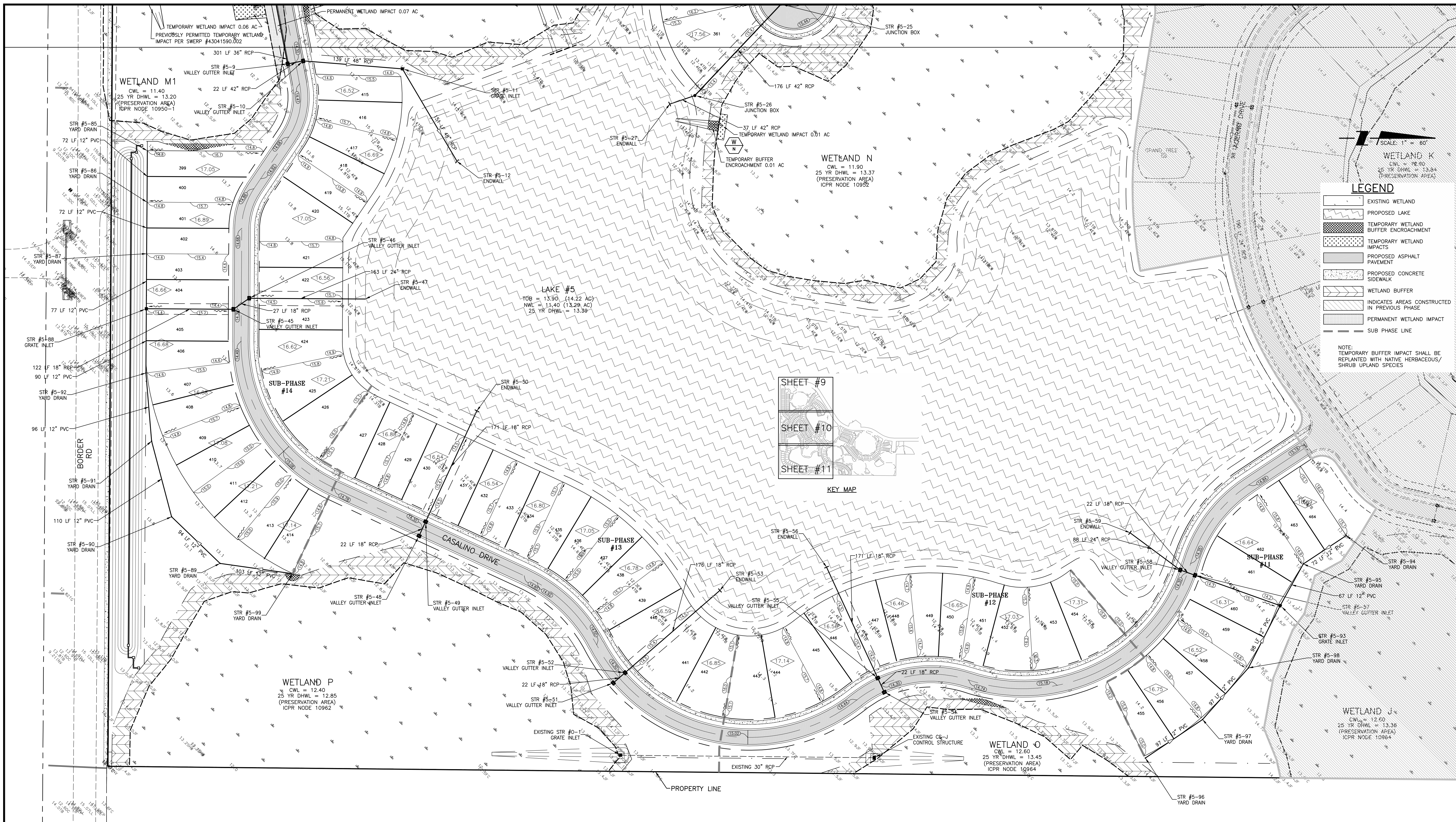
**CLIENT:** NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
**PROJECT:** VILLAGES OF MILANO PHASE 2

**DATE:** 2016  
**HORIZONTAL SCALE:** 1" = 60'  
**VERTICAL SCALE:** 1" = 10'  
**SEC. TWP. RSE:** 35 38S 19E

**TITLE:** GRADING AND DRAINAGE PLAN

**PROJECT NUMBER:** 215611819  
**CROSS REFERENCE FILE NO.:**  
**SHEET NUMBER:** 10 OF 51

**INDEX NUMBER:** 215611819-05C-131SD  
**SHEET NUMBER:** 10 OF 51

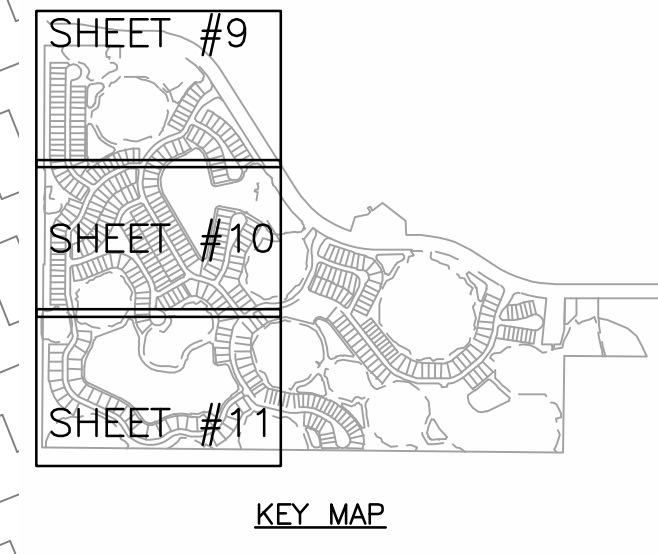


SCALE: 1" = 60'

WETLAND K  
 CWL = 12.90  
 25 YR DHWL = 13.84  
 (PRESERVATION AREA)

- LEGEND**
- EXISTING WETLAND
  - PROPOSED LAKE
  - TEMPORARY WETLAND BUFFER ENCROACHMENT
  - TEMPORARY WETLAND IMPACTS
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - WETLAND BUFFER
  - INDICATES AREAS CONSTRUCTED IN PREVIOUS PHASE
  - PERMANENT WETLAND IMPACT
  - SUB PHASE LINE

NOTE: TEMPORARY BUFFER IMPACT SHALL BE REPLANTED WITH NATIVE HERBACEOUS/SHRUB UPLAND SPECIES



WETLAND J  
 CWL = 12.60  
 25 YR DHWL = 13.36  
 (PRESERVATION AREA)  
 ICPR NODE 10964

0391-00-1020  
 HURT TEE SANDRA  
 SJMR LIMITED PARTNERSHIP  
 ZONING: OUE  
 EXISTING LAND USE: AG

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
 PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
 HORIZONTAL SCALE: 1" = 60'  
 VERTICAL SCALE: -  
 CROSS REFERENCE FILE NO.:  
 PROJECT NUMBER: 215611819  
 INDEX NUMBER: 215611819-05C-131SD  
 SHEET NUMBER: 11 OF 51

- NOTES:
1. ALL SEWER MAINS SHALL BE 8" IN DIAMETER, AT 0.4% SLOPE, THREE FOOT OF COVER WILL BE PROVIDED AT THE FURTHEST POINT FROM THE LIFT STATION CONNECTION.
  2. EASEMENTS WILL BE PROVIDED FOR WATER AND SEWER, WHICH WILL BE TURNED OVER TO AND MAINTAINED BY THE CITY OF VENICE (WATER) AND SARASOTA COUNTY (SEWER).
  3. CURBSIDE TRASH PICK UP FOR EACH RESIDENCE WILL BE PROVIDED BY THE CITY OF VENICE. ACCESSIBILITY TO GATE WILL BE PROVIDED FOR THE CITY OF VENICE. THERE ARE NO PROPOSED REFUSE COLLECTION AREAS FOR THIS SITE.
  4. A SIREN OPERATED SENSOR, WHICH RESPONDS TO THE "YELLO" STYLE SIREN, WILL BE INSTALLED ON THE ACCESS GATES AT BOTH ENTRANCES FOR ACCESSIBILITY BY CITY OF VENICE EMERGENCY VEHICLES.
  5. ONE THOUSAND GPM FIREFLOW WILL BE PROVIDED AT EACH PROPOSED FIRE HYDRANT.

UTILITY SUPPLIERS:

FLORIDA POWER & LIGHT  
1253 12TH AVE EAST  
PALMETTO, FL 34221

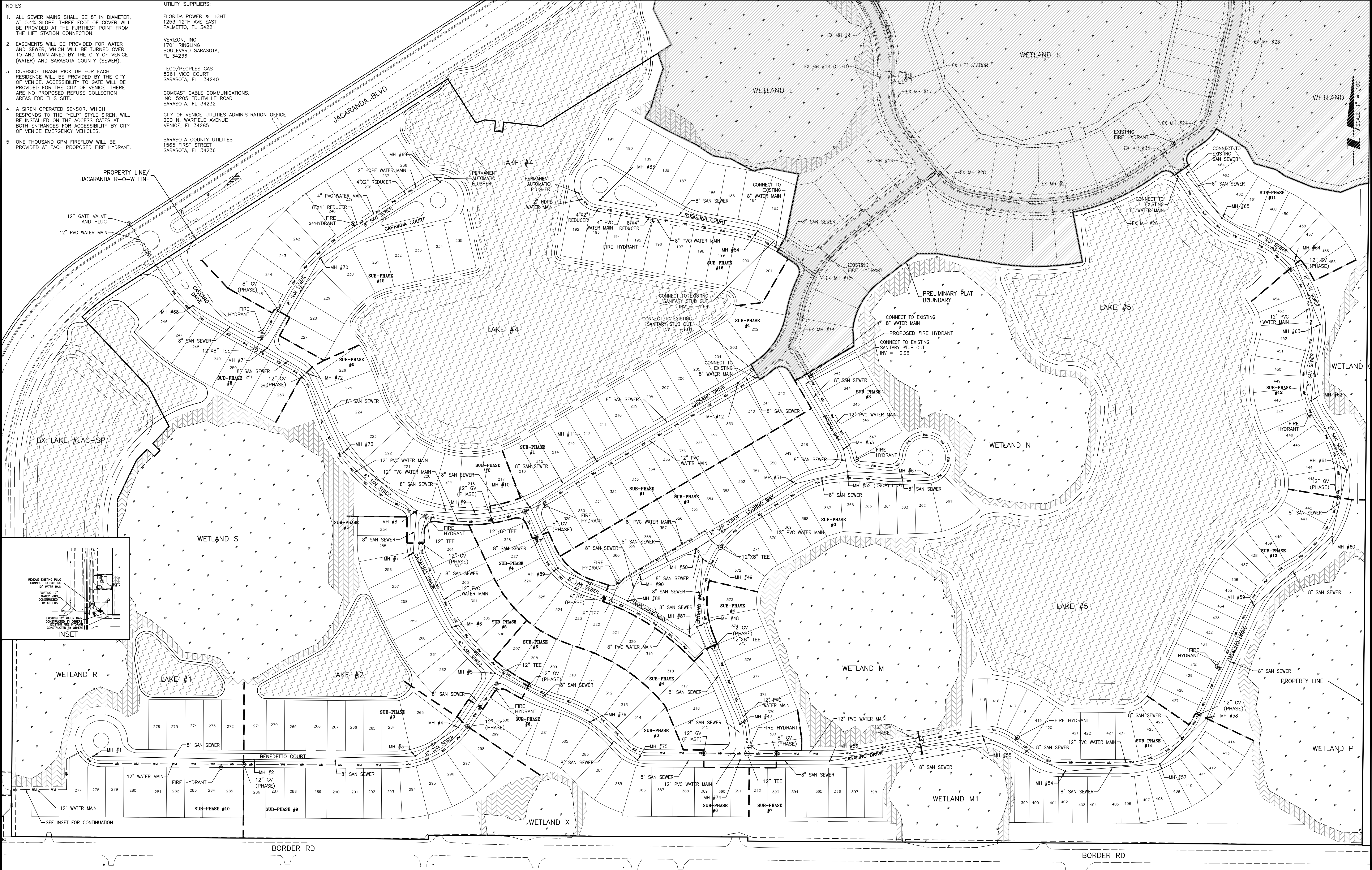
VERIZON, INC.  
1701 RINGLING  
BOULEVARD SARASOTA,  
FL 34236

TECO/PEOPLES GAS  
8261 VICO COURT  
SARASOTA, FL 34240

COMCAST CABLE COMMUNICATIONS,  
INC. 5205 FRUITVILLE ROAD  
SARASOTA, FL 34232

CITY OF VENICE UTILITIES ADMINISTRATION OFFICE  
200 N. WARFIELD AVENUE  
VENICE, FL 34285

SARASOTA COUNTY UTILITIES  
1565 FIRST STREET  
SARASOTA, FL 34236



REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
C	REVISED PER CITY COMMENTS DATED 5/13/16	05/13/16	RTD/89450	JMC/102924	2016
B	REVISED PER CITY PRELIMINARY PLAT COMMENTS	05/04/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

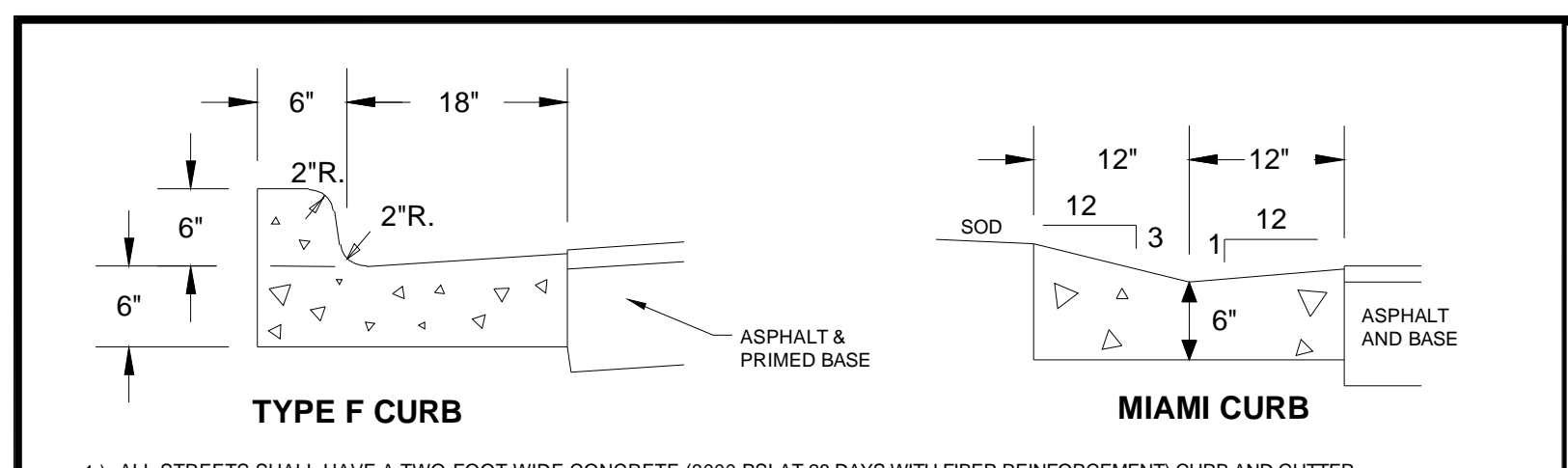
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

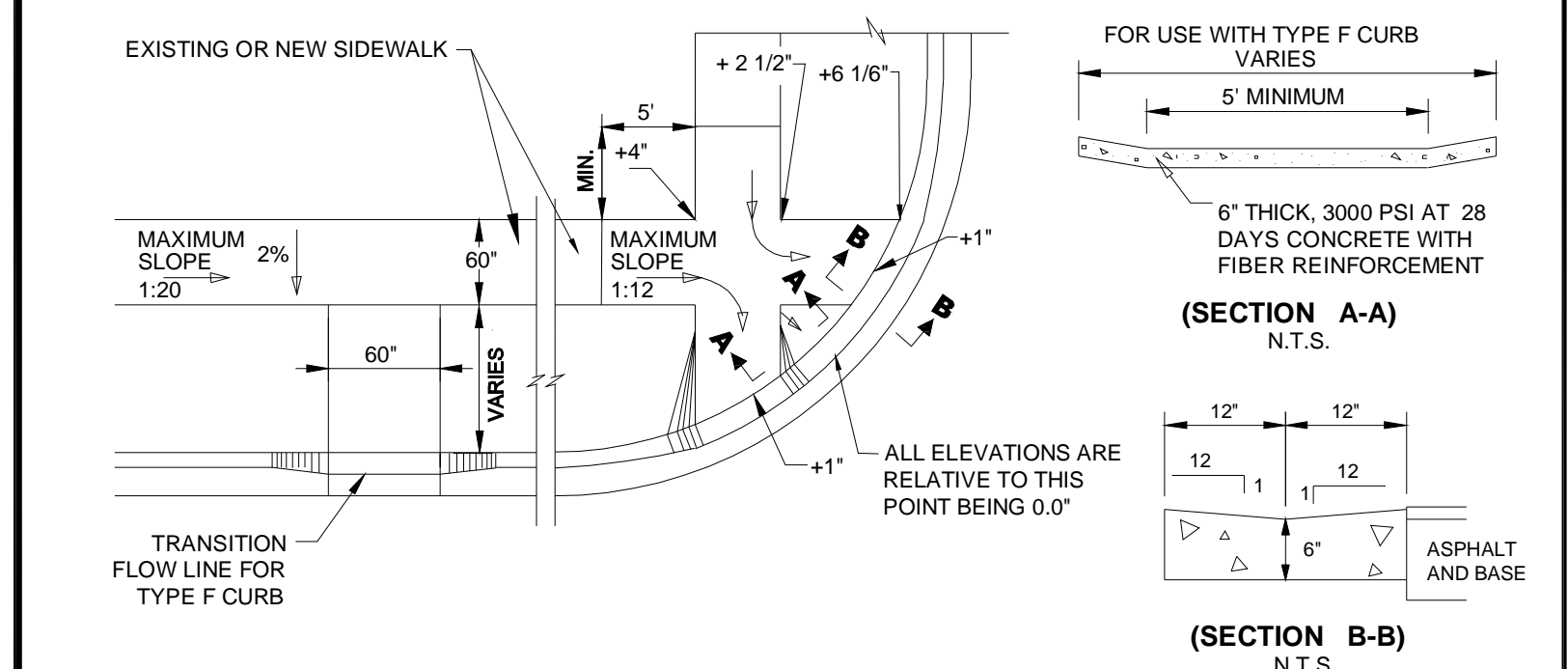
DATE: 2016  
HORIZONTAL SCALE: 1" = 100'  
VERTICAL SCALE: 1" = 10'

TITLE: MASTER WATER AND SEWER PLAN  
INDEX NUMBER: 215611819-05C-151UP  
SHEET NUMBER: 12 OF 51



1) ALL STREETS SHALL HAVE A TWO-FOOT WIDE CONCRETE (3000 PSI AT 28 DAYS WITH FIBER REINFORCEMENT) CURB AND GUTTER, AND MEET OR EXCEED FOOT SPECIFICATIONS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

**CURB DETAIL**  
 N.T.S.



1) ALL CONCRETE RAMPS SHALL BE 4" THICK, INCREASING TO 6" THICK WITHIN 48" OF THE CURB

2) ALL CONNECTIONS TO AN EXISTING SIDEWALK SHALL BE AT AN EXPANSION OR CONTRACTION JOINT

3) THE MAXIMUM RAMP SLOPE SHALL BE 1:12, FOR A VERTICAL DISTANCE OF NOT MORE THAN 6 INCHES.

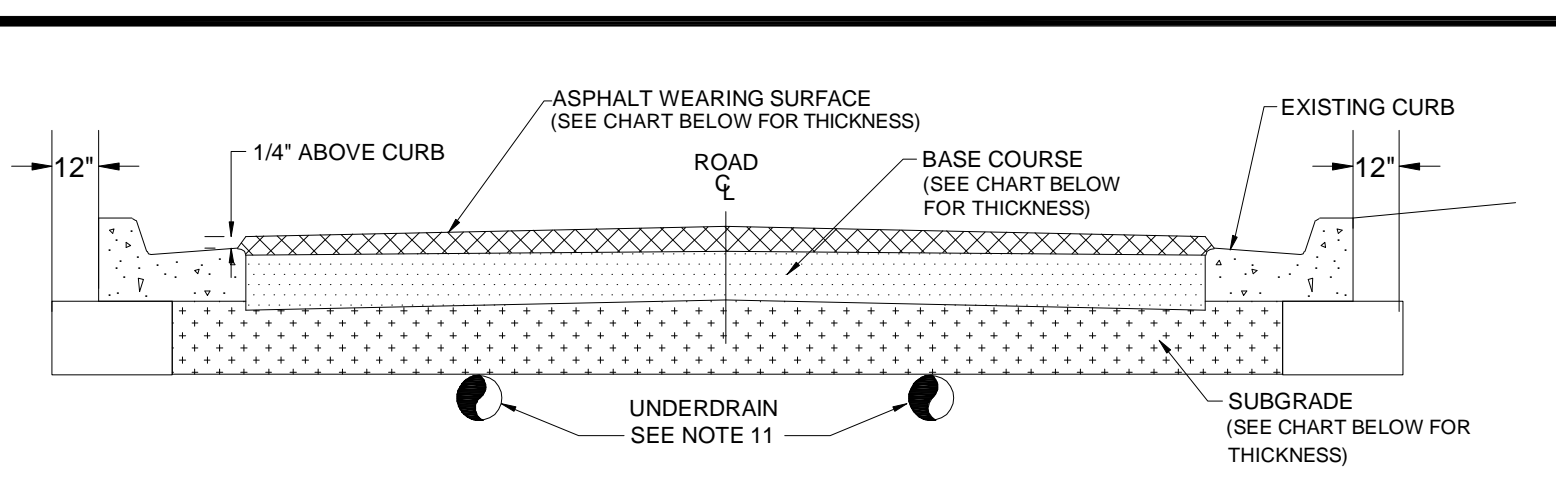
4) THE MAXIMUM RUNNING SIDEWALK SLOPE SHALL BE 1:20, AND MAXIMUM CROSS SLOPE SHALL BE 2%.

5) ALL SIDEWALK RAMPS AND STREET CONNECTIONS WITHIN THE PUBLIC ROW SHALL HAVE A TACTILE SURFACE.

6) TACTILE SURFACES SHALL MEET THE MOST CURRENT AMERICANS WITH DISABILITIES ACT STANDARDS AND SHALL BE BRICK RED IN COLOR.

7) ALL MATERIALS & METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT, "STANDARDS FOR ROAD & BRIDGE CONSTRUCTION". IN ADDITION, CONCRETE SHALL BE 3000 PSI AT 28 DAYS WITH A MAXIMUM 4" SLUMP AND FIBER REINFORCEMENT.

**SIDEWALK RAMP DETAIL**  
 N.T.S.



STREET CLASSIFICATION	(1) ASPHALT SURFACE:		(2) BASE:		(3) SUB-GRADE:
	ABC3	CCA	ABC3	CCA	
LOCAL STREET	1 1/2" OF TYPE S-1	5' 10"	10'	10'	12' MIN 40 LBR
COLLECTOR STREET	3" OF TYPE S-1 & 1" OF TYPE FC-3	5' 10"	10'	10'	12' MIN 40 LBR
ARTERIAL STREET	3" OF TYPE S-1 & 1" OF TYPE FC-3	5' 10"	10'	10'	12' MIN 40 LBR

1) CTB MATERIAL MUST YIELD COMPRESSIVE STRENGTH WITHIN THE RANGE OF 175 TO 275 PSI. CCA MUST HAVE AN LBR  $\geq$ 150. SHELL IS NOT AN ACCEPTABLE BASE MATERIAL.

2) ALL GRANULAR COURSES OF ROAD CONSTRUCTION MUST BE COMPACTED TO 98% OF ITS OPTIMUM DENSITY AS PER T-180 (ASHTO). CTB SHALL BE COMPACTED TO 98% OF ITS LAB FORMULATION DENSITY (ASHTO T-99).

3) ALL MINERAL MATERIALS USED IN CONSTRUCTION OF ROADWAYS MUST MEET THE FOLLOWING CRITERIA:  
 a.) FINES (PASSING # 200 SIEVE) MUST BE LIMITED TO  $\leq$  12%, ORGANICS LIMITED TO  $\leq$  5%, NO DELETERIOUS MATERIALS.

4) CEMENT TREATED BASE:  
 a.) THE MATERIAL TO BE USED AS THE FILLER AGGREGATE IN CTB MUST BE LBR TESTED PRIOR TO DESIGN FORMULATION (ADDING CEMENT). THIS MATERIAL MUST ACHIEVE AN LBR VALUE OF  $\geq$  100.  
 b.) CTB DESIGN CRITERION SHOULD TARGET RANGE FROM 175 TO 275 PSI ON 7 DAY BREAK.

5) ALL MATERIALS & METHODS OF CONSTRUCTION WITH THE EXCEPTION OF ASPHALT PAVING AND BASE MATERIAL SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT, "STANDARDS FOR ROAD & BRIDGE CONSTRUCTION" AND "ROADWAY AND TRAFFIC DESIGN STANDARDS". ASPHALT PAVING AND BASE MATERIAL SHALL MEET THE CRITERIA OF 2008 VERSION OF THE FOOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OR LATEST CITY OF VENICE STANDARD DETAIL, WHICHEVER IS MORE RESTRICTIVE. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS WITH A MAXIMUM 4" SLUMP AND FIBER REINFORCEMENT.

6) SIGNAGE AND PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".

7) ALL CITY STREET SIGNS WILL BE BLUE BACKGROUND WITH 6" WHITE LETTERS AND CONSTRUCTED WITH HIGH INTENSITY REFLECTORIZED MATERIAL. LOCAL ROAD SIGNS SHALL BE 9 INCHES WIDE. ALL STREET SIGN DESIGNS TO BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS PRIOR TO INSTALLATION.

8) ALL STREETS WITHIN CITY LIMITS SHALL MEET THE MINIMUM DESIGN STANDARDS ESTABLISHED IN CITY STANDARD DETAILS.

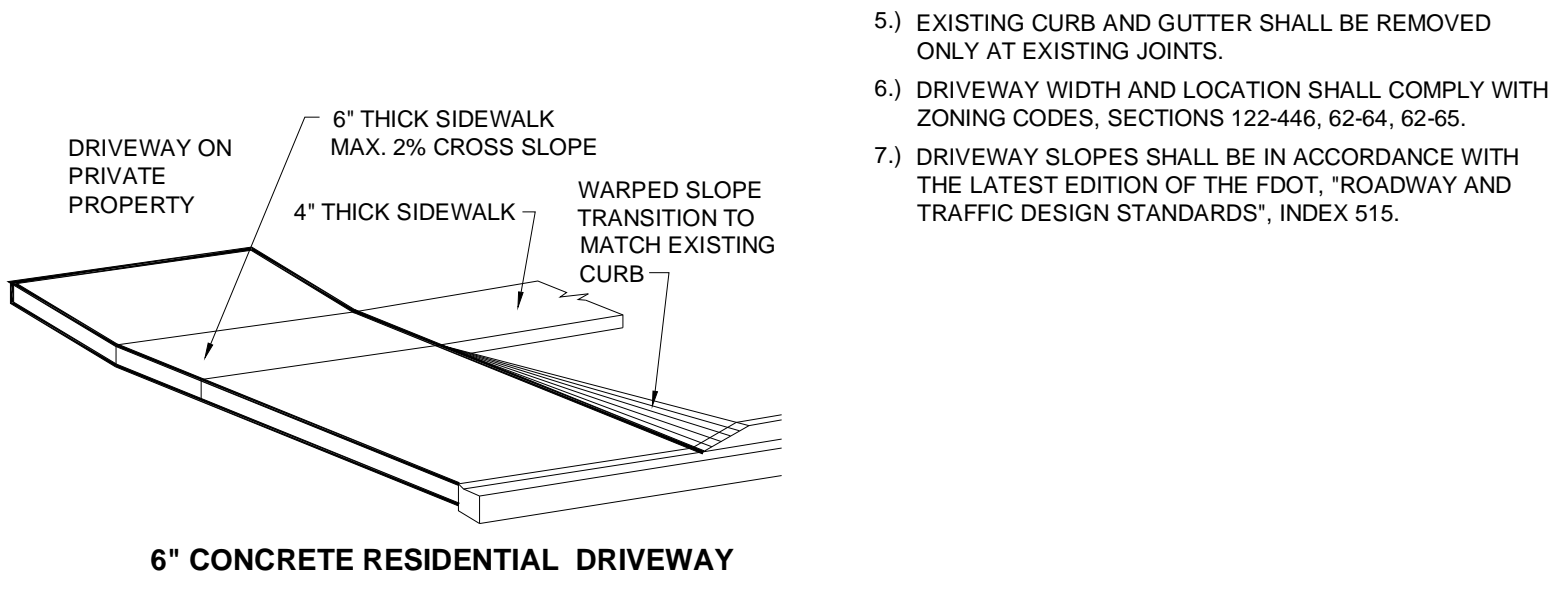
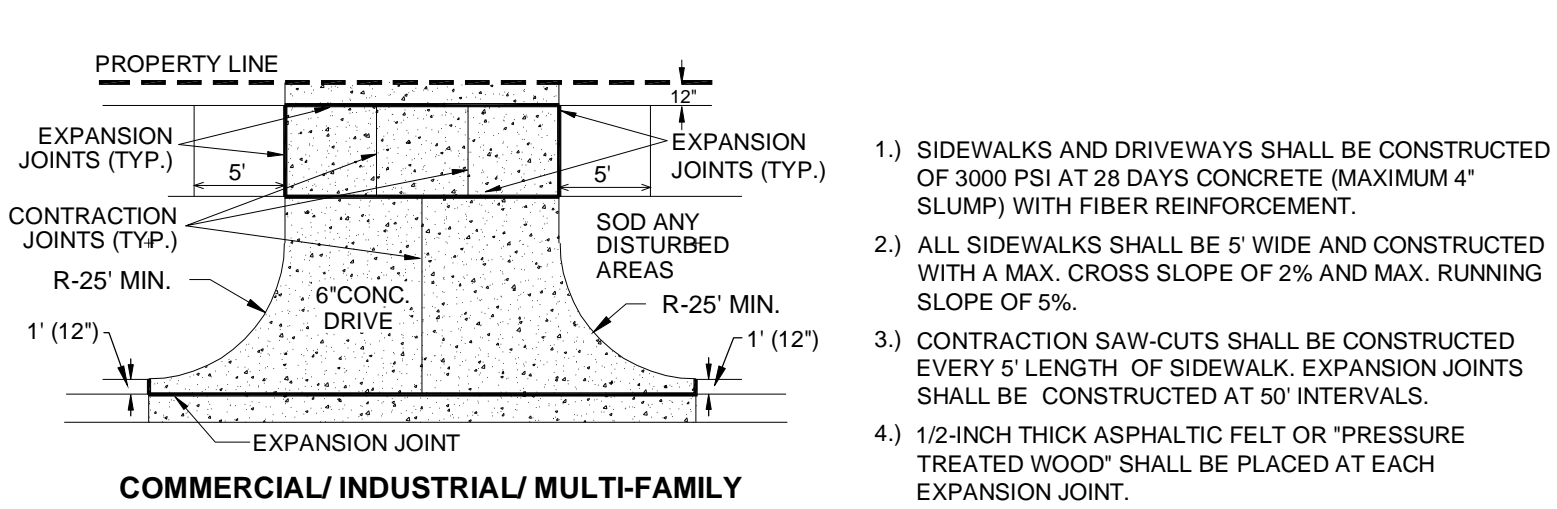
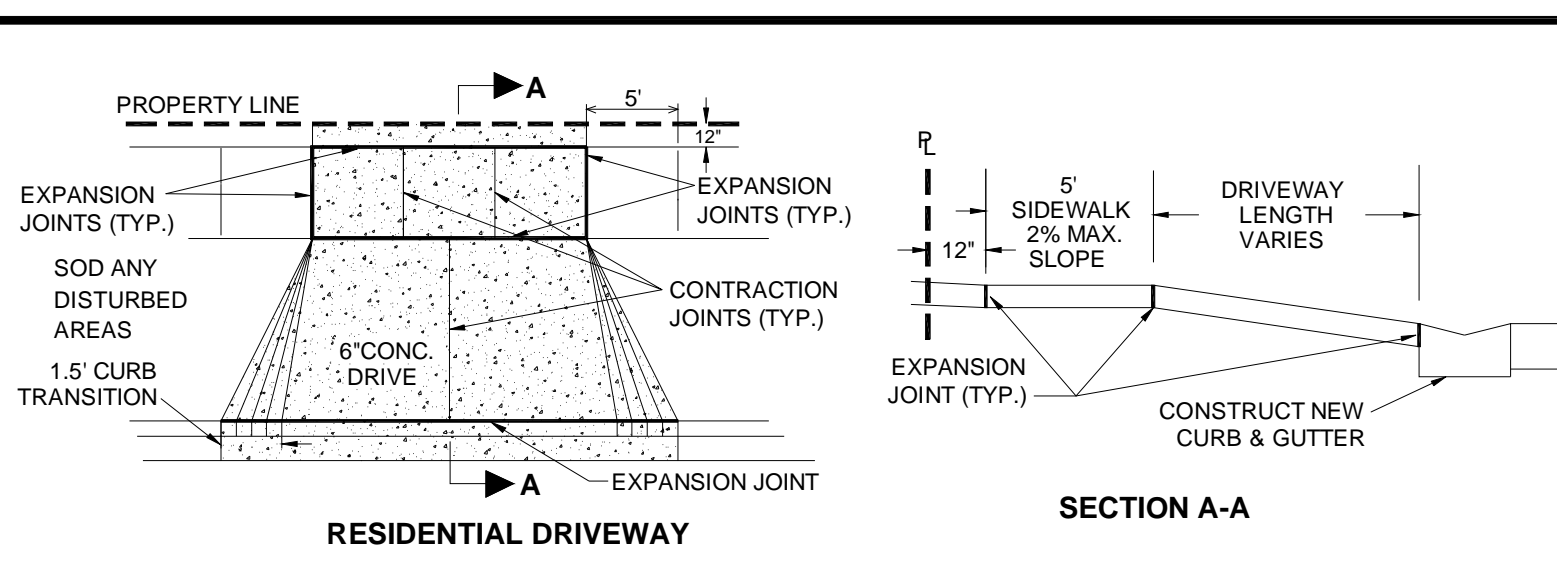
9) ALL CURB PADS SHALL MEET THE SAME STRUCTURAL AND COMPACTION STANDARDS AS ROAD SUB GRADE. THESE PADS WILL EXTEND TO AT LEAST 12" BEYOND THE CURB.

10) UNDERDRAINS OR SIDEDRAINS MAY BE CONSIDERED WHEN THE PERSISTENT GROUND WATER LEVELS ARE MEASURED WITHIN 24 INCHES OF THE PAVEMENT GRADE AND ARE LIKELY TO AFFECT THE STRUCTURAL INTEGRITY OF THE ROAD. IF APPROPRIATE, THIS DESIGN SHALL BE THE RESPONSIBILITY OF ENGINEER OF RECORD.

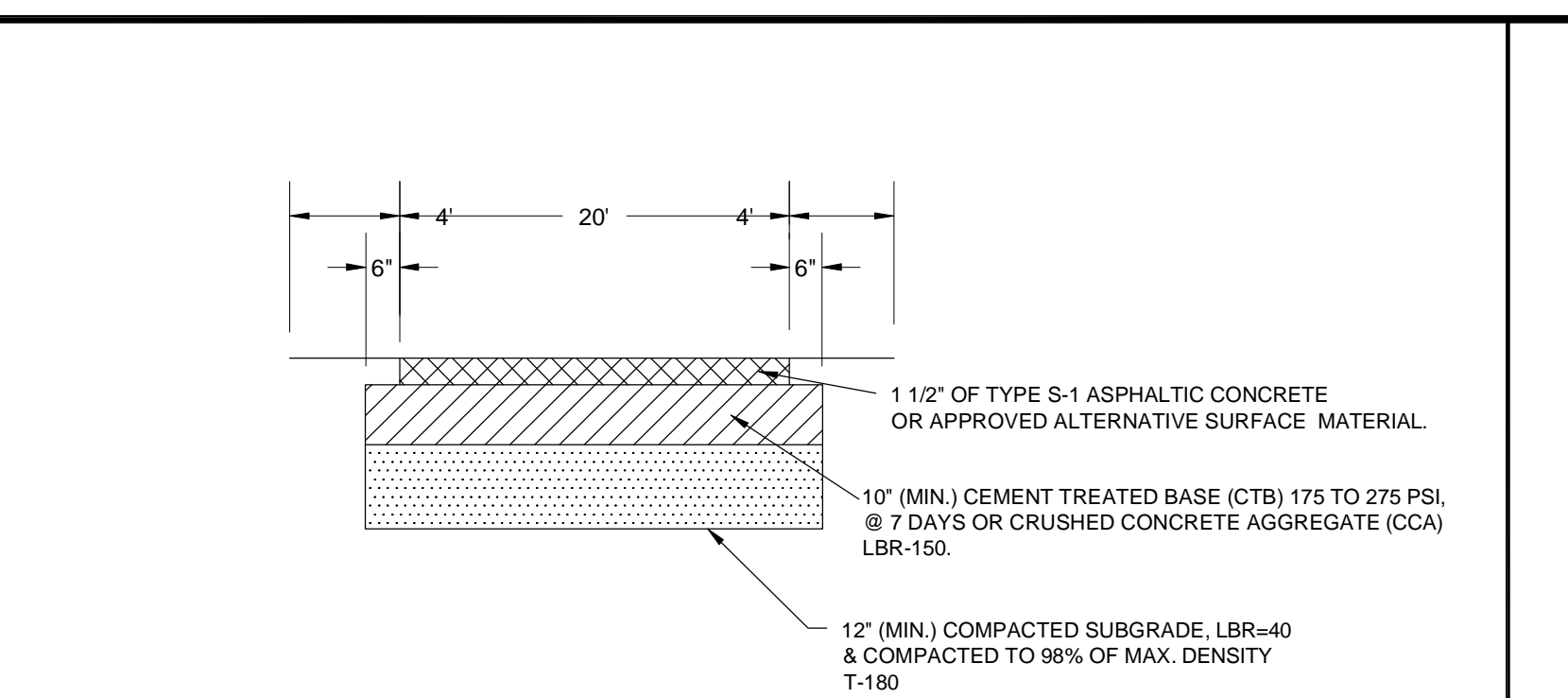
11) ALL TRAFFIC CALMING DEVICES MUST BE APPROVED BY THE FIRE CHIEF.

12) ASPHALT MIXTURES SHALL NOT BE PLACED WHILE RAIN IS FALLING, OR WHEN THERE IS WATER ON THE SURFACE TO BE COVERED.

**TYPICAL ROADWAY SECTION**  
 N.T.S.



**DRIVEWAY & SIDEWALK DETAIL**  
 N.T.S.



1) SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED OF 3000 PSI AT 28 DAYS CONCRETE (MAXIMUM 4" SLUMP) WITH FIBER REINFORCEMENT.

2) ALL SIDEWALKS SHALL BE 5' WIDE AND CONSTRUCTED WITH A MAX. CROSS SLOPE OF 2% AND MAX. RUNNING SLOPE OF 5%.

3) CONTRACTION SAW-CUTS SHALL BE CONSTRUCTED EVERY 5' LENGTH OF SIDEWALK. EXPANSION JOINTS SHALL BE CONSTRUCTED AT 50' INTERVALS.

4) 1/2-INCH THICK ASPHALTIC FELT OR "PRESSURE TREATED WOOD" SHALL BE PLACED AT EACH EXPANSION JOINT.

5) EXISTING CURB AND GUTTER SHALL BE REMOVED ONLY AT EXISTING JOINTS.

6) DRIVEWAY WIDTH AND LOCATION SHALL COMPLY WITH ZONING CODES, SECTIONS 122-446, 62-64, 62-65.

7) DRIVEWAY SLOPES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT, "ROADWAY AND TRAFFIC DESIGN STANDARDS", INDEX 515.

1) ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20' AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'

2) ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SUITABLE FOR ALL WEATHER DRIVING CAPABILITIES.

3) REQUIREMENTS MAY BE SUBJECT TO CHANGE AS PER UNIFORM FIRE CODE, FLORIDA LATEST EDITION.

4) FIRE LANE SIGNS THAT COMPLY WITH THE REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE MUST BE INSTALLED.

- EMERGENCY ACCESS SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING:

**NO PARKING  
 FIRE LANE  
 TOW AWAY ZONE  
 F.S.316-1945**

- SUCH SIGNS SHALL BE 12 INCHES BY 18 INCHES WITH A WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF 7 FEET IN HEIGHT FROM THE ROADWAY TO THE BOTTOM PART OF THE SIGN.

- THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART.

5) IT IS IMPERATIVE THAT THIS EMERGENCY ACCESS REMAINS OPEN AT ALL TIMES. IT IS THEREFORE INCUMBENT UPON YOUR STAFF TO NOTIFY THE VENICE POLICE DEPARTMENT ANYTIME A VEHICLE IS BLOCKING THIS REQUIRED EMERGENCY ACCESS.

**EMERGENCY VEHICLE ACCESS DETAIL**  
 N.T.S.

**CITY OF VENICE**  
 ENGINEERING DEPARTMENT

401 WEST VENICE AVE.  
 VENICE FL 34285  
 (941) 486-2626  
 FAX (941) 480-3031

**ENGINEERING**

**SIDEWALK RAMPS & CURBING**

DATE: JAN. 2016  
 SHEET NO. **ENG-1**

**CITY OF VENICE**  
 ENGINEERING DEPARTMENT

401 WEST VENICE AVE.  
 VENICE FL 34285  
 (941) 486-2626  
 FAX (941) 480-3031

**ENGINEERING**

**TYPICAL ROADWAY SECTION**

DATE: JAN. 2016  
 SHEET NO. **ENG-3**

**CITY OF VENICE**  
 ENGINEERING DEPARTMENT

401 WEST VENICE AVE.  
 VENICE FL 34285  
 (941) 486-2626  
 FAX (941) 480-3031

**ENGINEERING**

**TYPICAL DRIVEWAY & SIDEWALK**

DATE: JAN. 2016  
 SHEET NO. **ENG-4**

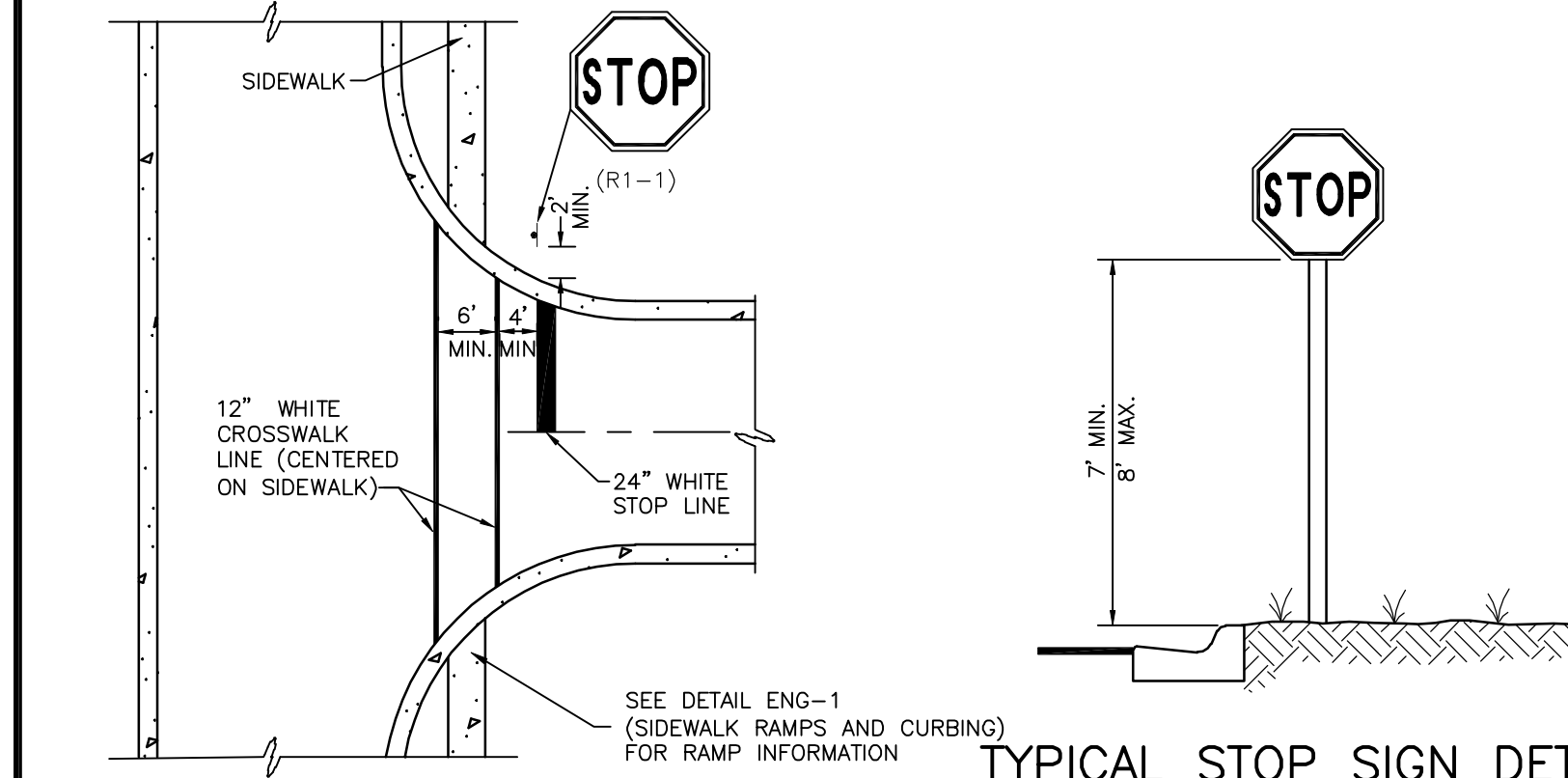
**CITY OF VENICE**  
 ENGINEERING DEPARTMENT

401 WEST VENICE AVE.  
 VENICE FL 34285  
 (941) 486-2626  
 FAX (941) 480-3031

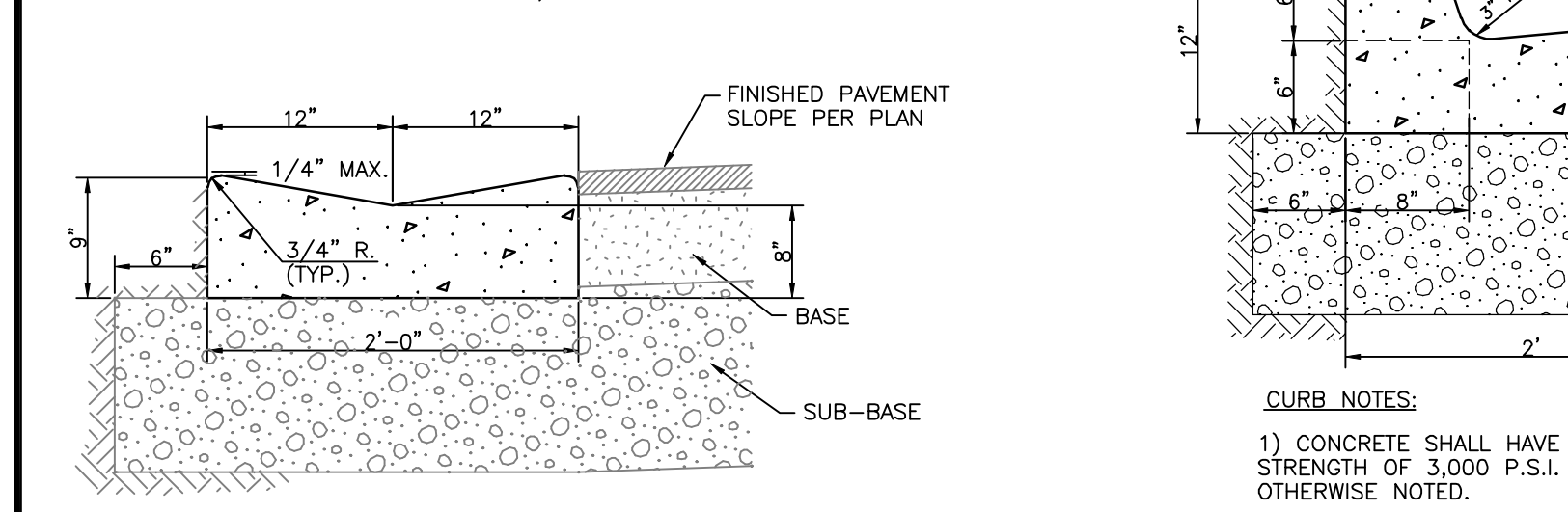
**ENGINEERING**

**EMERGENCY VEHICLE ACCESS**

DATE: JAN. 2016  
 SHEET NO. **ENG-6**



NOTE:  
 ALL CONCRETE SHALL BE A MINIMUM OF 3,000 PSI @ 28 DAYS WITH FIBER REINFORCEMENT.

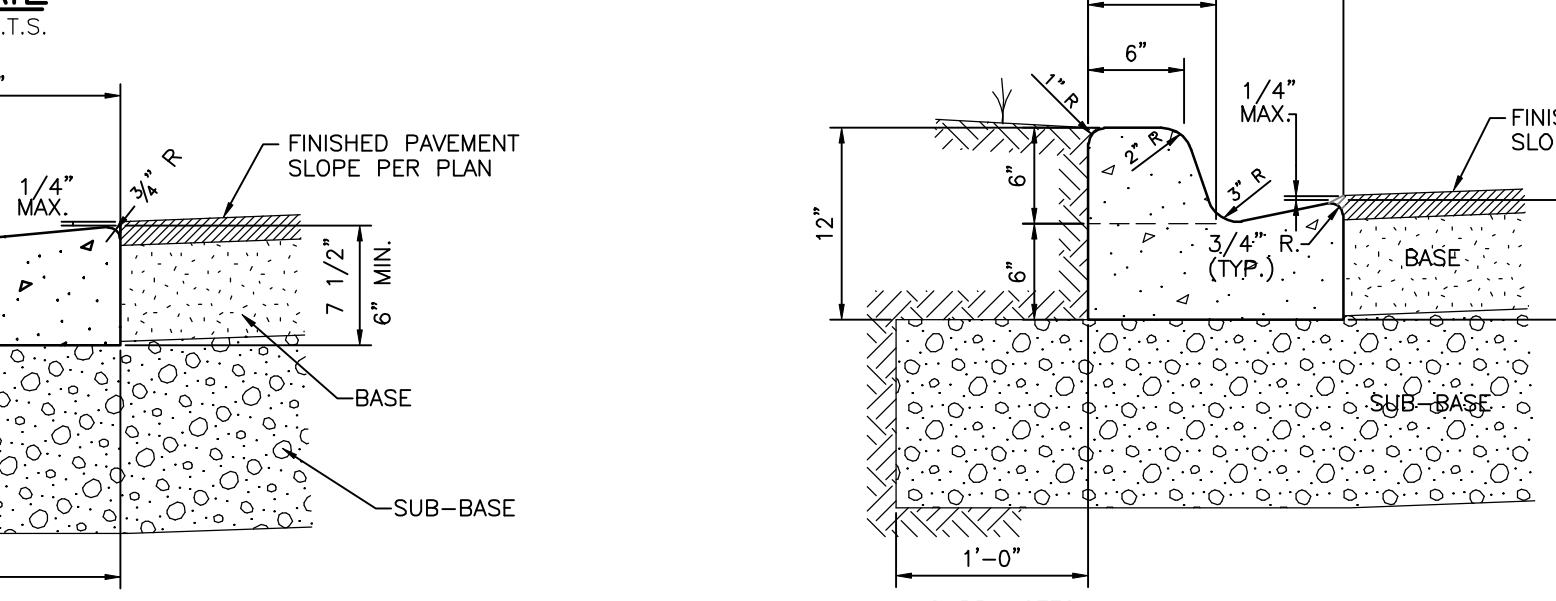


**CURB NOTES:**

1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.

2) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50'. CONTRACTION JOINTS AT 10' INTERVALS BETWEEN.

3) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.



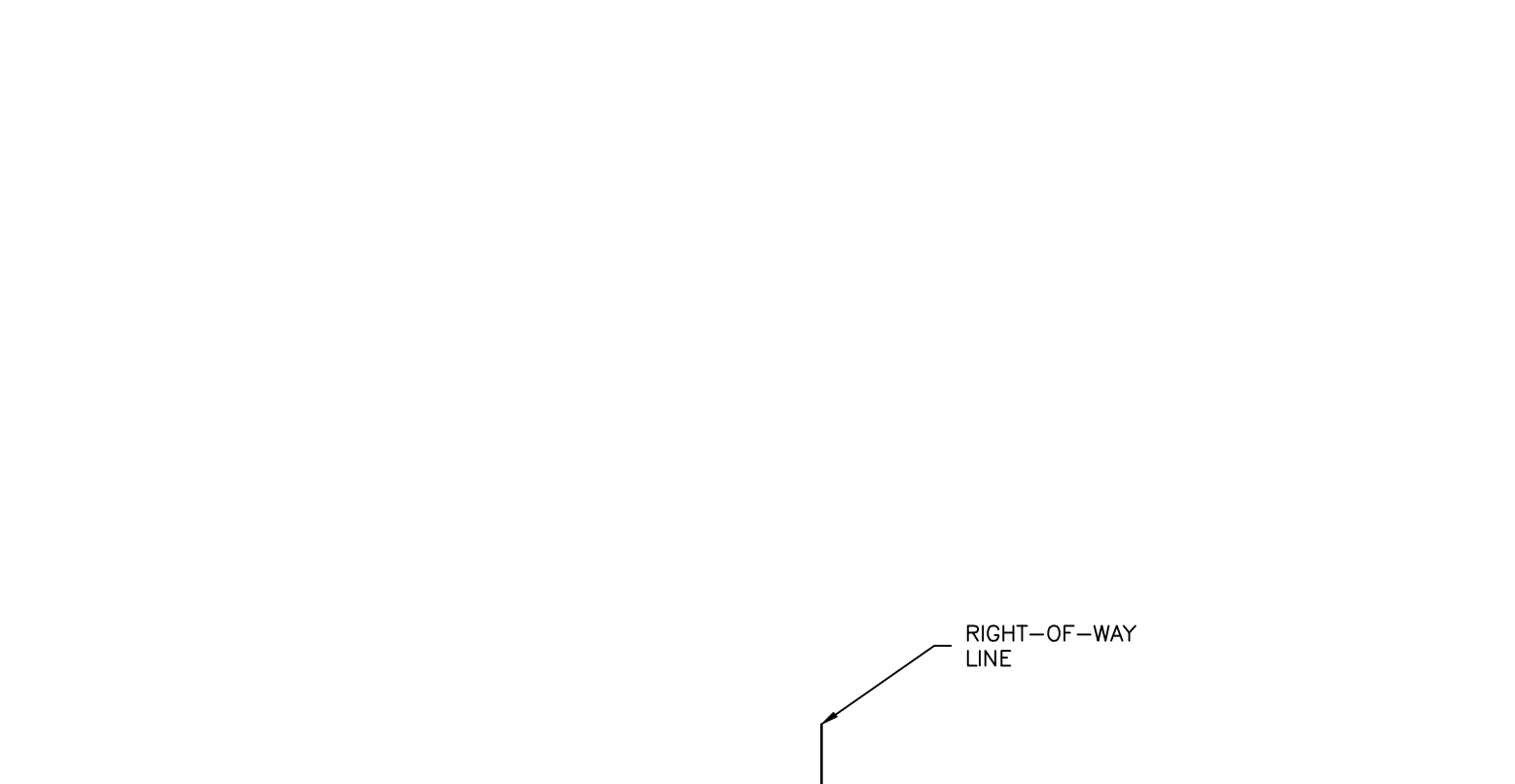
**CURB NOTES:**

1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.

2) WHEN USED ON THE HIGH SIDE OF THE ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.

3) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50'. CONTRACTION JOINTS AT A MAXIMUM SPACING OF 10' SHALL BE SAW CUT AT DEPTH PER FDOT INDEX NO. 300.

4) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.



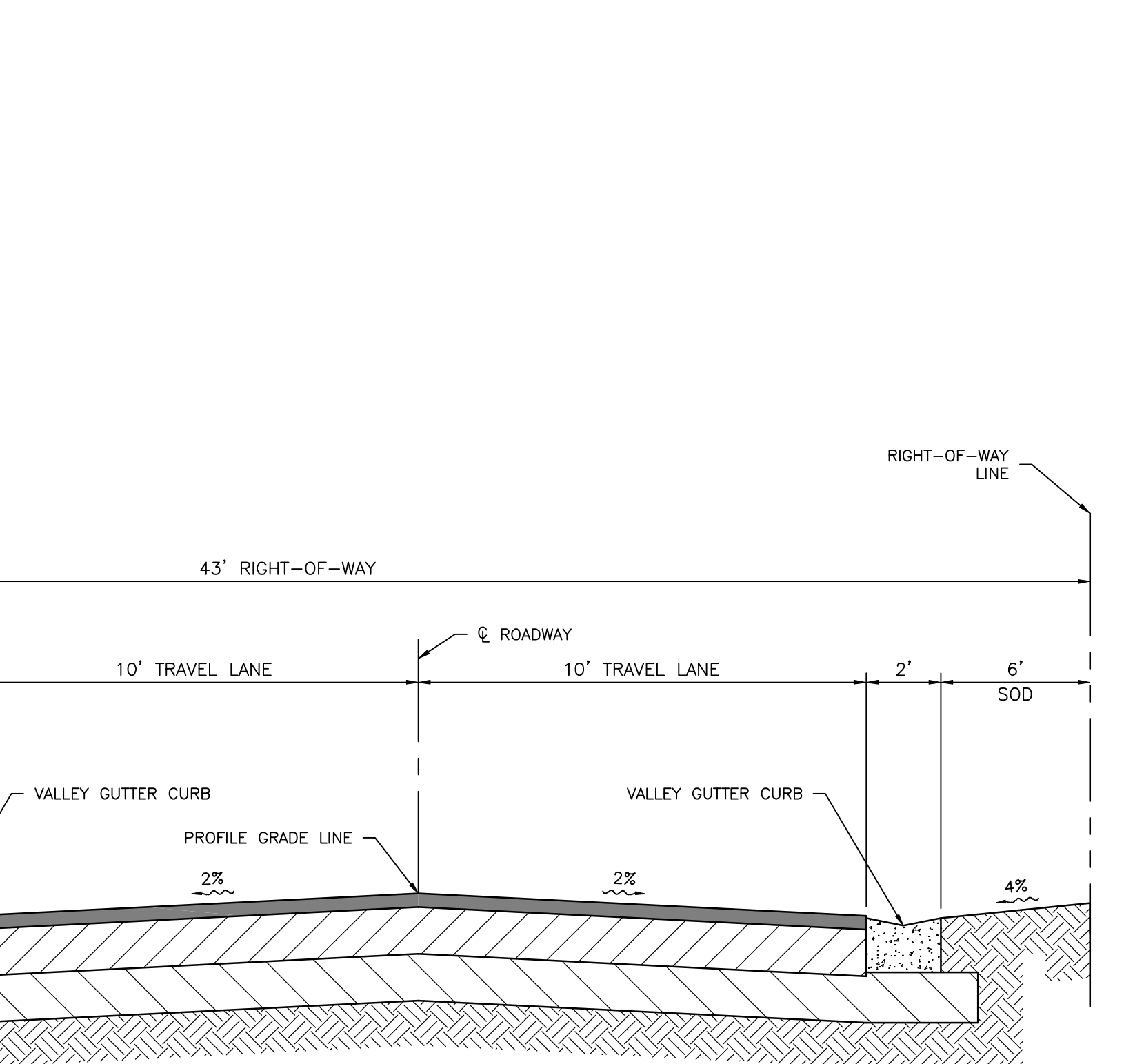
**CURB NOTES:**

1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.

2) WHEN USED ON THE HIGH SIDE OF THE ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.

3) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50'. CONTRACTION JOINTS AT A MAXIMUM SPACING OF 10' SHALL BE SAW CUT AT DEPTH PER FDOT INDEX NO. 300.

4) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.



NOTE:  
 THE PAVEMENT, BASE AND SUBBASE SECTION SHALL MEET CITY OF VENICE PAVEMENT STANDARDS. "LIGHT DUTY" TYPE SPECIFICATIONS SHALL BE USED.

1" S3 - FIRST LIFT  
 3/4" S3 - FINAL LIFT  
 7" - CEMENT TREATED BASE  
 12" - SUBBASE

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	CONTRACT ADMIN. BY:	W/M APPROVED BY:
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396			

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**CLIENT:** NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC

**PROJECT:** VILLAGES OF MILANO PHASE 2

**DATE:** 2016

**HORIZONTAL SCALE:**

**VERTICAL SCALE:**

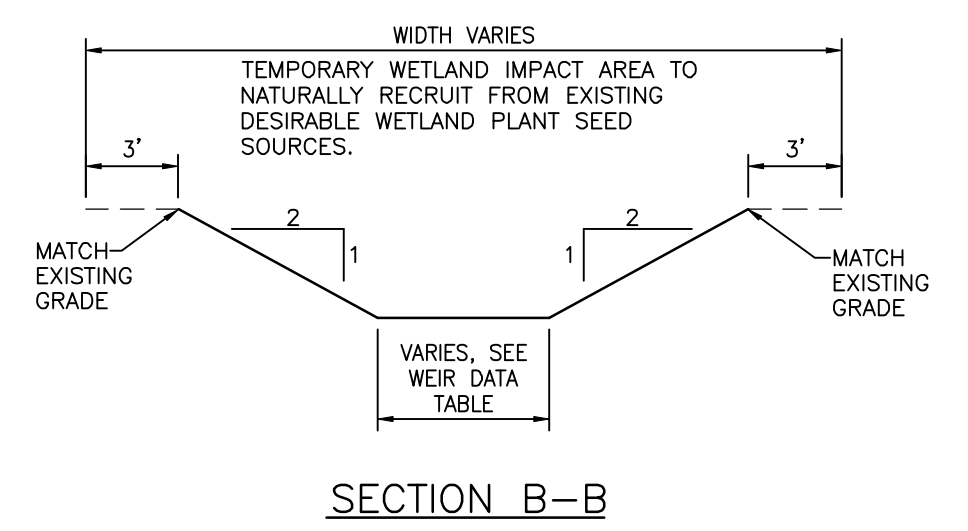
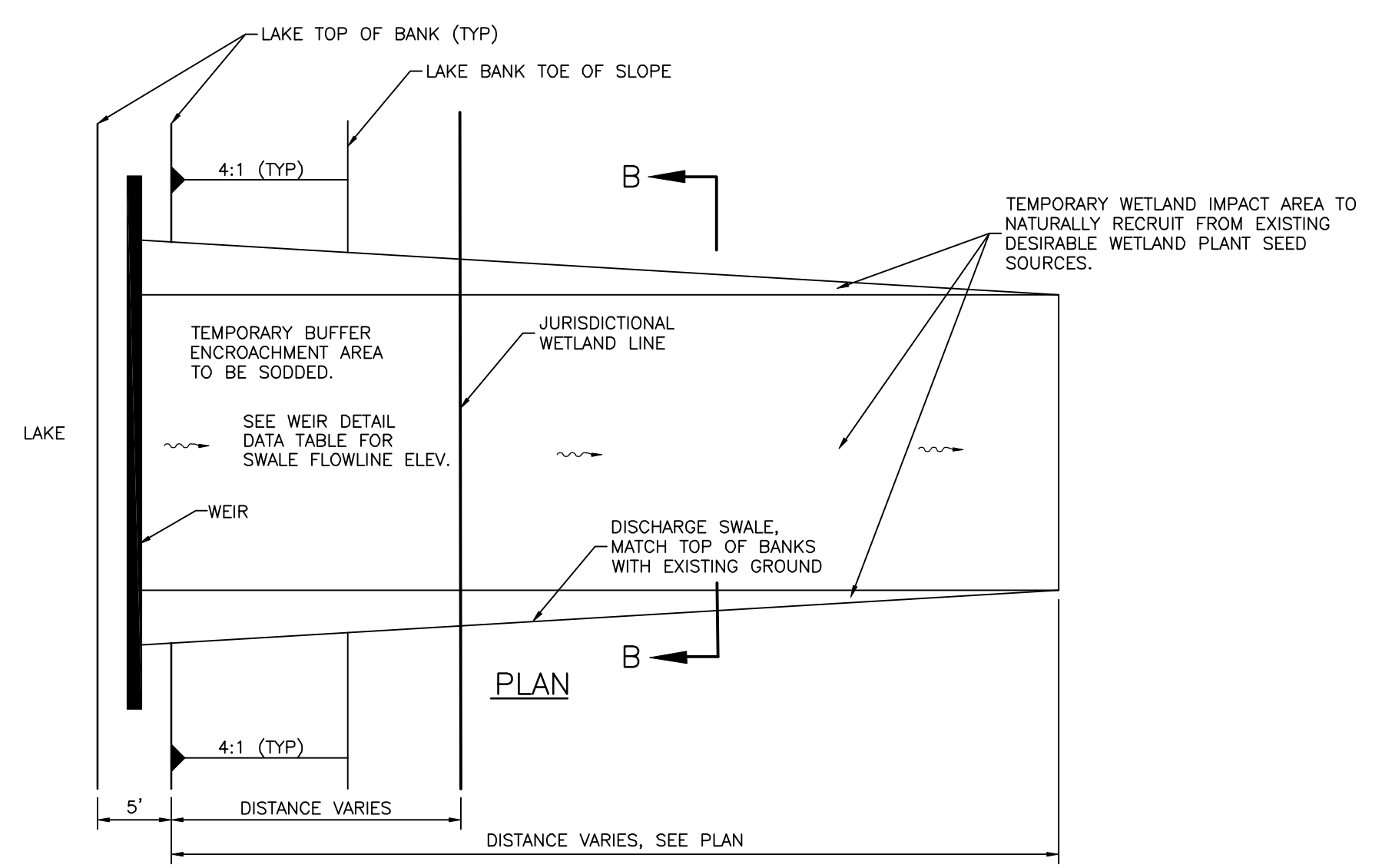
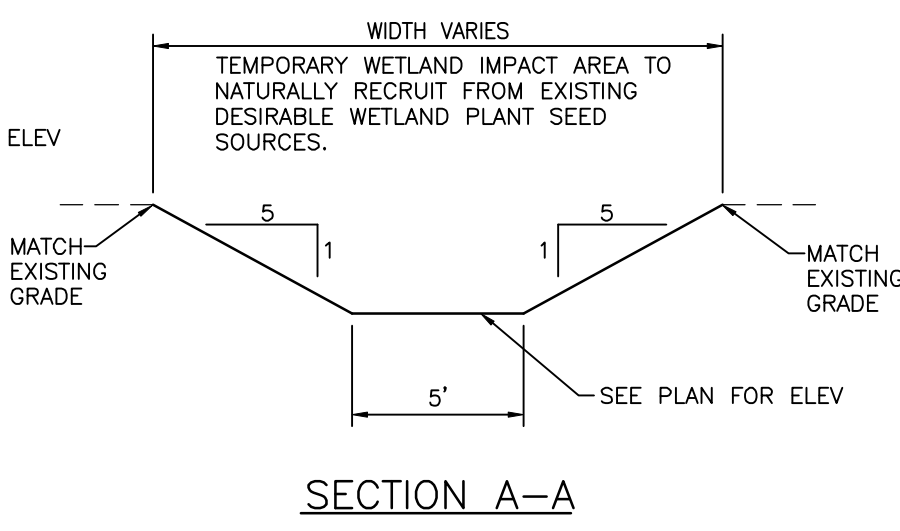
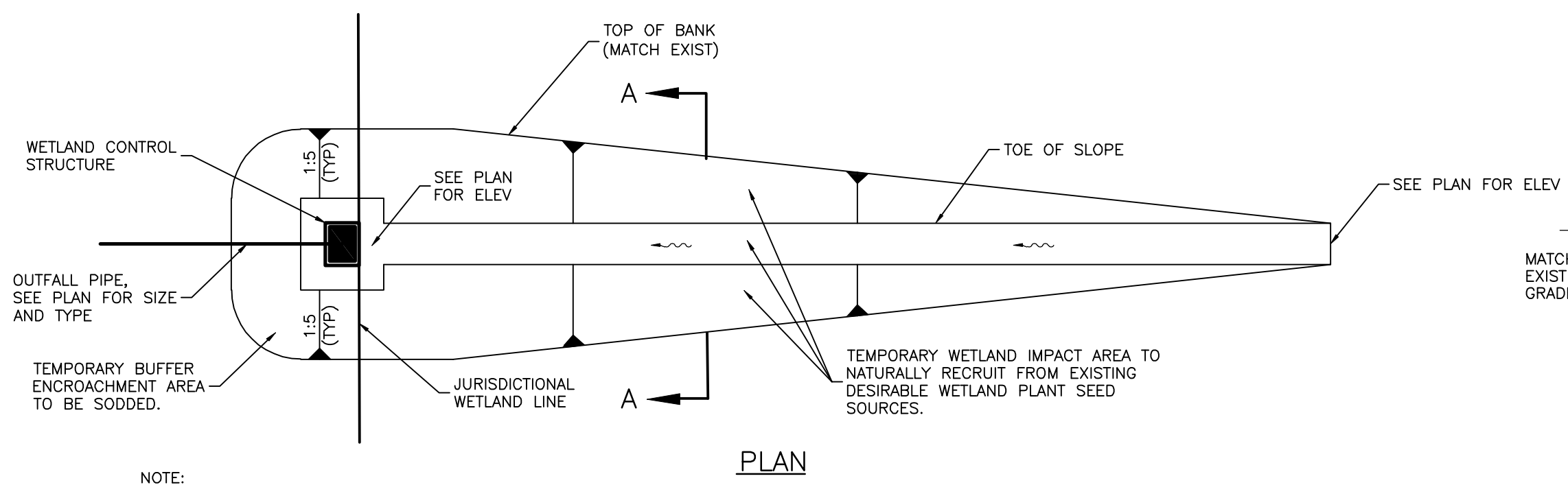
**SEC. TWP. RSE:** CROSS REFERENCE FILE NO.:

**TITLE:** PAVING DETAILS

**PROJECT NUMBER:** 215611819

**INDEX NUMBER:** 215611819-05C-501PD

**SHEET NUMBER:** 37 OF 51



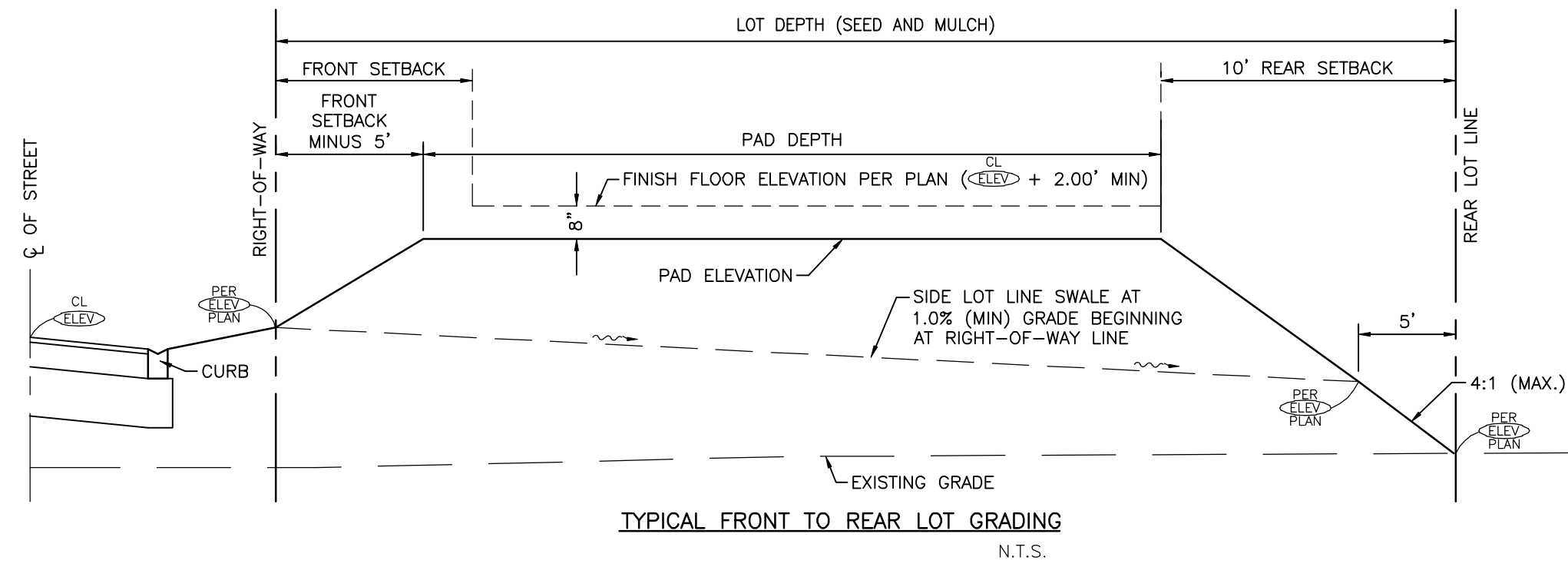
Vica - Temporary Buffer Encroachment Area Replanting Table  
Temporary Buffer Encroachment Areas = 0.29 acres Total  
Date: 04/14/14

Scientific Name	Common Name	Size	Spacing	Qty
<i>Spartina bakeri</i>	Sand cordgrass	1 gallon	3' on center	702
<i>Tripsacum dactyloides</i>	Fakahatchee grass	1 gallon	3' on center	702

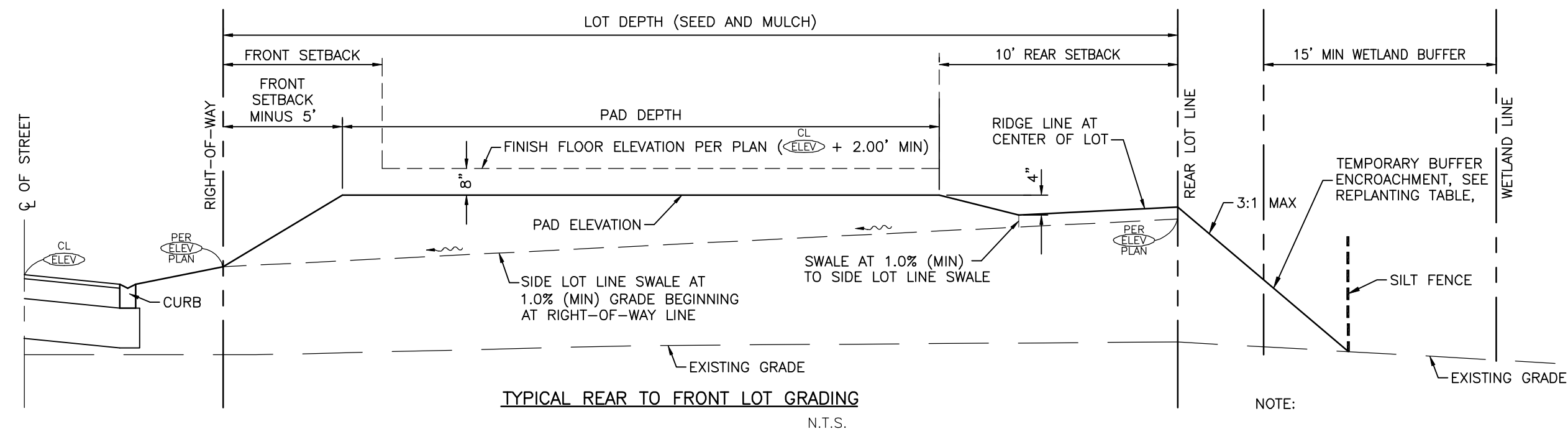
WETLAND DISCHARGE SWALE  
N.T.S.

WEIR DISCHARGE SPREADER SWALE  
N.T.S.

NOTE: SEE SHEET 40 FOR WEIR DETAILS

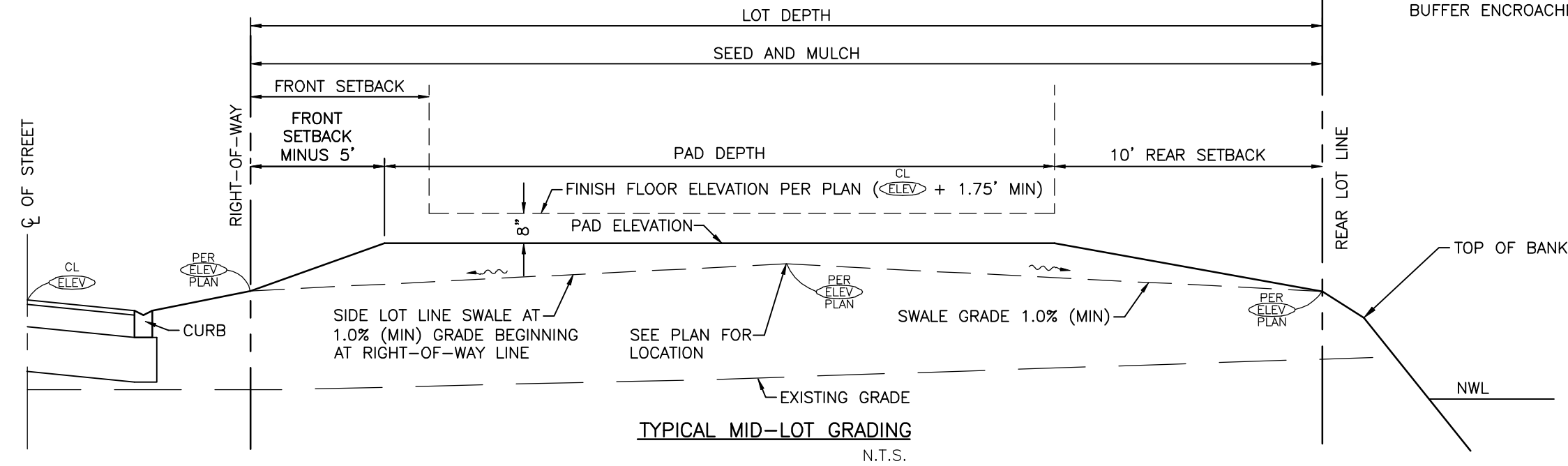


TYPICAL FRONT TO REAR LOT GRADING  
N.T.S.



TYPICAL REAR TO FRONT LOT GRADING  
N.T.S.

NOTE: SEE GRADING AND DRAINAGE PLANS FOR LOCATIONS OF TEMPORARY BUFFER ENCROACHMENTS.

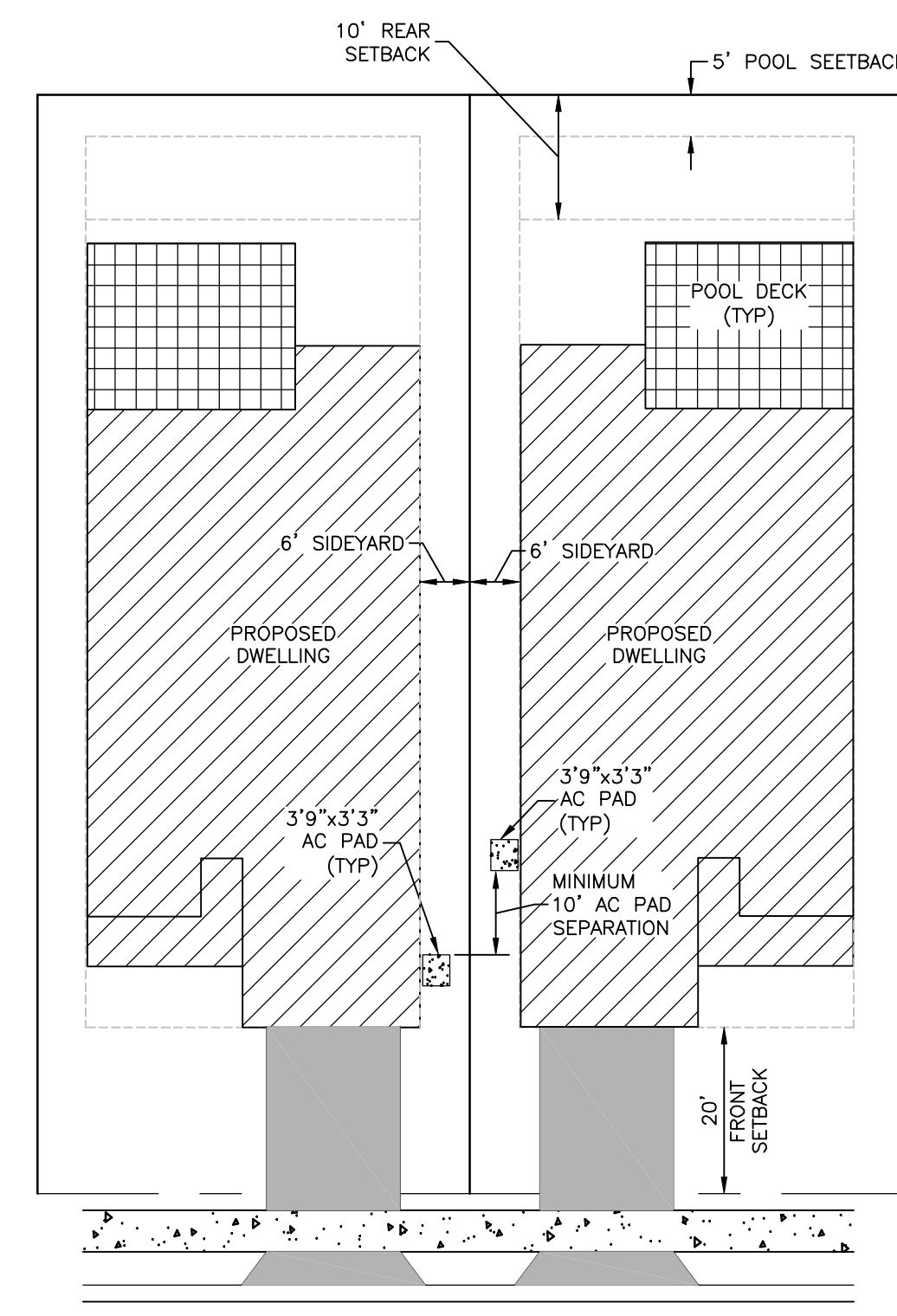


TYPICAL MID-LOT GRADING  
N.T.S.

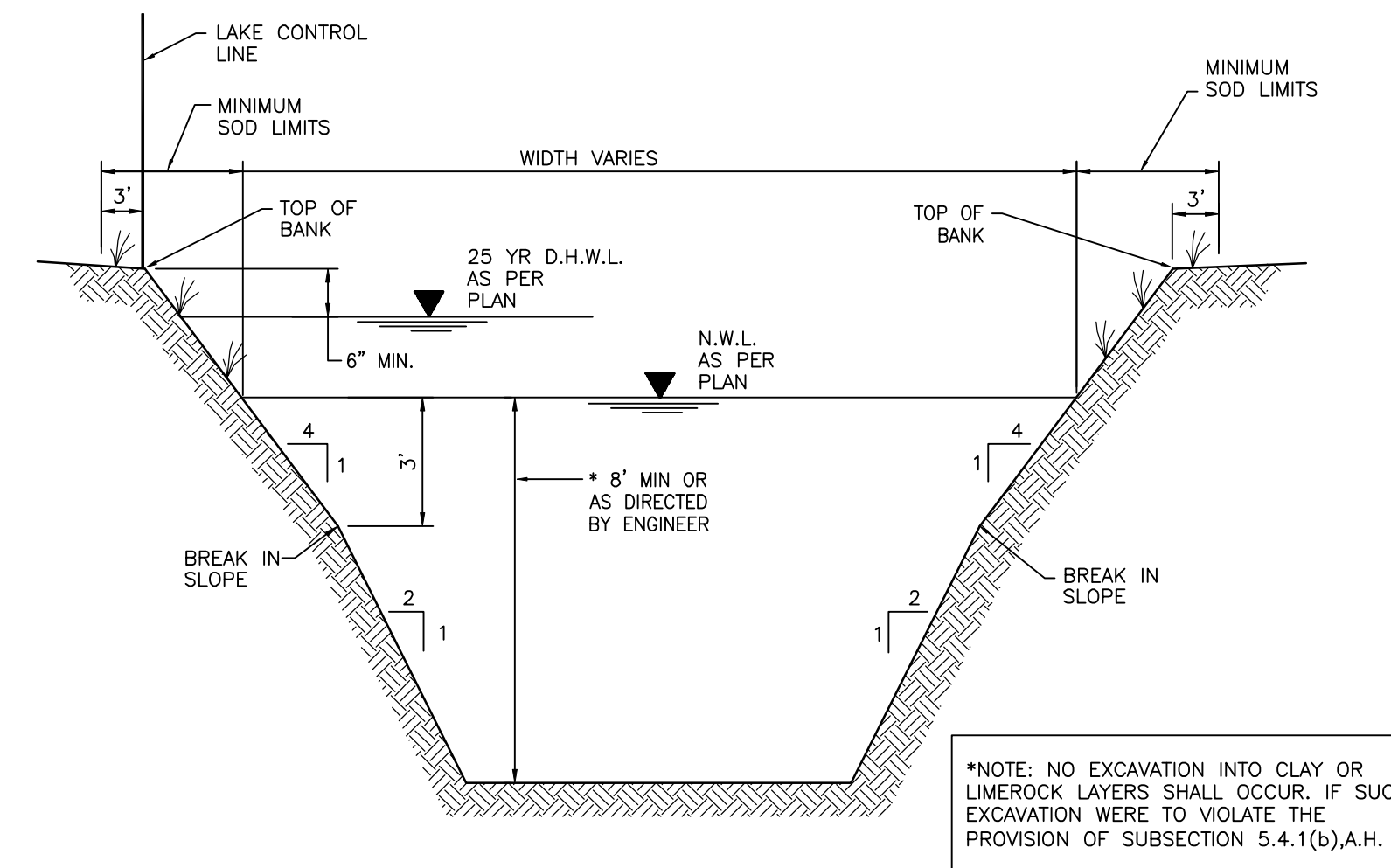
LOT GRADING NOTES:

1. THE SITE CONTRACTOR ROUGH GRADING DOES NOT INCLUDE THE SIDE LOT SWALES.
2. THE HOME BUILDER IS RESPONSIBLE FOR ENSURING MIN PAD ELEVATION IS MET, LOT SWALE GRADING AND COMPATIBILITY WITH ADJACENT LOTS.
3. THE SITE CONTRACTOR IS RESPONSIBLE FOR STABILIZING ROUGH GRADED LOTS WITH EITHER SEED AND MULCH OR HYDRO SEED.
4. THE FRONT SETBACK DISTANCE VARIES DEPENDING ON THE GARAGE CONFIGURATION AND THE FRONT LOT WIDTH.
5. STEM WALL CONSTRUCTION MAY BE REQUIRED IN ORDER TO MAINTAIN THE MINIMUM SLOPES.
6.  $\text{CL}$  SHALL BE CONSIDERED TO BE THE HIGHEST PAVEMENT ELEVATION IN FRONT OF THE LOT FOR THE PURPOSES OF CALCULATING MINIMUM BUILDING FINISH FLOOR ELEVATIONS.

TYPICAL ROUGH LOT GRADING SECTIONS  
N.T.S.

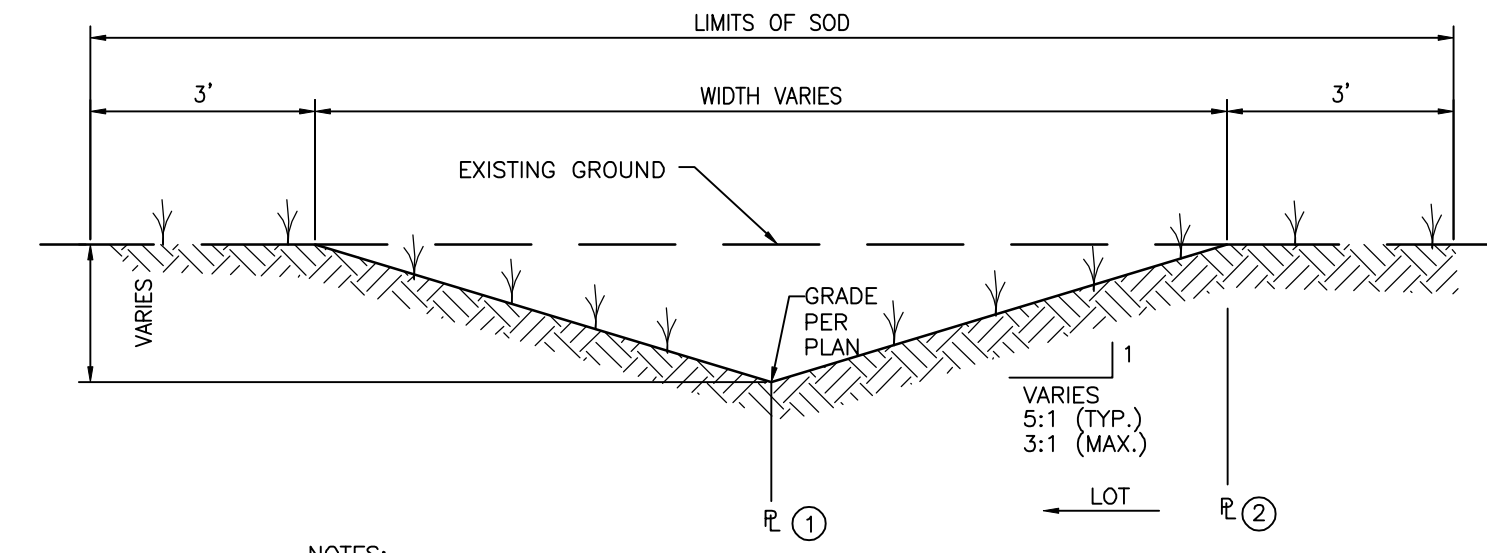


AC PAD DETAIL



TYPICAL LAKE SECTION  
S-D032(07/26/02)  
N.T.S.

\*NOTE: NO EXCAVATION INTO CLAY OR LIMESTONE LAYERS SHALL OCCUR. IF SUCH EXCAVATION WERE TO VIOLATE THE PROVISION OF SUBSECTION 5.4.1(b), A.H. VII



TYPICAL SIDE & BACK LOT LINE SWALE  
N.T.S.

- NOTES:
1. CENTER SWALE ON PROPERTY LINE FOR SIDE & BACK LOTS WHERE PROPERTIES ADJOIN
  2. FOR LOTS NOT ADJOINING, CONSTRUCT SWALE INSIDE OF PROPERTY LINE
  3. SWALES SHALL BE SODDED AS SOON AS PRACTICAL TO MINIMIZE EROSION

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WIM APPROVED BY:
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

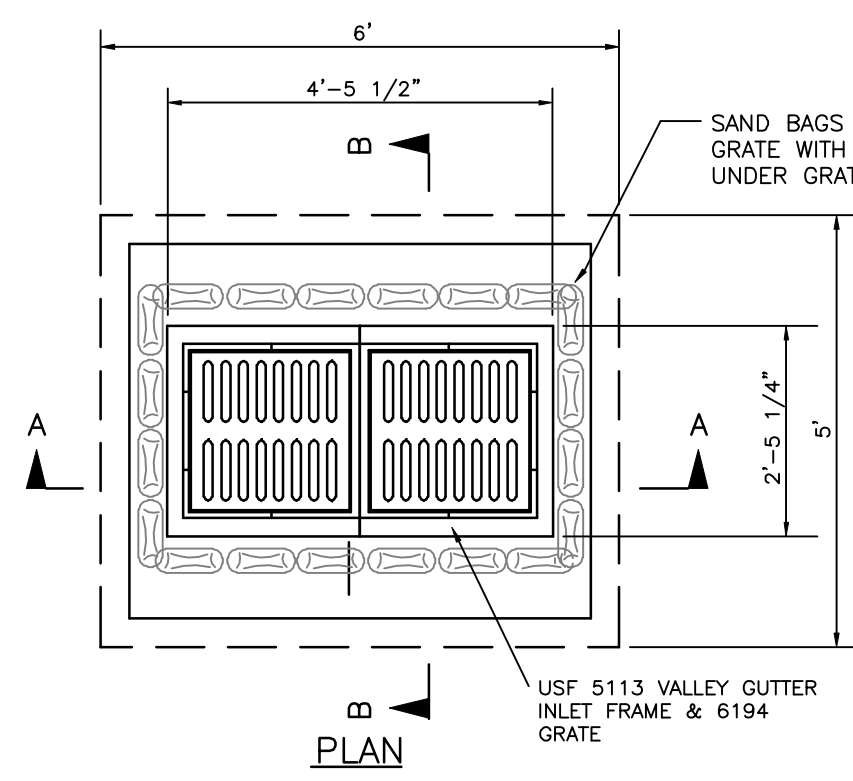
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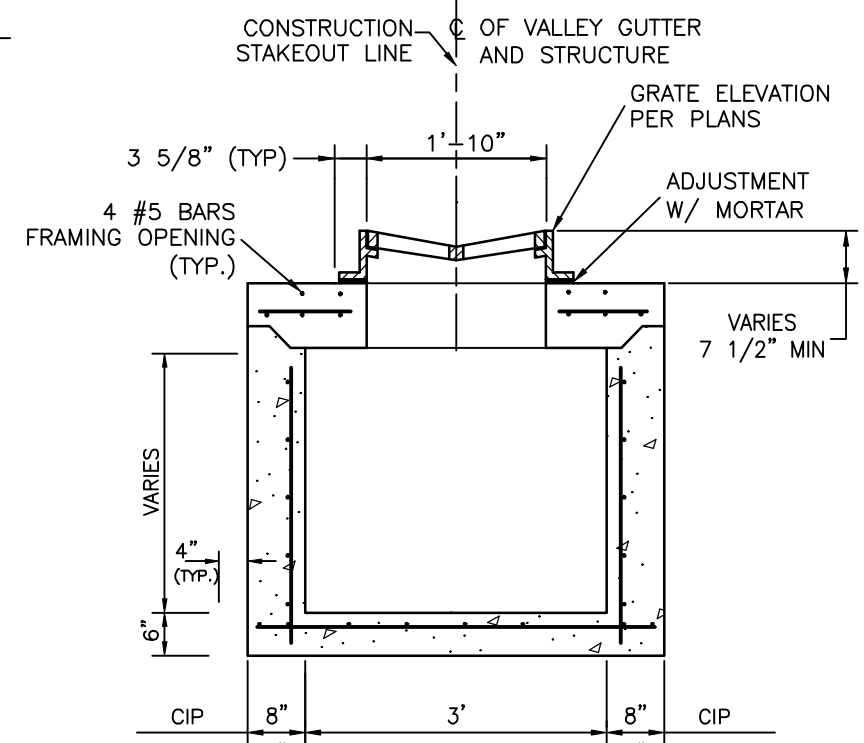
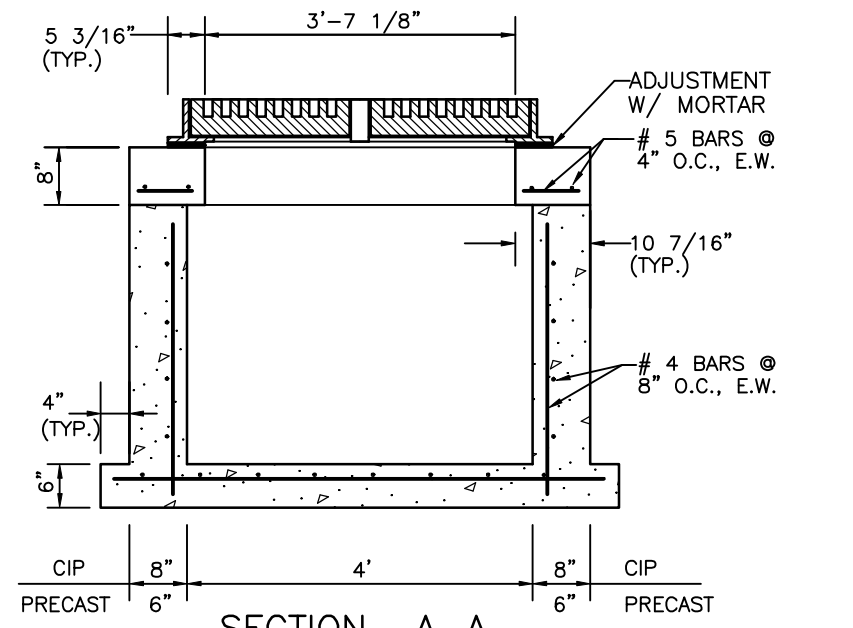
CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
HORIZONTAL SCALE:  
VERTICAL SCALE:  
SEC: 35 TWP: 38S R9E

TITLE: GRADING DETAILS  
CROSS REFERENCE FILE NO.:  
PROJECT NUMBER: 215611819  
SHEET NUMBER: 38 OF 51

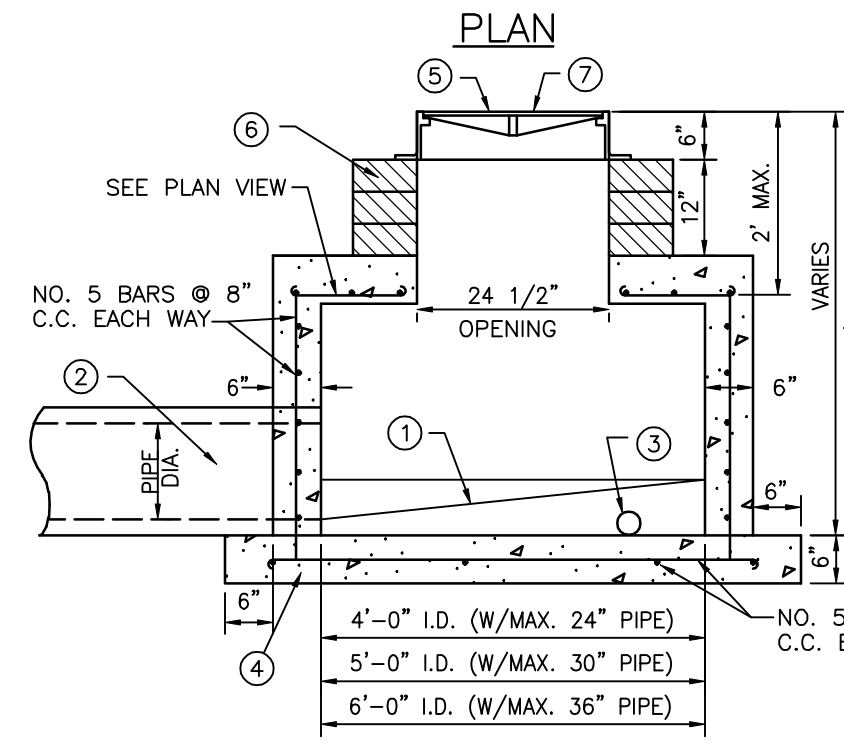
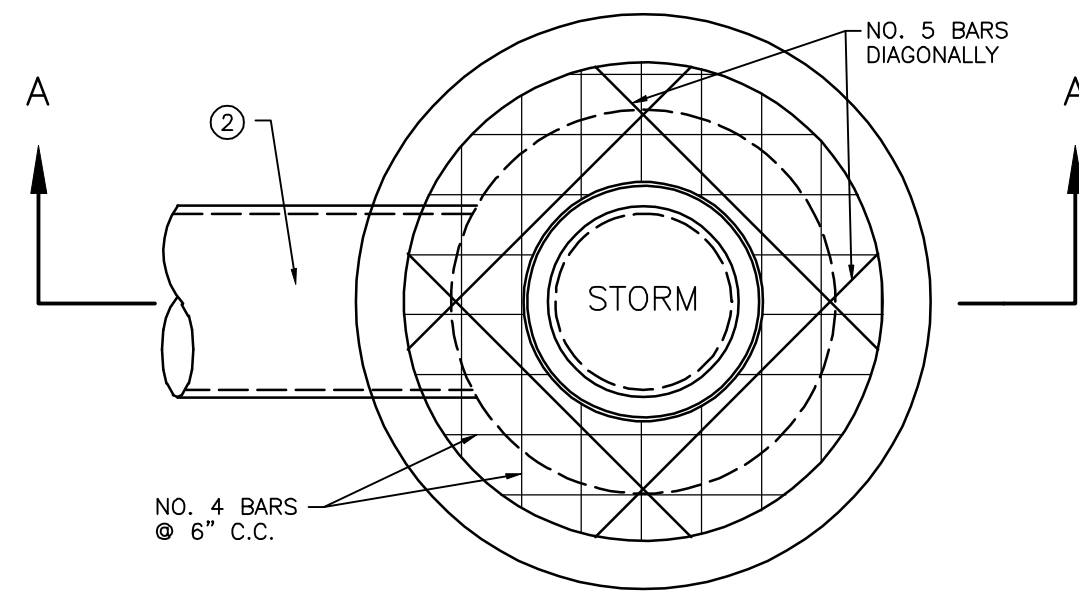


- VALLEY GUTTER TYPE 2 INLET DETAIL NOTES:**
1. ALTERNATE BOX DIMENSIONS MAY BE USED SUCH AS FOOT TYPE "P" AND "J" BOTTOM TO ACCOMMODATE THE UNDERGROUND PIPING SERVING IT.
  2. THE ENTIRE STRUCTURE INCLUDING GRATE INLET FRAME AND COVER TO BE PROVIDED AND INSTALLED BY UNDERGROUND CONTRACTOR.
  3. POUR CONCRETE INVERT AFTER INLET AND PIPE ARE PLACED IN GROUND, 3000 PSI @ 28 DAYS.
  4. WHERE ROADWAY UNDERDRAINS ARE REQUIRED THEY SHALL BE INSTALLED TO MATCH THE SLOPE OF THE ADJACENT ROADWAY.



**VALLEY GUTTER TYPE 2 INLET DETAIL**

N.T.S.



**NOTES**

1. POURED CONCRETE INVERT AFTER INLET & PIPE ARE PLACED IN GROUND, 3,000 P.S.I. CONCRETE @ 28 DAYS.
2. SEE PLAN & PROFILE DRAWINGS FOR PIPE SIZE & ALIGNMENT.
3. ALL INLETS & STORM MANHOLES SHALL HAVE A 3" DIAMETER HOLE AT THE BOTTOM OF THE BOX, CLEAR OF PIPE CONSTRUCTION & TO BE PLUGGED WHEN CONCRETE INVERT IS FORMED. (N.I.C.)
4. MANHOLE WALLS & BOTTOM SLAB SHALL BE REINFORCED CLASS "A" CONCRETE POURED IN PLACE OR APPROVED PRECAST BOXES. (CONTRACTOR SHALL SUBMIT SHOP DWGS. SHALL CONFORM WITH A.S.T.M. C-478, LATEST REVISION. CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS.)
5. MANHOLE FRAMES & LIDS SHALL BE ADJUSTED TO CONFORM WITH FINISHED SURFACES. ALL ADJUSTMENTS SHALL BE INCLUDED IN PRICE BID. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER. MANHOLES IN GRASSED AREAS SHALL BE 0.1' ABOVE FINISHED GROUND.
6. 4" MASONRY BRICKS SHALL BE USED TO BRING MANHOLE COVER TO REQUIRED GRADE, IF NECESSARY. (PRECAST RINGS MAY BE USED IN LIEU OF BRICK)
7. MANHOLE RING & COVER NO. 170-J U.S.F. TRAFFIC BEARING TYPE, NON-SKID SURFACE.
8. ALTERNATE: FDOT INDEX 200, SHOP DRAWING REQUIRED.

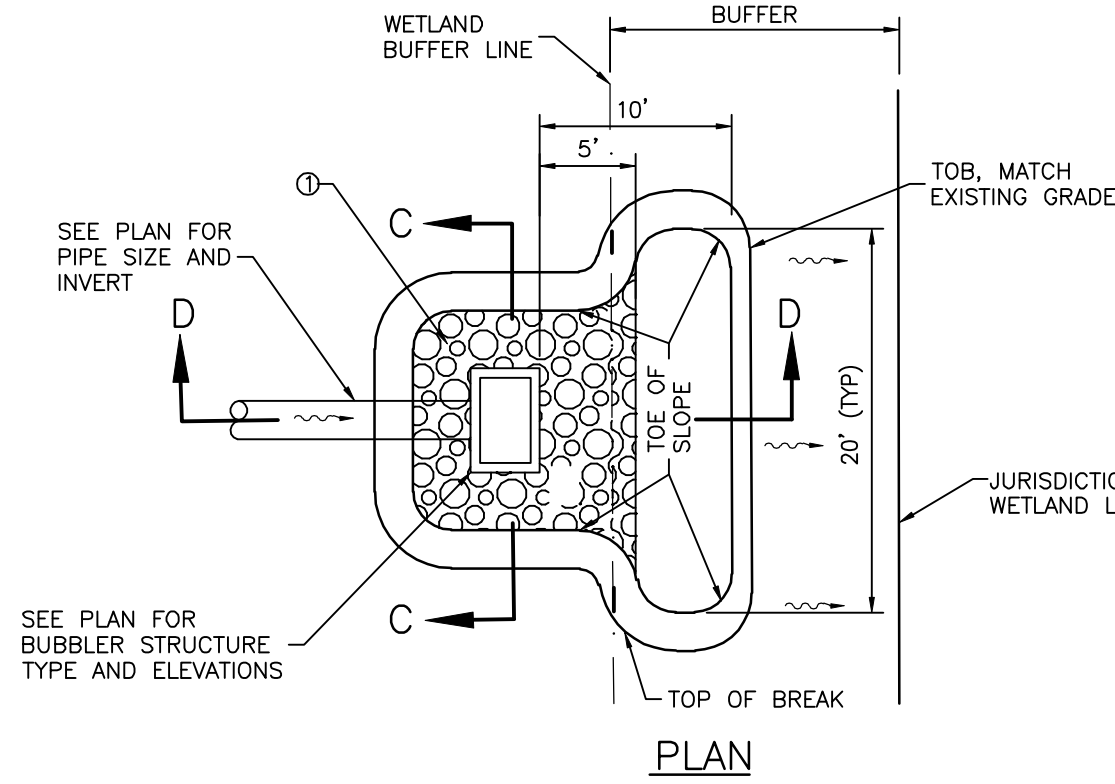
**STORM MANHOLE SHALLOW - 5' OR LESS**

S-D011

N.T.S.

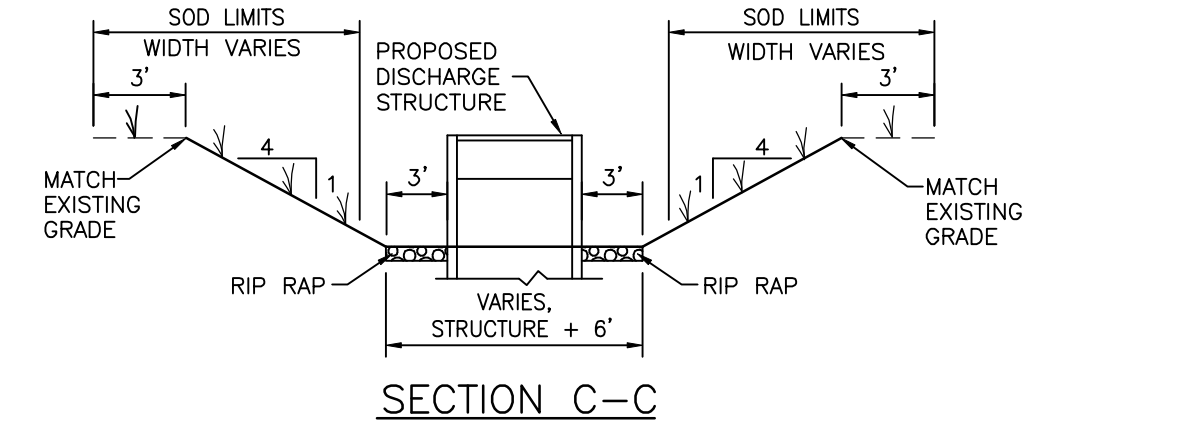
**NOTES:**

1. 15 SY OF #30 RIP RAP AND FILTER FABRIC (MIRAFI OR EQUAL)
2. COST OF COMPLETE SPREADER SWALE TO BE INCLUDED WITH THE WEIR OR CONTROL STRUCTURE UNLESS A SPECIFIC BID ITEM EXISTS, IN WHICH CASE THE SPREADER SWALE ITEM WILL INCLUDE ALL SODDING AND RIP RAP IN THE PAY LIMITS.
3. INVERT OF SPREADER SWALE SHALL BE 0.5' BELOW EXISTING DOWNSLOPE GRADE OR 0.5' BELOW LOWEST WEIR NOTCH OR ORIFICE GRADE, WHICHEVER IS LOWER.

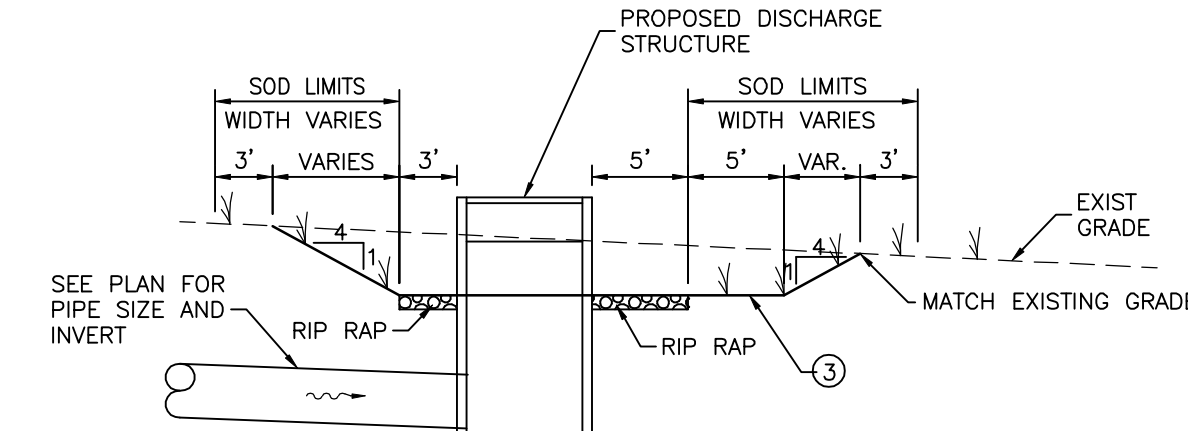


**DISCHARGE SPREADER SWALE**

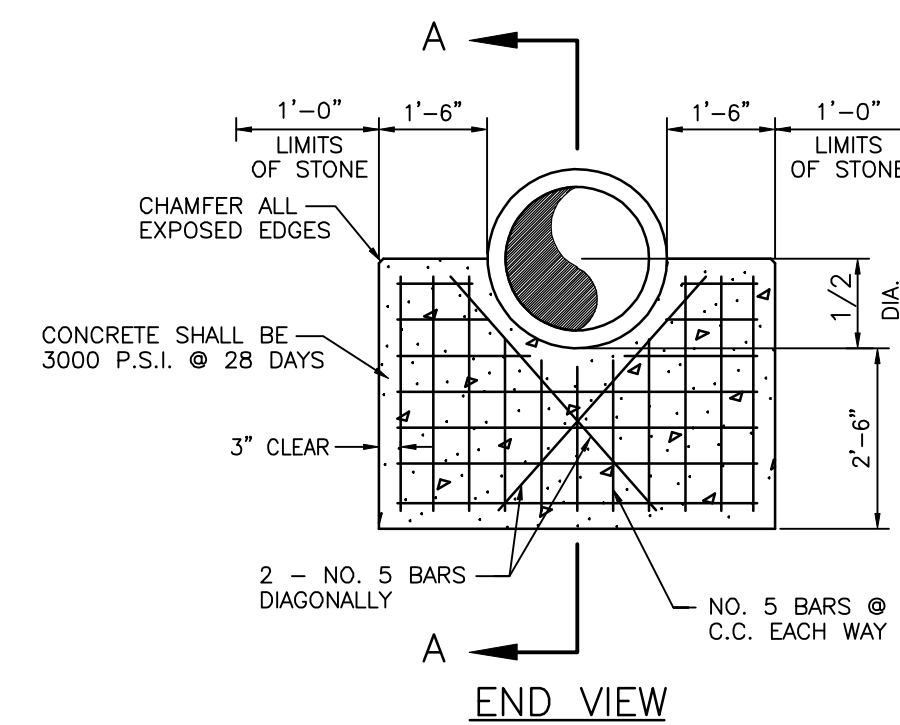
N.T.S.



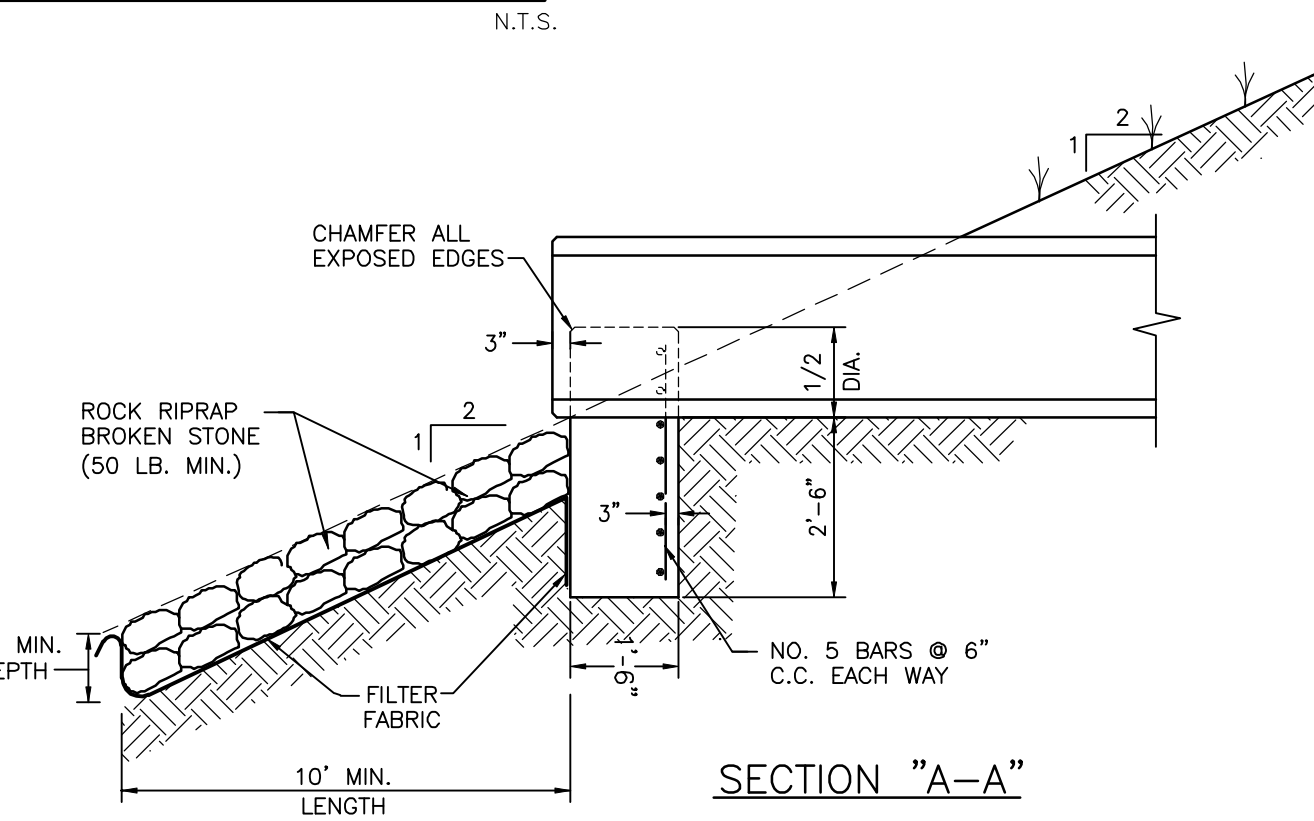
**SECTION C-C**



**SECTION D-D**



**END VIEW**



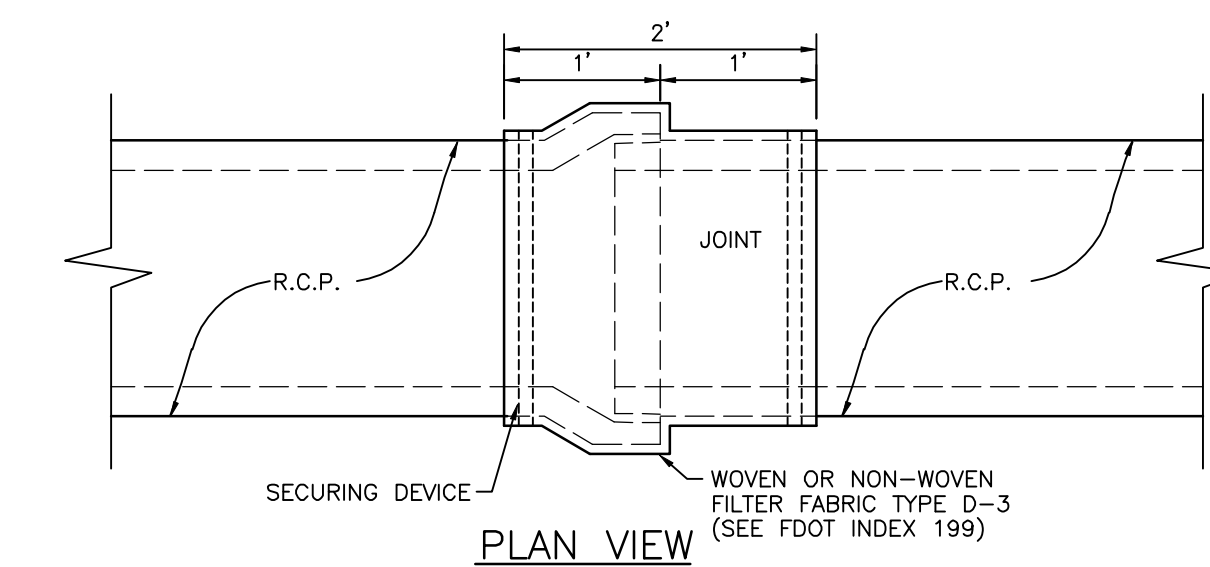
**SECTION "A-A"**

**NOTES:**

1. CONCRETE SHALL BE 3000 P.S.I. @ 28 DAYS
2. CHAMFER ALL EXPOSED EDGES 3/4"
3. RIPRAP SHALL BE SUPPLIED AND CONSTRUCTED AS DEFINED IN THE F.D.O.T. SPECIFICATIONS SEC. 530. RIPRAP, SPECIFICALLY SEC. 530-3.3 RUBBLE. NO BROKEN CONCRETE SHALL BE USED.
4. FILTER FABRIC SHALL BE SUPPLIED AND CONSTRUCTED AS DEFINED IN THE F.D.O.T. SPECIFICATIONS SEC. 514. PLASTIC FILTER FABRIC, SPECIFICALLY SEC. 514-3.4 RIPRAP, INCLUDED IN UNIT COST OF ENDWALL.

**ENDWALL DETAIL**

S-D010



**PLAN VIEW**

- NOTE:**
1. CENTER FILTER FABRIC ON PIPE JOINT.
  2. FILTER FABRIC TO OVERLAP A MIN. OF ONE FOOT.
  3. FILTER FABRIC TO BE INSTALLED ON ALL ELLIPTICAL PIPE JOINTS, ALL PIPE JOINTS WITHIN THE RIGHT OF WAY, AND THE FIRST PIPE JOINT OUT OF ANY STRUCTURE WITHIN THE RIGHT OF WAY.
  4. PRICE OF FILTER FABRIC JACKET TO BE INCLUDED IN PRICE OF PIPE.

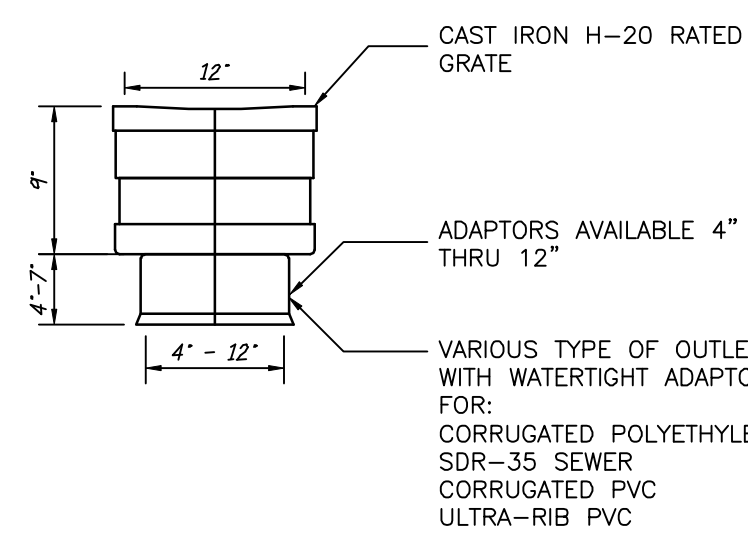
**FILTER FABRIC JACKET**

S-D038

(MANATEE COUNTY)

**ALTERNATE STORM PIPE MATERIAL NOTES:**

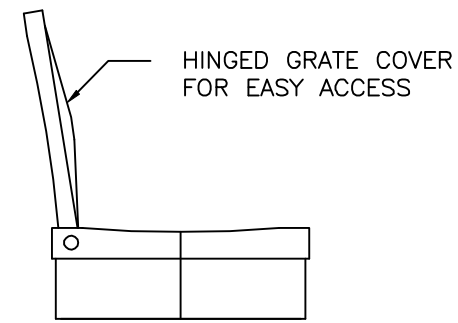
1. ALL ALTERNATE STORM PIPE SHALL BE FDOT APPROVED FOR ROADWAY USE
2. ALTERNATE PIPE SHALL BE CONTECH A-2000 OR EQUAL
3. ALTERNATE STORM PIPE SPECIFICATIONS SHALL BE SUBMITTED TO ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL ALONG WITH SHOP DRAWINGS AND ALL NECESSARY MODIFICATIONS TO DRAINAGE STRUCTURES (MANHOLES, ENDWALLS, ETC.) NECESSARY TO FACILITATE SUCCESSFUL SUBSTITUTION OF PVC FOR RCP INCLUDING BUT NOT LIMITED TO METHOD OF SECURING SUBMERGED PIPE ENDS AGAINST FLotation.
4. INSTALLATION OF ALTERNATE STORM PIPE SHALL BE IN CONFORMANCE WITH ALL MANUFACTURERS REQUIREMENTS.



**12" PVC INLINE DRAIN**

N.T.S.

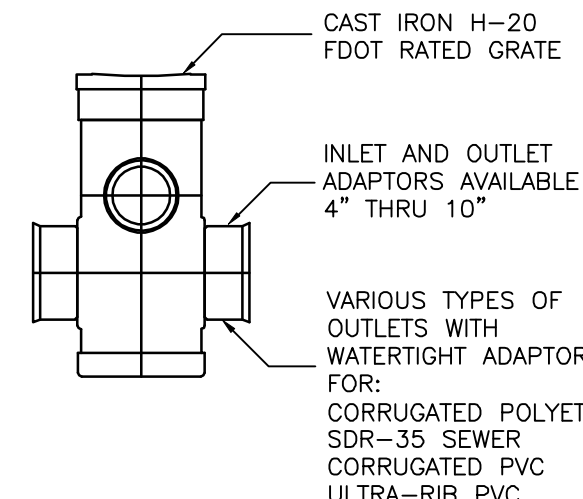
**NOTE:**  
DRAIN BASINS SHALL BE NYLOPLAST OR EQUAL TO BE APPROVED BY THE ENGINEER.



**12" CAST IRON GRATE**

N.T.S.

GRATE HAS H-20 (HEAVY TRAFFIC) DOT RATING  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B  
PAINT: CASTINGS SHALL BE FURNISHED WITH BLACK PAINT



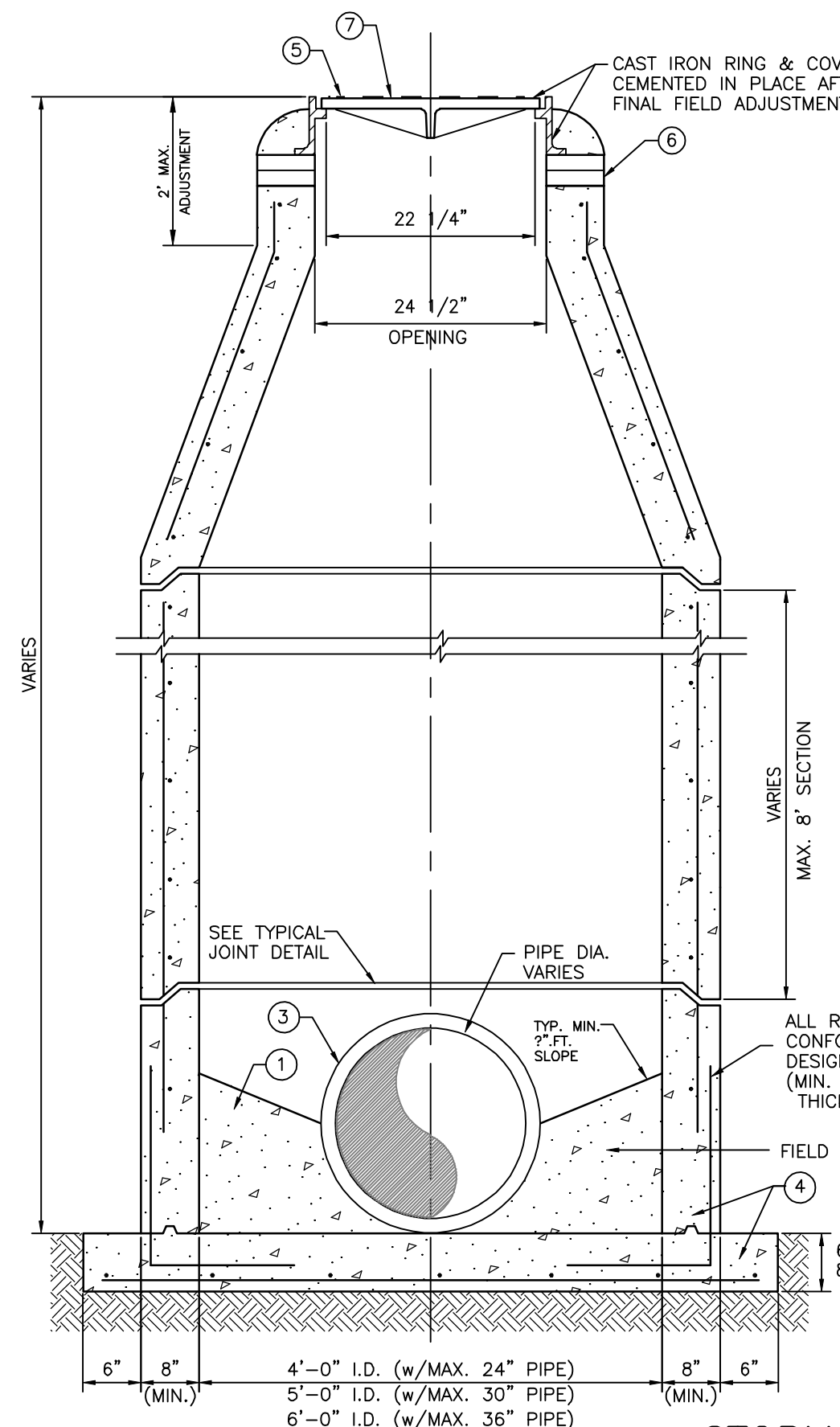
**12" PVC DRAIN BASIN**

S-D046

N.T.S.

\*(1) ADAPTORS CAN BE MOUNTED ON ANY ANGLE 0° TO 35°

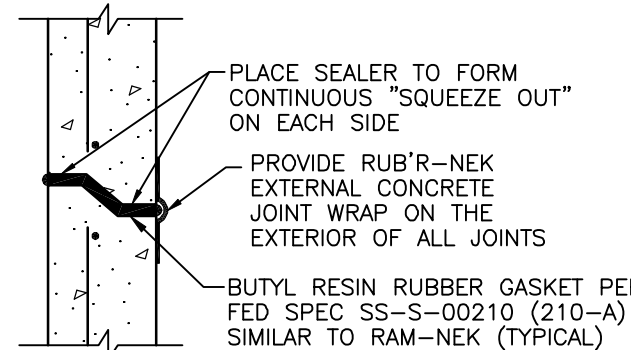
\*(2) MAXIMUM RECOMMENDED OVERALL HEIGHT 10'



**STORM MANHOLE DEPTH - 5' OR GREATER**

S-D023

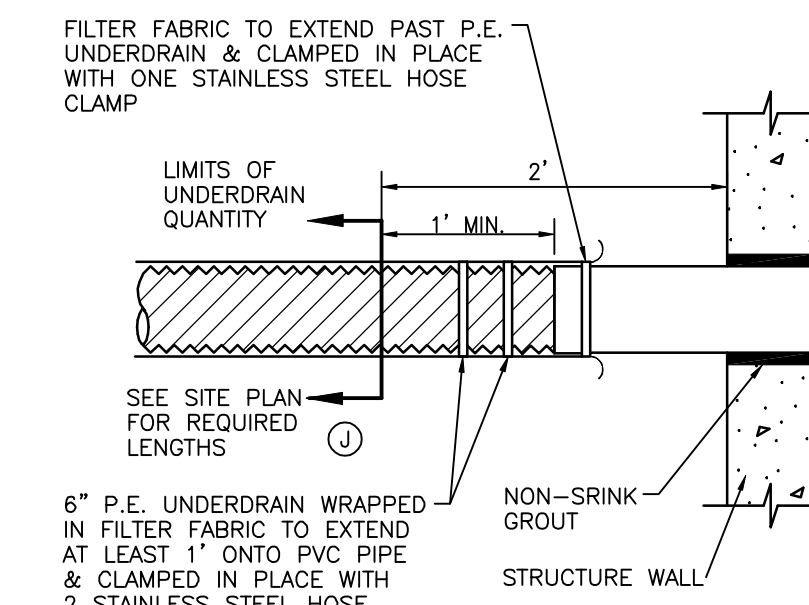
N.T.S.



**TYPICAL JOINT DETAIL**

**NOTES**

1. POURED CONCRETE INVERT AFTER INLET & PIPE ARE PLACED IN GROUND, 3,000 P.S.I. CONCRETE @ 28 DAYS.
2. SEE PLAN & PROFILE DRAWINGS FOR PIPE SIZE & ALIGNMENT.
3. ALL INLETS & STORM MANHOLES SHALL HAVE A 3" DIAMETER HOLE AT THE BOTTOM OF THE BOX, CLEAR OF PIPE CONSTRUCTION & TO BE PLUGGED WHEN CONCRETE INVERT IS FORMED. (N.I.C.)
4. MANHOLE WALLS & BOTTOM SLAB SHALL BE REINFORCED CLASS "A" CONCRETE POURED IN PLACE OR APPROVED PRECAST BOXES. (CONTRACTOR SHALL SUBMIT SHOP DWGS. FOR PRECAST BOXES. WALL REINFORCING SHALL CONFORM WITH A.S.T.M. C-478, LATEST REVISION. CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS.)
5. MANHOLE FRAMES & LIDS SHALL BE ADJUSTED TO CONFORM WITH FINISHED SURFACES. ALL ADJUSTMENTS SHALL BE INCLUDED IN PRICE BID. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER. MANHOLES IN GRASSED AREAS SHALL BE 0.1' ABOVE FINISHED GROUND.
6. 4" MASONRY BRICKS SHALL BE USED TO BRING MANHOLE COVER TO REQUIRED GRADE, IF NECESSARY.
7. MANHOLE RING & COVER NO. 170-J U.S.F. TRAFFIC BEARING TYPE, NON-SKID SURFACE.



**TYPICAL CONNECTION FOR UNDERDRAIN TO STRUCTURE**

S-D019

N.T.S.

REV	NO.	REVISION	DATE	BY	CHECKED BY	DATE	INITIALS/EMP. NO.	DATE
A	1	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396				
Δ	REV	NO.	REVISION	DATE	BY	CHECKED BY	DATE	INITIALS/EMP. NO.

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CLIENT:	NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC	DATE:	2016	TITLE:	DRAINAGE CONSTRUCTION DETAILS
PROJECT:	VILLAGES OF MILANO PHASE 2	HORIZONTAL SCALE:		CROSS REFERENCE FILE NO.:	
		VERTICAL SCALE:		PROJECT NUMBER:	215611819
		SEC. TYP. ROE:	35	SHEET NUMBER:	39 OF 51
		SEC. 35S 19E		INDEX NUMBER:	215611819-05C-511DD

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
EXISTING STR #V-1	GRATE INLET RIM = 15.00 FT	N: 1017740.19 E: 533807.47		STPI-66, 18" INV OUT =8.26 (SW)
EXISTINGSTR #9-20	ENDWALL RIM = 10.50 FT	N: 1016569.76 E: 533771.84	36" INV IN =6.67 (NW)	
STR #1-1	VALLEY GUTTER INLET RIM = 14.60 FT	N: 1014233.58 E: 531560.48	18" INV IN =7.51 (S)	STPI-82, 23" INV OUT =7.51 (N)
STR #1-2	VALLEY GUTTER INLET RIM = 14.60 FT	N: 1014255.58 E: 531560.61	23" INV IN =7.47 (S)	STPI-83, 24" INV OUT =7.47 (N)
STR #1-3	JUNCTION BOX RIM = 14.60 FT	N: 1014392.29 E: 531561.43	24" INV IN =7.18 (S)	STPI-84, 24" INV OUT =7.18 (NE)
STR #1-4	ENDWALL RIM = 9.86 FT	N: 1014422.92 E: 531577.27	24" INV IN =7.11 (SW)	
STR #1-5	YARD DRAIN RIM = 14.85 FT	N: 1014129.37 E: 531324.56		STPI-161, 12" INV OUT =10.80 (SE)
STR #1-6	YARD DRAIN RIM = 14.74 FT	N: 1014095.76 E: 531360.95	12" INV IN =10.65 (NW)	STPI-162, 12" INV OUT =10.65 (E)
STR #1-7	YARD DRAIN RIM = 15.63 FT	N: 1014095.43 E: 531416.15	12" INV IN =10.50 (W)	STPI-163, 12" INV OUT =10.50 (E)
STR #1-8	YARD DRAIN RIM = 15.36 FT	N: 1014095.16 E: 531461.35	12" INV IN =10.35 (W)	STPI-164, 12" INV OUT =10.35 (E)
STR #1-9	YARD DRAIN RIM = 15.21 FT	N: 1014094.89 E: 531506.54	12" INV IN =10.20 (W)	STPI-165, 12" INV OUT =10.20 (E)
STR #1-10	GRATE INLET RIM = 15.03 FT	N: 1014094.57 E: 531559.64	12" INV IN =10.00 (W) 12" INV IN =10.00 (E)	STPI-166, 18" INV OUT =10.00 (N)
STR #1-11	YARD DRAIN RIM = 15.68 FT	N: 1014093.43 E: 531748.34		STPI-167, 12" INV OUT =12.68 (W)
STR #1-12	YARD DRAIN RIM = 15.52 FT	N: 1014093.71 E: 531703.14	12" INV IN =10.40 (E)	STPI-168, 12" INV OUT =10.40 (W)
STR #1-13	YARD DRAIN RIM = 15.36 FT	N: 1014093.98 E: 531657.94	12" INV IN =12.50 (E)	STPI-169, 12" INV OUT =12.50 (W)
STR #1-14	YARD DRAIN RIM = 15.21 FT	N: 1014094.25 E: 531612.74	12" INV IN =10.20 (E)	STPI-170, 12" INV OUT =10.20 (W)
STR #2-1	VALLEY GUTTER INLET RIM = 14.60 FT	N: 1014231.18 E: 531958.67	18" INV IN =10.29 (S)	STPI-85, 18" INV OUT =10.29 (N)
STR #2-2	VALLEY GUTTER INLET RIM = 14.60 FT	N: 1014253.18 E: 531958.80	18" INV IN =10.25 (S)	STPI-86, 18" INV OUT =10.25 (N)
STR #2-3	ENDWALL RIM = 11.50 FT	N: 1014417.17 E: 531959.79	18" INV IN =9.29 (S)	
STR #2-4	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014386.95 E: 532577.50		STPI-87, 18" INV OUT =10.99 (W)
STR #2-5	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014375.25 E: 532544.09	18" INV IN =10.92 (E)	STPI-88, 24" INV OUT =10.92 (NW)
STR #2-7	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014323.48 E: 532354.96		STPI-90, 30" INV OUT =10.30 (NW)
STR #2-8	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014340.59 E: 532339.94	30" INV IN =10.26 (SE) 30" INV IN =10.37 (NE)	STPI-91, 42" INV OUT =10.26 (NW)
STR #2-9	ENDWALL RIM = 12.04 FT	N: 1014440.72 E: 532192.06	42" INV IN =7.67 (SE)	
STR #2-10	VALLEY GUTTER INLET RIM = 14.90 FT	N: 1014624.45 E: 532300.33		STPI-92, 18" INV OUT =11.09 (W)
STR #2-11	VALLEY GUTTER INLET RIM = 14.94 FT	N: 1014635.93 E: 532270.45	18" INV IN =11.03 (E)	STPI-93, 18" INV OUT =11.03 (SE)
STR #2-12	JUNCTION BOX RIM = 15.27 FT	N: 1014557.94 E: 532308.72	18" INV IN =10.86 (NW)	STPI-94, 24" INV OUT =10.86 (SE)
STR #2-13	JUNCTION BOX RIM = 15.70 FT	N: 1014447.87 E: 532400.38	24" INV IN =10.61 (NW) 24" INV IN =10.61 (SE)	STPI-95, 30" INV OUT =10.61 (SW)
STR #2-14	YARD DRAIN RIM = 15.36 FT	N: 1014092.77 E: 531859.54		STPI-171, 12" INV OUT =12.36 (E)

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
STR #2-15	YARD DRAIN RIM = 15.21 FT	N: 1014092.49 E: 531904.73	12" INV IN =12.27 (W)	STPI-172, 12" INV OUT =12.27 (E)
STR #2-16	GRATE INLET RIM = 15.02 FT	N: 1014092.17 E: 531957.84	12" INV IN =12.04 (W) 12" INV IN =10.29 (E)	STPI-173, 18" INV OUT =10.29 (N)
STR #2-17	YARD DRAIN RIM = 15.68 FT	N: 1014100.34 E: 532263.25	12" INV IN =10.52 (E)	STPI-174, 12" INV OUT =10.52 (W)
STR #2-18	YARD DRAIN RIM = 15.79 FT	N: 1014090.70 E: 532203.82	12" INV IN =10.40 (E)	STPI-175, 12" INV OUT =10.40 (W)
STR #2-19	YARD DRAIN RIM = 15.68 FT	N: 1014091.04 E: 532146.53	12" INV IN =10.29 (E)	STPI-176, 12" INV OUT =10.29 (W)
STR #2-20	YARD DRAIN RIM = 15.52 FT	N: 1014091.32 E: 532101.33	12" INV IN =10.29 (E)	STPI-177, 12" INV OUT =10.29 (W)
STR #2-21	YARD DRAIN RIM = 15.36 FT	N: 1014091.59 E: 532056.13	12" INV IN =10.29 (E)	STPI-178, 12" INV OUT =10.29 (W)
STR #2-22	YARD DRAIN RIM = 15.20 FT	N: 1014091.86 E: 532010.94	12" INV IN =10.29 (E)	STPI-179, 12" INV OUT =10.29 (W)
STR #2-23	YARD DRAIN RIM = 15.00 FT	N: 1014215.70 E: 532991.61	12" INV IN =11.40 (SE)	STPI-233, 12" INV OUT =11.40 (W)
STR #2-23A	YARD DRAIN RIM = 14.50 FT	N: 1014182.75 E: 532626.35		STPI-238, 12" INV OUT =11.50 (NW)
STR #2-24	YARD DRAIN RIM = 12.19 FT	N: 1014198.75 E: 532476.87	12" INV IN =11.00 (E)	STPI-234, 12" INV OUT =11.00 (SW)
STR #2-25	YARD DRAIN RIM = 13.78 FT	N: 1014144.73 E: 532387.79	12" INV IN =10.79 (NE)	STPI-235, 12" INV OUT =10.79 (SW)
STR #2-26	YARD DRAIN RIM = 15.64 FT	N: 1014115.58 E: 532325.65	12" INV IN =10.65 (NE)	STPI-236, 12" INV OUT =10.65 (W)
STR #4-1	VALLEY GUTTER INLET RIM = 15.30 FT	N: 1015646.40 E: 532334.06		STPI-159, 18" INV OUT =11.59 (NE)
STR #4-2	ENDWALL RIM = 11.50 FT	N: 1015681.54 E: 532417.40	18" INV IN =9.29 (SW)	
STR #4-3	ENDWALL RIM = 11.50 FT	N: 1015350.21 E: 532102.16	18" INV IN =9.29 (NW)	
STR #4-4	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1015456.83 E: 531992.42	18" INV IN =11.34 (W)	STPI-158, 18" INV OUT =11.34 (SE)
STR #4-5	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1015464.62 E: 531969.42		STPI-157, 18" INV OUT =11.39 (E)
STR #4-9	VALLEY GUTTER INLET RIM = 14.80 FT	N: 1015550.83 E: 533026.18		STPI-160, 18" INV OUT =11.09 (N)
STR #4-13	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1015025.08 E: 532030.68		STPI-153, 18" INV OUT =11.39 (NE)
STR #4-14	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1015036.24 E: 532049.64	18" INV IN =11.35 (SW)	STPI-154, 18" INV OUT =11.35 (NE)
STR #4-15	ENDWALL RIM = 11.50 FT	N: 1015140.20 E: 532226.32	18" INV IN =9.29 (SW)	
STR #4-16	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1014745.41 E: 532555.16	18" INV IN =11.72 (SW)	STPI-148, 18" INV OUT =11.39 (NE)
STR #4-17	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1014755.59 E: 532574.66	18" INV IN =11.35 (SW)	STPI-149, 24" INV OUT =10.85 (N)
STR #4-18	JUNCTION BOX RIM = 15.00 FT	N: 1014896.99 E: 532520.60	24" INV IN =10.55 (S)	STPI-150, 30" INV OUT =10.55 (W)
STR #4-19	VALLEY GUTTER INLET RIM = 15.38 FT	N: 1014860.79 E: 532416.87	30" INV IN =10.33 (E) 18" INV IN =11.63 (S)	STPI-151, 36" INV OUT =10.33 (N)
STR #4-20	VALLEY GUTTER INLET RIM = 15.38 FT	N: 1014839.03 E: 532420.10	12" INV IN =12.22 (SW)	STPI-152, 18" INV OUT =11.67 (N)
STR #4-21	ENDWALL RIM = 11.50 FT	N: 1015076.23 E: 532384.85	36" INV IN =8.21 (S)	
STR #4-22	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1014978.98 E: 532713.45	12" INV IN =11.82 (SE)	STPI-145, 18" INV OUT =11.39 (N)
STR #4-23	VALLEY GUTTER INLET RIM = 15.10 FT	N: 1015001.95 E: 532709.10	18" INV IN =11.34 (S)	STPI-146, 24" INV OUT =10.85 (NE)
STR #4-24	GRATE INLET RIM = 15.06 FT	N: 1015025.93 E: 533071.27		STPI-141, 18" INV OUT =11.29 (NW)
STR #4-25	VALLEY GUTTER INLET RIM = 15.06 FT	N: 1015147.45 E: 532999.76	18" INV IN =11.01 (SE)	STPI-142, 18" INV OUT =11.01 (NW)
STR #4-26	VALLEY GUTTER INLET RIM = 15.06 FT	N: 1015166.42 E: 532988.60	18" INV IN =10.97 (SE) 24" INV IN =10.20 (SW)	STPI-143, 36" INV OUT =9.73 (NW)
STR #4-27	ENDWALL RIM = 11.50 FT	N: 1015346.54 E: 532882.61	36" INV IN =7.67 (SE)	
STR #4-28	YARD DRAIN RIM = 15.10 FT	N: 1014857.46 E: 532784.96		STPI-144, 12" INV OUT =12.10 (NW)
STR #4-29	YARD DRAIN RIM = 15.46 FT	N: 1014731.60 E: 532405.44		STPI-180, 12" INV OUT =12.46 (NW)
STR #4-30	YARD DRAIN RIM = 15.63 FT	N: 1014776.47 E: 532384.09	12" INV IN =12.36 (SE)	STPI-181, 12" INV OUT =12.36 (NE)
STR #4-31	YARD DRAIN RIM = 15.21 FT	N: 1014680.14 E: 532430.17	12" INV IN =13.38 (SE)	STPI-147, 18" INV OUT =12.00 (NE)
STR #4-32	YARD DRAIN RIM = 15.58 FT	N: 1014648.92 E: 532448.78	12" INV IN =13.45 (SE)	STPI-185, 12" INV OUT =13.45 (NW)
STR #4-33	YARD DRAIN RIM = 15.67 FT	N: 1014614.83 E: 532475.27	12" INV IN =13.54 (SE)	STPI-184, 12" INV OUT =13.54 (NW)

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
STR #4-34	YARD DRAIN RIM = 16.02 FT	N: 1014583.75 E: 532507.05	12" INV IN =13.63 (SE)	STPI-183, 12" INV OUT =13.63 (NW)
STR #4-35	YARD DRAIN RIM = 15.70 FT	N: 1014563.78 E: 532533.38		STPI-182, 12" INV OUT =13.70 (NW)
STR #5-4	VALLEY GUTTER INLET RIM = 14.60 FT	N: 1014248.19 E: 532870.93	12" INV IN =12.25 (N)	STPI-96, 18" INV OUT =10.89 (S)
STR #5-5	VALLEY GUTTER INLET RIM = 14.60 FT	N: 1014226.19 E: 532870.80	18" INV IN =10.85 (N) 18" INV IN =11.35 (S)	STPI-97, 24" INV OUT =10.85 (E)
STR #5-6	JUNCTION BOX RIM = 15.22 FT	N: 1014221.32 E: 533014.27	24" INV IN =10.54 (W) 30" INV IN =10.42 (N)	STPI-98, 30" INV OUT =10.42 (E)
STR #5-7	VALLEY GUTTER INLET RIM = 14.50 FT	N: 1014224.19 E: 533202.99	30" INV IN =10.07 (W) 18" INV IN =10.79 (N) 18" INV IN =11.36 (S)	STPI-99, 36" INV OUT =9.17 (E)
STR #5-8	JUNCTION BOX RIM = 15.00 FT	N: 1014221.32 E: 533301.03	36" INV IN =8.97 (W)	STPI-100, 36" INV OUT =8.97 (E)
STR #5-9	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014278.53 E: 533596.33	36" INV IN =8.37 (W)	STPI-101, 42" INV OUT =8.37 (N)
STR #5-10	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014300.14 E: 533592.20	42" INV IN =8.33 (S)	STPI-102, 48" INV OUT =8.33 (N)
STR #5-11	GRATE INLET RIM = 14.10 FT	N: 1014439.09 E: 533603.36	48" INV IN =8.05 (S)	STPI-103, 48" INV OUT =8.05 (NE)
STR #5-12	ENDWALL RIM = 9.90 FT	N: 1014515.76 E: 533732.94	48" INV IN =4.98 (SW)	
STR #5-14	VALLEY GUTTER INLET RIM = 14.90 FT	N: 1014592.09 E: 532943.76		STPI-105, 18" INV OUT =11.19 (S)
STR #5-15	JUNCTION BOX RIM = 15.30 FT	N: 1014487.00 E: 532951.69	18" INV IN =10.98 (N) 24" INV IN =11.03 (NW)	STPI-106, 24" INV OUT =10.98 (SE)
STR #5-16	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014371.51 E: 533003.69	24" INV IN =10.73 (NW) 18" INV IN =10.95 (NE)	STPI-107, 24" INV OUT =10.73 (SE)
STR #5-16A	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014393.45 E: 533018.49		STPI-232, 18" INV OUT =11.00 (SW)
STR #5-17	JUNCTION BOX RIM = 15.00 FT	N: 1014323.42 E: 533027.01	24" INV IN =10.62 (NW)	STPI-108, 30" INV OUT =10.62 (S)
STR #5-18	YARD DRAIN RIM = 15.32 FT	N: 1014428.13 E: 532795.21	12" INV IN =11.90 (NW)	STPI-109, 18" INV OUT =11.90 (NE)
STR #5-19	VALLEY GUTTER INLET RIM = 14.90 FT	N: 1014535.07 E: 532887.10	18" INV IN =11.62 (SW)	STPI-110, 24" INV OUT =11.19 (SE)
STR #5-20	VALLEY GUTTER INLET RIM = 14.70 FT	N: 1014745.97 E: 532859.73		STPI-111, 18" INV OUT =10.99 (NE)
STR #5-21	VALLEY GUTTER INLET RIM = 14.50 FT	N: 1014883.51 E: 533093.46	18" INV IN =10.45 (SW) 18" INV IN =10.75 (SE)	STPI-112, 24" INV OUT =10.25 (NE)
STR #5-22	JUNCTION BOX RIM = 15.00 FT	N: 1014932.81 E: 533169.35	24" INV IN =10.07 (SW)	STPI-113, 24" INV OUT =10.07 (E)
STR #5-23	JUNCTION BOX RIM = 15.26 FT	N: 1014964.84 E: 533284.86	24" INV IN =9.83 (W) 18" INV IN =10.50 (N)	STPI-114, 30" INV OUT =9.83 (E)
STR #5-24	VALLEY GUTTER INLET RIM = 14.54 FT	N: 1014958.17 E: 533417.79	30" INV IN =9.55 (W) 18" INV IN =10.74 (S) 18" INV IN =11.34 (N)	STPI-115, 36" INV OUT =9.21 (E)
STR #5-25	JUNCTION BOX RIM = 14.50 FT	N: 1014969.82 E: 533512.66	36" INV IN =9.02 (W)	STPI-116, 42" INV OUT =6.80 (SE)
STR #5-26	JUNCTION BOX RIM = 21.31 FT	N: 1014849.06 E: 533640.73	42" INV IN =6.45 (NW)	STPI-117, 42" INV OUT =6.45 (S)
STR #5-27	ENDWALL RIM = 9.90 FT	N: 1014813.79 E: 533652.72	42" INV IN =6.07 (N)	
STR #5-28	VALLEY GUTTER INLET RIM = 14.50 FT	N: 1015102.70 E: 533251.35		STPI-118, 18" INV OUT =10.79 (SW)
STR #5-29	VALLEY GUTTER INLET RIM = 14.50 FT	N: 1015091.54 E: 533232.39	18" INV IN =10.75 (NE) 12" INV IN =11.40 (W)	STPI-119, 18" INV OUT =10.75 (S)
STR #5-30	YARD DRAIN RIM = 14.50 FT	N: 1015090.70 E: 533181.33		STPI-120, 12" INV OUT =11.50 (E)
STR #5-31	VALLEY GUTTER INLET RIM = 14.54 FT	N: 1014934.84 E: 533424.15		STPI-121, 18" INV OUT =10.79 (N)
STR #5-32	VALLEY GUTTER INLET RIM = 14.50 FT	N: 1014863.04 E: 533102.04	18" INV IN =10.79 (SE)	STPI-122, 18" INV OUT =10.79 (NW)
STR #5-33	YARD DRAIN RIM = 15.12 FT	N: 1014445.24 E: 533145.33	12" INV IN =12.12 (N)	STPI-123, 12" INV OUT =12.12 (S)
STR #5-34	YARD DRAIN RIM = 15.25 FT	N: 1014403.39 E: 533162.41	12" INV IN =12.03 (N)	STPI-124, 12" INV OUT =12.03 (S)
STR #5-35	YARD DRAIN RIM = 15.39 FT	N: 1014361.54 E: 533179.50	12" INV IN =11.94 (N)	STPI-125, 12" INV OUT =11.94 (S)
STR #5-36	GRATE INLET RIM = 15.00 FT			

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
STR #5-45	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014202.26 E: 533940.25	18" INV IN=10.48 (S)	STPI-131, 18" INV OUT=10.39 (NW)
STR #5-46	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014224.35 E: 533924.77	18" INV IN=10.34 (SE)	STPI-132, 24" INV OUT=10.34 (N)
STR #5-47	ENDWALL RIM = 9.90 FT	N: 1014387.35 E: 533925.76	24" INV IN=7.69 (S)	
STR #5-48	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014462.52 E: 534257.77		STPI-133, 18" INV OUT=10.39 (NW)
STR #5-49	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014471.75 E: 534237.80	18" INV IN=10.35 (SE)	STPI-134, 18" INV OUT=10.35 (NW)
STR #5-50	ENDWALL RIM = 9.90 FT	N: 1014543.55 E: 534082.47	18" INV IN=7.69 (SE)	
STR #5-51	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014734.67 E: 534463.90		STPI-135, 18" INV OUT=10.39 (NW)
STR #5-52	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1014751.29 E: 534449.48	18" INV IN=10.35 (SE)	STPI-136, 18" INV OUT=10.35 (NW)
STR #5-53	ENDWALL RIM = 9.90 FT	N: 1014884.18 E: 534334.16	18" INV IN=7.69 (SE)	
STR #5-54	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1015114.59 E: 534476.87		STPI-137, 18" INV OUT=10.39 (SW)
STR #5-55	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1015105.37 E: 534456.89	18" INV IN=10.35 (NE)	STPI-138, 18" INV OUT=10.35 (SW)
STR #5-56	ENDWALL RIM = 9.90 FT	N: 1015033.66 E: 534301.51	18" INV IN=7.69 (NE)	
STR #5-57	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1015550.02 E: 534312.92	18" INV IN=10.39 (N)	STPI-139, 18" INV OUT=10.39 (S)
STR #5-58	VALLEY GUTTER INLET RIM = 14.10 FT	N: 1015529.30 E: 534305.53	18" INV IN=10.35 (N)	STPI-140, 24" INV OUT=10.35 (SW)
STR #5-59	ENDWALL RIM = 9.90 FT	N: 1015458.78 E: 534253.30	24" INV IN=7.69 (NE)	
STR #5-60	YARD DRAIN RIM = 15.39 FT	N: 1014536.17 E: 532581.58		STPI-186, 12" INV OUT=12.39 (E)
STR #5-61	YARD DRAIN RIM = 15.13 FT	N: 1014518.72 E: 532628.85	12" INV IN=12.29 (W)	STPI-187, 12" INV OUT=12.29 (E)
STR #5-62	YARD DRAIN RIM = 15.32 FT	N: 1014502.58 E: 532674.35	12" INV IN=12.19 (W)	STPI-188, 12" INV OUT=12.19 (SE)
STR #5-63	YARD DRAIN RIM = 15.46 FT	N: 1014480.03 E: 532720.83	12" INV IN=12.09 (NW)	STPI-189, 12" INV OUT=12.09 (SE)
STR #5-64	YARD DRAIN RIM = 15.66 FT	N: 1014458.92 E: 532755.02	12" INV IN=12.01 (NW)	STPI-190, 12" INV OUT=12.01 (SE)
STR #5-65	YARD DRAIN RIM = 15.59 FT	N: 1014445.50 E: 532773.70	12" INV IN=11.96 (NW)	STPI-191, 12" INV OUT=11.96 (SE)
STR #5-66	YARD DRAIN RIM = 15.56 FT	N: 1014393.04 E: 532831.69		STPI-192, 12" INV OUT=12.56 (SE)
STR #5-67	YARD DRAIN RIM = 15.50 FT	N: 1014375.17 E: 532847.44	12" INV IN=12.51 (NW)	STPI-193, 12" INV OUT=12.51 (SE)
STR #5-68	YARD DRAIN RIM = 15.25 FT	N: 1014360.13 E: 532856.03	12" INV IN=12.48 (NW)	STPI-194, 12" INV OUT=12.48 (S)
STR #5-69	YARD DRAIN RIM = 15.12 FT	N: 1014318.21 E: 532873.15	12" INV IN=12.39 (N)	STPI-195, 12" INV OUT=12.39 (S)
STR #5-70	YARD DRAIN RIM = 15.00 FT	N: 1014112.84 E: 532676.46		STPI-199, 12" INV OUT=12.00 (E)
STR #5-71	YARD DRAIN RIM = 15.00 FT	N: 1014097.44 E: 532745.43	12" INV IN=11.86 (W)	STPI-200, 12" INV OUT=11.86 (E)
STR #5-72	YARD DRAIN RIM = 15.00 FT	N: 1014097.01 E: 532816.92	12" INV IN=11.72 (W)	STPI-201, 12" INV OUT=11.72 (E)
STR #5-73	GRATE INLET RIM = 15.00 FT	N: 1014096.69 E: 532870.02	12" INV IN=11.61 (W) 12" INV IN=11.61 (E)	STPI-202, 18" INV OUT=11.61 (N)
STR #5-74	YARD DRAIN RIM = 15.00 FT	N: 1014093.56 E: 533390.91		STPI-203, 12" INV OUT=12.00 (W)
STR #5-75	YARD DRAIN RIM = 15.00 FT	N: 1014093.83 E: 533345.71	12" INV IN=11.91 (E)	STPI-204, 12" INV OUT=11.91 (W)
STR #5-76	YARD DRAIN RIM = 15.00 FT	N: 1014094.10 E: 533300.51	12" INV IN=11.82 (E)	STPI-205, 12" INV OUT=11.82 (W)
STR #5-77	YARD DRAIN RIM = 15.00 FT	N: 1014094.37 E: 533255.31	12" INV IN=11.73 (E)	STPI-206, 12" INV OUT=11.73 (W)
STR #5-78	GRATE INLET RIM = 15.00 FT	N: 1014094.69 E: 533202.21	12" INV IN=11.62 (E) 12" INV IN=11.62 (W)	STPI-207, 18" INV OUT=11.62 (N)
STR #5-79	YARD DRAIN RIM = 15.00 FT	N: 1014095.83 E: 533013.51		STPI-208, 12" INV OUT=12.00 (E)
STR #5-80	YARD DRAIN RIM = 15.00 FT	N: 1014095.55 E: 533058.71	12" INV IN=11.91 (W)	STPI-209, 12" INV OUT=11.91 (E)
STR #5-81	YARD DRAIN RIM = 15.00 FT	N: 1014095.28 E: 533103.91	12" INV IN=11.82 (W)	STPI-210, 12" INV OUT=11.82 (E)
STR #5-82	YARD DRAIN RIM = 15.00 FT	N: 1014095.01 E: 533149.11	12" INV IN=11.73 (W)	STPI-211, 12" INV OUT=11.73 (E)
STR #5-83	YARD DRAIN RIM = 15.00 FT	N: 1014096.10 E: 532968.31		STPI-212, 12" INV OUT=12.00 (W)
STR #5-84	YARD DRAIN RIM = 15.00 FT	N: 1014096.37 E: 532923.12	12" INV IN=11.91 (E)	STPI-213, 12" INV OUT=11.91 (W)

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
STR #5-85	YARD DRAIN RIM = 14.50 FT	N: 1014081.59 E: 533717.93		STPI-214, 12" INV OUT=11.50 (E)
STR #5-86	YARD DRAIN RIM = 14.50 FT	N: 1014081.16 E: 533790.13	12" INV IN=11.36 (W)	STPI-215, 12" INV OUT=11.36 (E)
STR #5-87	YARD DRAIN RIM = 14.50 FT	N: 1014080.72 E: 533862.33	12" INV IN=11.22 (W)	STPI-216, 12" INV OUT=11.22 (E)
STR #5-88	GRATE INLET RIM = 14.50 FT	N: 1014080.26 E: 533939.51	12" INV IN=11.07 (W) 12" INV IN=10.72 (E)	STPI-221, 18" INV OUT=10.72 (N)
STR #5-89	YARD DRAIN RIM = 14.50 FT	N: 1014183.56 E: 534296.28	12" INV IN=11.50 (N)	STPI-217, 12" INV OUT=11.50 (SW)
STR #5-90	YARD DRAIN RIM = 14.50 FT	N: 1014115.73 E: 534230.98	12" INV IN=11.31 (NE)	STPI-218, 12" INV OUT=11.31 (W)
STR #5-91	YARD DRAIN RIM = 14.50 FT	N: 1014087.65 E: 534125.02	12" INV IN=11.09 (E)	STPI-219, 12" INV OUT=11.09 (W)
STR #5-92	YARD DRAIN RIM = 14.50 FT	N: 1014079.72 E: 534029.53	12" INV IN=10.90 (E)	STPI-220, 12" INV OUT=10.90 (W)
STR #5-93	GRATE INLET RIM = 14.24 FT	N: 1015669.40 E: 534355.49	12" INV IN=11.24 (NW) 12" INV IN=11.24 (SE)	STPI-222, 18" INV OUT=10.64 (S)
STR #5-94	YARD DRAIN RIM = 15.14 FT	N: 1015761.93 E: 534257.39		STPI-239, 12" INV OUT=12.14 (SE)
STR #5-95	YARD DRAIN RIM = 14.89 FT	N: 1015701.68 E: 534297.17	12" INV IN=12.00 (NW)	STPI-240, 12" INV OUT=12.00 (SE)
STR #5-96	YARD DRAIN RIM = 15.00 FT	N: 1015480.31 E: 534568.95		STPI-241, 12" INV OUT=12.00 (NW)
STR #5-97	YARD DRAIN RIM = 14.77 FT	N: 1015560.55 E: 534515.07	12" INV IN=11.81 (SE)	STPI-242, 12" INV OUT=11.81 (NW)
STR #5-98	YARD DRAIN RIM = 14.56 FT	N: 1015624.75 E: 534442.79	12" INV IN=11.62 (SE)	STPI-243, 12" INV OUT=11.62 (NW)
STR #5-99	YARD DRAIN RIM = 14.82 FT	N: 1014285.34 E: 534310.68		STPI-244, 12" INV OUT=11.82 (S)
STR #5-100	YARD DRAIN RIM = 14.96 FT	N: 1014797.89 E: 533427.88		STPI-245, 12" INV OUT=11.92 (W)
STR #5-101	YARD DRAIN RIM = 15.20 FT	N: 1014796.66 E: 533382.69	12" INV IN=11.83 (E)	STPI-246, 12" INV OUT=11.83 (W)
STR #5-102	YARD DRAIN RIM = 15.49 FT	N: 1014801.44 E: 533337.35	12" INV IN=11.74 (E)	STPI-247, 12" INV OUT=11.74 (W)
STR #5-103	YARD DRAIN RIM = 15.60 FT	N: 1014804.37 E: 533292.27	12" INV IN=11.65 (E)	STPI-248, 12" INV OUT=11.65 (W)
STR #5-104	YARD DRAIN RIM = 15.23 FT	N: 1014792.30 E: 533251.96	12" INV IN=11.57 (E)	STPI-249, 12" INV OUT=11.57 (SW)
STR #5-105	YARD DRAIN RIM = 15.07 FT	N: 1014769.37 E: 533213.00	12" INV IN=11.48 (NE)	STPI-250, 12" INV OUT=11.48 (SW)
STR #5-106	GRATE INLET RIM = 15.41 FT	N: 1014744.96 E: 533171.52	12" INV IN=11.38 (NE) 12" INV IN=11.28 (SW)	STPI-251, 18" INV OUT=11.06 (NW)
STR #5-107	YARD DRAIN RIM = 15.34 FT	N: 1014612.11 E: 533079.35		STPI-252, 12" INV OUT=12.00 (N)
STR #5-108	YARD DRAIN RIM = 15.73 FT	N: 1014654.38 E: 533080.16	12" INV IN=11.92 (S)	STPI-253, 12" INV OUT=11.92 (NE)
STR #5-109	YARD DRAIN RIM = 15.54 FT	N: 1014692.68 E: 533098.04	12" INV IN=11.84 (SW)	STPI-254, 12" INV OUT=11.84 (NE)
STR #5-110	YARD DRAIN RIM = 15.63 FT	N: 1014720.55 E: 533130.04	12" INV IN=11.76 (SW)	STPI-255, 12" INV OUT=11.38 (NE)
STR #5-111	YARD DRAIN RIM = 15.61 FT	N: 1014570.78 E: 533094.07		STPI-256, 12" INV OUT=12.57 (S)
STR #5-112	YARD DRAIN RIM = 15.51 FT	N: 1014528.93 E: 533111.15	12" INV IN=12.48 (N)	STPI-257, 12" INV OUT=12.48 (S)
STR #5-113	YARD DRAIN RIM = 15.31 FT	N: 1014487.08 E: 533128.24	12" INV IN=12.31 (N)	STPI-258, 12" INV OUT=12.31 (S)
STR #BB-S	GRATE INLET RIM = 14.35 FT	N: 1015063.12 E: 531899.40	30" INV IN=9.30 (E)	
STR #BB-X	GRATE INLET RIM = 13.00 FT	N: 1014064.56 E: 532390.06	30" INV IN=7.33 (W)	
STR #BB-X2	GRATE INLET RIM = 12.00 FT	N: 1014058.07 E: 532640.22		STPI-237, 36" INV OUT=7.78 (E)
STR #JAC-1	VALLEY GUTTER INLET RIM = 15.75 FT	N: 1015332.07 E: 531759.45	18" INV IN=12.19 (N)	STPI-155, 18" INV OUT=12.04 (SW)
STR #JAC-2	VALLEY GUTTER INLET RIM = 15.75 FT	N: 1015311.16 E: 531747.82	18" INV IN=11.99 (NE)	STPI-156, 18" INV OUT=11.99 (SW)
STR #JAC-3	ENDWALL RIM = 11.50 FT	N: 1015156.81 E: 531661.97	18" INV IN=9.29 (NE)	
STR #JAC-4	YARD DRAIN RIM = 16.41 FT	N: 1015759.45 E: 532140.22		STPI-223, 12" INV OUT=13.41 (SW)
STR #JAC-5	YARD DRAIN RIM = 16.40 FT	N: 1015731.37 E: 532096.21	12" INV IN=13.31 (NE)	STPI-224, 12" INV OUT=13.31 (SW)
STR #JAC-6	YARD DRAIN RIM = 16.22 FT	N: 1015703.29 E: 532052.21	12" INV IN=13.21 (NE)	STPI-225, 12" INV OUT=13.21 (SW)
STR #JAC-7	YARD DRAIN RIM = 16.03 FT	N: 1015675.20 E: 532008.21	12" INV IN=13.11 (NE)	STPI-226, 12" INV OUT=13.11 (SW)
STR #JAC-8	YARD DRAIN RIM = 15.86 FT	N: 1015643.01 E: 531959.40	12" INV IN=12.99 (NE)	STPI-227, 12" INV OUT=12.99 (SW)

STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	COORDINATES	PIPES IN	PIPES OUT
STR #JAC-9	YARD DRAIN RIM = 15.50 FT	N: 1015606.24 E: 531907.53	12" INV IN=12.86 (NE)	STPI-228, 12" INV OUT=12.86 (SW)
STR #JAC-10	YARD DRAIN RIM = 15.50 FT	N: 1015566.78 E: 531858.76	12" INV IN=12.73 (NE)	STPI-229, 12" INV OUT=12.73 (SW)
STR #JAC-11	YARD DRAIN RIM = 15.50 FT	N: 1015525.50 E: 531813.47	12" INV IN=12.61 (NE)	STPI-230, 12" INV OUT=12.61 (SW)
STR #JAC-12	GRATE INLET RIM = 15.50 FT	N: 1015456.32 E: 531760.30	12" INV IN=12.44 (NE)	STPI-231, 18" INV OUT=12.44 (S)
STR #JB-S	JUNCTION BOX RIM = 16.02 FT	N: 1014052.10 E: 531803.69	30" INV IN=5.23 (N)	STPI-198, 30" INV OUT=8.50 (E)

DESIGNED BY:	RTD/89450	DATE:	2016
DRAWN BY:		DATE:	2016
CHECKED BY:		DATE:	
CONTRACT ADMIN. BY:		DATE:	
W/M APPROVED BY:		DATE:	



6900 Professional Parkway East, Sarasota, FL 34240-8414  
Phone 941-907-6900 • Fax 941-907-6910  
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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
HORIZONTAL SCALE: 35 38S 19E  
VERTICAL SCALE:  
CROSS REFERENCE FILE NO.:  
PROJECT NUMBER: 215611819  
SHEET NUMBER: 41 OF 51  
INDEX NUMBER: 215611819-05C-511DD

**WATER DISTRIBUTION GENERAL:**

THE FOLLOWING NOTES ARE INTENDED AS A SUPPLEMENT TO THE PROJECT SPECIFICATIONS AND ARE NOT INTENDED TO SUPERSEDE THE PROJECT SPECIFICATIONS. IT IS ASSUMED THE IRRIGATION MAINS ARE OR WILL CONVEY REUSE WATERS.

1. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY OR HAVE VERIFIED THE LOCATION OF UTILITIES BEFORE STARTING WORK. HE SHALL BE LIABLE FOR ANY EXPENSE RESULTING FROM DAMAGE TO SAME. ANY CONFLICTS WITH EXISTING UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE COUNTY, UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO ANY WORK AT SITE. WATER MAIN TIE-INS REQUIRING WATER SERVICE TO BE SHUT OFF SHALL BE MADE WHEN REQUIRED BY SARASOTA COUNTY UTILITIES.
3. WATER MAIN INSTALLATION SHALL BE CONSTRUCTED WITH A MINIMUM OF 3 FEET OF COVER BELOW PROPOSED GRADE OR TO THE ELEVATIONS AND DEPTHS AS INDICATED ON THE PLANS WITH 0.25 FT. COST TO RELAY MAIN, IF NECESSARY, SHALL BE BORNE BY THE CONTRACTOR.
4. ALL DISTURBED AREAS IN EXISTING LAWNS SHALL BE REPLACED WITH SOD EQUAL TO OR BETTER THAN EXISTING AND OF THE SAME TYPE. SWALE SLOPES AND BOTTOM SHALL BE SODDED TO ELIMINATE EROSION. RESTORATION DUE TO EROSION OCCURRING PRIOR TO GRASS ROOTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL WATER AS NECESSARY ALL SODDED AREAS UNTIL GRASS ROOTS.
5. DUE TO THE PROXIMITY OF EXISTING DRAINAGE STRUCTURES, ROADWAY PAVEMENT, GOLF CART PATHS, CURBS, CULVERTS, RESIDENTIAL STRUCTURES, MAIL BOXES, ETC., THE CONTRACTOR SHALL USE EXCAVATING METHODS WHICH SHALL PREVENT ANY DAMAGE TO SAME UNLESS REMOVAL IS REQUIRED. THE COST OF ANY DAMAGE AND THE REPLACEMENT OF ALL PRIVATE PROPERTY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE BORNE BY THE CONTRACTOR.
6. ALL EXISTING SALVAGEABLE PIPE FITTINGS, ETC., SHALL REMAIN THE PROPERTY OF THE OWNER AND BE STORED ON SITE AT THE DIRECTION OF THE ENGINEER.
7. ALL PVC WATER MAINS SHALL BE BLUE IN COLOR. COLOR CODED PLASTIC COATED METAL TAPE 3" WIDE WITH THE WORD "WATER MAIN" SHALL BE PLACED 18 INCHES BELOW FINISHED GROUND AND ABOVE D.I.P. AND PVC WATER MAIN. ALSO ATTACH A COLOR-CODED CONTINUOUS NUMBER 12 INSULATED WIRE ON TOP OF THE PIPE AND AS INDICATED ON THE DETAILS FOR VALVES, HYDRANTS, BLOWOFFS, ETC. THE COST FOR COLOR TAPE AND COPPER TRACING WIRE SHALL BE INCLUDED IN THE WATER MAIN UNIT PRICES.
8. THE CONTRACTOR SHALL COORDINATE HOLDING OF POLES WITH UTILITY COMPANIES IN ADVANCE SO UNNECESSARY DELAYS OF PROJECT SHALL NOT BE INCURRED. THE COST FOR THE HOLDING OF THE POWER POLES SHALL BE INCLUDED IN THE WATER MAIN UNIT COST ITEMS CONTAINED IN THE PROPOSAL.
9. ALL CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF SARASOTA COUNTY ORDINANCE #99-058 AND #99-063 (UNIFORM WATER, WASTEWATER, & REUSE SYSTEM CODE), LATEST REVISION, AND EXCEED THE REQUIREMENTS OF THAT ORDINANCE WHERE INDICATED ON THESE CONSTRUCTION DRAWINGS OR IN THE PROJECT SPECIFICATIONS.
10. UNLESS OTHERWISE NOTED PROPOSED WATER MAINS TO GO UNDER EXISTING CULVERTS, STRUCTURES AND OTHER APPURTENANCES, IF NECESSARY, TO MAINTAIN 3' MINIMUM COVER. EXCEPT SEWER MAINS SHALL BE CROSSED OVER.
11. RESTORATION OF ALL EXISTING ROADWAYS TO SARASOTA COUNTY STANDARDS AND THE REPLACEMENT OF EXISTING CULVERTS AND DRIVEWAYS ETC., SHALL BE INCLUDED IN THE UNIT BID PRICE OF THE WATER MAIN ITEMS.
12. CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED UNTIL ALL NEW WATER LINES HAVE SUCCESSFULLY COMPLETED ALL PRESSURE AND BACTERIOLOGICAL TESTING.
13. THE CONTRACTOR SHALL NOTIFY SARASOTA COUNTY UTILITIES DEPARTMENT OR THE PRIVATE UTILITY REGARDING THE DISPOSITION OF ANY FITTINGS, ETC., THAT ARE TO BE REMOVED.
14. THE CONTRACTOR SHALL PROVIDE AND UTILIZE A METERED JUMPER ASSEMBLY BETWEEN THE EXISTING POTABLE WATER SERVICE PIPING AND THE NEW WATER MAIN IN ORDER TO PROVIDE BACKFLOW PREVENTION WHILE FILLING AND FLUSHING THE NEW WATER MAIN. FINAL TIE-IN SHALL BE COMPLETED ONLY AFTER THE NEW SYSTEM HAS BEEN FLUSHED CLEAN, PRESSURE TESTED, DISINFECTED, BACTERIOLOGICALLY CLEARED, CERTIFIED COMPLETE BY THE ENGINEER, AND A RELEASE IS OBTAINED FROM THE HEALTH DEPARTMENT ENGINEER'S REPRESENTATIVE TO BE PRESENT AT FINAL TIE-IN. THE LENGTH OF PIPE REQUIRED FOR FINAL TIE-IN SHALL BE LIMITED TO LESS THAN 20 FEET. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH HEALTH DEPARTMENT AND LOCAL GOVERNMENT RULES AND REGULATIONS.

**SERVICE DETAILS:**

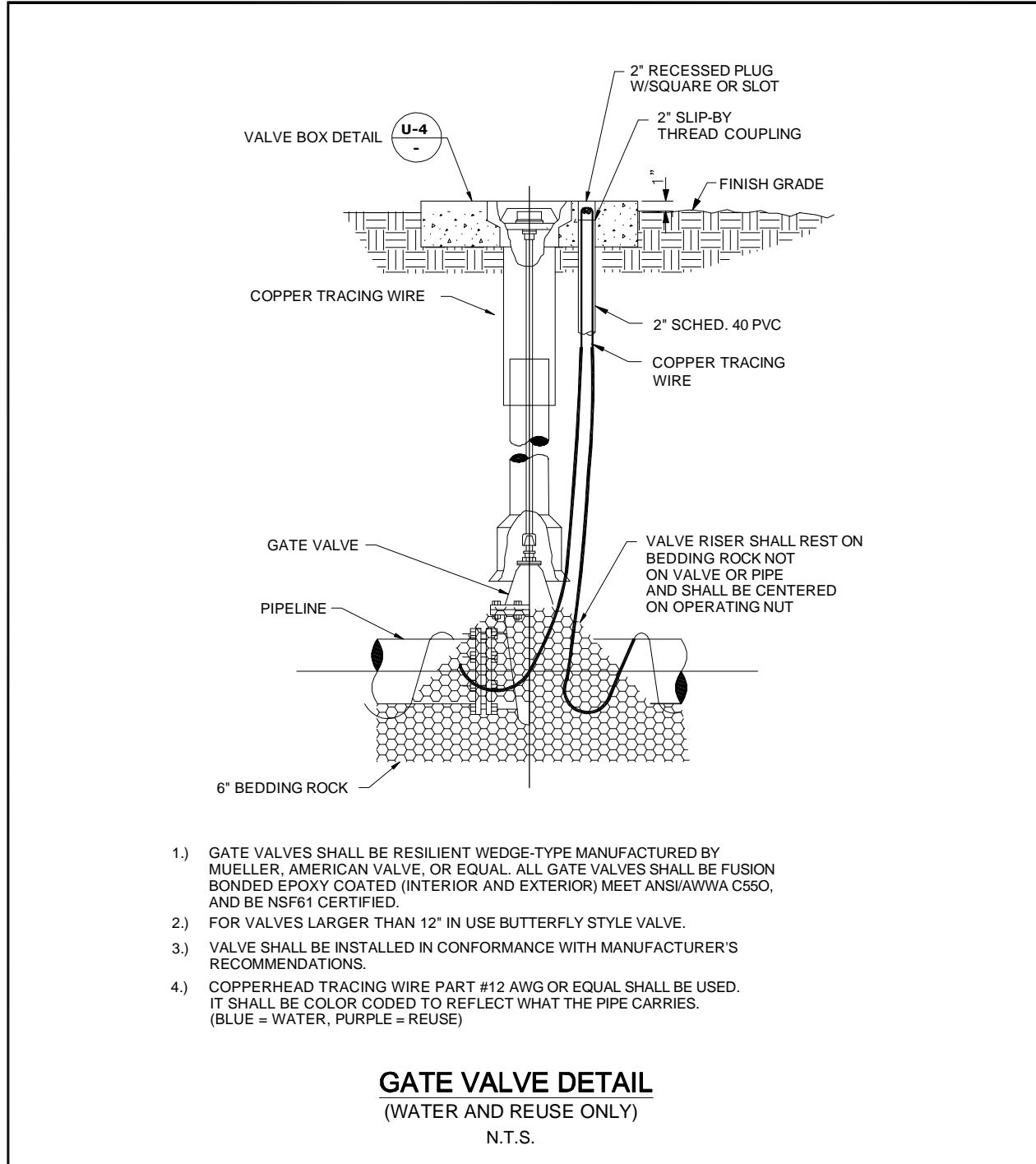
1. ALL METER BOXES HAVE BEEN CALCULATED FOR LOCATION AND SHALL BE STAKED ACCORDINGLY IN THE FIELD. BOXES FOUND NOT CONSTRUCTED TO THE PROPOSED LOCATION SHALL BE REMOVED AND RELOCATED BY THE CONTRACTOR AT NO ADDITIONAL CHARGE. THOSE BOXES SHOWN IN CLUSTERS SHALL BE PLACED IN A NEAT ROW AND AGAINST EACH OTHER.
2. ALL EXISTING AND PROPOSED VALVE BOXES SHALL BE ADJUSTED TO FINISHED GRADES AS ESTABLISHED IN THE FIELD. NO ADDITIONAL COMPENSATION SHALL BE MADE BY THE OWNER.
3. FIRE HYDRANTS SHALL BE CONSTRUCTED WITH "GROUND LINE" SET TO FINISHED GRADES AS ESTABLISHED IN THE FIELD. NORMAL BURY IS 3 FEET OF COVER FOR WATER LINES. IF EXTENSIONS ARE REQUIRED, THE COST SHALL BE INCLUDED IN THE PRICE BID.
4. AIR RELEASE TAPS SHALL BE INSTALLED IN WATER MAINS AT HIGH POINTS WHERE REQUIRED. THESE LOCATIONS SHALL BE LOCATED ON THE RECORD DRAWINGS.
5. 2 INCHES OR SMALLER DIAMETER SERVICES SHALL INCLUDE THE SERVICE SADDLE, CORPORATION STOP, VARIABLE LENGTH P.E. 3406 - A.S.T.M. 2737 COPPER TUBE SIZE SERVICE PIPE, CURB STOP AND METER BOX OF THE SIZE FOR METER INDICATED.
6. VERTICAL CLEARANCE BETWEEN WATER AND STORM/ REUSE/ WASTEWATER LINES SHALL BE 18 INCHES MINIMUM.
7. A "W" OR "V" SHALL BE STAMPED INTO CURB WHERE WATER SERVICE OR WATER VALVE IS LOCATED IN ACCORDANCE WITH COUNTY CODE. A MEASUREMENT FROM EDGE OF CURB TAKEN BY THE CONTRACTOR, SHALL BE SHOWN ON THE RECORD PLANS FOR REFERENCE IN LOCATING THE SERVICE OR THE VALVE.

**AS-BUILTS:**

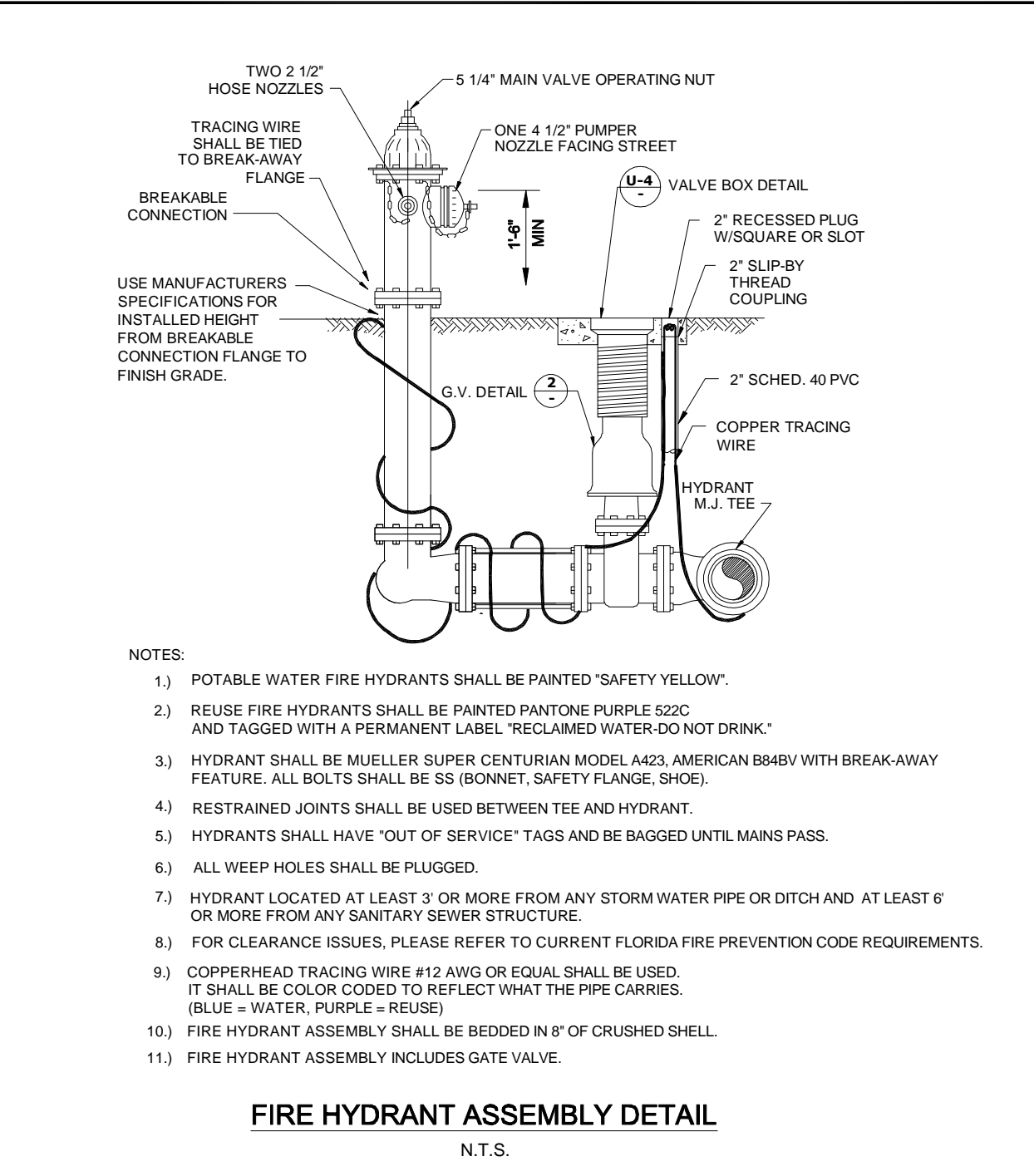
1. THE CONTRACTOR SHALL LOCATE VALVES, SERVICES, HYDRANTS, AIR RELEASE VALVES, ETC. BY USING A TWO (2) POINT SWING MEASUREMENT FROM PERMANENT PHYSICAL FEATURES THAT CAN READILY BE FOUND ON THE DRAWING AND IN THE FIELD. THESE MEASUREMENTS SHALL BE SHOWN ON THE "AS-BUILT" DRAWING BY THE CONTRACTOR AND PRESENTED TO THE ENGINEER AT EACH PARTIAL PAYMENT APPLICATION FOR PERMANENT RECORDING.
2. THE CONTRACTOR SHALL FURNISH "AS-BUILT" TOP OF PIPE ELEVATIONS OF ALL WATER MAINS EVERY 100', ALL FITTINGS AND ALL CHANGES IN GRADE.
3. RECORD DRAWINGS, IF PREPARED BY THE CONTRACTOR OR CONTRACTORS SURVEYOR, DRAFT COPIES OF THE RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FINALIZING THE DRAWINGS. ONCE ACCEPTABLE TO THE ENGINEER, THE CONTRACTOR/SURVEYOR WILL PROVIDE 9 SETS OF SIGNED AND SEALED FINALIZED DRAWINGS WITHIN 7 DAYS OF BACTERIOLOGICAL CLEARANCE TESTING FOR SUBMITTAL TO THE COUNTY. ONCE THE DRAWINGS ARE APPROVED BY THE COUNTY, CONTRACTOR/SURVEYOR IS RESPONSIBLE TO PROVIDE THE ENGINEER OF RECORD ONE SET OF MYLARS AND A DIGITAL COPY OF RECORD DRAWINGS IN ACD/14 FORMAT, RECORD INFORMATION SHALL BE ON UNIQUE LATER(S), USING TEXT SHAPE FILE THAT COMES WITH STANDARD ACD.

**JOINT RESTRAINING:**

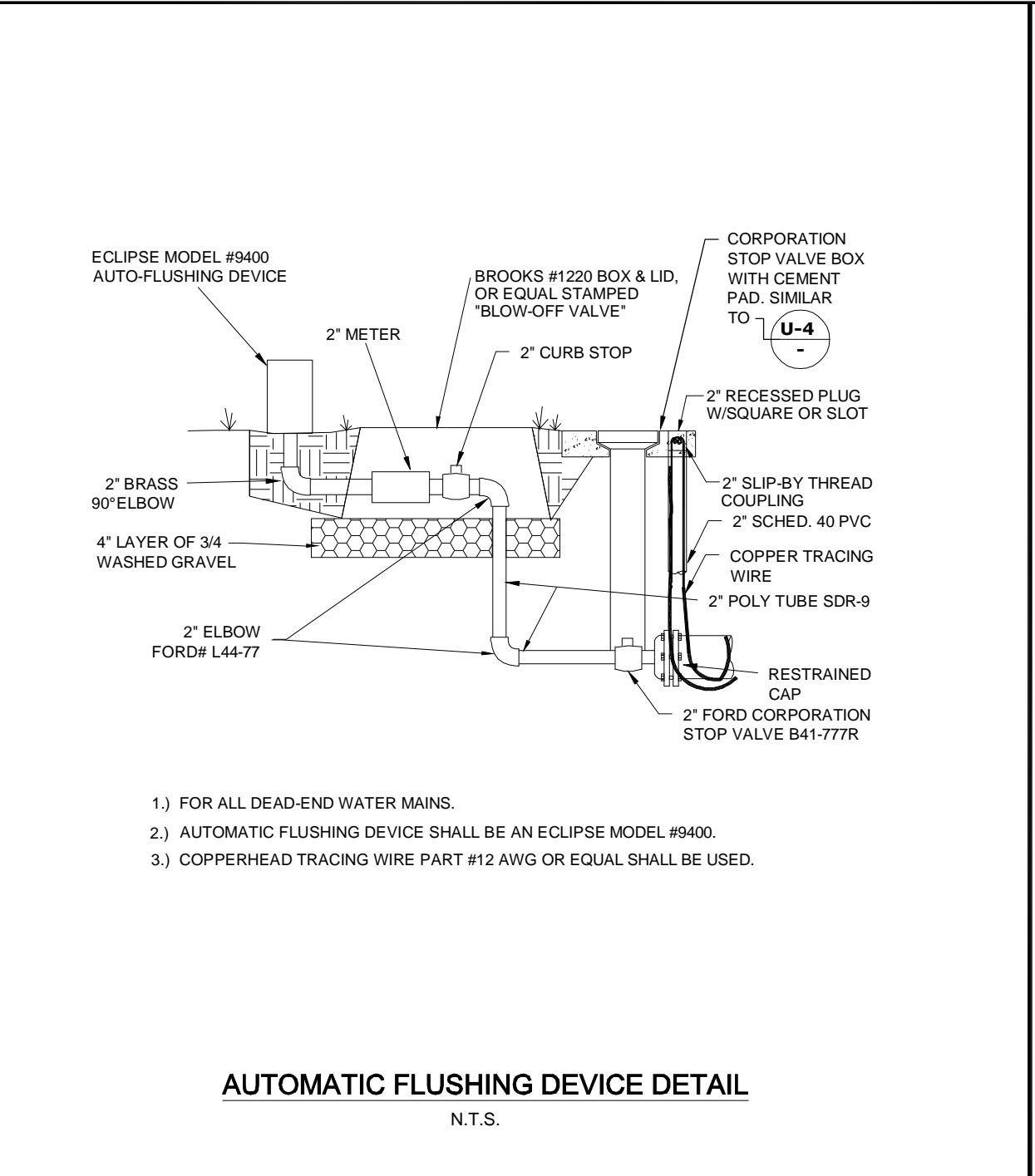
1. THE CONTRACTOR SHALL PROVIDE ALL JOINT RESTRAINING AS REQUIRED. SEE RESTRAINED JOINT TABLES.
2. DESIGN CRITERIA: 150 P.S.I. TEST PRESSURE TIMES 2 SAFETY FACTOR (300 P.S.I.) FOR WATER HAMMER WITH ASSUMED SOIL BEARING CAPACITY OF 1000 LBS. PER SQUARE FOOT.
3. COMPLETELY COAT EXPOSED TIE-BARS OR OTHER UNCOATED STEEL AFTER INSTALLATION WITH TWO COATS OF PORTER TARGET MAXI-BUILD #7090 AT 3 MILS D.F.T. EACH (COAT) USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



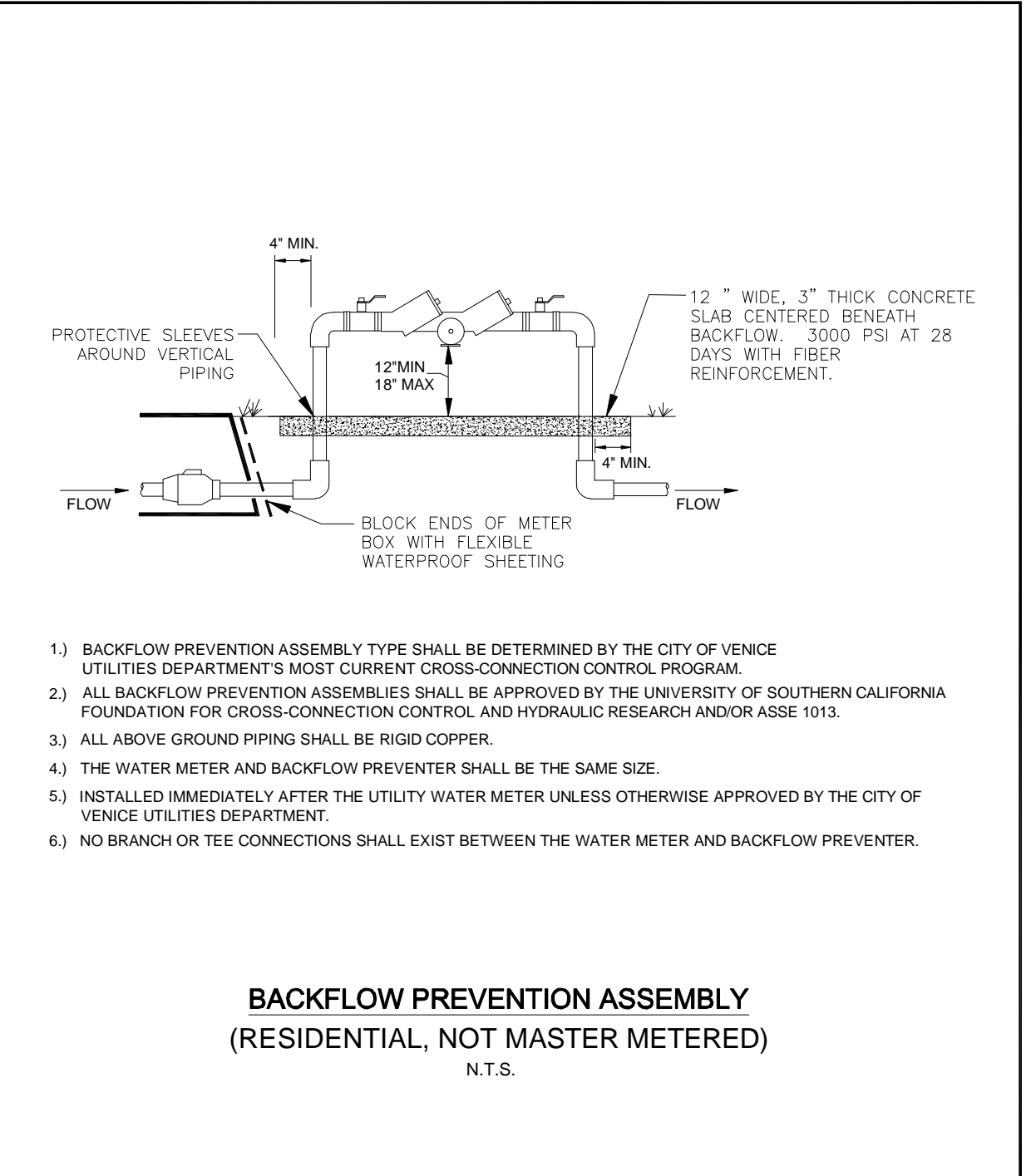
CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>GATE VALVE</b>	DATE JAN. 2016 SHEET NO. <b>W-1</b>
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CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>FIRE HYDRANT ASSEMBLY</b>	DATE JAN. 2016 SHEET NO. <b>W-2</b>
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CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>AUTOMATIC FLUSHING DEVICE</b>	DATE JAN. 2016 SHEET NO. <b>W-3</b>
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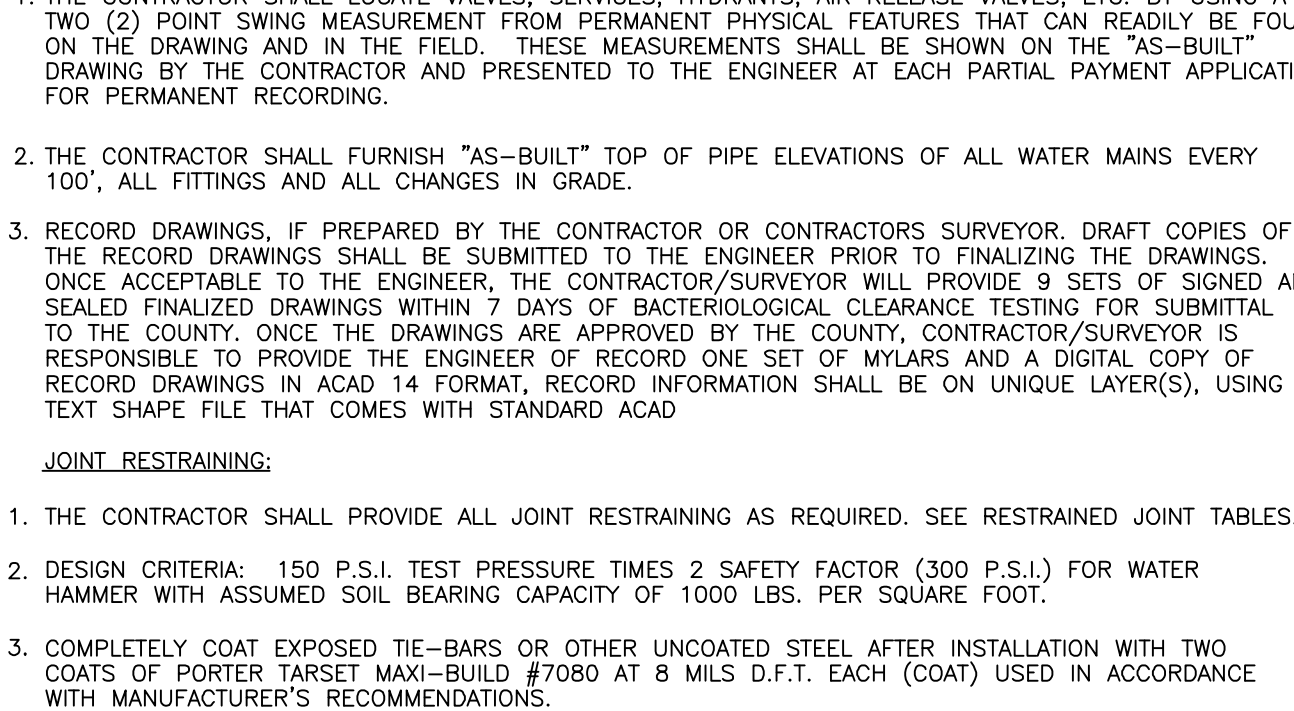


CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>BACKFLOW ASSEMBLY (NO MASTER METER)</b>	DATE JAN. 2016 SHEET NO. <b>W-5</b>
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**REUSE METER:**

1. THE POTABLE WATER SYSTEM SHALL USE A BROOKS MODEL # 1220 BLACK PLASTIC METER BOX WITH METAL READER AND BLACK SOLID RODS OR APPROVED EQUAL FOR BOTH METER AND CHECK VALVE.
2. CENTER METER IN BOX AND BLOCK ENDS OF BOX TO PREVENT DIRT FROM ENTERING WITH FLEXIBLE WATERPROOF SHEETING.
3. COPPERHEAD TRACING WIRE #12 AWG OR EQUAL SHALL BE USED AND COLOR CODED TO REFLECT WHAT THE PIPE CARRIES (BLUE = WATER).
4. LOCKING CURB STOP MUST BE LOCATED IN BOX AND SHALL BE LOCKED IN THE CLOSED POSITION WITH A LOCK SUPPLIED BY THE UTILITIES DEPARTMENT ONLY AFTER STANDARD DETAIL REQUIREMENTS ARE MET. DEDICATED FIRE SERVICE CURB STOPS SHALL BE LOCKED IN THE OPEN POSITION BY THE UTILITIES DEPARTMENT AFTER STANDARD DETAIL REQUIREMENTS ARE MET. ALL CURB STOPS SHALL BE ORIENTED WITH THE OPERATING NUT ON TOP AND ACCESSIBLE FOR SERVICE BY A CURB STOP KEY.
5. DUAL OR DOUBLE CHECK ASSEMBLY, WHEN REQUIRED BY THE CITY OF VENICE UTILITIES DEPARTMENT'S MOST CURRENT CROSS-CONNECTION CONTROL PROGRAM, SHALL BE INSTALLED BY A PLUMBER IN A SEPARATE BOX IMMEDIATELY AFTER THE WATER METER BOX. TEST PORTS SHALL BE PLUGGED WITH NON-METALLIC OR PLASTIC PLUGS.
6. RESIDENTIAL FIRE SERVICE SPRINKLERS INCORPORATED INTO DOMESTIC RESIDENTIAL PLUMBING SHALL BE SERVICED BY AN ELECTRONIC WATER METER MEETING NPFA STANDARDS FOR FLOW AND PRESSURE LOSS.
7. THE ENGINEER OF RECORD SHALL SUBMIT METER SIZING CALCULATIONS BASED ON SERVICE DEMAND PER AWWA M-22 AND SUBJECT TO APPROVAL BY THE UTILITIES DEPARTMENT.

**RESIDENTIAL WATER & FIRE METER (RESIDENTIAL USE ONLY) N.T.S.**

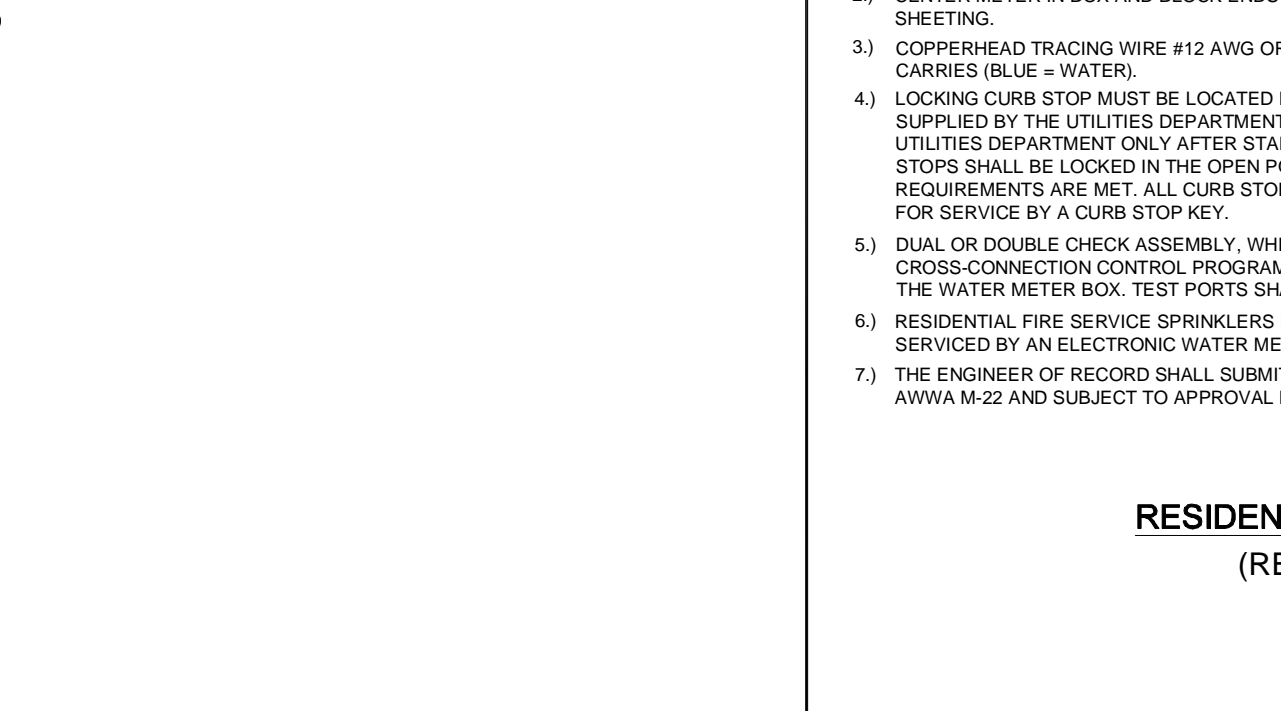


CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>RESIDENTIAL WATER &amp; FIRE METER</b>	DATE JAN. 2016 SHEET NO. <b>W-6</b>
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**TEMPORARY MAIN-LINE JUMPER DETAIL N.T.S.**

1. THE POTABLE WATER SYSTEM SHALL USE A BROOKS MODEL # 1419 OR APPROVED EQUAL. THE LID SHALL BE STAMPED "NON-POTABLE" & "DO NOT DRINK" IN BOTH ENGLISH AND SPANISH AND MUST BE LOCKABLE. METER BOX AND LID SHALL BE PURPLE (COLOR PANTONE 522).
2. CURB STOP MUST BE LOCATED INSIDE THE METER BOX AND SHALL BE LOCKED IN THE CLOSED POSITION WITH A LOCK SUPPLIED BY THE UTILITIES DEPARTMENT ONLY AFTER STANDARD DETAIL REQUIREMENTS ARE MET. ALL CURB STOPS SHALL BE ORIENTED WITH THE OPERATING NUT ON TOP AND ACCESSIBLE FOR SERVICE BY A CURB STOP KEY.
3. CENTER METER IN BOX AND BLOCK ENDS OF BOX TO PREVENT DIRT FROM ENTERING WITH FLEXIBLE WATERPROOF SHEETING.
4. COPPERHEAD TRACING WIRE #12 AWG OR EQUAL SHALL BE USED. IT SHALL BE COLOR CODED TO REFLECT WHAT THE PIPE CARRIES. (PURPLE = REUSE)

**TEMPORARY MAIN-LINE JUMPER DETAIL N.T.S.**

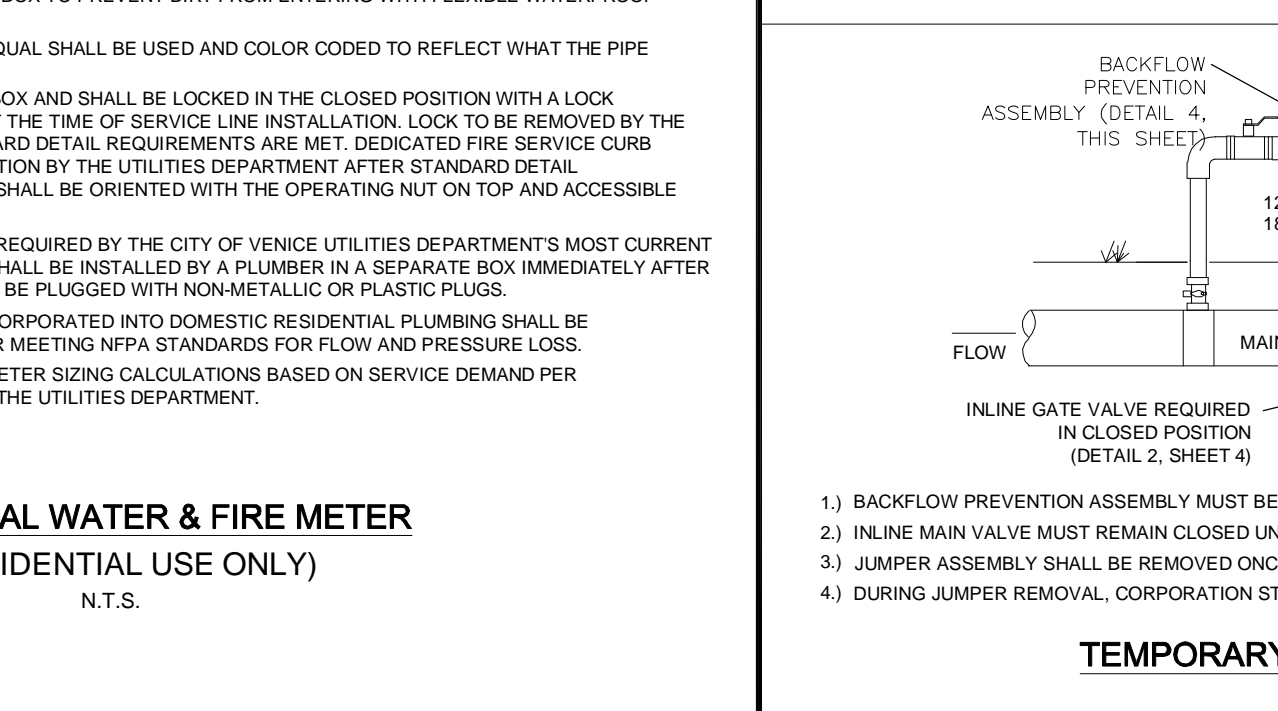


CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>REUSE METER &amp; TEMPORARY JUMPER</b>	DATE JAN. 2016 SHEET NO. <b>W-7</b>
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**RESIDENTIAL METER CONNECTION DETAIL N.T.S.**

1. TAPS SHALL NOT BE CLOSER THAN TWO FEET APART OR WITHIN TWO FEET OF ANY JOINT.
2. TAPS IN MULTIPLE GROUPS SHALL NOT BE MADE IN THE SAME LONGITUDINAL LINE OF THE PIPE BUT MUST BE STAGGERED VERTICALLY.
3. ALL WATERWORKS BRASS MUST BE LEAD-FREE.
4. TAPPING SADDLE SHALL BE EPOXY COATED, DUCTILE IRON BODY WITH STAINLESS STEEL BAND(S) AND HARDWARE.
5. ALL SERVICES SHALL HAVE COPPER TRACING WIRE.
6. ALL SLEEVE ENDS SHALL BE SEALED WITH FOAM SEAL.
7. INSERT STIFFENERS WILL NOT BE ACCEPTABLE.
8. ALL WATERWORKS BRASS MUST BE LEAD-FREE.
9. METER SIZE AND SERVICE LINE PIPING DOWNSTREAM OF METER SHALL BE MINIMALLY SIZED BASED ON FIXTURE CALCS AS DETERMINED BY THE EOR.

**RESIDENTIAL METER CONNECTION DETAIL N.T.S.**

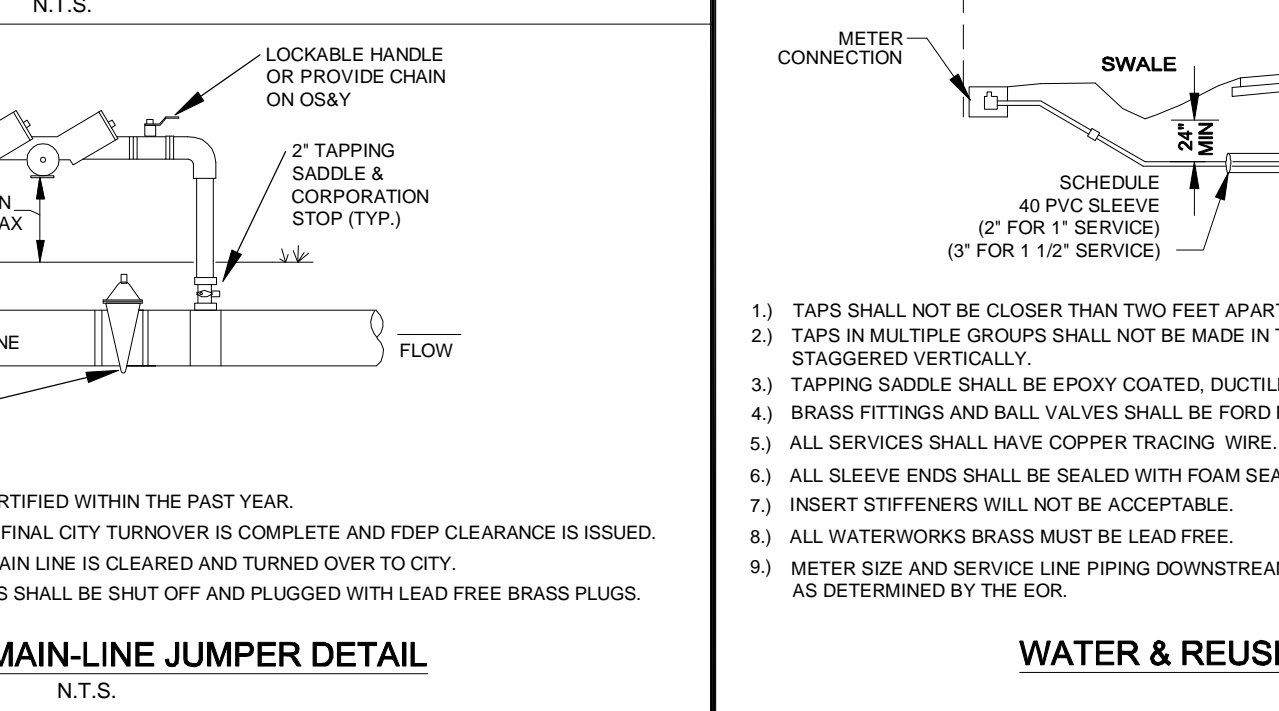


CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>RESIDENTIAL METER &amp; SERVICE CONNECTION</b>	DATE JAN. 2016 SHEET NO. <b>W-8</b>
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**WATER & REUSE SERVICE CONNECTION N.T.S.**

1. TAPS SHALL NOT BE CLOSER THAN TWO FEET APART OR WITHIN TWO FEET OF ANY JOINT.
2. TAPS IN MULTIPLE GROUPS SHALL NOT BE MADE IN THE SAME LONGITUDINAL LINE OF THE PIPE BUT MUST BE STAGGERED VERTICALLY.
3. ALL WATERWORKS BRASS MUST BE LEAD-FREE.
4. TAPPING SADDLE SHALL BE EPOXY COATED, DUCTILE IRON BODY WITH STAINLESS STEEL BAND(S) AND HARDWARE.
5. ALL SERVICES SHALL HAVE COPPER TRACING WIRE.
6. ALL SLEEVE ENDS SHALL BE SEALED WITH FOAM SEAL.
7. INSERT STIFFENERS WILL NOT BE ACCEPTABLE.
8. ALL WATERWORKS BRASS MUST BE LEAD-FREE.
9. METER SIZE AND SERVICE LINE PIPING DOWNSTREAM OF METER SHALL BE MINIMALLY SIZED BASED ON FIXTURE CALCS AS DETERMINED BY THE EOR.

**WATER & REUSE SERVICE CONNECTION N.T.S.**



CITY OF VENICE ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	UTILITIES - WATER <b>RESIDENTIAL METER &amp; SERVICE CONNECTION</b>	DATE JAN. 2016 SHEET NO. <b>W-8</b>
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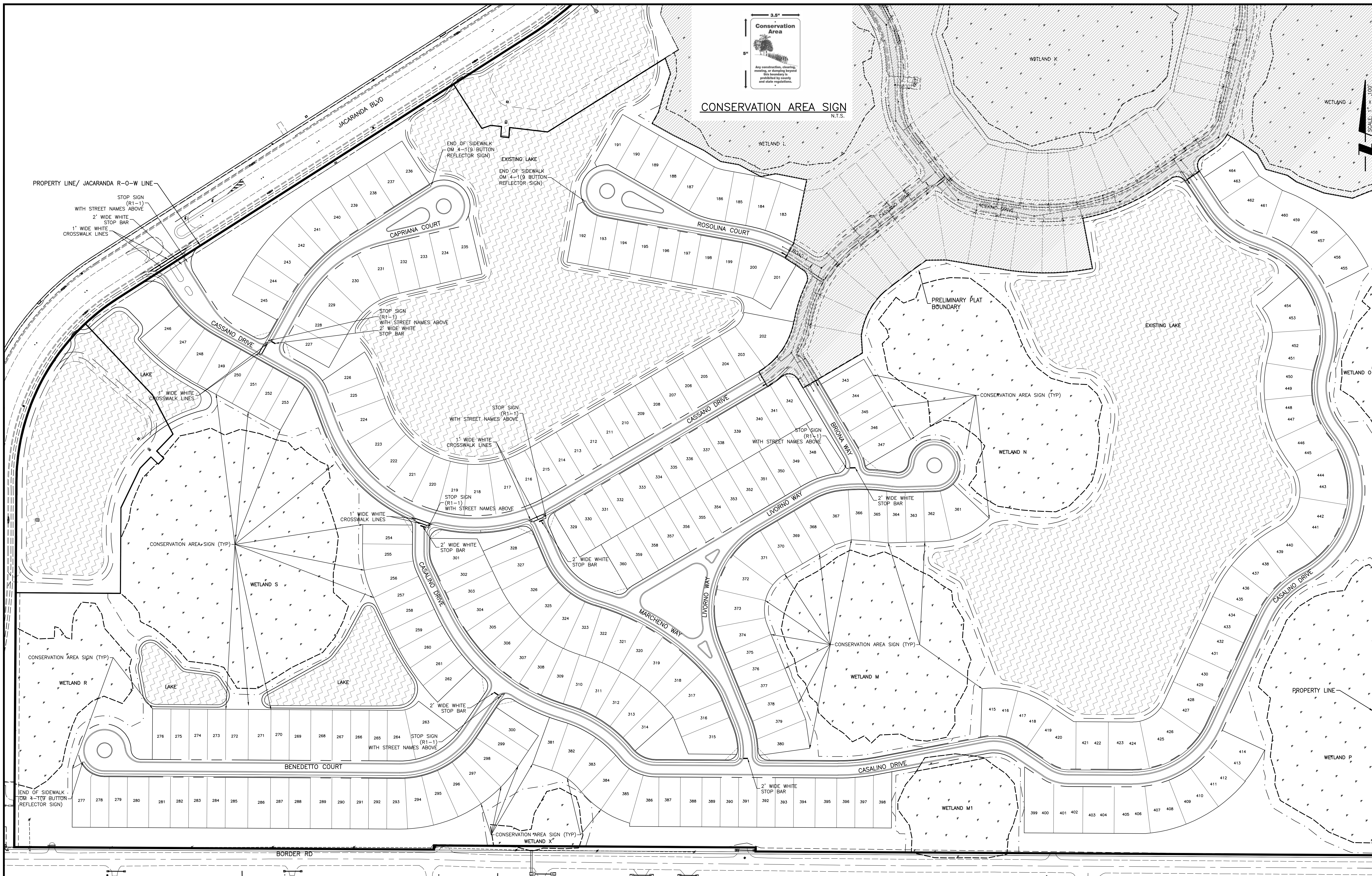
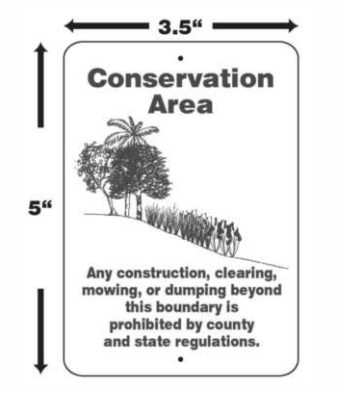
DESIGNED BY: RTO/89450	DATE: 2016
DRAWN BY:	DATE: 2016
CHECKED BY:	
CONTRACT ADMIN. BY:	
WM APPROVED BY:	

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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
PROJECT: VILLAGES OF MILANO PHASE 2  
DATE: 2016  
VERTICAL SCALE:  
HORIZONTAL SCALE:  
SEC: TRP: ASE: 35 38S 19E  
CROSS REFERENCE FILE NO.:  
PROJECT NUMBER: 215611819

TITLE: WATER DISTRIBUTION CONSTRUCTION DETAILS  
INDEX NUMBER: 215611819-05C-521UD  
SHEET NUMBER: 48 OF 51

**CONSERVATION AREA SIGN**  
N.T.S.



<b>REVISIONS</b> A REVISED PER CITY PRELIMINARY PLAT COMMENTS 04/07/16 DKL/89396		<b>ACTIVITY</b> DESIGNED BY: RTD/89450 2016 DRAWN BY: JMC/102924 2016 CHECKED BY: CONTRACT ADMIN. BY: W/M APPROVED BY:		<b>INITIALS/EMP. NO. DATE</b> RTD/89450 2016 JMC/102924 2016		<b>CLIENT:</b> NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC <b>PROJECT:</b> VILLAGES OF MILANO PHASE 2		<b>DATE:</b> 2016 <b>HORIZONTAL SCALE:</b> 1" = 100' <b>VERTICAL SCALE:</b> - <b>SEC. TWP. RSE:</b> 35 38S 19E		<b>TITLE:</b> SIGNAGE AND MARKING PLAN <b>CROSS REFERENCE FILE NO.:</b> <b>PROJECT NUMBER:</b> 215611819 <b>INDEX NUMBER:</b> 215611819-05C-701SIGN <b>SHEET NUMBER:</b> 49 OF 51	
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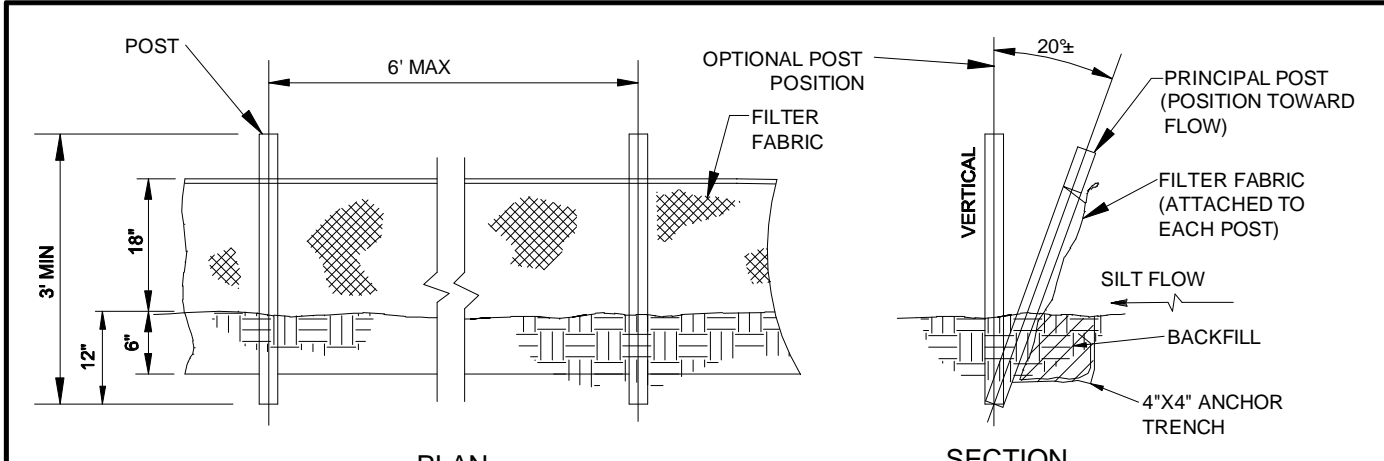
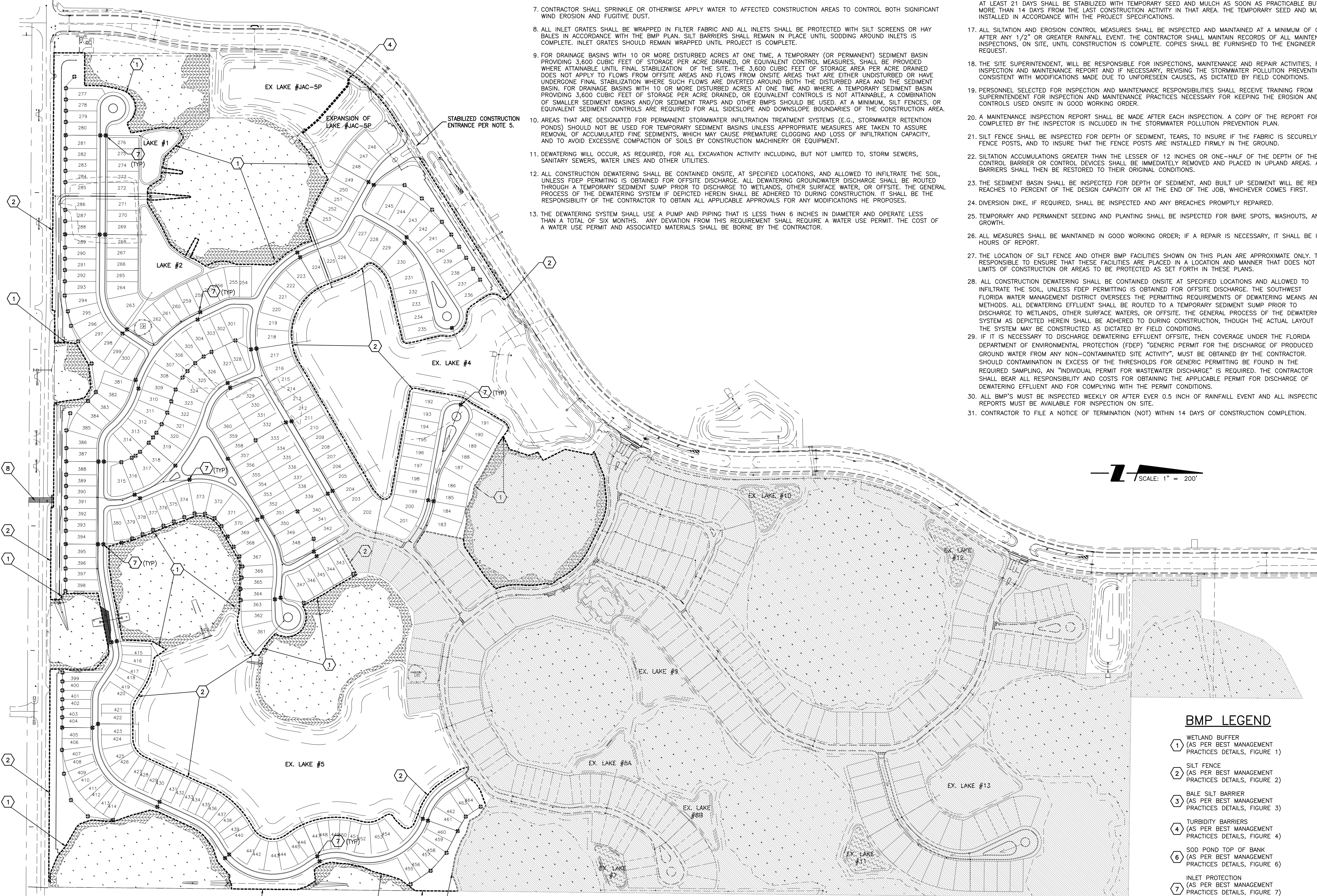
**NOTES**

1. A COPY OF THIS BEST MANAGEMENT PRACTICES PLAN AND THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE KEPT AT THE PROJECT SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE REQUIREMENTS AND CONDITIONS OF THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFMD) PERMIT(S) AND HAVE A COPY OF THE PERMIT(S) ON SITE. IF IT IS NECESSARY FOR GROUNDWATER DEWATERING TO DISCHARGE OFFSITE, THEN THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). THE CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COSTS FOR OBTAINING AND/OR MODIFYING ALL APPLICABLE PERMITTING FOR THE DISCHARGE OF GROUNDWATER DEWATERING AND FOR COMPLYING WITH ALL SWFMD AND FDEP PERMITTING CONDITIONS.

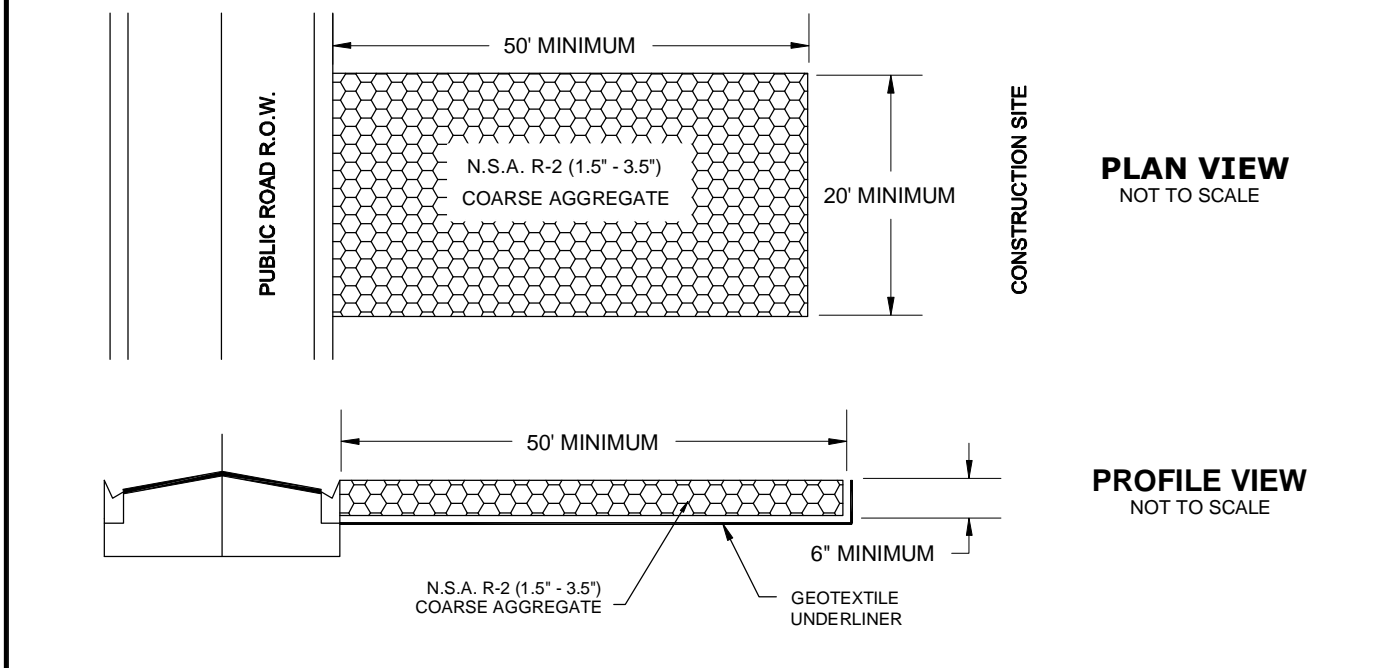
3. THE CONTRACTOR SHALL IMPLEMENT OTHER BEST MANAGEMENT PRACTICES AS DIRECTED BY THE ENGINEER OF RECORD OR OTHER REGULATORY AGENCIES.
4. THE CONTRACTOR SHALL STAGE CONSTRUCTION IN PHASES WHENEVER POSSIBLE TO MINIMIZE SOIL LOSS AND CONTROL EROSION.
5. THE CONTRACTOR SHALL PROVIDE A STABILIZED CONSTRUCTION ENTRANCE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP AS REQUIRED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARP/AULIN.
6. THE CONTRACTOR SHALL DIRECT ONSITE RUNOFF TO THE STORMWATER MANAGEMENT SYSTEM DURING CONSTRUCTION.
7. CONTRACTOR SHALL SPRINKLE OR OTHERWISE APPLY WATER TO AFFECTED CONSTRUCTION AREAS TO CONTROL BOTH SIGNIFICANT WIND EROSION AND FUGITIVE DUST.
8. ALL INLET GRATES SHALL BE WRAPPED IN FILTER FABRIC AND ALL INLETS SHALL BE PROTECTED WITH SILT SCREENS OR HAY BALES IN ACCORDANCE WITH THE BMP PLAN. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE. INLET GRATES SHOULD REMAIN WRAPPED UNTIL PROJECT IS COMPLETE.
9. FOR DRAINAGE BASINS WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROL MEASURES, SHALL BE PROVIDED WHERE ATTAINABLE UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. FOR DRAINAGE BASINS WITH 10 OR MORE DISTURBED ACRES AT ONE TIME AND WHERE A TEMPORARY SEDIMENT BASIN PROVIDING 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, A COMBINATION OF SMALLER SEDIMENT BASINS AND/OR SEDIMENT TRAPS AND OTHER BMPs SHOULD BE USED. AT A MINIMUM, SILT FENCES, OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDESLOPE AND DOWNSLOPE BOUNDARIES OF THE CONSTRUCTION AREA.
10. AREAS THAT ARE DESIGNATED FOR PERMANENT STORMWATER INFILTRATION TREATMENT SYSTEMS (E.G., STORMWATER RETENTION PONDS) SHOULD NOT BE USED FOR TEMPORARY SEDIMENT BASINS UNLESS APPROPRIATE MEASURES ARE TAKEN TO ASSURE REMOVAL OF ACCUMULATED FINE SEDIMENTS, WHICH MAY CAUSE PREMATURE CLOGGING AND LOSS OF INFILTRATION CAPACITY, AND TO AVOID EXCESSIVE COMPACTION OF SOILS BY CONSTRUCTION MACHINERY OR EQUIPMENT.
11. DEWATERING WILL OCCUR, AS REQUIRED, FOR ALL EXCAVATION ACTIVITY INCLUDING, BUT NOT LIMITED TO, STORM SEWERS, SANITARY SEWERS, WATER LINES AND OTHER UTILITIES.
12. ALL CONSTRUCTION DEWATERING SHALL BE CONTAINED ONSITE, AT SPECIFIED LOCATIONS, AND ALLOWED TO INFILTRATE THE SOIL, UNLESS FDEP PERMITTING IS OBTAINED FOR OFFSITE DISCHARGE. ALL DEWATERING GROUNDWATER DISCHARGE SHALL BE ROUTED THROUGH A TEMPORARY SEDIMENT SUMP PRIOR TO DISCHARGE TO WETLANDS, OTHER SURFACE WATER, OR OFFSITE. THE GENERAL PROCESS OF THE DEWATERING SYSTEM IF DEPICTED HEREIN SHALL BE ADHERED TO DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL APPLICABLE APPROVALS FOR ANY MODIFICATIONS HE PROPOSES.
13. THE DEWATERING SYSTEM SHALL USE A PUMP AND PIPING THAT IS LESS THAN 6 INCHES IN DIAMETER AND OPERATE LESS THAN A TOTAL OF SIX MONTHS. ANY DEVIATION FROM THIS REQUIREMENT SHALL REQUIRE A WATER USE PERMIT. THE COST OF A WATER USE PERMIT AND ASSOCIATED MATERIALS SHALL BE BORNE BY THE CONTRACTOR.

14. LAY SOD AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, POND SLOPES, AND A THREE FOOT (3') WIDE STRIP ADJACENT TO EDGE OF PAVEMENT OR AS DIRECTED BY THE ENGINEER AS SOON AS PRACTICAL TO PREVENT EROSION. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH SOD OR WITH PERMANENT SEED AND MULCH IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. PERMANENT STABILIZATION SHALL OCCUR AS SOON AS PRACTICAL BUT IN NO CASE MORE THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
15. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES LAST. UNTIL THEN, ALL EROSION, SILTATION, AND MAINTENANCE OF GRADES AND GRASS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. TOP SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL TEMPORARILY CEASE FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH AS SOON AS PRACTICAL BUT IN NO CASE MORE THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED AND MULCH SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
17. ALL SILTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED AT A MINIMUM OF ONCE PER WEEK OR AFTER ANY 1/2" OR GREATER RAINFALL EVENT. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL MAINTENANCE AND INSPECTIONS, ON SITE, UNTIL CONSTRUCTION IS COMPLETE. COPIES SHALL BE FURNISHED TO THE ENGINEER OR OWNER, UPON REQUEST.
18. THE SITE SUPERINTENDENT, WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, FILLING OUT THE INSPECTION AND MAINTENANCE REPORT AND IF NECESSARY, REVISING THE STORMWATER POLLUTION PREVENTION PLAN CONSISTENT WITH MODIFICATIONS MADE DUE TO UNFORESEEN CAUSES, AS DICTATED BY FIELD CONDITIONS.
19. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT FOR INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
20. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS INCLUDED IN THE STORMWATER POLLUTION PREVENTION PLAN.
21. SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO INSURE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO INSURE THAT THE FENCE POSTS ARE INSTALLED FIRMLY IN THE GROUND.
22. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SILTATION CONTROL BARRIER OR CONTROL DEVICES SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS. ALL SILTATION BARRIERS SHALL THEN BE RESTORED TO THEIR ORIGINAL CONDITIONS.
23. THE SEDIMENT BASIN SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.
24. DIVERSION DIKE, IF REQUIRED, SHALL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
25. TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
26. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.
27. THE LOCATION OF SILT FENCE AND OTHER BMP FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THESE FACILITIES ARE PLACED IN A LOCATION AND MANNER THAT DOES NOT CONFLICT WITH THE LIMITS OF CONSTRUCTION OR AREAS TO BE PROTECTED AS SET FORTH IN THESE PLANS.
28. ALL CONSTRUCTION DEWATERING SHALL BE CONTAINED ONSITE AT SPECIFIED LOCATIONS AND ALLOWED TO INFILTRATE THE SOIL, UNLESS FDEP PERMITTING IS OBTAINED FOR OFFSITE DISCHARGE. THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT OVERSEES THE PERMITTING REQUIREMENTS OF DEWATERING MEANS AND METHODS. ALL DEWATERING EFFLUENT SHALL BE ROUTED TO A TEMPORARY SEDIMENT SUMP PRIOR TO DISCHARGE TO WETLANDS, OTHER SURFACE WATERS, OR OFFSITE. THE GENERAL PROCESS OF THE DEWATERING SYSTEM AS DEPICTED HEREIN SHALL BE ADHERED TO DURING CONSTRUCTION, THOUGH THE ACTUAL LAYOUT OF THE SYSTEM MAY BE CONSTRUCTED AS DICTATED BY FIELD CONDITIONS.
29. IF IT IS NECESSARY TO DISCHARGE DEWATERING EFFLUENT OFFSITE, THEN COVERAGE UNDER THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY", MUST BE OBTAINED BY THE CONTRACTOR. SHOULD CONTAMINATION IN EXCESS OF THE THRESHOLDS FOR GENERIC PERMITTING BE FOUND IN THE REQUIRED SAMPLING, AN "INDIVIDUAL PERMIT FOR WASTEWATER DISCHARGE" IS REQUIRED. THE CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COSTS FOR OBTAINING THE APPLICABLE PERMIT FOR DISCHARGE OF DEWATERING EFFLUENT AND FOR COMPLYING WITH THE PERMIT CONDITIONS.
30. ALL BMP'S MUST BE INSPECTED WEEKLY OR AFTER EVERY 0.5 INCH OF RAINFALL EVENT AND ALL INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION ON SITE.
31. CONTRACTOR TO FILE A NOTICE OF TERMINATION (NOT) WITHIN 14 DAYS OF CONSTRUCTION COMPLETION.

- A. "NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED, PER SECTION 54-588 (1) (B) OF SARASOTA COUNTY CODE. THE PROTECTED ROOT ZONE IS DEFINED AS THE DRIPLINE OF THE TREE. ONLY HAND CLEARING OR MOWING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF CANOPY TREES TO BE SAVED IF AUTHORIZED BY THE ADMINISTRATOR. WHERE UNAUTHORIZED REMOVAL OF NATIVE VEGETATION WITHIN THE PROTECTED ROOT ZONE OCCURS THE ADMINISTRATOR MAY REQUIRE THE REPLANTING OF UNDERSTORY VEGETATION. FULL DRIPLINE PROTECTION IS REQUIRED; HOWEVER THE ADMINISTRATOR MAY ALLOW CERTAIN ACTIVITIES TO BE CONDUCTED WITHIN THE BARRICADED DRIPLINE OF A TREE, SO LONG AS THE COUNTY DETERMINES THAT THE TREE WILL NOT BE ADVERSELY AFFECTED.
- B. "A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATIVE REMOVAL WITHIN THE DRIPLINE OF A TREE, AND/OR TREE REMOVAL."



1. POSTS SHALL BE WOOD (2"x4" OR 2 1/2" DIA) OR STEEL (MIN. 1.33 LBS/FT).
2. SILT FENCE SHALL BE PLACED PRIOR TO ANY EARTHMOVING, EXCAVATION OR VEGETATION REMOVAL.
3. CONTRACTOR IS RESPONSIBLE FOR MONITORING & MAINTAINING THE SILT FENCE IN GOOD CONDITION THROUGHOUT THE LIFE OF THE PROJECT.
4. THE CITY ENGINEER OR HIS DESIGNEE MAY ISSUE A STOP WORK ORDER IN THE EVENT THAT SILT FENCE IS NOT BEING MAINTAINED OR IF SEDIMENT IS MIGRATING OFF-SITE.



**BMP LEGEND**

- 1 WETLAND BUFFER (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 1)
- 2 SILT FENCE (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 2)
- 3 BALE SILT BARRIER (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 3)
- 4 TURBIDITY BARRIERS (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 4)
- 5 SOD POND TOP OF BANK (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 6)
- 6 INLET PROTECTION (AS PER BEST MANAGEMENT PRACTICES DETAILS, FIGURE 7) (FOR YARD DRAINS SEE FIGURE 8)
- 7 CRUSHED STONE CONSTRUCTION EXIT PER DETAIL ENG-7 ON THIS SHEET

<b>CITY OF VENICE</b> ENGINEERING DEPARTMENT 401 WEST VENICE AVE. VENICE FL 34285 (941) 486-2626 FAX (941) 480-3031	<b>ENGINEERING</b> <b>SILT FENCE &amp; CONSTRUCTION EXIT</b>	DATE
		JAN. 2016
		SHEET NO.
		ENG-7

**CONSTRUCTION SURFACE WATER MANAGEMENT PLAN (CSWMP) CERTIFICATION**

OWNER/APPLICANT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER: JAMES R. SCHIER  
 TITLE: VICE PRESIDENT  
 COMPANY: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:
C	REVISED PER CITY COMMENTS DATED 5/13/16	05/13/16	RTD/89450		
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396		

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CLIENT:	NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC	DATE:	2016
PROJECT:	VILLAGES OF MILANO PHASE 2	HORIZONTAL SCALE:	
		VERTICAL SCALE:	
		SEC. TWP. RSE:	35 38S 19E
		CROSS REFERENCE FILE NO.:	

TITLE:	BEST MANAGEMENT PRACTICES PLAN AND NOTES	INDEX NUMBER:	215611819-05C-702EC
		SHEET NUMBER:	50 OF 51

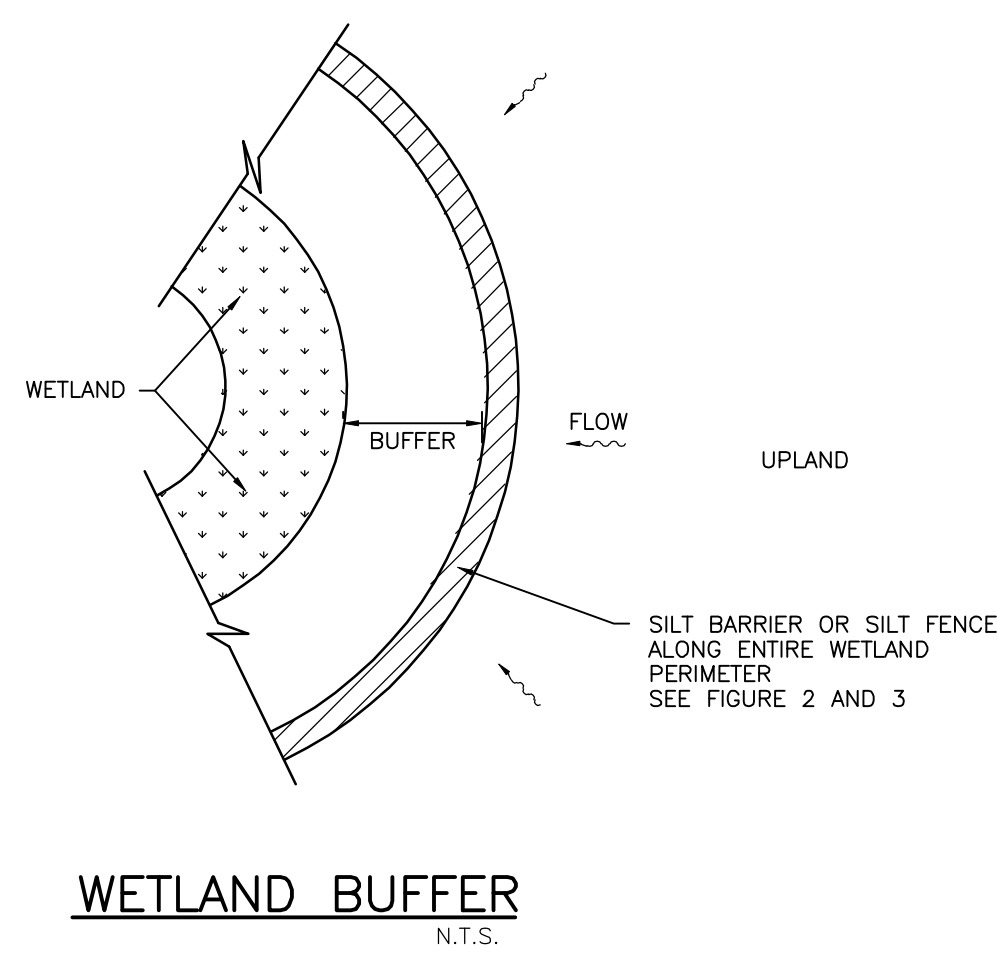


FIGURE 1

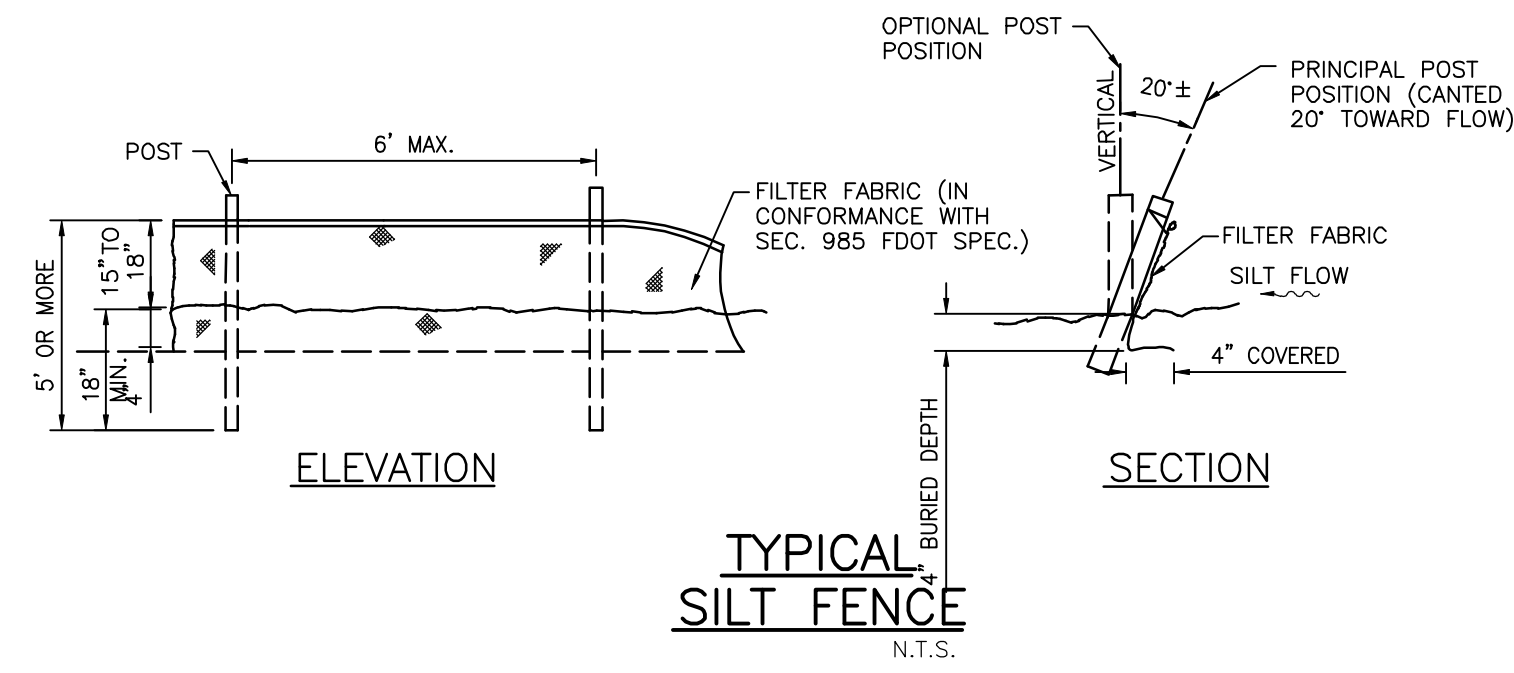


FIGURE 2

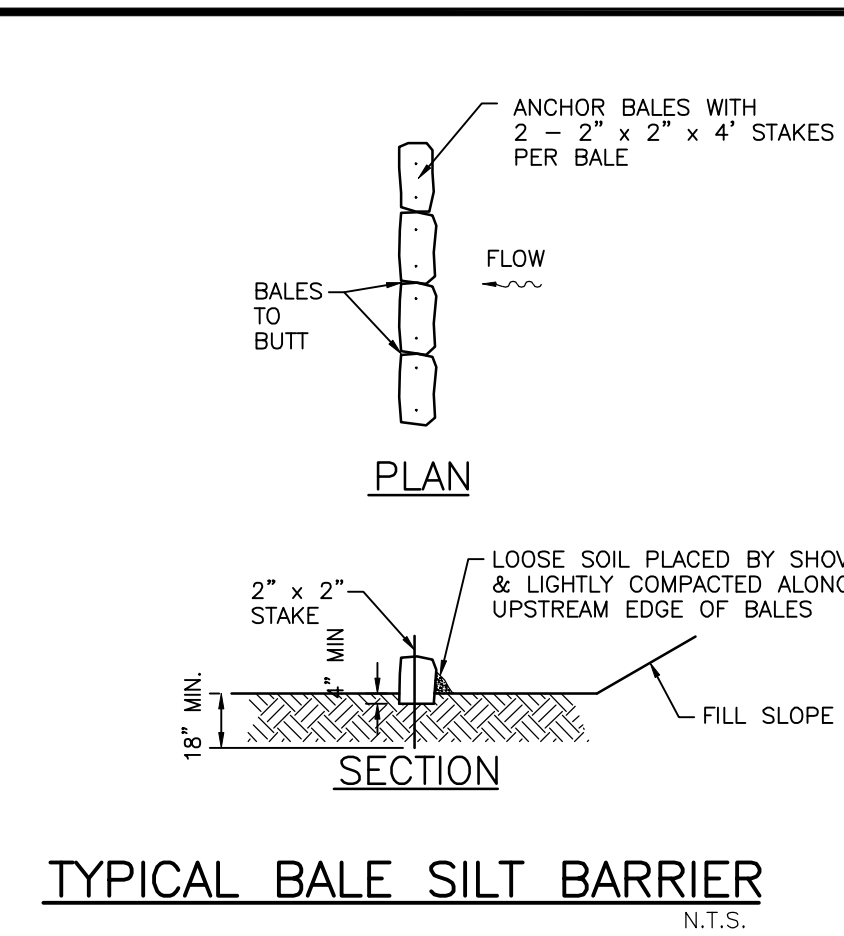


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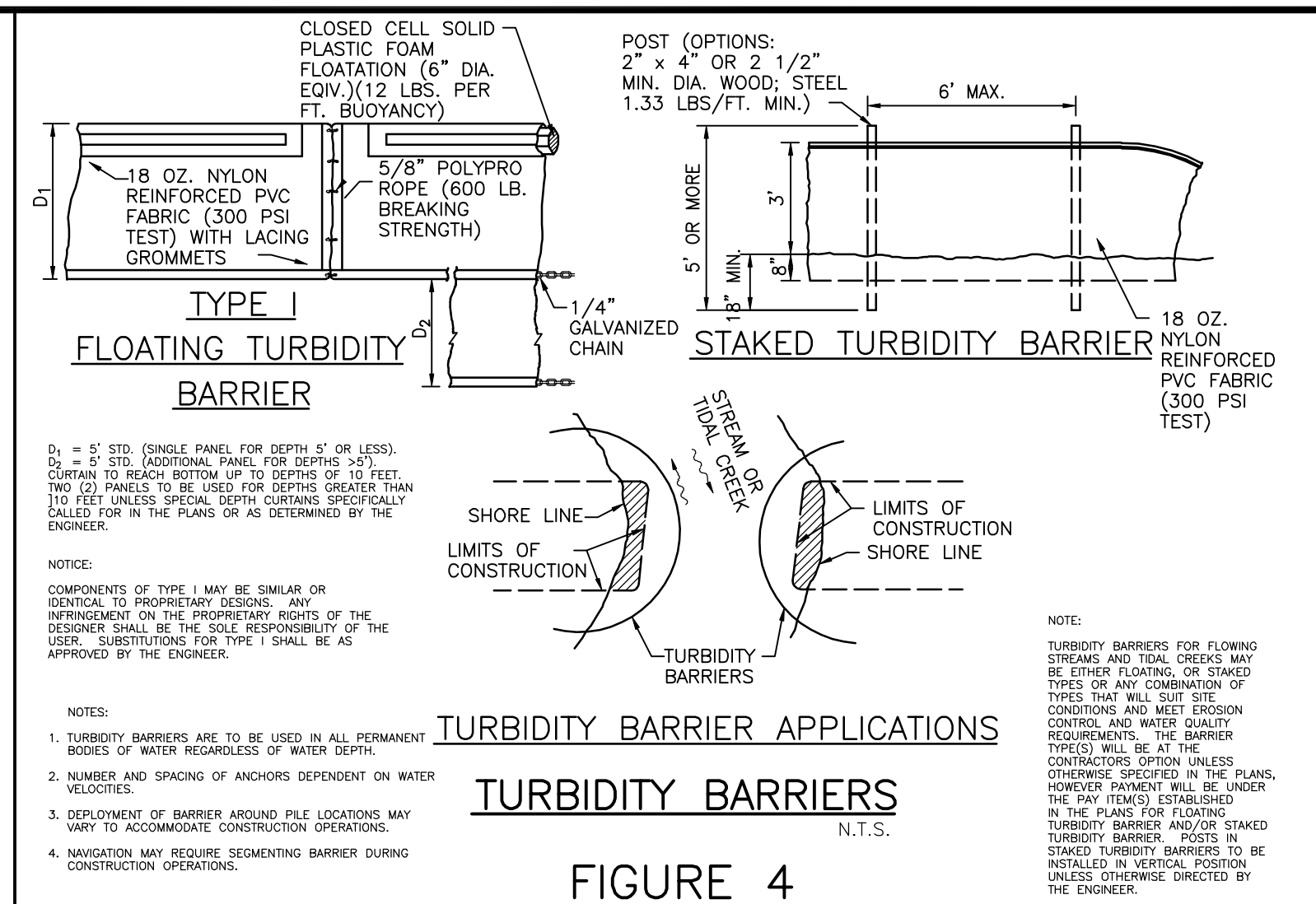


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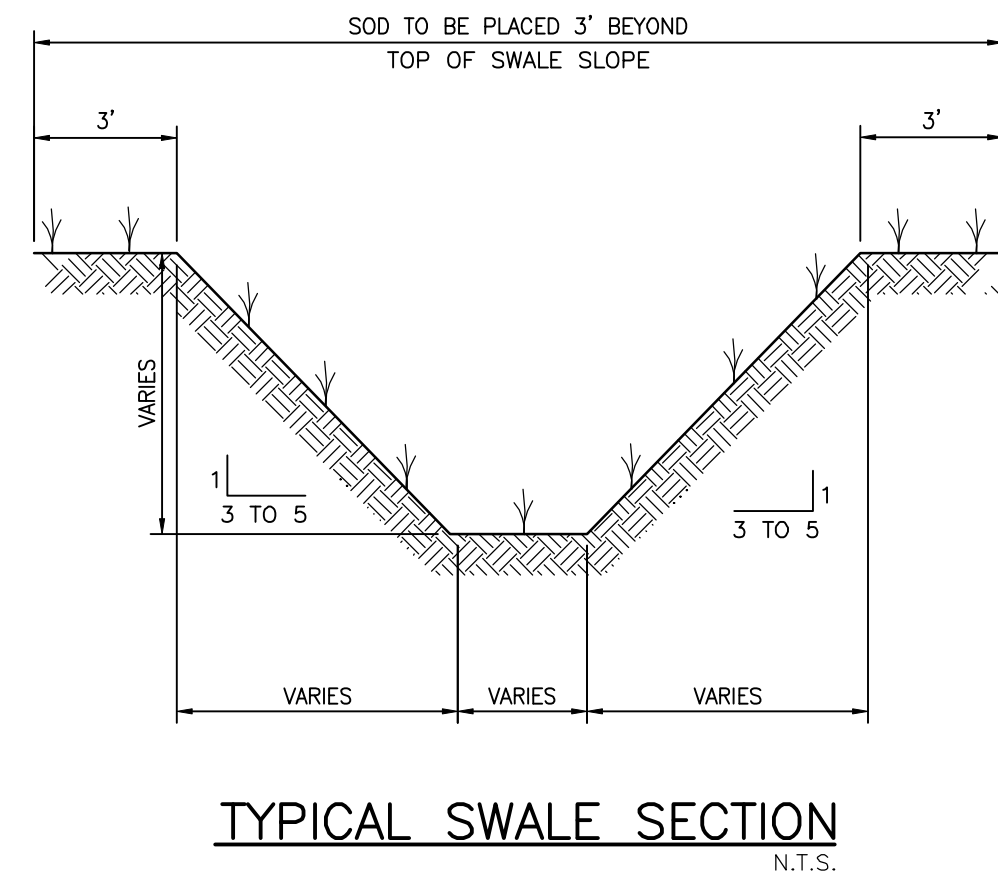


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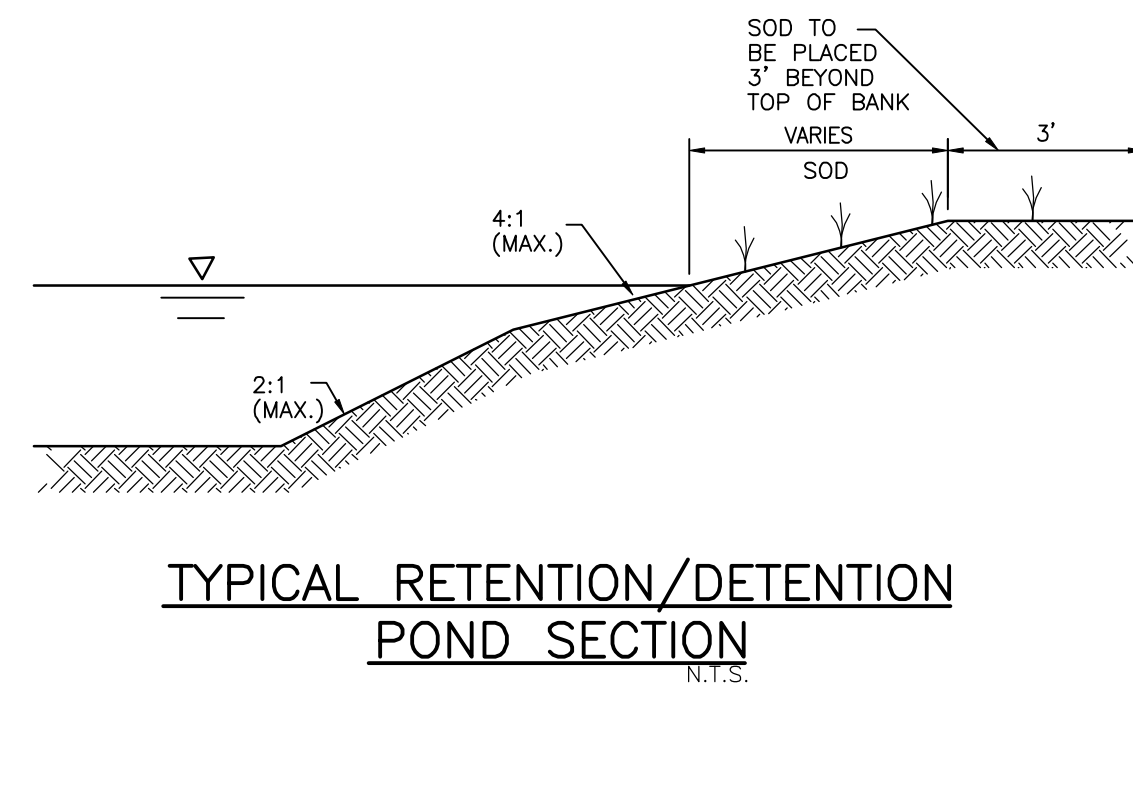


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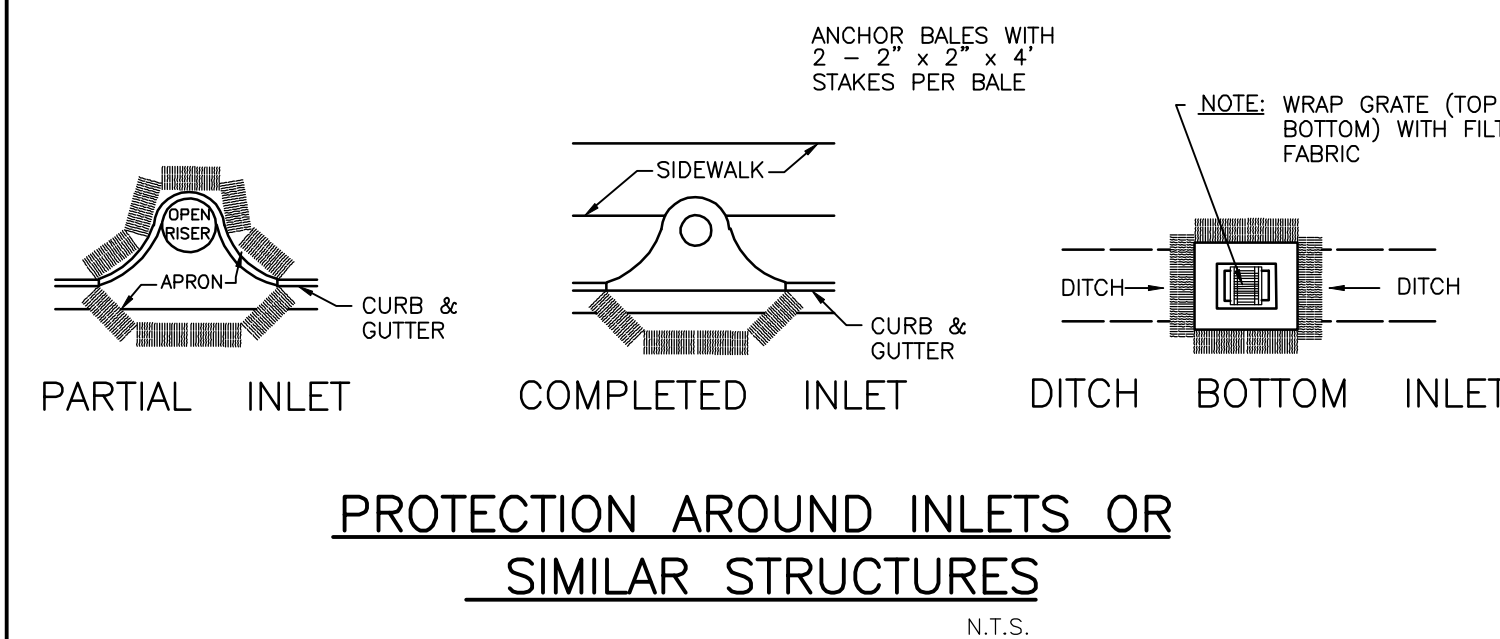


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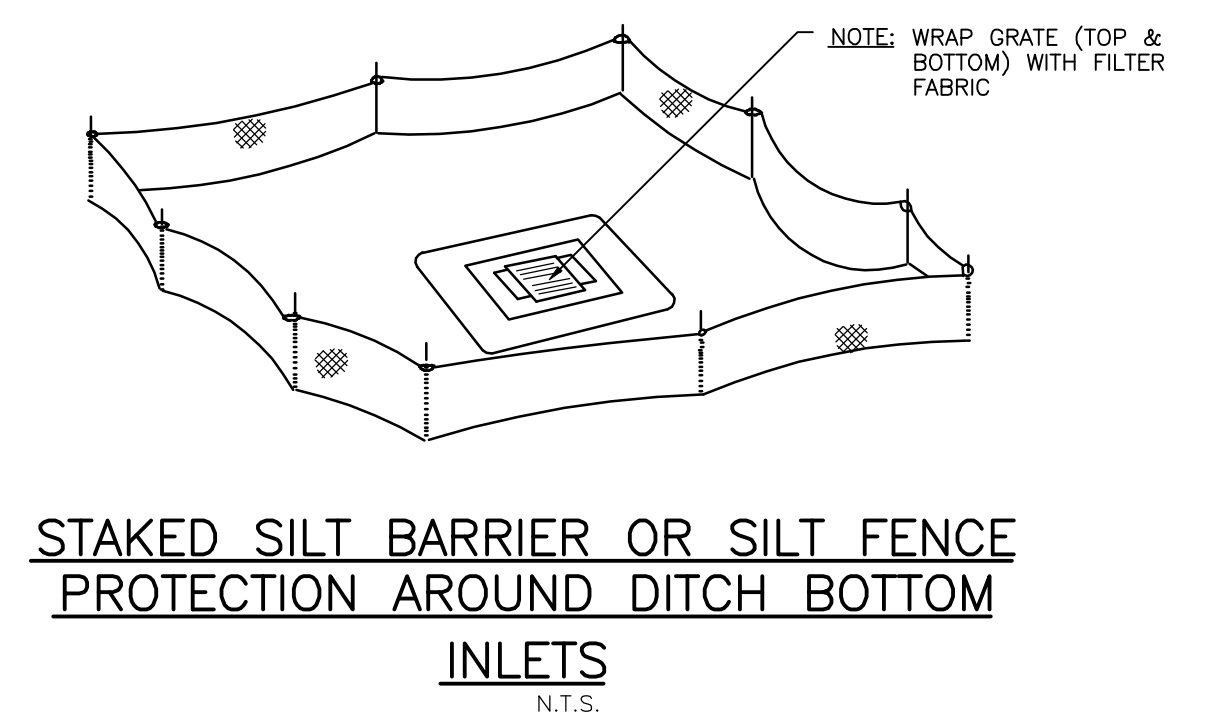


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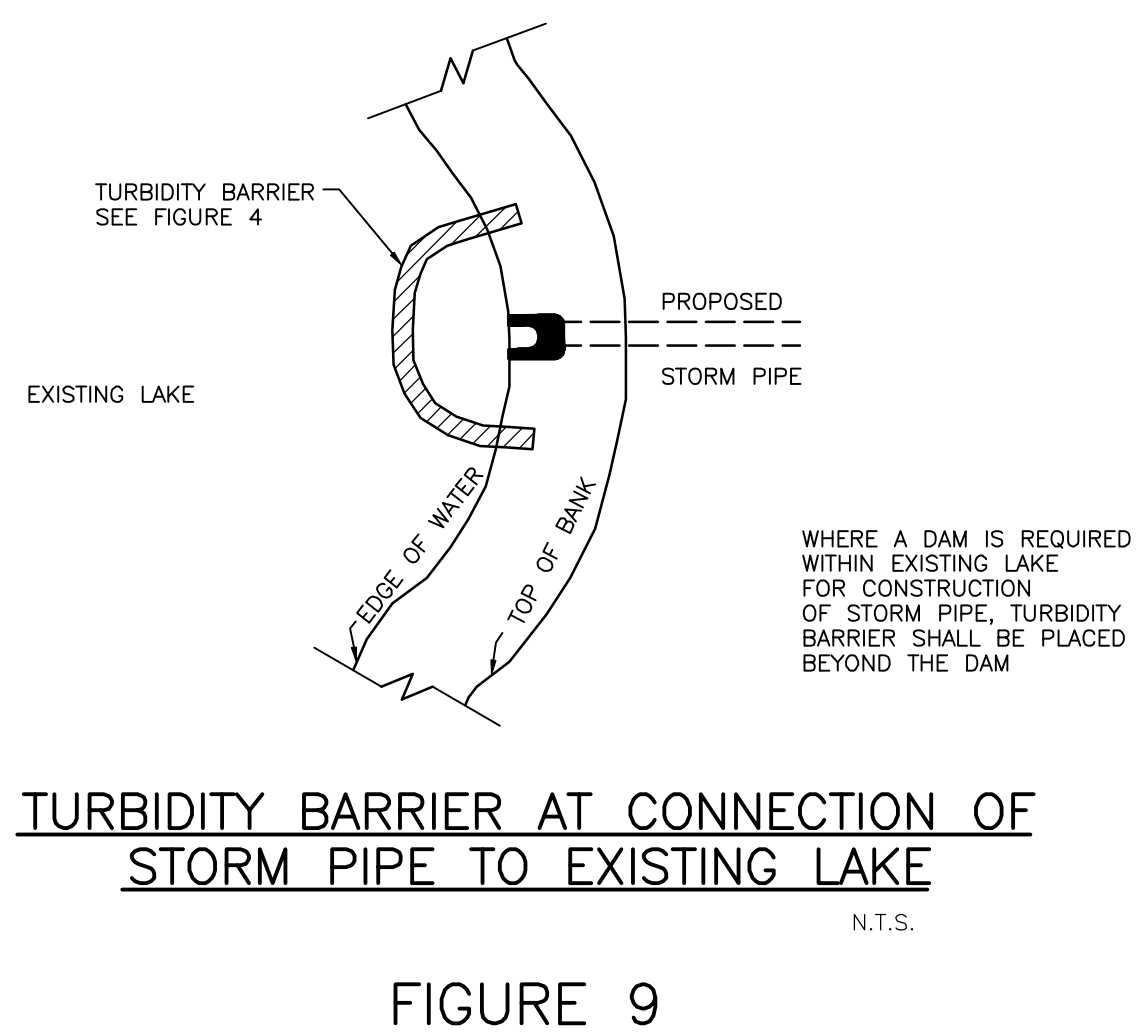


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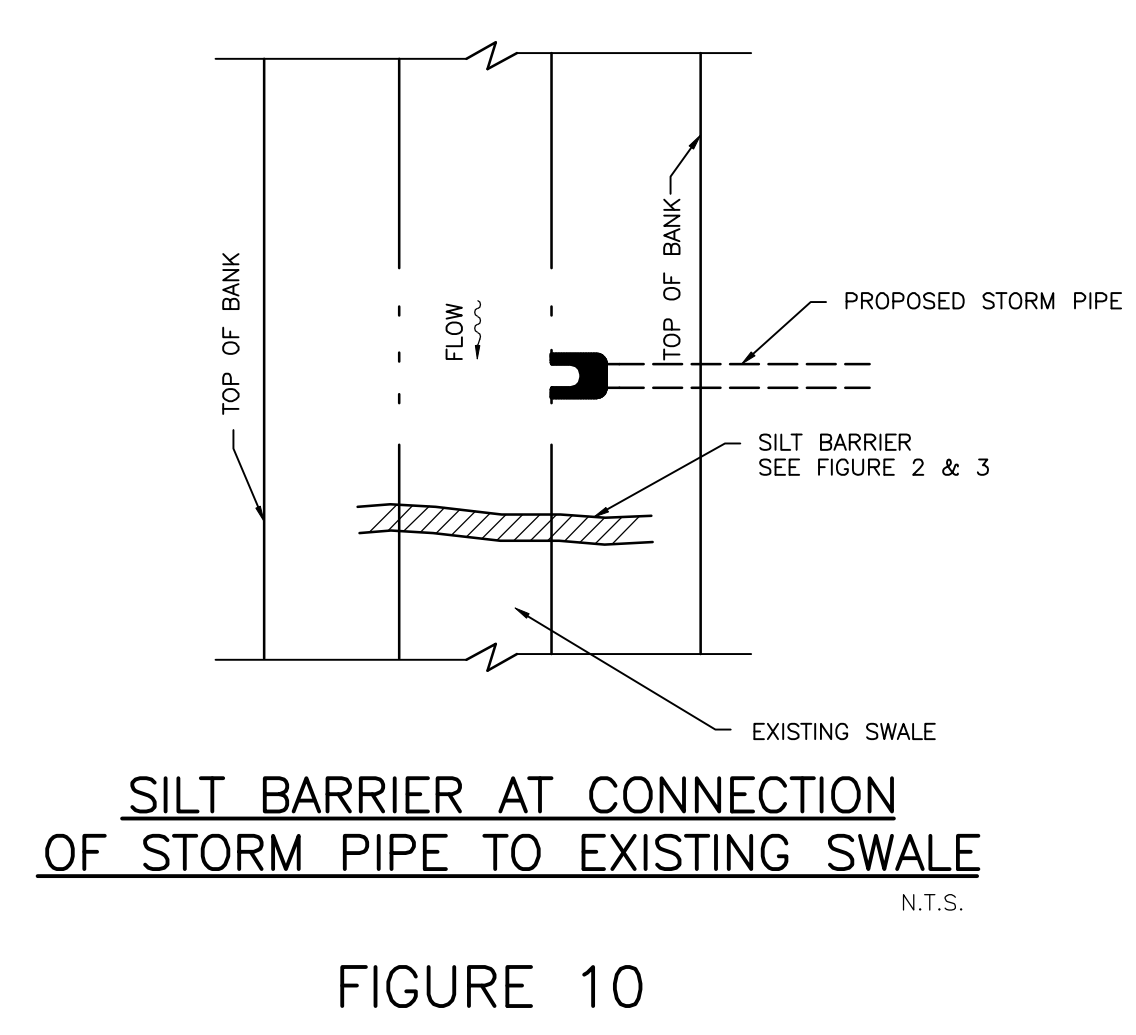


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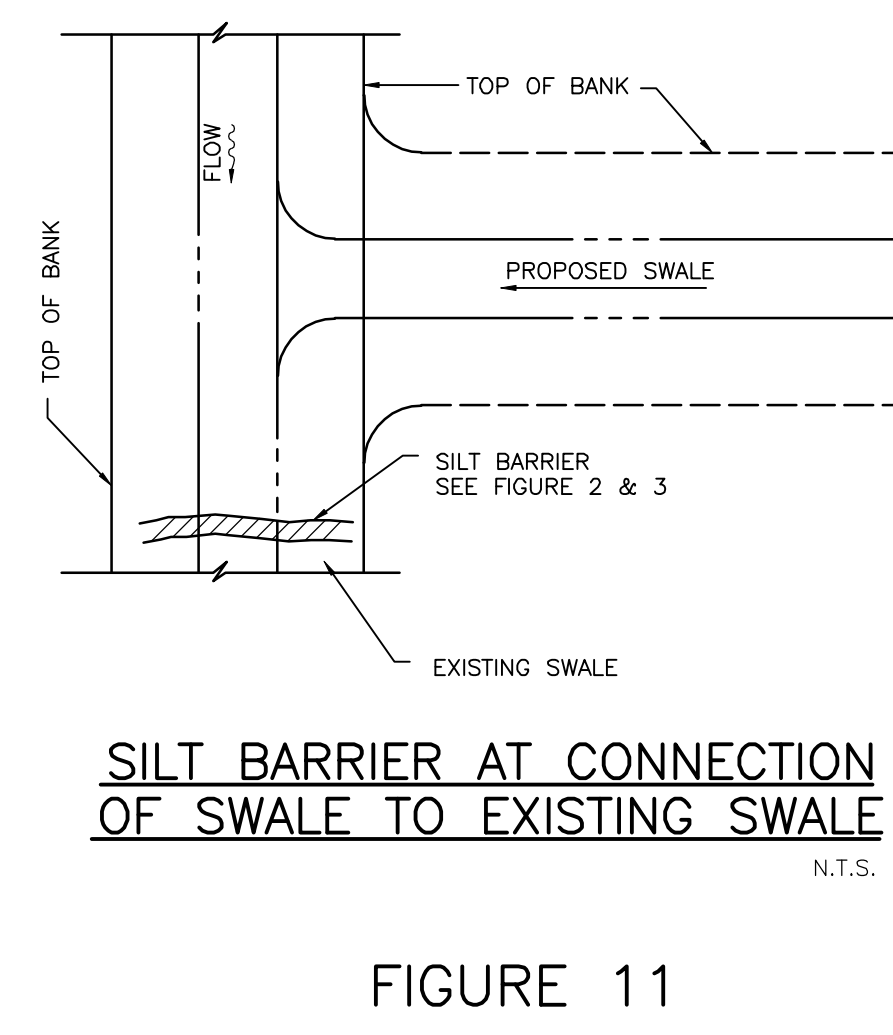


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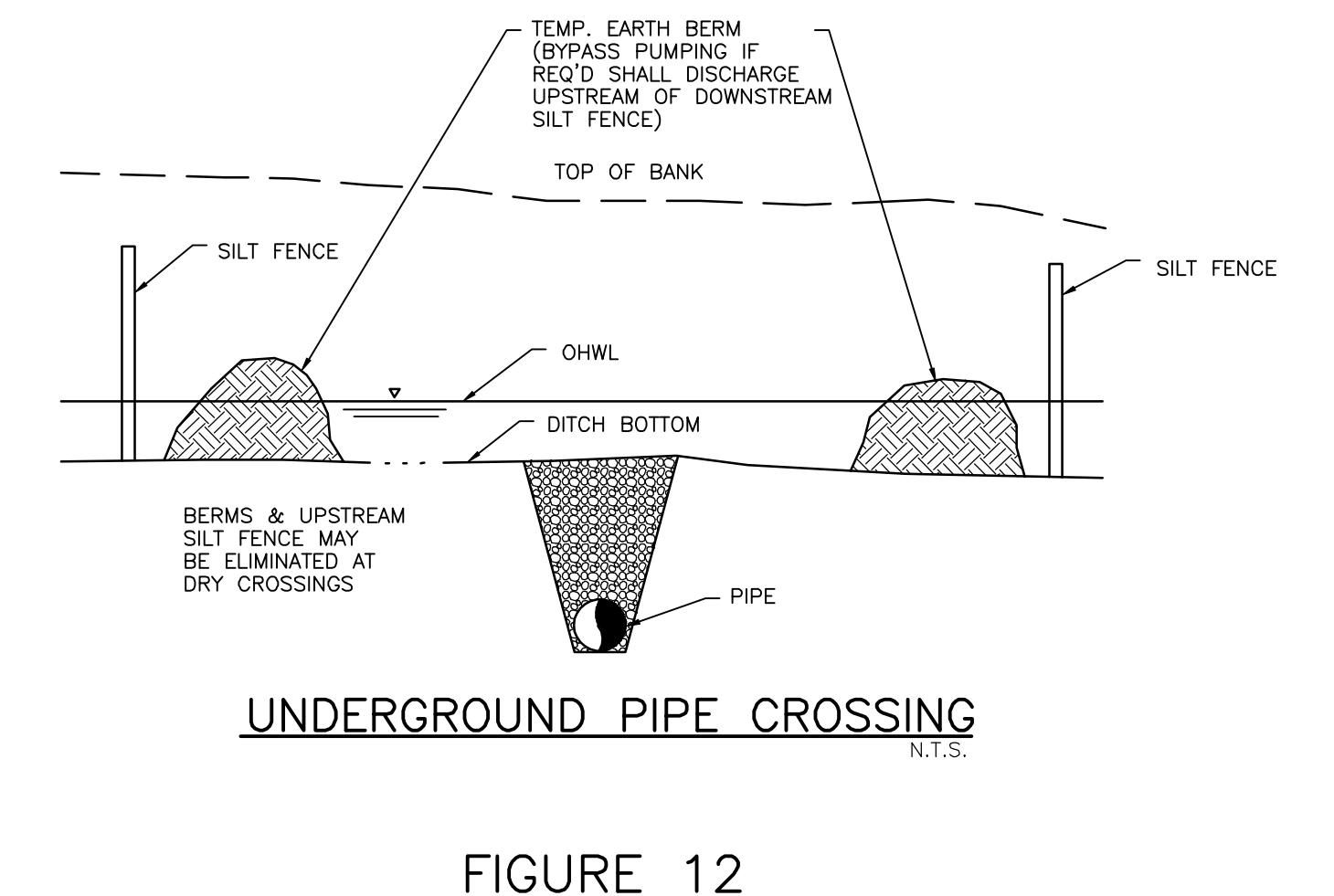


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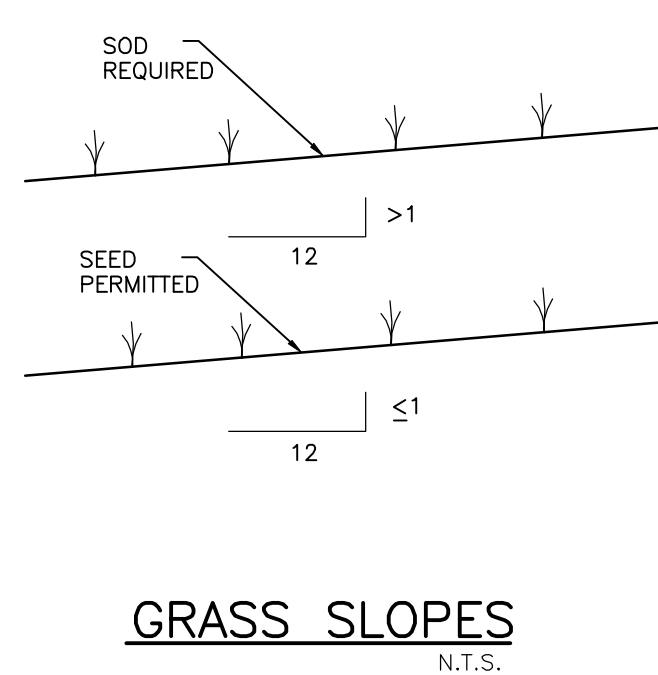


FIGURE 13

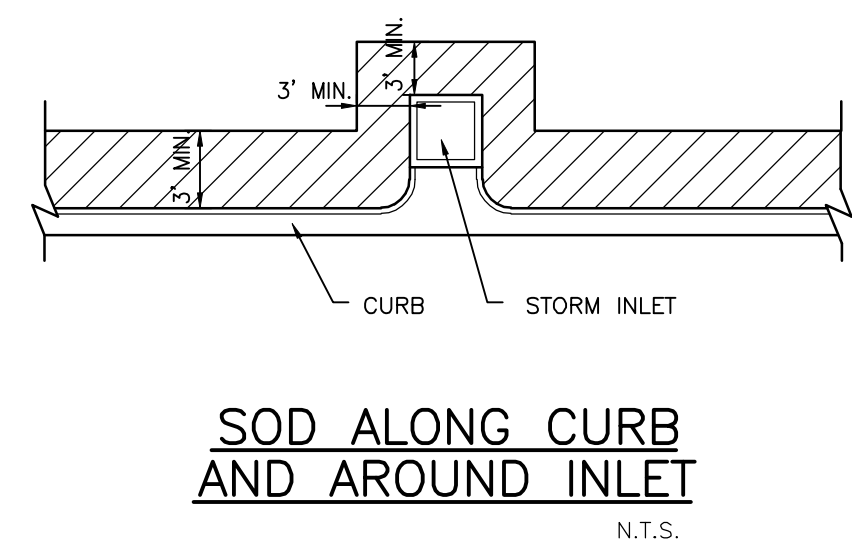


FIGURE 14

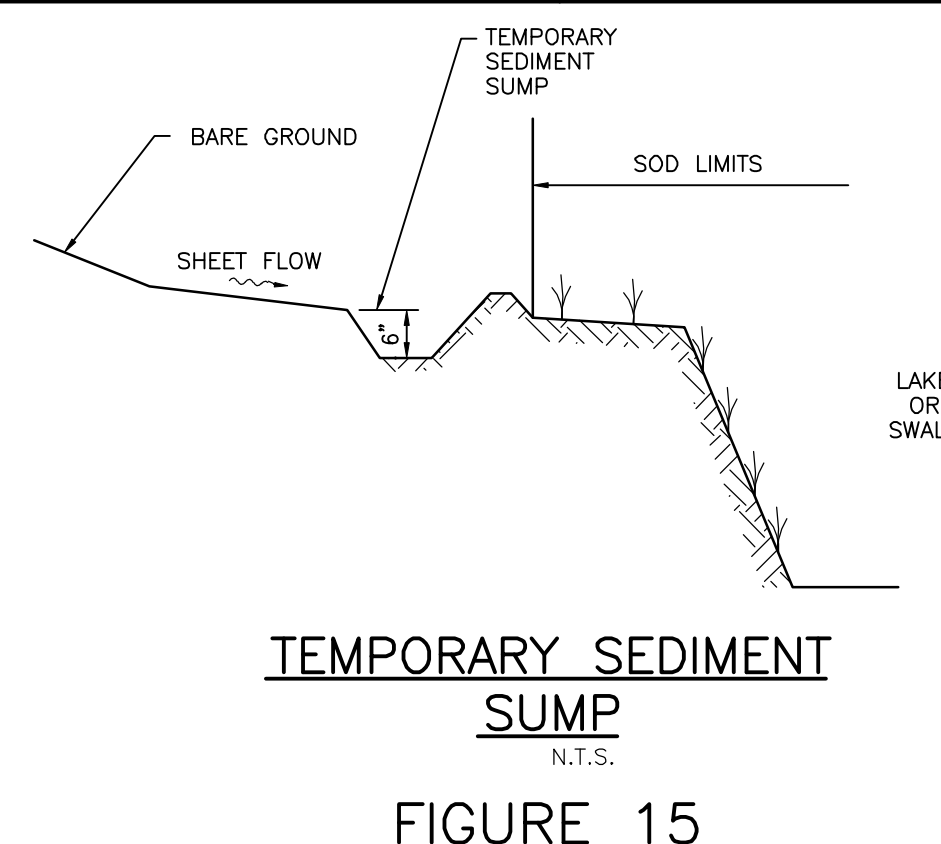


FIGURE 15

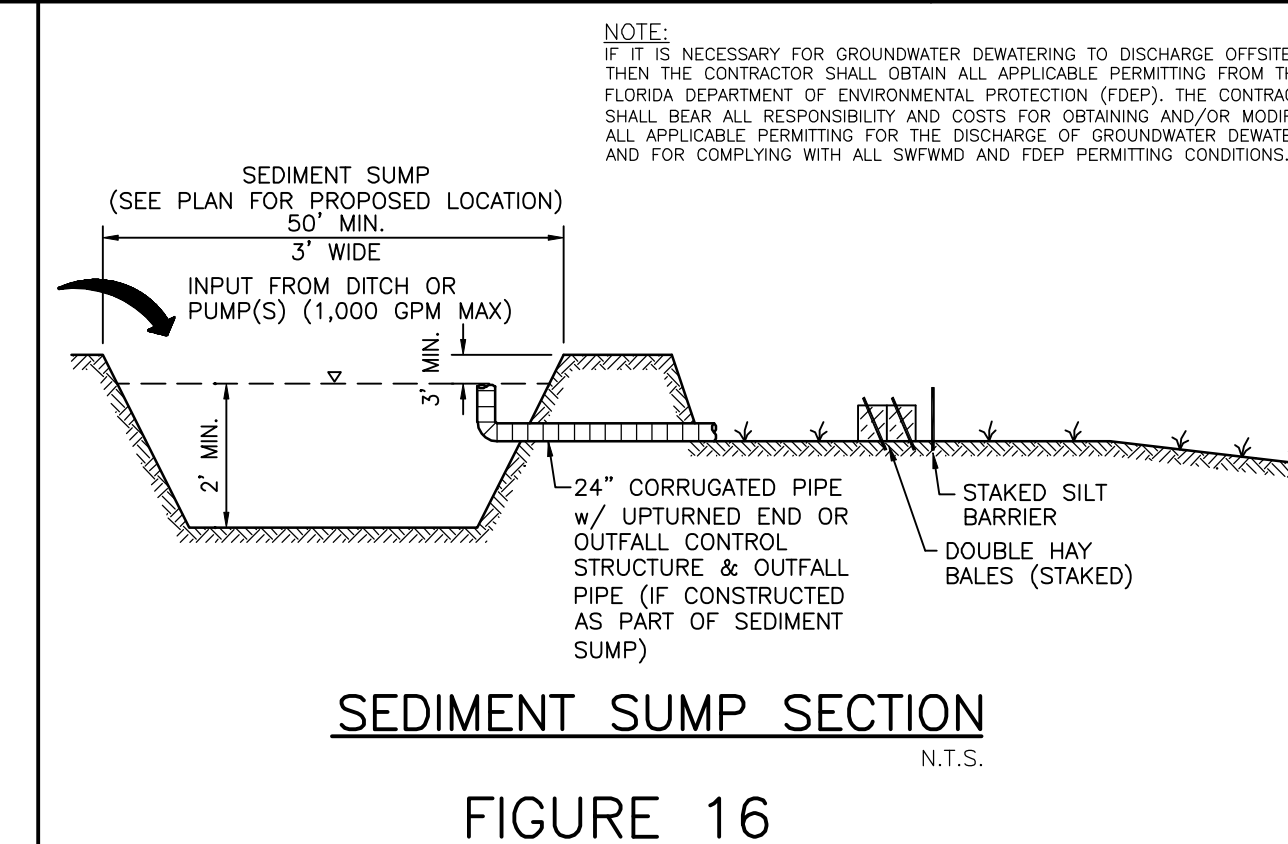


FIGURE 16

CONSTRUCTION SURFACE WATER MANAGEMENT PLAN (CSWMP) CERTIFICATION

OWNER/APPLICANT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER: JAMES R. SCHIER  
 TITLE: VICE PRESIDENT  
 COMPANY: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:	ACTIVITY	INITIALS/EMP. NO.	DATE
A	REVISED PER CITY PRELIMINARY PLAT COMMENTS	04/07/16	DKL/89396					
						DESIGNED BY:	RTD/89450	2016
						DRAWN BY:		2016
						CHECKED BY:		
						CONTRACT ADMIN. BY:		

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CLIENT: NEAL COMMUNITIES OF SOUTHWEST FLORIDA, LLC  
 PROJECT: VILLAGES OF MILANO PHASE 2

DATE: 2016  
 HORIZONTAL SCALE:  
 VERTICAL SCALE:  
 SEC: TRP: SGE: 35 385 19E

TITLE: BEST MANAGEMENT PRACTICES DETAILS  
 CROSS REFERENCE FILE NO.:  
 PROJECT NUMBER: 215611819  
 SHEET NUMBER: 51 OF 51